

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
FEBRUARY 26, 2018**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider approval of the February 12, 2018 Plan Commission Meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business:
 - A. **PUBLIC HEARING AND CONSIDERATION OF A PRELIMINARY PLAT** for the of John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision) for the development of 45 single family lots to be known as River Run at Heritage Valley.
 - B. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-05 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to correct and show the location of the field delineated wetlands within the in the Park, Recreation and other Open Space Lands with a staked wetland land use designation (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources); and to remove the Urban Reserve land use designation from the vacant property. In addition, to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.
 - C. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS AND AN AMENDMENT TO THE DIGITAL SECURITY IMAGING SYSTEM AND ASSOCIATED ACCESS EASEMENT** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.
 - D. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND TEXT AMENDMENT** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to rezone the field delineated wetlands (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources) into the C-1, Lowland Resource Conservancy District and to rezone the vacant property from the R-2, Urban Single Family Residential District into the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. In addition, to amend the Lynch Chevrolet of Pleasant Prairie Planned Unit Development to include the expansion area.
 - E. Consider approval of a **Certified Survey Map** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.

- F. Consider the request of David and Elizabeth Janz, owners of the property located at 3840 107th Street for approval of a **Certified Survey Map** to subdivide the property into three (3) parcels.

7. Adjourn.

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
February 12, 2018**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on February 12, 2018. Those in attendance were Thomas Terwall; Michael Serpe; Wayne Koessler; Deb Skarda; Jim Bandura; Judy Juliana; Bill Stoebig; John Skalbeck (Alternate #1) and Brock Williamson (Alternate #2). Also in attendance were Tom Shircel, Interim Village Administrator; Peggy Herrick, Assistant Village Planner and Zoning Administrator; and Kristina Tranel, Community Development Department.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER APPROVAL OF THE JANUARY 22, 2018 PLAN COMMISSION MEETING MINUTES.**

Judy Juliana:

Move to approve.

Bill Stoebig:

Second.

Tom Terwall:

MOVED BY JUDY JULIANA AND SECONDED BY BILL STOEBIG TO APPROVE THE MINUTES OF THE JANUARY 22ND PLAN COMMISSION MEETING AS PRESENTED. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Tom Terwall:

If you're here for any of the items that are on the agenda since they're matters for public hearing we would ask that you hold your comments until that item is taken up. However, if you want to raise an issue that's not on the agenda now would be your opportunity to do so. We'd ask you to step to the microphone and begin by giving us your name and address. Anybody wishing to speak under citizens' comments?

6. NEW BUSINESS:

- A. PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-04 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN for the request of Steven Brown, agent for the vacant property generally located on 92rd Street east of 11th Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 14 of Block 3) and further identified as Tax Parcel Number 93-4-123-184-0985 to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designations to the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.**

Wayne Koessl:

Mr. Chairman, I see we're taking Item A and B under one presentation but we take separate votes.

Tom Terwall:

Is that a motion?

Wayne Koessl:

Yes.

Tom Terwall:

Is there a second?

Judy Juliana:

Second.

Tom Terwall:

MOVED BY WAYNE KOESSL AND SECONDED BY JUDY JULIANA TO COMBINE ITEMS A AND B FOR PURPOSES OF THE DISCUSSION BUT SEPARATE VOTES. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Go ahead, Peggy.

B. PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AMENDMENT for the request of Steven Brown, agent for the vacant property generally located on 92rd Street east of 11th Avenue within Carol Beach Estates Unit #6 Subdivision (Lot 14 of Block 3) and further identified as Tax Parcel Number 93-4-123-184-0985 to rezone the portion of the lot zoned C-1, Lowland Resource Conservancy District to the R-6, Urban Single Family Residential District so that the entire property is within the R-6 District as a result of the Wisconsin Department of Natural Resources confirmation that there are no wetlands on the property.

Peggy Herrick:

Item A is consideration of Plan Commission Resolution #18-04 for an amendment to the Village Comprehensive Plan for the request of Steven Brown, agent for the vacant property generally located on 92rd Street east of 11th Avenue in the Carol Beach Estates Unit #6 Subdivision known as Lot 4 of Block 3 and further identified as Tax Parcel Number 93-4-123-184-0985. Specifically this is to amend the Village of Pleasant Prairie 2035 Comprehensive Land Use Plan Map 9.9 to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designation to the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan. This is as a result of a wetland staking being completed and finding no wetlands on the property.

Item B is consideration of a Zoning Map Amendment, again, for the request of Steve Brown, agent for the vacant property located on 92rd Street east of 11th Avenue in Carol Beach Estates, and this is to rezone the portion of the lot that is currently zoned C-1, Lowland Resource Conservancy District, to the R-6, Urban Single Family Residential District, so that the entire property is within the R-6 District as a result of the Wisconsin DNR, Department of Natural Resources confirmation that there are no wetlands on the property.

The petitioner had hired DK Environmental Services to provide a wetland delineation on this property. Again, it's located on 92nd Street east of 11th Avenue within Carol Beach Estates Subdivision Unit #6. It's further identified as Tax Parcel Number 93-4-123-184-0985. The wetland staking was completed on June 10, 2017, and the required wetland report was filed with the Wisconsin Department of Natural Resources and on December 7, 2017 was submitted to the DNR. The DNR sent the attached letter attached to your packets indicating that upon their field visit on October 25, 2017, they had concurred with the biologist that there are no wetlands found on the site anymore.

In accordance with the Village of Pleasant Prairie 2035 Comprehensive Plan, upon completing a wetland staking, the 2035 Land Use Plan Map 9.9 shall be amended to reflect the results of the

aforementioned wetland staking. Therefore, that Plan Map 9.9 is proposed to be corrected to change the Park, Recreational and Other Open Space Lands with an Interpolated Wetlands land use designation to the Low-Medium Density Residential land use designation, and Appendix 10-3 of the Village of Pleasant Prairie Wisconsin 2035 Comprehensive Plan is proposed to be updated to reflect this change in the land use plan.

Furthermore, in accordance with the Village Zoning Ordinance, upon completion of a wetland staking the Zoning Map shall be corrected to reflect the results of the staking. Since the DNR has determined that there were no wetlands on the property the portion of the property that is zoned C-1, Lowland Resource Conservancy District, is proposed to be rezoned into the R-6, Urban Single Family Residential District so that the entire property will then be located in that R-6 District. These are public hearings and opening up to comments from Commissioners or the audience.

Tom Terwall:

This is a matter for public hearing. Is there anybody wishing to speak on this matter? Anybody wishing to speak? Hearing none we'll open it to comments and questions from staff.

Wayne Koessl:

If there aren't any, Mr. Chairman, I'd move approval of Plan Commission Resolution 18-04 to approve amendments to the Comprehensive Plan as outlined in said resolution.

Jim Bandura:

Second.

Tom Terwall:

MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDURA TO ADOPT RESOLUTION 18-04. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Item B.

Michael Serpe:

Move approval of the Zoning Map Amendment.

Jim Bandura:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA TO APPROVE THE ZONING MAP AMENDMENT SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

C. PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT to amend Sections 420-125.2 B and C related to permitted uses and auxiliary permitted uses allowed in the M-5, Production Manufacturing District.

Peggy Herrick:

This is a public hearing for a Zoning Text Amendment to amend Sections 420-125.2 B and C related to permitted uses and auxiliary permitted uses allowed in the M-5, Production Manufacturing District.

On January 8, 2018, the Plan Commission approved Resolution #18-03 to initiate amendments to the M-5, Production Manufacturing District in the Village. As a result, the following amendments to the M-5 District are proposed:

The first amendment relates to the medical office facility with an approved payment in lieu of taxes, a PILOT Agreement acceptable to the Village if any portion of the property is exempt from paying Village of Pleasant Prairie real estate taxes is proposed to be listed as a permitted use in that district.

A medical office facility would include the operation of a health center for the provision of medical, surgical, dental, psychiatric and behavioral care, whether inpatient or outpatient and related uses, including, without limitation, a hospital, outpatient surgery center, urgent care, medical offices, health club, pharmacy, laboratory, auxiliary uses such as temporary overnight lodging for employees for use while on duty only, and complimentary retail uses, such as gift shop, food and beverage and similar uses reasonably auxiliary to the operation of a health center. So that would be listed as a permitted use in the M-5 District.

The next amendment relates to additional uses allowed as retail auxiliary permitted uses in the M-5 District. And those new uses that would be listed in there would be a medical office facility, a clothing, electronics, handbags, retail leather goods and shoes, so the retail sale of those would be allowed in the M-5 District along with other uses that are currently listed as auxiliary permitted uses such as retail use sale of baked goods, books, candies, cards, ice cream, newspaper,

magazines, office supplies. So additional uses are just being added to that retail auxiliary permitted use section.

The next amendment is to allow service auxiliary permitted uses in the M-5 District in an office building or in a medical office facility. And in addition to the items listed a museum would be allowed as a service auxiliary use. Also we are deleting a restaurant with outdoor seating or a restaurant serving or selling alcoholic beverages. That's going to be something that's allowed as a permitted use in this district. So that's why you see that as struck through in the ordinance so that is being removed. If there was an office building or a medical facility that had a dining room and they had some outdoor patio areas that would be allowed as a permitted use in the M-5 District.

The next item is adding corporate campus auxiliary permitted uses as permitted uses in the M-5 District. These auxiliary uses are proposed to be permitted within a corporate campus development only. So corporate campus development per this section is defined as a development with multiple buildings on a single lot provided that a minimum of 60 percent of the gross floor area of all of the buildings within the campus development is being developed as permitted uses listed in M-5 District on a single lot with Village approval of a Master Conceptual Plan. So this would allow for campus development with multiple buildings to be developed on one lot within the development.

And those that have a campus development with an approved Master Conceptual Plan would be allowed certain retail auxiliary permitted uses, retreat center and corporate retreat center, service auxiliary permitted uses. And they would have the warehouse and distribution uses would be based on the whole corporate campus, not per individual building like is specified in other sections of the M-5 District. So this is a public hearing. Those are the changes being proposed for the M-5 District. Again, this is a public hearing.

Tom Terwall:

Anybody wishing to speak on this matter? Anybody wishing to speak? Comments and questions from staff? Mike?

Michael Serpe:

Peggy, on the first item the medical facility, the payment in lieu of taxes, how long is that agreement in place and the amount -- is the amount going to increase or decrease over time or how is that going to work?

Peggy Herrick:

It would be an agreement that would be negotiated as to what those terms would be if someone was looking to do a medical facility.

Michael Serpe:

For how long?

Peggy Herrick:

Those terms would be negotiated when we brought a project like that forward. This is just indicating that if this is the type of use that's going to be allowed it would be required to have a PILOT agreement approved by the Village Board.

Michael Serpe:

The reason I ask is with everything that's happening with our State right now there's a good possibility that small businesses and homeowners are going to see a significant tax increase. And if we enter into agreements with a certain amount of money that we're going to accept from a facility, a medical office that's not going to keep in line with property taxes are we hurting ourselves? How often is this going to be negotiated, this payment?

Peggy Herrick:

I think there will be an initial agreement that will state what the terms are for that and whether or not there is a renewable period or a time frame for which it could be renegotiated that would probably be spelled out in the agreement. But my understanding is that it would be an agreement that would go as long as the facility would be in place. I'm not sure if there's been any discussion as to -- because we don't have a PILOT agreement with anybody yet, so I'm not sure if there's been discussions for time frames and the specific language unless Tom has more information.

Tom Shircel:

I think Peggy summed it up. I really don't have any more information than that. I think like Peggy said we'd get that done at the beginning and this agreement. And whether it could be amended in time I don't know. But, yeah, it's what Peggy said.

Jim Bandura:

So that would be part of the negotiation to set a time period for that to be in effect.

Tom Shircel:

Correct.

Jim Bandura:

And to renegotiate it at a certain time period you could do that during the negotiation, correct?

Tom Shircel:

Right.

Peggy Herrick:

That would be specified in that agreement, yeah.

Tom Shircel:

You could set that up, right.

Peggy Herrick:

And the terms of the agreement would have to be approved by the Plan Commission and Board if a medical use was to go into an M-5 District as described here.

Jim Bandura:

I can see where Mike's coming from on that. That you're going to have to figure out some kind of time lines for these payments or whatever.

Tom Shircel:

Those are great points, yes. I'm sure we'll have the proper counsel to help us through that process.

Tom Terwall:

Anything further?

Wayne Koessl:

I have one.

Tom Terwall:

Go ahead, Wayne.

Wayne Koessl:

Through the Chair to Peggy. Does M-5 allow electrical substations?

Peggy Herrick:

Yes, I believe so.

Wayne Koessl:

Okay, I didn't see it in here, but I think the original zoning does allow them.

Peggy Herrick:

It's as a conditional use. So if you look at the existing ordinance that we gave you on page 6 of that existing ordinance under miscellaneous uses utility substations, transmission lines, electric power, gas substations are listed on page 6 and 7 of the existing ordinance.

Wayne Koessl:

Okay, thank you.

Michael Serpe:

Could I ask at the Board's pleasure we could ask Mike Pollocoff to come up. You might have something to add to this.

Tom Terwall:

We need your name and address, sir.

Mike Pollocoff:

My name is Michael Pollocoff, 5300 86th Place. Payment in lieu of taxes you should interpret that literally. That the payments that the Village would seek to secure from any business that was tax exempt their payments would have to equal those property taxes. Those property taxes would be established every year based on the value of the property. So the formula is established at the very beginning that dictates how the value is arrived at on an annual basis by the Village. And then the portion of the taxes to be collected is also established annually just like it is for anybody else.

Now, the only differences are that the Village collects those funds, and in the case where a TIF could be involved, if there's an active TIF District in the area, all those funds would go straight to the Village through the tax increment district for payment of bonds. The Village could negotiate beyond that time period that the PILOT is in perpetuity as long as that business is tax exempt. And that Village that would be received is based on the same formula. Each year interpreting the value of the exempt property and each year providing them with a levy to bounce that against. So it is determined once, but it's not -- I wouldn't recommend the Village enter into any agreement where it sunsets at any time because we can't guarantee sunsets in anything.

I think given the State's posture on shifting property taxes at this point it's more critical that that be determined up front and frozen up front so that the Village's ability to respond to bond payments of the Village's ability to respond to the need to acquire funds for a certain use are fixed, a fixed part of that agreement. And if for some reason they weren't paid then the use would have to disappear.

Jim Bandura:

So, Mike, what the Village would have to do would be to establish a formula where it would increase throughout the years?

Mike Pollocoff:

Right, just like we do for your house or my house. The Village makes the determination of your value each year, and we do that as a regular basis with tax exempt properties all the time whether it's -- we don't always assess them a property tax but say St. Catherine's that's probably the biggest one and most difficult. We have to determine a value based on that not so we can tax it, but their public fire protection charge is based on the value of the property being protected. So every tax exempt property, and the Village already gets evaluated for the value of it. And there's a process to appeal that if they disagree with it.

Michael Serpe:

And this is a process of a negotiation with the facility?

Mike Pollocoff:

With the use. So before the Plan Commission would approve a development agreement, that development agreement would have to have a payment in lieu of taxes PILOT agreement as part of it to make sure those taxes are --

Michael Serpe:

And those amounts can be renegotiated later?

Mike Pollocoff:

No.

Michael Serpe:

They can't be.

Mike Pollocoff:

No. What the payment in lieu of taxes premise is you're going to pay us money in lieu of taxes, it just won't be a property tax. It's going to be a straight payment that you make to the municipality. So if the municipality is not able to collect those taxes then that development cannot proceed.

Jim Bandura:

But it's still based upon yearly possible increases or decreases?

Mike Pollocoff:

Yeah, it's not a fixed fee that goes on in perpetuity.

Michael Serpe:

Okay, that's what I was asking.

Tom Terwall:

Is that fee then tax deductible?

Mike Pollocoff:

That's up to them and their tax attorneys depending on what their structure is.

Jim Bandura:

Dark store.

Mike Pollocoff:

The taxing identity. But for us if it's in an area that could include a TID district those bonds are reliant on taxes to come in to pay that off. And if it's an entity that's of size and consequence the Village being under levy limits nor for eight years, the only dollar we'll get is the dollar we'll see on the first day, and if it's exempt we'll never see a dollar from it. We'll have to take care of it [inaudible] and the burden of that will be shifted to the rest of the property owners. So a PILOT agreement especially in this [inaudible] it's a necessity that everybody at least pay their taxes.

Tom Terwall:

Thanks, Mike. Anything further? If not I'll entertain a motion to adopt the resolution.

Michael Serpe:

Move approval of the Zoning Text Amendment.

Jim Bandura:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA FOR THE PLAN COMMISSION TO ADOPT THE ZONING TEXT AMENDMENT AS PRESENTED. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? Motion carried.

7. ADJOURN.

Jim Bandura:

So moved.

Michael Serpe:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? We stand adjourned.

Meeting Adjourned: 6:20 p.m.

- A. **PUBLIC HEARING AND CONSIDERATION OF A PRELIMINARY PLAT** for the of John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision) for the development of 45 single family lots to be known as River Run at Heritage Valley.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the Preliminary Plat subject to the comments and conditions of the February 26, 2018 Village Staff Report.

February 26, 2018

VILLAGE STAFF REPORT OF ~~AUGUST 28, 2017~~

CONSIDERATION OF A PRELIMINARY PLAT for the of John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision) for the development of 45 single family lots to be known as River Run at Heritage Valley.

The petitioner is requesting approval of a Preliminary Plat to develop two vacant properties south of the Heritage Valley Subdivision generally located south of 89th Place at 106th Avenue in the Village into 45 single family lots to be known as River Run at Heritage Valley.

PREVIOUS APPROVALS: On August 28, 2017, the Village Plan Commission held public hearings and on September 18, 2017 the Village Board conditionally approved the following items related to the proposed single family residential development:

- Comprehensive Plan Amendment related to the Pleasant Farms Neighborhood Plan (Ord. #17-43).
- Conceptual Plan.
- Floodplain Boundary Adjustment (Village Board Resolution #17-34).

As discussed at the aforementioned public hearings, the existing Heritage Valley (Phase 1) Subdivision included 32 single family lots that were originally platted in 1993, with additional phases proposed for a total of 176 single family lots. Since 1993, the additional phases of Heritage Valley Subdivision as originally proposed have not been platted or developed.

A new developer, US Shelter Companies, LLC recently purchased approximately 24 acres of land for the residential development of 45 single family lots to be known as River Run at Heritage Valley. In looking at the bigger picture, the remaining vacant land (approximately 22 acres) originally included in the subsequent phases of Heritage Valley Subdivision that is not owned by the petitioner could also be developed with 49 additional single family lots. Therefore, the master plan for the original Heritage Valley Subdivision boundaries could eventually be developed with about 94 single family lots rather than 140 single family lots as was originally proposed in 1993.

RIVER RUN AT HERITAGE VALLEY PRELIMINARY PLAT. As noted above, the petitioner is proposing to develop approximately 24 acres for 45 single family lots in three (3) phases to be known as River Run at Heritage Valley. Phase 1 includes 13 single family lots, Phase 2 includes 23 single family lots and Phase 3 includes 9 single family lots.

SINGLE FAMILY RESIDENTIAL DEVELOPMENT: About 13.82 acres are proposed to be developed into 45 single-family lots and four (4) Outlots. The single family lots range in size from 12,501 square feet to 17,757 square feet per lot with the average lot size of 13,379 square feet. The lots shall meet the minimum requirements of the R-4.5 Urban Single Family Residential District, which requires each lot to be a minimum of 12,500 square feet with 80 feet of lot width or street frontage (the frontage can be reduced to 45 feet on a curve or cul-de-sac). All lots shall have a minimum lot depth of at least 125 feet. (The 32 lots in the existing Heritage Valley Subdivision have an average lot size of 14,799 sq. ft.).

OUTLOTS: *All of the wetland, floodplain and storm water retention facilities for the development will be located within the Outlots in the development.*

Outlots 1 and 4 are proposed to be dedicated (fee interest transfer) to the Village and will be combined with the adjacent property (Outlot 1 of the Heritage Valley Phase 1, Unit 1

Subdivision that is owned by the Village. These Outlot areas are primarily wetland and 100-year floodplain. The Outlots shall be labeled as "Outlot 1 Dedicated by the Developer to the Village of Pleasant Prairie for Open Space, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes".

Outlot 2 is proposed to be retained by the Developer. This Outlot is not considered a buildable lot since the lot depth of 125 feet is not being met. This Outlot could be subdivided as buildable lots if and when additional land is acquired from the adjacent land owner to meet the minimum lot depth requirements. The Outlot shall be labeled "Outlot 2 to be retained by the Developer for possible future residential development".

Outlot 3 is proposed to be dedicated (fee interest transfer) as common open space to the River Run and Heritage Valley Homeowner's Association, Inc. The Outlot shall be labeled as "Outlot 3 Dedicated by the Developer to the River Run and Heritage Valley Homeowner's Association, Inc for Open Space, Storm Water, Drainage, Retention Basin, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes". The wetland areas shall be separately delineated and identified within the outlots. There shall also be an easement over this same area of Outlot 3 granted to the Village for the same Open Space, Storm Water, Drainage, Retention Basin, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes.

The Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with illustration (which shall be prepared by the Developer) for the site grading and construction of a sanitary sewer lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place (Tax Parcel Number 92-4-122-184-0450). Note: the Kenosha County Interactive Mapping incorrectly references the abutting street as 89th Place.

POPULATION PROJECTIONS FOR RIVER RUN AT HERITAGE VALLEY SUBDIVISION:

Based on the 2010 Census information for the Village of Pleasant Prairie, the average number of persons per household is 2.71. School age children between the ages of 5 and 19 make up 22.6% of the population. Therefore, based on the currently shown 45 lots it is projected that **122 persons** could be added to the population upon full build-out of this development. Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie (.42 x number of dwelling units), **19 public school age children** are likely to come from this development at full build-out. [Note: The Village continues to provide copies of proposed developments to the Kenosha Unified School District to assist in their school enrollment projections, school facility planning efforts and school boundary adjustments.]

FLOODPLAIN BOUNDARY ADJUSTMENT: The Village requires that all lots be created outside of 100-year floodplain. As such, the developer will be adjusting the location of the 100-year floodplain to remove any floodplain from the lots and showing 100-year floodplain within the Outlots. On September 18, 2017 the Village Board approved Resolution #17-34 and the developer has requested that the Federal Emergency Management Agency (FEMA) approve a Conditional Letter of Map Revision (CLOMR) so that the floodplain adjustment can commence.

WETLANDS: The wetlands were re-delineated in 2016 by a Wisconsin Department of Natural Resources (WI DNR) assured wetland delineator with R.A. Smith National, Inc. A number of pocket wetlands now exist on the property. The WI DNR has exempted wetland area 3 from State wetland regulations, since this was a temporary basin constructed by the developer of Heritage Valley in 1993 as indicated in the **attached** letter dated May 17, 2017. The developer has also obtained approval from the WI DNR to fill wetland area 1 (1,824 square feet) and area 2 (553 square feet) pursuant to the **attached** permit dated July 14, 2017. The ACOE will not be taking jurisdiction over these wetland area pursuant to

the **attached** letter dated July 7, 2017. Wetlands 4 and 5 will be protected and located within Outlots.

SITE ACCESS: This development will utilize two (2) existing public access points onto CTH C (Wilmot Road) through 106th Avenue and 104th Avenue for access to the Subdivision. Due to the location of existing development and environmental features no additional access to CTH C (Wilmot Road) is feasible. At the August 28, 2017 Public Hearing, the neighbors expressed concern regarding the existing subdivision access to CTH C and the existing traffic on CTH C. The Plan Commission requested that Village staff meet with the Kenosha County to discuss the traffic on CTH C and any alternatives to help alleviate the existing issues and future traffic concerns when the vacant land develops. On September 6, 2017 the Village staff met with representatives from Kenosha County to discuss the project. Kenosha County and the Village staff required that the developer prepare a limited Traffic Impact Analysis (TIA) that was evaluated by Kenosha County and the Village to determine what, if any, possible solutions could assist in mitigating the perceived traffic problems. A TIA was completed by RA Smith to review the subdivision intersections at CTH C. The overall conclusion of the report and County recommendations are noted below:

"The River Run and future off-site residential developments are expected to increase traffic and side street delay at the study intersections. However, traffic impacts are expected to be minor and all study intersection movements were shown to operate well under capacity with the additional traffic. Therefore, no roadway improvements are recommended with the developments. The addition of turn lanes would not improve the LOS (level of service), and the intersection volumes are well below meeting the warrants for traffic signals."

Kenosha County staff reviewed the TIA and concurs with the conclusions and is not requiring any improvements at this time. The Village had an independent consultant, TADI (Traffic Analysis and Design, Inc.) review the TIA report. TADI also concurred with the TIA analysis and conclusions.

The Village met with the Kenosha County Highway Commissioner to discuss the TIA and resident traffic concerns. Upon discussion, the County is aware of the traffic concerns and will continue to monitor the traffic conditions as traffic continues to grow in the future. The County agreed to work with the Village in planning and developing overall area traffic improvements as warranted within the CTH C corridor.

CONSTRUCTION ACCESS: Determining construction access to the River Run development has been challenging. The Developer has made several attempts to acquire a temporary gravel access driveway from adjacent farmer landowner to the east and the landowner to the west (Mehta) without success. One final possible access location was determined to be at the southwestern corner of the site through the Bethany Church property but existing and future floodplain would restrict the access. As such, the Village Engineers and Public Work's Director recommended that the Village 106th Avenue existing public roadway be used as construction access to the site. There would be limitations placed on the developer to limit time of construction, reduce speeds and to take great care to keep the roadway free of debris, mud and stone. If any damages occur to the existing roadway, it will be the developer's responsibility to repair all damages, at the Developer's costs, upon inspection by the Village and to the Village's satisfaction. Prior to work commencing the roadway will be photographed, videoed and inspected by the Village.

PUBLIC IMPROVEMENTS: All public improvements shall be made by the Developer at the Developer's expense. The entire development shall be provided with and serviced by municipal roadways, sanitary sewer, water and storm sewer. A number of new streets are proposed to be developed with full public improvements (sewer, water, storm sewer, sidewalks, roadways, and street trees) including the extension south of 105th and 106th Avenues, 107th Avenue, 90th Street and 91st Place. Specifically, the improvements include:

- **Municipal roadways** shall be extended throughout the development pursuant to the Village's new development standard (e.g. roadway pavement will be reduced from 37' to 33' b/c to b/c) for all roadways. Also public sidewalks shall be extended on both sides of each public street. Alternate side parking regulations will be in effect for the development. All streets except 90th Street that will be further extended with another phase or another development shall end in a temporary asphalt paved cul-de-sac. The locations shall be shown on the engineering plans. Off-site easements may be required at the temporary terminus of any streets. The 90th Street roadway and utility improvements to the property limits will be required. A sign shall be placed which indicated that the roadway will be extended in the future. Temporary Type 3 roadway barricades shall be installed at the Developer's expense.
- **Municipal water** shall be extended throughout the development and shall connect to the existing municipal water in within the existing Heritage Valley Subdivision.
- **Municipal sanitary sewer and lift station** shall be extended from the existing sewer within Heritage Valley Subdivision. In addition, a lift station and brick constructed housing unit is required for the development of Phases 2 and 3 of the River Run development and future development to the west. The lift station is proposed to be located on Village property and shall not be constructed within any 100-year floodplain or wetlands. The developer is responsible to have these delineations competed. In addition, the developer is responsible for designing and installing the sanitary sewer lift station. Upon the Village inspection and acceptance of the lift station, the Village will maintain the lift station. The Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with illustration (which shall be prepared by the Developer) for the site grading and construction of a sanitary sewer lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place (Tax Parcel Number 92-4-122-184-0450). Note: the Kenosha County Interactive Mapping incorrectly references the abutting street as 89th Place.

PEDESTRIAN PATH CONNECTION: At the August 28, 2017 Public Hearing, discussion was held related to a pedestrian connection to the existing Village Prairie Farms bike path. On September 6, 2017, the Village staff met with representatives from Kenosha County and it was discussed that a paved multi-use path is planned to be installed along the south side of CTH C that will connect to the existing paths at 114th Avenue to the west and Prairie Farms Trail to the east (see **attached**). This path is being installed by Kenosha County in the summer of 2018 or 2019.

ZONING MAP AMENDMENT: The single family lots are intended to be rezoned into the R-4.5, Urban Single Family Residential District, the wetlands to remain will be rezoned into the C-1, Lowland Resource Conservancy District, the non-wetland areas in the Outlots will be rezoned into the PR-1, Neighborhood Park and Recreational District and the 100-year floodplain, after the amendment, will be located within the FPO, Floodplain Overlay District.

The Zoning Map Amendment application shall be submitted and considered at the time that the Final Plat is considered. A separate Zoning Map Amendment will be required when the floodplain boundary adjustment grading work has been completed and final approval has been obtained from FEMA. In addition, each time that the Zoning Map is requested to be amended, an amendment to the Village Comprehensive Land Use Map 9.9 will also be required to ensure that the Zoning Map and the land use plan are consistent.

The Village staff recommends conditional approval of the Preliminary Plat subject to the above comments and the following conditions:

1. The following changes shall be incorporated on the Final Plat(s):
 - a. The legal description of the wetland areas to remain shall be included on the Final Plat.
 - b. All outlots shall be labeled as noted in the above comments.
 - c. The exact location and size of utility easements shall be verified with We Energies and included on the Final Plat. All utility easements shall be labeled as "Dedicated Utility Easements". The Homeowners are collectively responsible for the ongoing maintenance and facility usage charges as imposed by We Energies. Pursuant to current Village procedures, the Village will coordinate billing for these charges to the Association/homeowners.
 - d. Detailed Dedication and Easement Provisions and Restrictive Covenants as drafted by the Village shall be reviewed by the developer related to easements, dedications and obligations and restrictive covenants for the lots and included on the Plat.
 - e. Note on the plat that the Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with illustration (which shall be prepared by the Developer) for the site grading and construction of a sanitary sewer lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place (Tax Parcel Number 92-4-122-184-0450). Note: the Kenosha County Interactive Mapping incorrectly references the abutting street as 89th Place.
2. The following comments/changes relate to the engineering plans:
 - a. All easements shown and dedicated on the Final Plat shall be shown and labeled the same on the Engineering Plans.
 - b. Subject to compliance with the **attached** comments in the February 9, 2018 staff memorandum from the Village Engineer.
 - c. Eliminate backyard swales and install pipe.
 - d. The list station pump, vault, generator, SCADA controls shall be located within a building with architecture matching/compatible with the single family homes.
3. See the **attached** comments related to the Declaration of Restrictions, Covenants and Easements and By-Laws.
4. Subject to compliance with the **attached** comments in the February 9, 2018 staff memorandum from the Village Building Inspection Department
5. The following changes shall be made to the Landscape Plans:
 - a. The Landscaping Plan shall utilize the grading plan as its base map and shall show the location of all easements pursuant to the Plat.
 - b. Areas outside of wetland and 100-year floodplain within Outlot 3 shall be landscaped.
6. The Preliminary Plat shall only be valid for two (2) years from the Village Board's conditional approval, during which all conditions must be satisfied and the Final Plat

shall be submitted. If the property is not final platted within the two (2) years of the Village Board's approval, the Village shall require that the plat be resubmitted for a new Preliminary Plat approval along with the appropriate filing fees.

7. **Upon approval of the Preliminary Plat** the following paper documents and electronic copy (pdf) of the following documents shall be submitted to the Village for staff review prior to the Village accepting the Final Plat application and related documents and application fee.
 - a. Two (2) draft copies of the Final Plat.
 - b. A revised draft of the Declarations of Restrictions, Covenants and Easements and By-laws. These documents shall be in final form prior to consideration of the Final Plat by the Plan Commission.
 - c. Two (2) revised copies of the Public Street Lighting Plan, including a copy of the We Energies electrical distribution system plan and contract.
 - d. Two (2) revised draft copies of the Landscaping Plan.
 - e. Two (2) revised copies of the Engineering Plans, Profiles and Specifications.
8. Upon Village staff review of the draft Final Plat and other documents as specified above, the Final Plat application, application fee and related documents shall be submitted to the Village so that the required hearing can be scheduled. The required Zoning Map Amendment and Comprehensive Plan Amendment application and application fees shall also be submitted. In addition, a colored rendering shall be submitted to the Village of the Final Plat and Landscaping Plan. The colored renderings shall clearly show the wetlands to be preserved, the location of retention basins and the location of the 100-year floodplain (after the amendment is completed).
9. Upon Village approval of the Engineering Plans, Profiles and Specifications, the Developer shall submit two (2) copies of the final Village approved plans and specifications so that the Village can request approval from the Kenosha Water Utility (KWU).
10. Upon written utility plan approval from the KWU, the Developer shall obtain written approval from the WI DNR.
11. Upon Village approval of the Final Engineering Plans and Specifications, Landscaping Plan and Street Lighting Plan the following **shall be submitted to the Village (paper copies and pdf copy)** for staff final review so that the Development Agreement can be prepared by the Village:
 - a. A copy of the required wetland fills, N.O.I.
 - b. A copy of the FEMA's CLOMR shall be submitted prior to any grading related to the floodplain boundary adjustment (this may occur with the Phase 2.)
 - c. A copy of the Public sanitary sewer and water approval letters from the KWU, WI DNR, and SEWRPC.
 - d. The required lift station plans and designs shall be approved prior to consideration of the Final Plat for phases 2 or 3.
 - e. LLC Ownership verification documents.
 - f. A copy of the signed contracts, certificates of insurance, and performance and payment bonds. The contracts shall have the Developer's name as shown on

the title of the property. The certificates of insurance shall also list the Village of Pleasant Prairie as an insured party.

- g. A Policy of Title Commitment equal to the cost of public improvements. The title policy shall indicate that the right-of-way is being dedicated free and clear of any encumbrance liens or judgments.
 - h. Copies of the signed public street tree/landscaping contract, Street Tree/Landscaping Plan and certificate of insurance.
 - i. A copy of the signed We Energies contract and Street Lighting Plan.
 - j. The Erosion Control Permit application, plans and application fee.
 - k. The Work in the Right-of-Way application, plans and application fee.
 - l. The Street Sweeping Cash Deposit.
 - m. Three (3) full size paper copies of the Final Engineering Plans, Profiles and Specifications.
 - n. Three (3) full size paper copies of the Landscaping Plan.
 - o. Three (3) full size paper copies of the Street Lighting Plan, including a copy of the We Energies electrical distribution system plan.
 - p. A "draft" LOC shall be provided to the Village for staff review. (See comment below related to the LOC.)
12. Upon staff review and approval of all of the requirements listed above, the Final Plat application, application materials and application fee shall be submitted for Village to schedule the required public hearing before the Village Plan Commission.
13. At least two weeks prior to Village Board consideration of the Final Plat, Development Agreement and related documents the following paper and pdf copies shall be finalized and submitted:
- a. The Original Final Plat, 5 full-size copies and the State DOA approval letter. The plat shall be provided in a digital format –See comment below for format.
 - b. Final Memorandum of Development Agreement (to be drafted by the Village and reviewed by the Developer).
 - c. Final Development Agreement (to be drafted by the Village and reviewed by the Developer).
 - d. Recorded Articles of Incorporation for the Community's Association.
 - e. Final Declaration of Restrictions, Covenants and Easements.
 - f. Final Community's Association By-Laws.
 - g. Title Report Commitment, updated the day before closing and again within 7 days after closing and recording of the documents.
 - h. Verification of taxes and outstanding special assessments being paid. Any outstanding taxes, special assessments or invoices shall be paid prior to recording the Final Plat and Memorandum of Development Agreement.
14. A one year minimum Irrevocable Letter of Credit (LOC) to the Village, in the amount of 115% of the total cost of public related improvements, including street trees, street lights, street signs, field staking, inspections and construction related services (including sanitary sewer, and storm sewer cleaning and televising), shall be

submitted to the Village. The Itemized Cost Breakdown Exhibit will be prepared by the Village staff to determine the amount of the Letter of Credit and the cash payments. *IMPORTANT: A draft Letter of Credit equal to the cost breakdown analysis (need to verify proper format and dollar amount of Letter of Credit prior submitting the Original Letter of Credit.* The Cash payments and the "Final" LOC shall be provided prior to the Village at the closing.

15. If any of the houses are proposed to be used as a model or marketing office, a Conditional Use Permit application will be required to be submitted for consideration by the Plan Commission.
16. The Final Engineering Plans and Final Plat shall be submitted to the Village in electronic format which satisfies the following acceptance criteria specified in Chapter 405 of the Village Municipal Code.
17. Upon Village Board approval of the Final Plat and within seven (7) days of said approval the Village will host a closing to have the Plat(s) and all of the Development Agreement documents signed. The Developer shall be responsible for recording all required documents at the Kenosha County Register of Deeds Office and provide proof of recording to the Village within 72 hours of closing with the Village.
18. Following the closing, the Developer's engineer shall conduct a pre-construction meeting **(coordinate date and time with Jean Werbie-Harris when all of the required Final Plat documents and Development Agreement is complete)**. The Design Engineer of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting. At a minimum the GC and Utility Contractors shall attend the pre-construction meeting. The Design Engineer of Record shall prepare and distribute the following items to all attendees (owners, engineer, contractors, utilities, and Village staff) at the pre-construction meeting:
 - a. Pre-construction agenda (A sample agenda, if needed, will be provided by the Village to Design Engineer to modify for the meeting)
 - b. Project construction schedule
 - c. List of all contractors
 - d. Emergency contact information for all – project superintendent, owner, architect, contractors etc.The Design Engineer/Architect of Record shall email and distribute the minutes to all attendees within 7 days of the pre-construction meeting.
19. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
20. All Village fees incurred by the Village Community Development Department and Village Engineers and/or expert assistant required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
21. Impact fees are due at the time building permits are issued. Currently, these fees are \$1,490 per housing unit.
22. All public and private improvements shall be completed, inspected, and Village approved including having sanitary sewer and storm sewer televised, water sampled with safe samples, roadways completed, electric and gas utilities installed, signage

installed and as-built utility and grading plans submitted prior to the issuance of any building permits in accordance with the Development Agreement on file with the Village.

**VILLAGE BOARD RESOLUTION #17-34
VILLAGE OF PLEASANT PRAIRIE
RESOLUTION AND COMMUNITY CONCURRENCE
TO AMEND THE 100-YEAR FLOODPLAIN BOUNDARY**

WHEREAS, Gary Raasch, P.E., with R.A. Smith National, Inc. on behalf of US Shelter Homes LLC, owner of the properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision has requested approval of a Floodplain Boundary Adjustment related to the proposed River Run at Heritage Valley Subdivision; and

WHEREAS, the Floodplain Boundary Adjustment proposes to fill 3,694 cubic feet of 100-year floodplain and create 4,823 cubic feet of 100-year floodplain as shown on the Flood Insurance Rate Map (FIRM) and Flood Insurance Study (FIS) for the Village of Pleasant Prairie (Effective Date of June 19, 2012) for a part of U.S. Public Land Survey Section 18, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Numbers 92-4-122-181-0275 and 92-4-122-181-0541 as shown on ***Exhibit 1***; and.

WHEREAS, the floodplain boundary adjustment shall be consistent with Section 420-131 of the Village Zoning Ordinance or in conflict with the applicable rules of the WI DNR and FEMA; and

WHEREAS, amendments to the floodplain boundaries shall not be permitted where the change will increase the regional flood stage elevation unless the applicant has made appropriate legal arrangements with the Village, any other affected governmental units, and any other property owners affected by the flood stage increase; and

WHEREAS, the floodplain amendment shall provide adjusted water surface profiles and adjusted floodplain limits to reflect the increased flood elevation; and

WHEREAS, any area removed from the floodplain shall be contiguous to land lying outside the floodplain; and

WHEREAS, whenever any volume of flood storage capacity is removed from the floodplain, as defined by the ground surface and the regional flood elevation, an equal volume of flood storage capacity shall be created within the existing or newly created floodplain boundary, in the vicinity of the removal, to compensate for the lost flood storage capacity. Excavation below the ordinary high-water mark shall not be considered as providing any equal volume of storage capacity for compensation purposes. Any such area of compensating flood storage capacity shall drain freely to the receiving stream; and

WHEREAS, removal of land from the floodplain shall not be permitted unless the land has been filled to an elevation at least two (2) feet above the elevation of the floodplain; and

WHEREAS, a public hearing was held by the Village Plan Commission of the Village of Pleasant Prairie, Kenosha County, Wisconsin, at the Village Municipal Building, 9915 39th Avenue on the 28th day of August 2017, at 6:00 P.M. of said day, for the purpose of determining the application of the floodplain boundary map amendment; and

WHEREAS, the Pleasant Prairie Village Board has been provided with sufficient evidence that the petition for a floodplain boundary map adjustment and amendment is consistent with the requirements of the Village Zoning Ordinance.

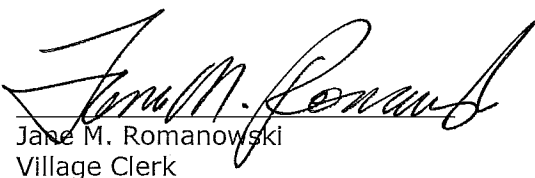
NOW, THEREFORE, the Village Board does hereby resolve to amend the 100-year recurrence interval floodplain boundary as delineated and shown on the Flood Insurance Rate Map (FIRM) and Flood Insurance Study (FIS) for the Village of Pleasant Prairie (Effective Date of June 19, 2012) for a part of U.S. Public Land Survey Section 18, Township

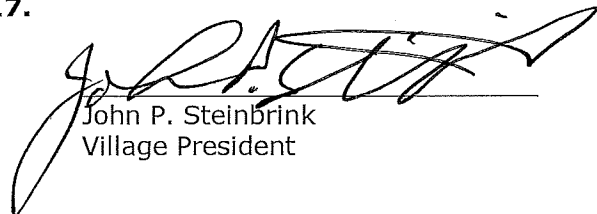
1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, subject to compliance with the terms and conditions hereinafter stated:

1. All required permits from the WI DNR and the required Conditional Letter of Map Revision (CLOMR) shall be obtained and provided to the Village prior to the Village issuance of the required Erosion Control Permit to commence work on site.
2. Upon completion of the floodplain boundary adjustment an as-built survey and calculations shall be submitted to verify the compliance with design plans. The as-built survey and calculations shall be reviewed by the Village and the WI DNR prior to being submitted to FEMA for review. Upon review of the documents by the Village, the petitioner shall submit and receive a final LOMR-F from FEMA.
3. Upon completion of the work, an as-built grading plan and supporting documentation certified and stamped by a Wisconsin registered and licensed professional engineer shall be submitted to the Village to verify compliance with design plans. The as-built grading plan and calculations shall be reviewed by the Village prior to being submitted to FEMA for review and obtaining the required LOMR-F. A paper and pdf copy is required to be submitted.
4. Once a LOMR-F is issued and the final as-built grading plans and supporting documentation is approved by the WI DNR and the Village, the petitioner shall submit an application to amend the Village Comprehensive Land Use Map and the Village Zoning Map and Text. A Certificate of Compliance shall not be issued by the Village until the Comprehensive Land Use Plan Amendment, the Zoning Text Amendment and Zoning Map Amendment are approved by the Village.

RESOLUTION by action of the Village Board of the Village of Pleasant Prairie adopted this 18th day of September 2017.

Attest:


Jane M. Romanowski
Village Clerk


John P. Steinbrink
Village President

DEV1707-014



FLOODPLAIN BOUNDARY ADJUSTMENT APPLICATION

Proposed Project: River Run at Heritage Valley Subdivision

Check all that apply:

- ☒ Amend the Flood Fringe Area
☐ Amend the Floodway

Property Location: 104th - 106th Avenues

Tax Parcel Number(s): 92-4-122-181-0541 (Parcel A) and 92-4-122-181-0275 (Parcel B)

Legal Description: Legals descriptions of both parcels provided on the attached deed.

Abutting navigable waterway: Des Plaines River and Pleasant Prairie Tributary

Reason and Purpose of Project: Residential Subdivision

PROJECT SPECIFICATIONS

Total Volume to be removed from the Floodplain: 3,694 cu. ft.

Total Volume to be created (added) to the Floodplain: 4,823 cu. ft.

Type of fill to be used: silty clay

Project Time Frame (Start Date): 3/2018 (Completion Date): 8/2018

At a minimum the following shall be included with the application:

- ☒ Detailed Engineering Plans for the proposed work, as designed and certified by a Wisconsin Licensed Professional Engineer drawn to scale not less than 1" = 20'. Three (3) full size plans and a pdf copy shall be submitted. The plans shall include at a minimum:
 - o detailed grading and drainage plan
 - o site boundaries with dimensions and legal description
 - o existing and proposed structures
 - o existing and proposed easements, streets and other public ways and utilities
 - o the location of structures and use of abutting properties including their location
 - o off street parking, loading areas, and driveways
 - o existing highway access restrictions
 - o the location of any wetland boundaries
 - o the Ordinary High Water Mark (OHWM), as determined by the WI DNR, with a note on the plan that states: OHWM as determined by the WI DNR on _____, 20____
 - o the location of any 100-year floodplain (floodway and floodfringe)
 - o the location of the 100-year floodplain to be removed
 - o the location of the 100-year floodplain to be created
 - o existing and proposed street, side, rear and shoreland setbacks
 - o any natural features such as woods, terrain, etc., which would tend to restrict the development of the parcel
 - o the location and size of any septic field, holding tank and/or well;
 - o other pertinent information as required by the Village
- ☒ Application Fee and Pre-Development Agreement.

RECEIVED

JUL 27 2017

PLEASANT PRAIRIE

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

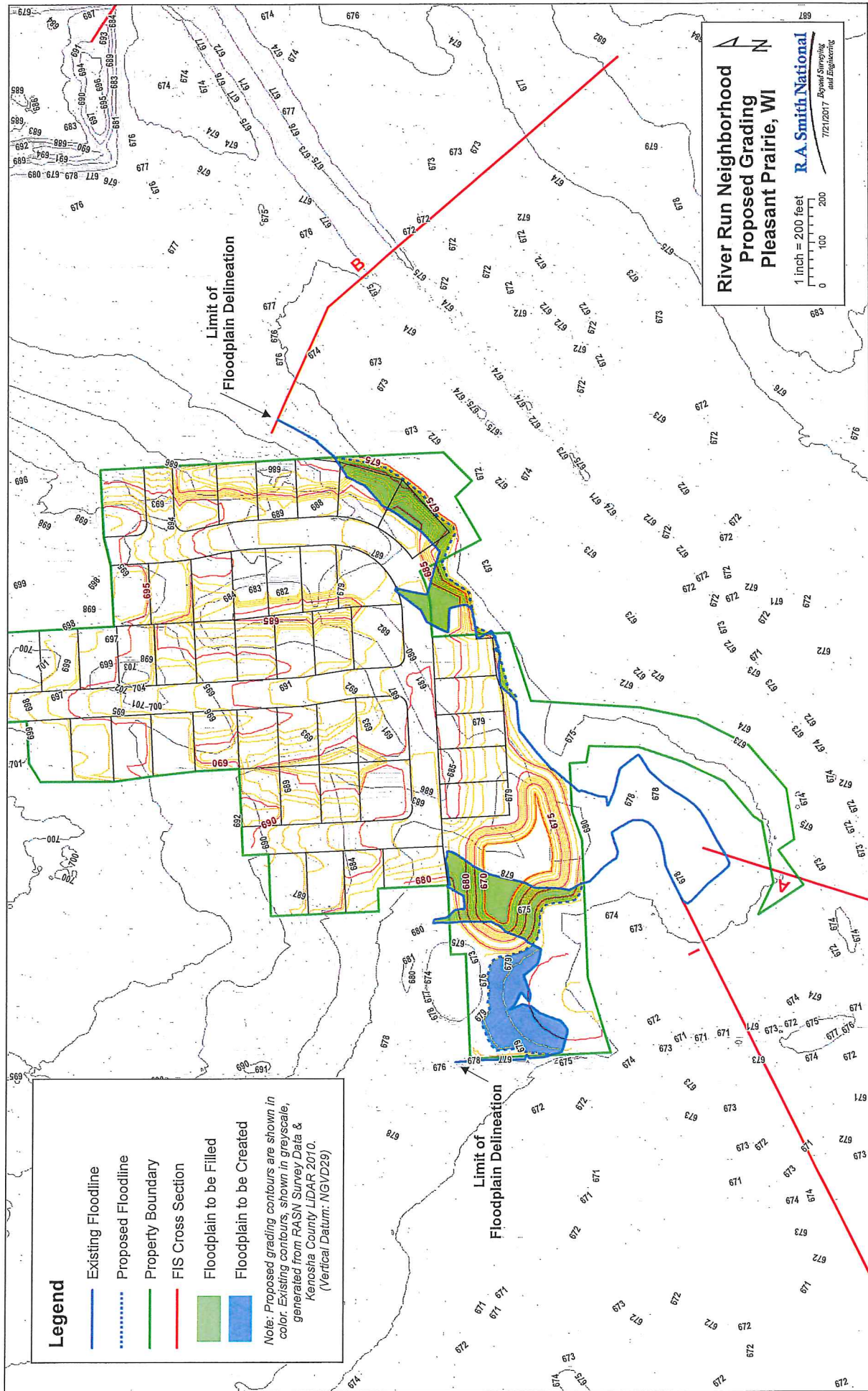
Print Name: US Shelter Homes LLC / John Sorenson
Signature: [Signature]
Address: 31632 N. Ellis Rd, Ste 213
Volo IL 60073
(City) (State) (Zip)
Phone: 847-742-8000
Fax: 847-743-8204
Email: John@usshelter.com
Date: 7/24/17

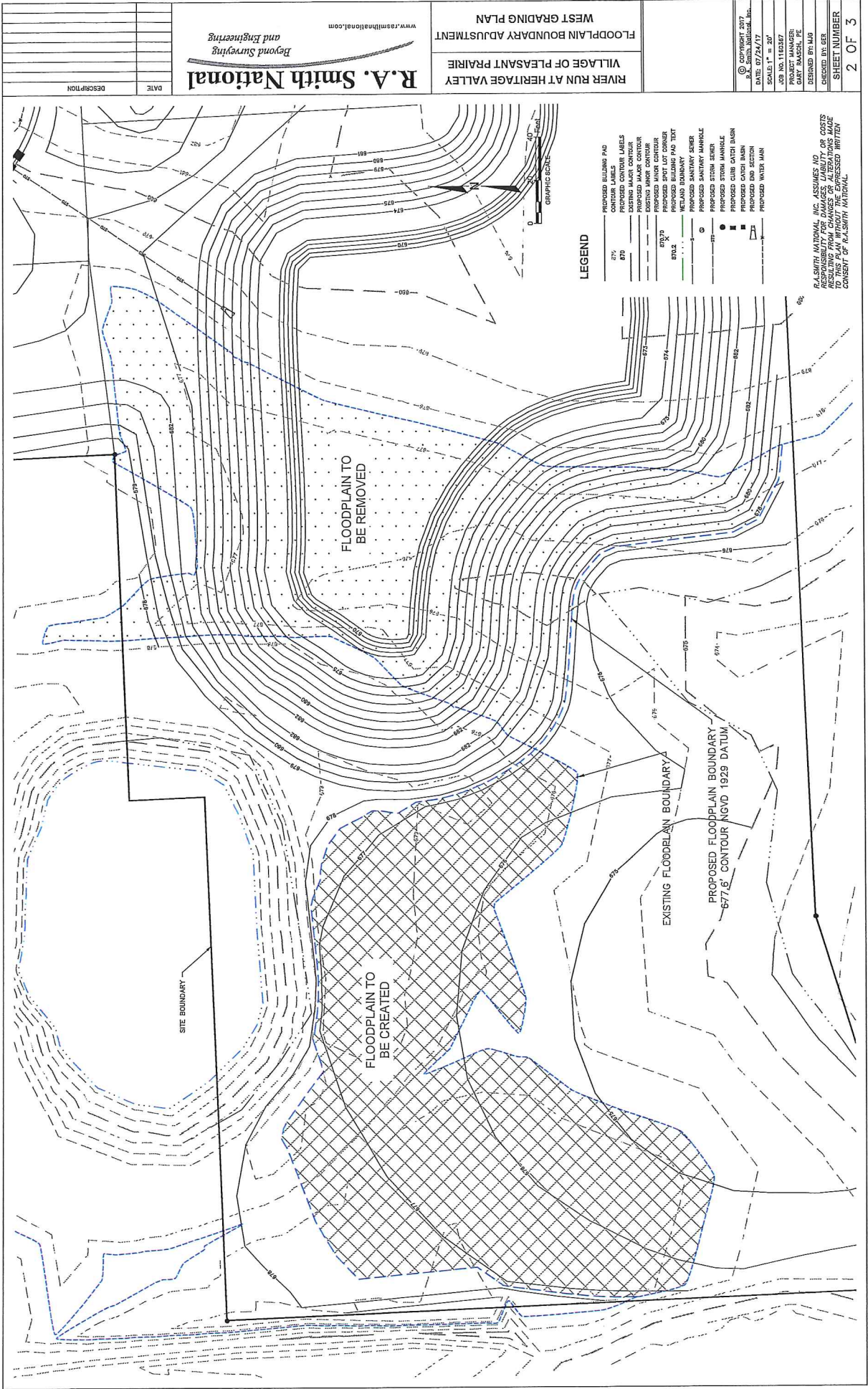
APPLICANT/AGENT:

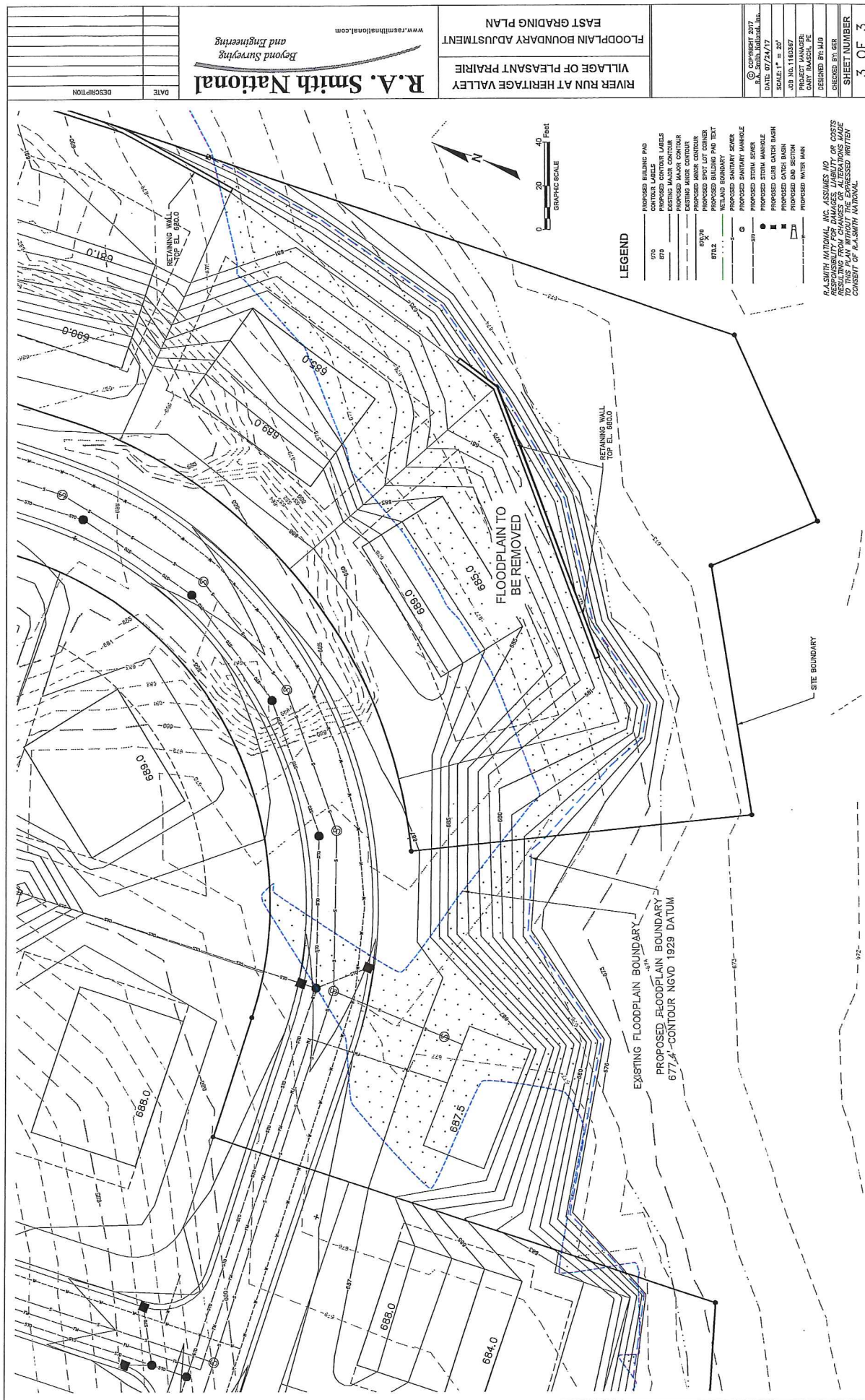
Print Name: R. A. Smith National, Inc. / Gary E. Raasch
Signature: [Signature]
Address: 16745 W. Bluemound Road
Brookfield WI 53005
(City) (State) (Zip)
Phone: 262-317-3369
Fax: 262-781-8466
Email: gary.raasch@rasmithnational.com
Date: _____

LICENSED WISCONSIN PROFESSIONAL ENGINEER:

Firm Name: R.A. Smith National, Inc.
Print Name: Gary E. Raasch, P.E., CFM
Signature: [Signature]
Address: 16745 W. Bluemound Road
Brookfield WI 53005
(City) (State) (Zip)
Phone: 262-317-3369
Fax: 262-781-8466
Email: gary.raasch@rasmithnational.com









July 14, 2017

GP-SE-2017-30-02203

U.S. Shelter Homes L.C.C.
c/o John Sorenson
31632 N. Ellis Drive, Unit 213
Volo, IL 60073

RE: Coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, located in the Village of Pleasant Prairie, Kenosha County, also described as being in the SE1/4 of the NE1/4 of Section 18, Township 1 North, Range 22 East.

Dear Mr. Sorenson:

Thank you for submitting an application for coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, s. 281.36, Wis. Stats.

You have certified that your project meets the eligibility criteria and conditions for this activity. Based upon your signed certification you may proceed with your project to fill 0.05 acres of wetlands. Please take this time to re-read the permit eligibility standards and conditions. The eligibility standards can be found on your application checklist or in the statewide general permit WDNR-GP1-2012 (found at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html>). The permit conditions are attached to this letter. You are responsible for meeting all general permit eligibility standards and permit conditions. This includes notifying the Department before starting the project, and submitting photographs within one week of project completion. Please note your coverage is valid for 5 years from the date of the department's determination or until the activity is completed, whichever occurs first. This permit coverage constitutes the state of Wisconsin's wetland water quality certification under USCS s. 1341 (Clean Water Act s. 401).

The Department conducts routine and annual compliance monitoring inspections. Our staff may follow up and inspect your project to verify compliance with state statutes and codes. If you need to modify your project please contact your local Water Management Specialist, Elaine Johnson at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov to discuss your proposed modifications.

The Department of Natural Resources appreciates your willingness to comply with wetland regulations, which help to protect the water quality, fish and wildlife habitat, natural scenic beauty and recreational value of Wisconsin's wetland resources for future generations. Please be sure to obtain any other local, state or federal permits that are required before starting your project.

For project details, maps, and plans related to this decision, please see application number WP-GP-SE-2017-30-X06-28T13-35-49 on the Department's permit tracking website at <https://permits.dnr.wi.gov/water/SitePages/Permit%20Search.aspx>.

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

If you have any questions, please call me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov.

Sincerely,



Elaine Johnson
Water Management Specialist

cc: Gary Raasch, R. A. Smith National, Inc.
Rachel Nuetzel, U.S. Army Corps of Engineers
Village of Pleasant Prairie

WDNR-GP1-2012 Permit Conditions – Residential/Commercial/Industrial

You agree to comply with the following conditions:

1. **Application.** You shall submit a complete application package to the Department as outlined in the application materials and section 2 of this permit. If requested, you shall furnish the Department, within a reasonable timeframe, any information the department needs to verify compliance with the terms and conditions of this permit.
2. **Certification.** Acceptance of general permit WDNR-GP1-2012 and efforts to begin work on the activities authorized by this general permit signifies that you have certified the project meets all eligibility standards outlined in Section 1 of this permit and that you have read, understood and have agreed to follow all terms and conditions of this general permit.
3. **Reliance on Applicant's Data.** The determination by this office that a confirmation of authorization is not contrary to wetland water quality standards will be based upon the information provided by the applicant and any other information required by the DNR.
4. **Project Plans.** This permit does not authorize any work other than what is specifically described in the notification package and plans submitted to the Department and you certified is in compliance with the terms and conditions of WDNR-GP1-2012
5. **Expiration.** This WDNR-GP1-2012 expires on October 9, 2017. The time limit for completing work authorized by the provisions of WDNR-GP1-2012 ends 5 years after the date on which the discharge is considered to be authorized under WDNR-GP1-2012 or until the discharge is completed, whichever occurs first.
6. **Other Permit Requirements.** You are responsible for obtaining any other permit or approval that may be required for your project by local zoning ordinances, other local authority, other state permits and by the U.S. Army Corps of Engineers before starting your project.
7. **Authorization Distribution.** You must supply a copy of the permit coverage authorization to every contractor working on the project.
8. **Project Start.** You shall notify the Department before starting construction.
9. **Permit Posting.** You must post a copy of this permit coverage letter at a conspicuous location on the project site prior to the execution of the permitted activity, and remaining at least five days after stabilization of the area of permitted activity. You must also have a copy of the permit coverage letter and approved plan available at the project site at all times until the project is complete.
10. **Permit Compliance.** The department may modify or revoke coverage of this permit if the project is not constructed in compliance with the terms and conditions of this permit, or if the Department determines the project will be detrimental to wetland water quality standards. Any act of noncompliance with this permit constitutes a permit violation and is grounds for enforcement action. Additionally, if any applicable conditions of this permit are

found to be invalid or unenforceable, authorization for all activities to which that condition applies is denied.

11. **Construction Timing.** Once wetland work commences, all wetland construction activities must be continuous until the permitted activity is completed and the site is stabilized.
12. **Construction.** No other portion of the wetland may be disturbed beyond the area designated in the submitted plans.
13. **Project Completion.** Within one week of completion of the regulated activity, you shall submit to the Department a statement certifying the project is in compliance with all the terms and conditions of this permit, and photographs of the activities authorized by this permit. This statement must reference the Department-issued docket number, and be submitted to the Department staff member that authorized coverage.
14. **Proper Maintenance.** You must maintain the activity authorized by WDNR-GP1-2012 in good condition and in conformance with the terms and conditions of this permit utilizing best management practices. Any structure or fill authorized shall be properly maintained to ensure no additional impacts to the remaining wetlands.
15. **Site Access.** Upon reasonable notice, you shall allow access to the site to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance with the terms and conditions of WDNR-GP1-2012 and applicable laws.
16. **Erosion and siltation controls.** The project site shall implement erosion and sediment control measures that adequately control or prevent erosion, and prevent damage to wetlands as outlined in NR 151.11(6m), Wis. Adm. Code.
17. **Equipment use.** The equipment used in the wetlands must be low ground weight equipment as specified by the manufacturer specifications.
18. **Invasive Species.** All project equipment shall be decontaminated for removal of invasive species prior to and after each use on the project site by utilizing other best management practices to avoid the spread of invasive species as outlined in NR 40, Wis. Adm. Code. For more information, refer to <http://dnr.wi.gov/topic/Invasives/bmp.html>.
19. **Federal and State Threatened and Endangered Species.** WDNR-GP1-2012 does not affect the DNR's responsibility to insure that all authorizations comply with Section 7 of the Federal Endangered Species Act, s. 29.604, Wis. Stats and applicable State Laws. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. No activity is authorized which is likely to jeopardize the continued existence of a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act and/or State law or which is likely to destroy or adversely modify the critical habitat of a species as identified under the Federal Endangered Species Act.
20. **Special Concern Species.** If the Wisconsin National Heritage Inventory lists a known special concern species to be present in the project area you will take reasonable action to prevent significant adverse impacts or to enhance the habitat for the species of concern.

21. **Historic Properties and Cultural Resources.** WDNR-GP1-2012 does not affect the DNR's responsibility to insure that all authorizations comply with Section 106 of the National Historic Preservation Act and s. 44.40, Wis. Stats. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. Information on the location and existence of historic resources can be obtained from the State Historic Preservation Office and the National Register of Historic Places. If cultural, archaeological, or historical resources are unearthed during activities authorized by this permit, work must be stopped immediately and the State Historic Preservation Officer must be contacted for further instruction.
22. **Preventive Measures.** Measures must be adopted to prevent potential pollutants from entering a wetland or waterbody. Construction materials and debris, including fuels, oil, and other liquid substances, will not be stored in the construction area in a manner that would allow them to enter a wetland or waterbody as a result of spillage, natural runoff, or flooding. If a spill of any potential pollutant should occur, it is the responsibility of the permittee to remove such material, to minimize any contamination resulting from this spill, and to immediately notify the State Duty Officer at **1-800-943-0003**.
23. **Suitable fill material.** All fill authorized under this permit must consist of clean suitable soil material, as defined by s. NR 500.03(214), Wis. Admin. Code, free from hazardous substances as defined by s. 289.01(11), Wis. Stats., and free from solid waste as defined by s. 289.01(11) and (33), Wis. Stats.
24. **Standard for Coverage.** Wetland impacts from the project will cause only minimal adverse environmental impacts as determined by the Department.
25. **Transfers.** Coverage under this permit is transferable to any person upon prior written approval of the transfer by the Department.
26. **Limits of State Liability.** In authorizing work, the State Government does not assume any liability, including for the following:
- Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the State in the public interest.
 - Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - Design or construction deficiencies associated with the permitted work.
 - Damage claims associated with any future modification, suspension, or revocation of this WDNR-GP1-2012.
27. **Reevaluation of Decision.** The Department may suspend, modify or revoke authorization of any previously authorized activity and may take enforcement action if any of the following occur:
- The applicant fails to comply with the terms and conditions of WDNR-GP1-2012.
 - The information provided by the applicant in support of the permit application proves to have been false, incomplete, or inaccurate.
 - Significant new information surfaces which this office did not consider in reaching the original public interest decision.



DEPARTMENT OF THE ARMY
ST. PAUL DISTRICT, CORPS OF ENGINEERS
180 FIFTH STREET EAST, SUITE 700
ST. PAUL, MN 55101-1678

REPLY TO ATTENTION OF
REGULATORY BRANCH

JUL 07 2017

Regulatory File No. MVP-2017-01066-RAN

U.S. Shelter Homes, LLC
c/o John Sorenson
31632 North Ellis Drive, Unit 123
Volo, Illinois 60073

Dear Mr. Sorenson:

This letter is in response to your request for an approved jurisdictional determination (AJD) for a stormwater detention basin (Wetland 3) within an approximately 0.3-acre project area in the Village of Pleasant Prairie located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 18, Township 1 North, Range 22 East, Kenosha County, Wisconsin. The review area for our jurisdictional determination is identified on the enclosed figure labeled MVP-2017-01066-RAN Page 1 of 1.

We have completed an AJD for the stormwater detention basin (Wetland 3) as shown on the enclosed figure. The stormwater detention basin was constructed in uplands and is not subject to Corps of Engineers jurisdiction. Therefore, you are not required to obtain Department of the Army authorization to discharge dredged or fill material within this area. The rationale for this determination is provided in the attached Approved Jurisdictional Determination form.

If you object to this AJD, you may request an administrative appeal under Corps regulations at 33 CFR 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination, you must submit a completed RFA form to the Mississippi Valley Division Office at the address shown on the form.

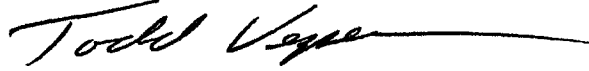
In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR 331.5, and that it has been received by the Division Office within 60 days of the date of the attached NAP. It is not necessary to submit an RFA form to the division office if you do not object to the determination in this letter.

This AJD may be relied upon for five years from the date of this letter. However, the Corps reserves the right to review and revise the determination in response to changing site conditions, information that was not considered during our initial review, or off-site activities that could indirectly alter the extent of wetlands and other resources on-site. This determination may be renewed at the end of the five year period provided you submit a written request and our staff are able to verify that the limits established during the original determination are still accurate.

Regulatory Branch (File No. MVP-2017-01066-RAN)

If you have any questions, please contact Rachel Nuetzel in our Brookfield office at (651) 290-5729 or Rachel.A.Nuetzel@usace.army.mil. In any correspondence or inquiries, please refer to the Regulatory file number shown above.

Sincerely,

A handwritten signature in black ink, appearing to read "Todd Vesperman", with a long horizontal flourish extending to the right.

Todd Vesperman
Chief, Southeast Section

Enclosures

Electronic copy furnished:
Elaine Johnson – WDNR
Gary Raasch – R.A. Smith National



APPROVED JURISDICTIONAL DETERMINATION FORM
U.S. Army Corps of Engineers

This form should be completed by following the instructions provided in Section IV of the JD Form Instructional Guidebook.

SECTION I: BACKGROUND INFORMATION

A. REPORT COMPLETION DATE FOR APPROVED JURISDICTIONAL DETERMINATION (JD): JUL 07 2017

B. ST PAUL, MN DISTRICT OFFICE, FILE NAME, AND NUMBER: U.S. Shelter Homes (Wetland 3), MVP-2017-01066-RAN

C. PROJECT LOCATION AND BACKGROUND INFORMATION:

State: WI County/parish/borough: Kenosha City: Village of Pleasant Prairie
Center coordinates of site (lat/long in degree decimal format): Lat. 42.54592° N, Long. 87.93438° W.
Universal Transverse Mercator: X:423281.78 Y: 4710815.48

Name of nearest waterbody: Pleasant Prairie Tributary

Name of watershed or Hydrologic Unit Code (HUC): Upper Mississippi Region (07120004)

- ☒ Check if map/diagram of review area and/or potential jurisdictional areas is/are available upon request.
☐ Check if other sites (e.g., offsite mitigation sites, disposal sites, etc...) are associated with this action and are recorded on a different JD form.

D. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):

- ☒ Office (Desk) Determination. Date: July 6, 2017
☐ Field Determination. Date(s):

SECTION II: SUMMARY OF FINDINGS

A. RHA SECTION 10 DETERMINATION OF JURISDICTION.

There are no "navigable waters of the U.S." within Rivers and Harbors Act (RHA) jurisdiction (as defined by 33 CFR part 329) in the review area.

B. CWA SECTION 404 DETERMINATION OF JURISDICTION.

There are no "waters of the U.S." within Clean Water Act (CWA) jurisdiction (as defined by 33 CFR part 328) in the review area.

1. Waters of the U.S.: N/A

2. Non-regulated waters/wetlands (check if applicable):¹

- ☒ Potentially jurisdictional waters and/or wetlands were assessed within the review area and determined to be not jurisdictional.
Explain: **One stormwater detention basin (Wetland 3) was reviewed within the approximate 0.3-acre project area. The stormwater detention basin, approximately 0.12 acre, was constructed in uplands around 1993 and is not a water of the U.S. This was confirmed by reviewing aerial photographs dated 1937, 1963, 1967, 1970, 1975, 1980, 1985, 1990, and 1995, WWI, and the NRCS Soil Survey data. A 1993 grading plan was provided by the applicant that shows the proposed grading and other associated structures associated with a stormwater detention basin. The non-jurisdictional determination for this stormwater detention basin is in accordance with the preamble to the 1986 Corps Regulations (33 CFR Parts 320-330), which states that the Corps does not generally consider the following to be waters of the U.S.; artificial lakes or ponds created by excavating and/or diking dry land to collect and retain water and which are used exclusively for such purposes as stock watering, irrigation, settling basins or rice growing.**

SECTION III: CWA ANALYSIS

A. TNWs AND WETLANDS ADJACENT TO TNWs: N/A

B. CHARACTERISTICS OF TRIBUTARY (THAT IS NOT A TNW) AND ITS ADJACENT WETLANDS (IF ANY): N/A

C. SIGNIFICANT NEXUS DETERMINATION: N/A

D. DETERMINATIONS OF JURISDICTIONAL FINDINGS. THE SUBJECT WATERS/WETLANDS ARE (CHECK ALL THAT APPLY): N/A

¹ Supporting documentation is presented in Section III.F.

E. **ISOLATED [INTERSTATE OR INTRA-STATE] WATERS, INCLUDING ISOLATED WETLANDS, THE USE, DEGRADATION OR DESTRUCTION OF WHICH COULD AFFECT INTERSTATE COMMERCE, INCLUDING ANY SUCH WATERS (CHECK ALL THAT APPLY):** N/A

F. **NON-JURISDICTIONAL WATERS, INCLUDING WETLANDS (CHECK ALL THAT APPLY):**

- ☐ If potential wetlands were assessed within the review area, these areas did not meet the criteria in the 1987 Corps of Engineers Wetland Delineation Manual and/or appropriate Regional Supplements.
- ☐ Review area included isolated waters with no substantial nexus to interstate (or foreign) commerce.
 - ☐ Prior to the Jan 2001 Supreme Court decision in "*SWANCC*," the review area would have been regulated based solely on the "Migratory Bird Rule" (MBR).
- ☐ Waters do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction. Explain:
- ☒ Other (explain, if not covered above): **The stormwater detention basin (Wetland 3) is not a water of the U.S.**

pursuant to the preamble to the Corps 1986 regulations (33 CFR Parts 320-330).

Provide acreage estimates for non-jurisdictional waters in the review area, where the sole potential basis of jurisdiction is the MBR factors (i.e., presence of migratory birds, presence of endangered species, use of water for irrigated agriculture), using best professional judgment (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☐ Wetlands: acres.

Provide acreage estimates for non-jurisdictional waters in the review area that do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet, width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☐ Wetlands: acres.

SECTION IV: DATA SOURCES.

A. **SUPPORTING DATA.** Data reviewed for JD (check all that apply - checked items shall be included in case file and, where checked and requested, appropriately reference sources below):

- ☒ Maps, plans, plots or plat submitted by or on behalf of the applicant/consultant: R.A. Smith National Wetland Delineation Report dated 10-25-2016 and grading plans for Heritage Valley Unit 1-Phase 1 dated 5-21-93
- ☐ Data sheets prepared/submitted by or on behalf of the applicant/consultant.
 - ☐ Office concurs with data sheets/delineation report.
 - ☐ Office does not concur with data sheets/delineation report.
- ☐ Data sheets prepared by the Corps:
- ☐ Corps navigable waters' study:
- ☐ U.S. Geological Survey Hydrologic Atlas:
 - ☐ USGS NHD data.
 - ☐ USGS 8 and 12 digit HUC maps.
- ☒ U.S. Geological Survey map(s). Cite scale & quad name: 1:24K WI-PLEASANT PRAIRIE
- ☒ USDA Natural Resources Conservation Service Soil Survey. Citation: Kenosha County
- ☐ National wetlands inventory map(s). Cite name:
- ☒ State/Local wetland inventory map(s): Wisconsin Wetland Inventory
- ☐ FEMA/FIRM maps:
- ☐ 100-year Floodplain Elevation is: (National Geodetic Vertical Datum of 1929)
- ☒ Photographs: ☒ Aerial (Name & Date): Kenosha County 1937, 1963, 1967, 1970, 1975, 1980, 1985, 1990, and 1995
or ☐ Other (Name & Date):
- ☐ Previous determination(s). File no. and date of response letter:
- ☐ Applicable/supporting case law:
- ☐ Applicable/supporting scientific literature:
- ☒ Other information (please specify): WDNR Exemption Letter dated May 17, 2017.

B. **ADDITIONAL COMMENTS TO SUPPORT JD:** The stormwater detention basin (Wetland 3) was constructed in uplands and is not a water of the U.S. as detailed in Section II.B.2.

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND
REQUEST FOR APPEAL**

Applicant: John Sorenson

File No.: MVP-2017-01066-RAN

Date: JUL 07 2017

Attached is:

See Section below

	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
	PERMIT DENIAL	C
X	APPROVED JURISDICTIONAL DETERMINATION	D
	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://usace.army.mil/inet/functions/cw/cecwo/reg> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

Rachel Nuetzel
U.S. Army Corps of Engineers, Regulatory Branch
250 N. Sunnyslope Road
Suite 296
Brookfield, Wisconsin 53005

Telephone (651) 290-5729

If you only have questions regarding the appeal process you may also contact the Division Engineer through:

Administrative Appeals Review Officer
Mississippi Valley Division
P.O. Box 80 (1400 Walnut Street)
Vicksburg, MS 39181-0080
601-634-5820 FAX: 601-634-5816

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number:



DEPARTMENT OF THE ARMY
ST. PAUL DISTRICT, CORPS OF ENGINEERS
180 FIFTH STREET EAST, SUITE 700
ST. PAUL, MN 55101-1678

REPLY TO ATTENTION OF
REGULATORY BRANCH

AUG 07 2017

Regulatory File No. MVP-2017-01066-RAN

U.S. Shelter Homes, LLC
c/o John Sorenson
31632 North Ellis Drive, Unit 213
Volo, Illinois 60073

Dear Mr. Sorenson:

This letter is in response to your request for an approved jurisdictional determination (AJD) for Wetlands 1 and 2 within an approximately 1-acre project area in the Village of Pleasant Prairie located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 18, Township 1 North, Range 22 East, Kenosha County, Wisconsin. The review area for our jurisdictional determination is identified on the enclosed figure labeled MVP-2017-01066-RAN Page 1 of 1.

The review area contains no waters of the United States subject to Corps of Engineers jurisdiction. Therefore, you are not required to obtain Department of the Army authorization to discharge dredged or fill material within this area. The rationale for this determination is provided in the attached Approved Jurisdictional Determination form. This determination is only valid for the review area shown on the enclosed figure.

If you object to this AJD, you may request an administrative appeal under Corps regulations at 33 CFR 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination, you must submit a completed RFA form to the Mississippi Valley Division Office at the address shown on the form.

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR 331.5, and that it has been received by the Division Office within 60 days of the date of the attached NAP. It is not necessary to submit an RFA form to the division office if you do not object to the determination in this letter.

This AJD may be relied upon for five years from the date of this letter. However, the Corps reserves the right to review and revise the determination in response to changing site conditions, information that was not considered during our initial review, or off-site activities that could indirectly alter the extent of wetlands and other resources on-site. This determination may be renewed at the end of the five year period provided you submit a written request and our staff are able to verify that the limits established during the original determination are still accurate.

Regulatory Branch (File No. MVP-2017-01066-RAN)

If you have any questions, please contact Rachel Nuetzel in our Brookfield office at (651) 290-5729 or Rachel.A.Nuetzel@usace.army.mil. In any correspondence or inquiries, please refer to the Regulatory file number shown above.

Sincerely,

A handwritten signature in black ink, appearing to read "Todd Vesperman", followed by a horizontal line.

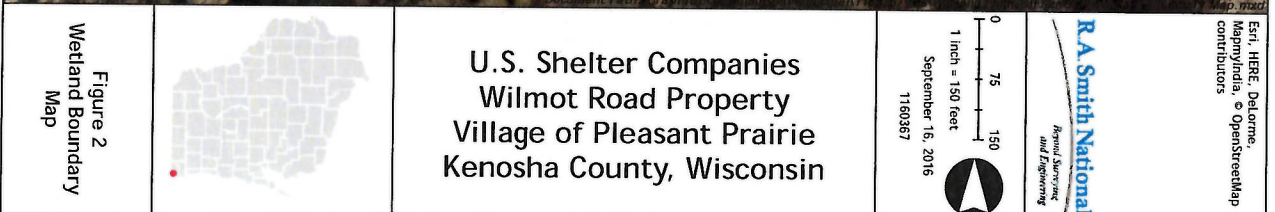
Todd Vesperman
Chief, Southeast Section

Enclosures

Electronic copy furnished:

Elaine Johnson – WDNR (GP-SE-2017-30-02203)

Gary Raasch – R.A. Smith National



APPROVED JURISDICTIONAL DETERMINATION FORM
U.S. Army Corps of Engineers

This form should be completed by following the instructions provided in Section IV of the JD Form Instructional Guidebook.

SECTION I: BACKGROUND INFORMATION

A. REPORT COMPLETION DATE FOR APPROVED JURISDICTIONAL DETERMINATION (JD):

AUG 07 2017

B. ST PAUL, MN DISTRICT OFFICE, FILE NAME, AND NUMBER: U.S. Shelter Homes (Wetlands 1 and 2), MVP-2017-01066-RAN

C. PROJECT LOCATION AND BACKGROUND INFORMATION:

State: WI County/parish/borough: Kenosha City: Village of Pleasant Prairie
Center coordinates of site (lat/long in degree decimal format): Lat. 42.54675° N, Long. 87.93484° W.
Universal Transverse Mercator: X:423244.48 Y: 4710908.06

Name of nearest waterbody: Pleasant Prairie Tributary

Name of watershed or Hydrologic Unit Code (HUC): Upper Mississippi Region (07120004)

- ☒ Check if map/diagram of review area and/or potential jurisdictional areas is/are available upon request.
☐ Check if other sites (e.g., offsite mitigation sites, disposal sites, etc...) are associated with this action and are recorded on a different JD form.

D. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):

- ☒ Office (Desk) Determination. Date: July 6, 2017
☐ Field Determination. Date(s):

SECTION II: SUMMARY OF FINDINGS

A. RHA SECTION 10 DETERMINATION OF JURISDICTION.

There are no "navigable waters of the U.S." within Rivers and Harbors Act (RHA) jurisdiction (as defined by 33 CFR part 329) in the review area.

B. CWA SECTION 404 DETERMINATION OF JURISDICTION.

There are no "waters of the U.S." within Clean Water Act (CWA) jurisdiction (as defined by 33 CFR part 328) in the review area.

1. Waters of the U.S.: N/A

2. Non-regulated waters/wetlands (check if applicable):¹

- ☒ Potentially jurisdictional waters and/or wetlands were assessed within the review area and determined to be not jurisdictional.
Explain: The review area contains two wetlands (Wetland 1 and 2). Wetland 1 is a 0.04 acre forested wetland and Wetland 2 is a 0.01 acre wet meadow. Both wetlands are located in the somewhat poorly drained Beecher silt loam. Neither wetland is mapped on the Wisconsin Wetland Inventory. The nearest waterbody is the Pleasant Prairie tributary which is approximately 1,400 feet to the south. Wetlands 1 and 2 are shallow depressional basins with no inlet or outlets and are not adjacent (bordering, neighboring or contiguous) to another WOUS. Additionally, the basins do not support a link to interstate or foreign commerce; are not known to be used by interstate or foreign travelers for recreation or other purposes; do not produce fish or shellfish that could be taken or sold in interstate or foreign commerce; and are not known to be used for industrial purposes by industries in interstate commerce. Therefore, it has been determined that Wetlands 1 and 2 are hydrologically isolated and are not regulated by the Corps under Section 404 of the Clean Water Act.

SECTION III: CWA ANALYSIS

A. TNWs AND WETLANDS ADJACENT TO TNWs: N/A

B. CHARACTERISTICS OF TRIBUTARY (THAT IS NOT A TNW) AND ITS ADJACENT WETLANDS (IF ANY): N/A

C. SIGNIFICANT NEXUS DETERMINATION: N/A

D. DETERMINATIONS OF JURISDICTIONAL FINDINGS. THE SUBJECT WATERS/WETLANDS ARE (CHECK ALL THAT APPLY): N/A

¹ Supporting documentation is presented in Section III.F.

E. ISOLATED [INTERSTATE OR INTRA-STATE] WATERS, INCLUDING ISOLATED WETLANDS, THE USE, DEGRADATION OR DESTRUCTION OF WHICH COULD AFFECT INTERSTATE COMMERCE, INCLUDING ANY SUCH WATERS (CHECK ALL THAT APPLY): N/A

F. NON-JURISDICTIONAL WATERS, INCLUDING WETLANDS (CHECK ALL THAT APPLY):

- ☐ If potential wetlands were assessed within the review area, these areas did not meet the criteria in the 1987 Corps of Engineers Wetland Delineation Manual and/or appropriate Regional Supplements.
- ☒ Review area included isolated waters with no substantial nexus to interstate (or foreign) commerce.
 - ☒ Prior to the Jan 2001 Supreme Court decision in "SWANCC," the review area would have been regulated based solely on the "Migratory Bird Rule" (MBR).
- ☐ Waters do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction. Explain:
- ☐ Other (explain, if not covered above):

Provide acreage estimates for non-jurisdictional waters in the review area, where the sole potential basis of jurisdiction is the MBR factors (i.e., presence of migratory birds, presence of endangered species, use of water for irrigated agriculture), using best professional judgment (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☒ Wetlands: 0.05 acres.

Provide acreage estimates for non-jurisdictional waters in the review area that do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet, width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☐ Wetlands: acres.

SECTION IV: DATA SOURCES.

A. SUPPORTING DATA. Data reviewed for JD (check all that apply - checked items shall be included in case file and, where checked and requested, appropriately reference sources below):

- ☒ Maps, plans, plots or plat submitted by or on behalf of the applicant/consultant: R.A. Smith National Wetland Delineation Report dated 10-25-2016
- ☐ Data sheets prepared/submitted by or on behalf of the applicant/consultant.
 - ☐ Office concurs with data sheets/delineation report.
 - ☐ Office does not concur with data sheets/delineation report.
- ☐ Data sheets prepared by the Corps:
- ☐ Corps navigable waters' study:
- ☐ U.S. Geological Survey Hydrologic Atlas:
 - ☐ USGS NHD data.
 - ☐ USGS 8 and 12 digit HUC maps.
- ☒ U.S. Geological Survey map(s). Cite scale & quad name: 1:24K WI-PLEASANT PRAIRIE
- ☒ USDA Natural Resources Conservation Service Soil Survey. Citation: Kenosha County
- ☐ National wetlands inventory map(s). Cite name:
- ☒ State/Local wetland inventory map(s): Wisconsin Wetland Inventory
- ☐ FEMA/FIRM maps:
- ☐ 100-year Floodplain Elevation is: (National Geodetic Vertical Datum of 1929)
- ☒ Photographs: ☒ Aerial (Name & Date): Kenosha County 1937, 1963, 1967, 1970, 1975, 1980, 1985, 1990, 1995, 2000, 2005, 2010, and 2015
or ☐ Other (Name & Date):
- ☐ Previous determination(s). File no. and date of response letter:
- ☐ Applicable/supporting case law:
- ☐ Applicable/supporting scientific literature:
- ☐ Other information (please specify):

B. ADDITIONAL COMMENTS TO SUPPORT JD: Wetlands 1 and 2 are hydrologically isolated and have no surface or shallow subsurface connections to any water of the U.S.

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND
REQUEST FOR APPEAL**

Applicant: John Sorenson

File No.: MVP-2017-01066-RAN

Date: **AUG 07 2017**

Attached is:

See Section below

	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
	PERMIT DENIAL	C
X	APPROVED JURISDICTIONAL DETERMINATION	D
	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://usace.army.mil/inet/functions/cw/cecwo/reg> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

Rachel Nuetzel
U.S. Army Corps of Engineers, Regulatory Branch
250 N. Sunnyslope Road
Suite 296
Brookfield, Wisconsin 53005

Telephone (651) 290-5729

If you only have questions regarding the appeal process you may also contact the Division Engineer through:

Administrative Appeals Review Officer
Mississippi Valley Division
P.O. Box 80 (1400 Walnut Street)
Vicksburg, MS 39181-0080
601-634-5820 FAX: 601-634-5816

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number:



CREATIVITY BEYOND ENGINEERING

MEMORANDUM

DATE: December 1, 2017

TO: Clement Abongwa, P.E., Kenosha County
Matthew Fineour, P.E. Village of Pleasant Prairie

FR: Pat Hawley, P.E., PTOE
Laura Zavadil, P.E.

CC: John Sorenson, US Shelter Companies
Gary Raasch, P.E. raSmith

RE: River Run at Heritage Valley Residential Development
Traffic Impact Analysis

INTRODUCTION

A new residential subdivision consisting of 45 single-family homes is proposed along 106th Avenue (south of County C) in Pleasant Prairie. The subdivision is currently being referred to as River Run at Heritage Valley (hereafter River Run) and is proposed to be developed in 2018. raSmith was retained to prepare a traffic impact analysis (TIA) to identify potential traffic impacts and recommend improvements to accommodate the development. The scope of services for the traffic study was developed based on direction from Kenosha County and the Village of Pleasant Prairie. This memorandum documents the procedures, findings, and recommendations of the TIA.

STUDY AREA

River Run is located along 106th Avenue, south of County C (Wilmot Road), as shown in Exhibit 1. The 106th Avenue and 104th Avenue connections to County C provide access to the subdivision. No other access points are provided.

The study area for the TIA included the intersections listed below and shown in Exhibit 2.

- County C with 111th Avenue
- County C with 106th/107th Avenue
- County C with 104th Avenue

The study intersections were analyzed under construction year (2018) and horizon year (2028) conditions.

Per Village and County request, the County C intersection with the I-94 East Frontage Road was analyzed under year 2018 conditions for informational purposes only. It was not analyzed under horizon year 2028 conditions.

BACKGROUND CONDITIONS

raSmith collected information regarding the existing roadway geometrics, speed limits, and traffic control, as shown in Exhibit 3.

raSmith collected weekday peak period intersection turning movement counts at the study intersections in October of 2017. WisDOT collected 13-hour intersection turning movement counts at the County C intersection with the I-94 East Frontage Road in March of 2016. The weekday morning and evening peak hours were identified as 7:00am to 8:00am and 4:30pm to 5:30pm, respectively. These volumes were used to represent construction year conditions. Year 2018 background peak hour volumes are shown in Exhibit 4.

A traffic growth rate of 2% was applied to the year 2018 background traffic to estimate horizon year 2028 volumes. The 2% growth rate represents an average of the recently used growth rates for the County's roundabout project at the County C intersection with Bain Station Road and the WisDOT forecast along County C. Year 2028 background peak hour volumes are shown in Exhibit 5.

General traffic information including existing turning movement counts and traffic volume parameters (peak hour factor, heavy vehicle percentage) are provided in Appendix A.

YEAR 2018 BACKGROUND TRAFFIC CONDITIONS

The Year 2018 background peak hour traffic volumes with existing geometrics/traffic control were analyzed at the study intersections in Synchro using the procedures set forth in the 2010 Highway Capacity Manual (HCM). Level of Service (LOS) is a quantitative measure from the HCM referring to the overall quality of flow at an intersection. LOS ranges from very good, represented by LOS "A," to very poor, represented by LOS "F." For analysis and design purposes, LOS "D" was used to define acceptable peak hour operating conditions. A summary of the year 2018 background analysis results are provided in Exhibit 6.

As shown in Exhibit 6, all movements operate acceptably at LOS D or better at the study intersections under the year 2018 background conditions.

Year 2018 background 95th percentile queues are shown in Exhibit 7. Queues are shown to be minimal (25' or less) at all primary study intersection movements.

Year 2018 background Synchro analysis output reports are provided in Appendix B.

YEAR 2028 BACKGROUND TRAFFIC CONDITIONS

The year 2028 background peak hour traffic volumes with existing geometrics/traffic control were analyzed at the study intersections. A summary of the analysis results are provided in Exhibit 8.

As shown in Exhibit 8, northbound left-turn and through movements at the County C intersection with 106th/107th Avenue are expected to operate with LOS E conditions during the weekday evening peak hour. The volume-to-capacity ratio (v/c) is <0.1 , which is very low, indicating there is significant capacity to accommodate the low volume movements (less than 5 vph for each movement). All other movements will continue to operate acceptably at LOS D or better under the year 2028 background conditions.

Year 2028 background 95th percentile queues are shown in Exhibit 9. Queues are expected to be minimal (40' or less) at all primary study intersection movements.

Year 2028 background Synchro analysis output reports are provided in Appendix B.

FUTURE CONDITIONS WITH DEVELOPMENT

PROPOSED DEVELOPMENT

The River Run subdivision will include 45 single-family homes and is proposed for development in 2018. The Village identified two additional future residential subdivisions are proposed adjacent to River Run: one to the east (27 single-family homes) and one to the west (49 single-family homes). These additional subdivisions were considered as future year, off-site developments and were assumed to occur by 2028 for analysis purposes. A preliminary site plan for the River Run and future off-site developments is shown in Exhibit 10.

DEVELOPMENT TRAFFIC

To address any potential traffic impacts within the study area, it is necessary to identify the peak hourly volume of traffic generated by River Run and the off-site developments. The expected traffic volumes generated by the developments are based on the size and type of proposed land use, and on trip data published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 10th Edition.

Trip Generation

Based on land use descriptions in ITE's *Trip Generation Manual*, ITE land use 210, Single-Family Detached Housing was selected to estimate development volumes. Weekday morning and weekday evening peak hour trips for the River Run and off-site developments are summarized in Exhibit 11.

River Run is expected to generate 35 new trips (10 in/25 out) during the weekday morning peak hour and 45 new trips (30 in/15 out) during weekday evening peak hour. The two future off-site developments are expected to generate 65 new trips (15 in/50 out) during the weekday morning peak hour and 80 new trips (50 in/30out) during the weekday evening peak hour.

Trip Distribution and Assignment

The trip distribution pattern was developed based on the AADT volumes on the surrounding street network, existing turning movement patterns, and general location of the development. The trip distribution pattern used is summarized below.

- To/From the east via County C: 35%
- To/From the west via County C: 55%
- To/From the north via 104th Avenue: 10%

New trips generated by the River Run and future off-site developments were assigned to the study area intersections based on the above trip distribution pattern and are shown in Exhibits 12 and 13, respectively.

Build and Total Traffic

The following is a summary of the composition of the background and development traffic volumes for each analysis scenario.

- *Year 2018 Total Traffic (Exhibit 14):* Year 2018 Background (Exhibit 4) + River Run Development Trips (Exhibit 12)
- *Year 2028 Build Traffic (Exhibit 15):* Year 2028 Background (Exhibit 5) + River Run Development Trips (Exhibit 12)

- *Year 2028 Total Traffic (Exhibit 16):* Year 2028 Background (Exhibit 5) + River Run Development Trips (Exhibit 12) + Future Off-Site Development Trips (Exhibit 13)

TRAFFIC AND IMPROVEMENT ANALYSIS

The study intersections were analyzed with the development traffic and existing geometrics/traffic control. The following sections summarize the results of this analysis. Synchro analysis output reports are provided in Appendix C.

Year 2018 Total Traffic Conditions

The year 2018 total peak hour traffic with existing geometrics/traffic control was analyzed at the study intersections. A summary of the analysis results are provided in Exhibit 17.

As shown in Exhibit 17, all movements are expected to continue to operate acceptably at LOS D or better at the study intersections under the year 2018 total conditions and no specific roadway improvements are recommended.

Year 2028 Build Traffic Conditions

The year 2028 build peak hour traffic with existing geometrics/traffic was analyzed at the study intersections. A summary of the analysis results are provided in Exhibit 18.

As shown in Exhibit 18, northbound left-turn and through movements at the County C intersection with 106th/107th Avenue are expected to operate at LOS F conditions during the weekday evening peak hour. The v/c ratio is 0.15 for these low volume movements (up to 10 vph per movement). Also, all southbound movements are expected to operate at LOS E conditions. The v/c ratio for these low volume movements (up to 10 vph per movement) is 0.17. Although the peak hour delay will increase to LOS E/F conditions, the movements still operate well under capacity as demonstrated by the very low v/c ratios. All other movements will continue to operate acceptably at LOS D or better.

The v/c ratios are an important measure of effectiveness at stop controlled intersections. The HCM two-way stop control analysis methodology utilizes critical headway gap times that are based on national averages. Studies conducted by WisDOT have found that local drivers accept smaller gaps than those assumed in the HCM methodology. In addition, while the delay for a specific movement might reflect LOS E/F conditions, the volume may be so low as to not impact overall intersection operations. Therefore, operations experienced in the field are often better than what is reported in the HCS, and the LOS of minor movements should not be a controlling factor.

Since the study intersections are operating well below capacity, no roadway improvements are recommended for year 2028 build conditions. It should also be noted the addition of turn lanes would not improve the LOS, and the intersection volumes are well below meeting the warrants for traffic signals.

Year 2028 Total Traffic Conditions

The year 2028 total peak hour traffic with existing geometrics was analyzed at the study intersections. A summary of the analysis results are provided in Exhibit 19.

As shown in Exhibit 19, northbound left-turn and through movements at the County C intersection with 106th/107th Avenue are expected to continue to operate at LOS F conditions during the weekday evening peak hour. The v/c ratio is 0.31 for these low volume movements (up to 20 vph per

movement). Also, all southbound movements are expected to continue to operate at LOS E conditions. The v/c ratio is 0.19 for these low volume movements (up to 10 vph per movement). The above movements will remain well under capacity.

Additionally, all northbound movements at the County C intersection with 104th Avenue are expected to operate at LOS E conditions during the weekday evening peak hour. The v/c ratio is 0.22 for these low volume movements (up to 15 vph per movement). Although the peak hour delay will increase to LOS E conditions, the movements still operate well under capacity.

Based on the study intersection movements operating well below capacity, no roadway improvements are recommended for year 2028 total conditions.

Queuing Analysis

A queuing analysis was conducted to identify queue impacts of the development traffic. Synchro 95th percentile queue lengths are summarized in the following exhibits:

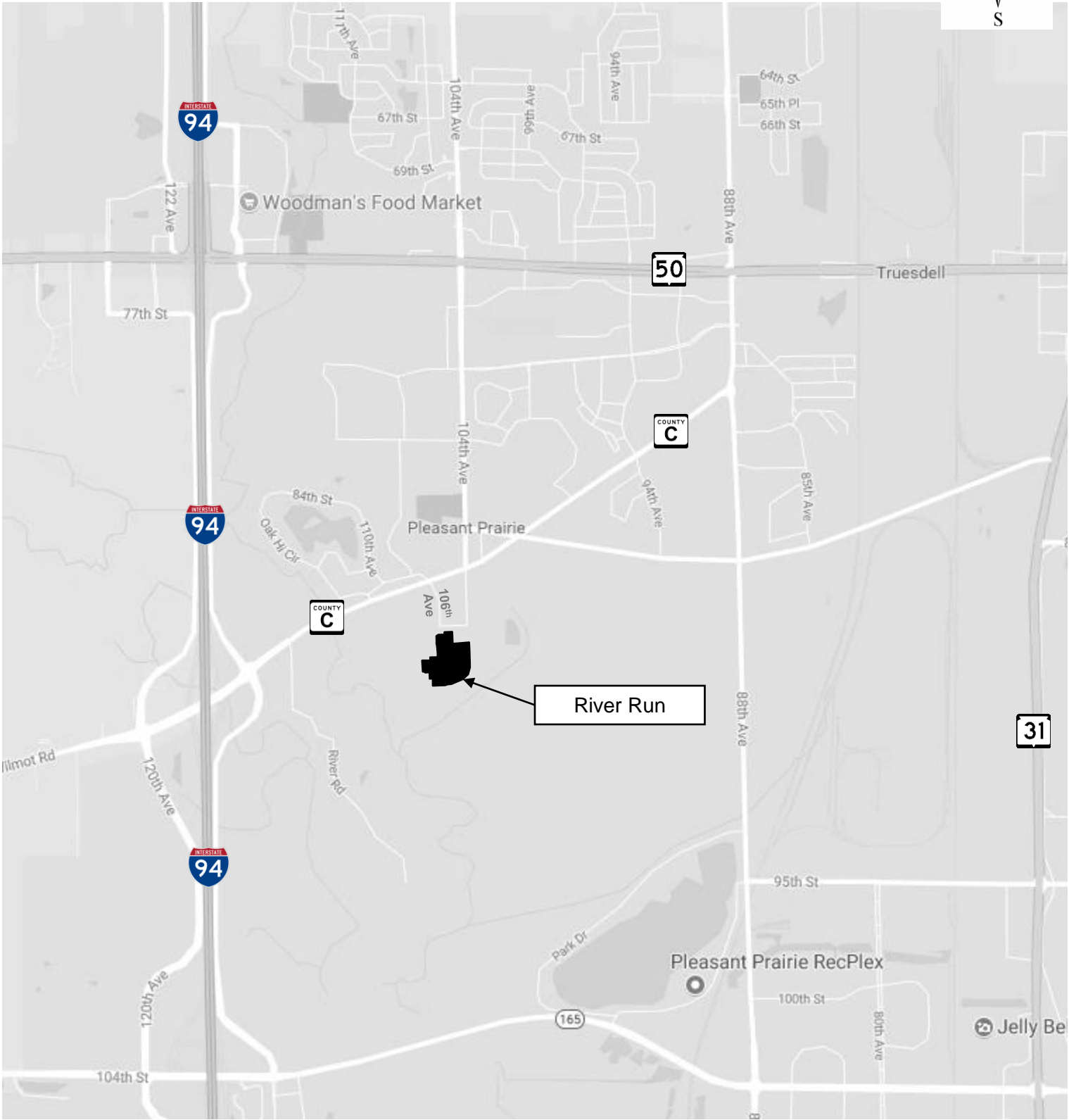
- Exhibit 20: Year 2018 Total Traffic Maximum Queue Lengths
- Exhibit 21: Year 2028 Build Traffic Maximum Queue Lengths
- Exhibit 22: Year 2028 Total Traffic Maximum Queue Lengths

Queues are expected to remain minimal with both the River Run and future off-site development traffic. Queue increases of 30' or less are expected at all study intersection movements.

CONCLUSIONS

The River Run and future off-site residential developments are expected increase traffic and side street delay at the study intersections. However, traffic impacts are expected to be minor and all study intersection movements were shown to operate well under capacity with the additional traffic.

Therefore, no roadway improvements are recommended with the developments. The addition of turn lanes would not improve the LOS, and the intersection volumes are well below meeting the warrants for traffic signals.

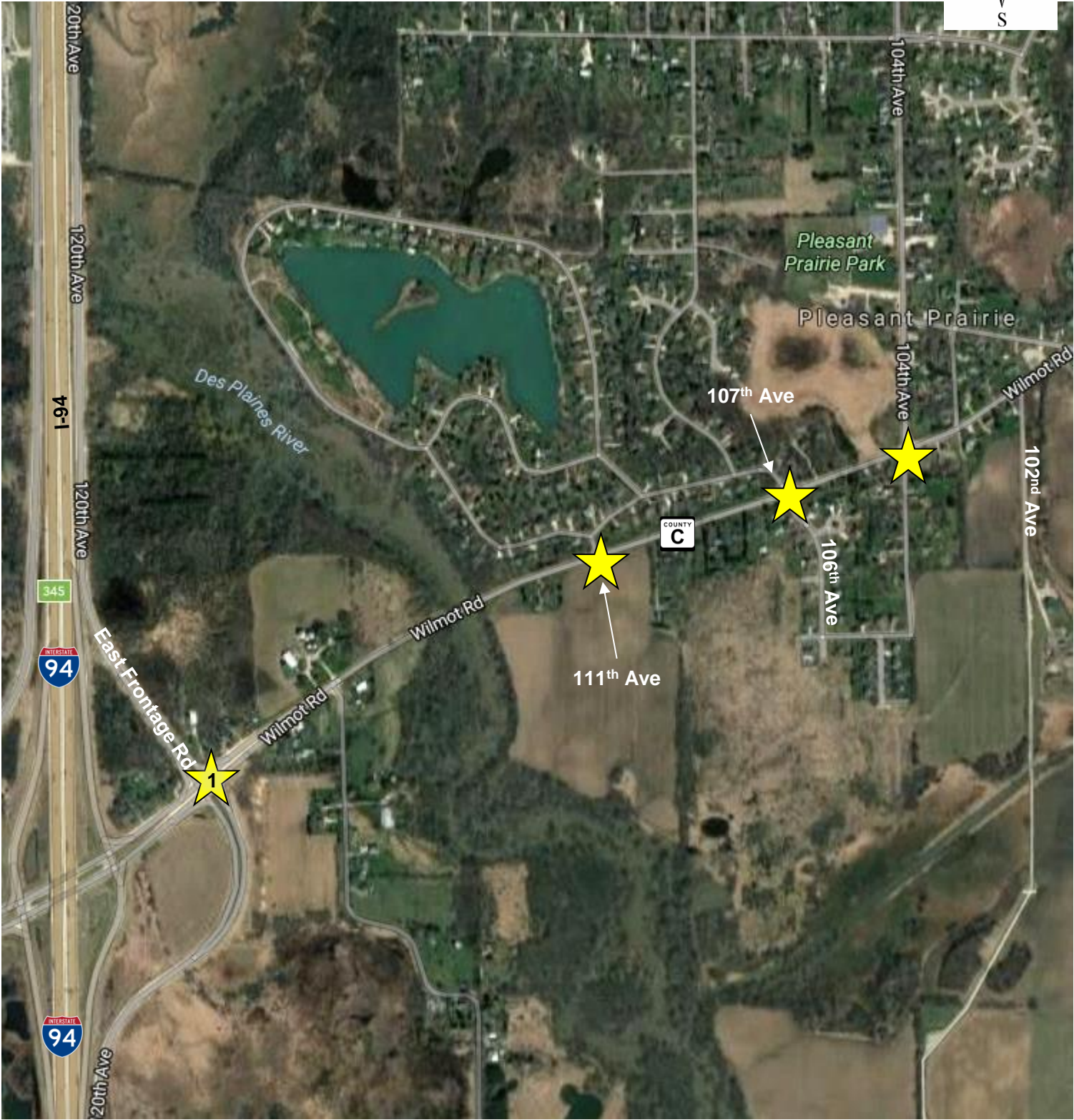


Legend

■ = Proposed Development Site

Project Location Map

Exhibit
1



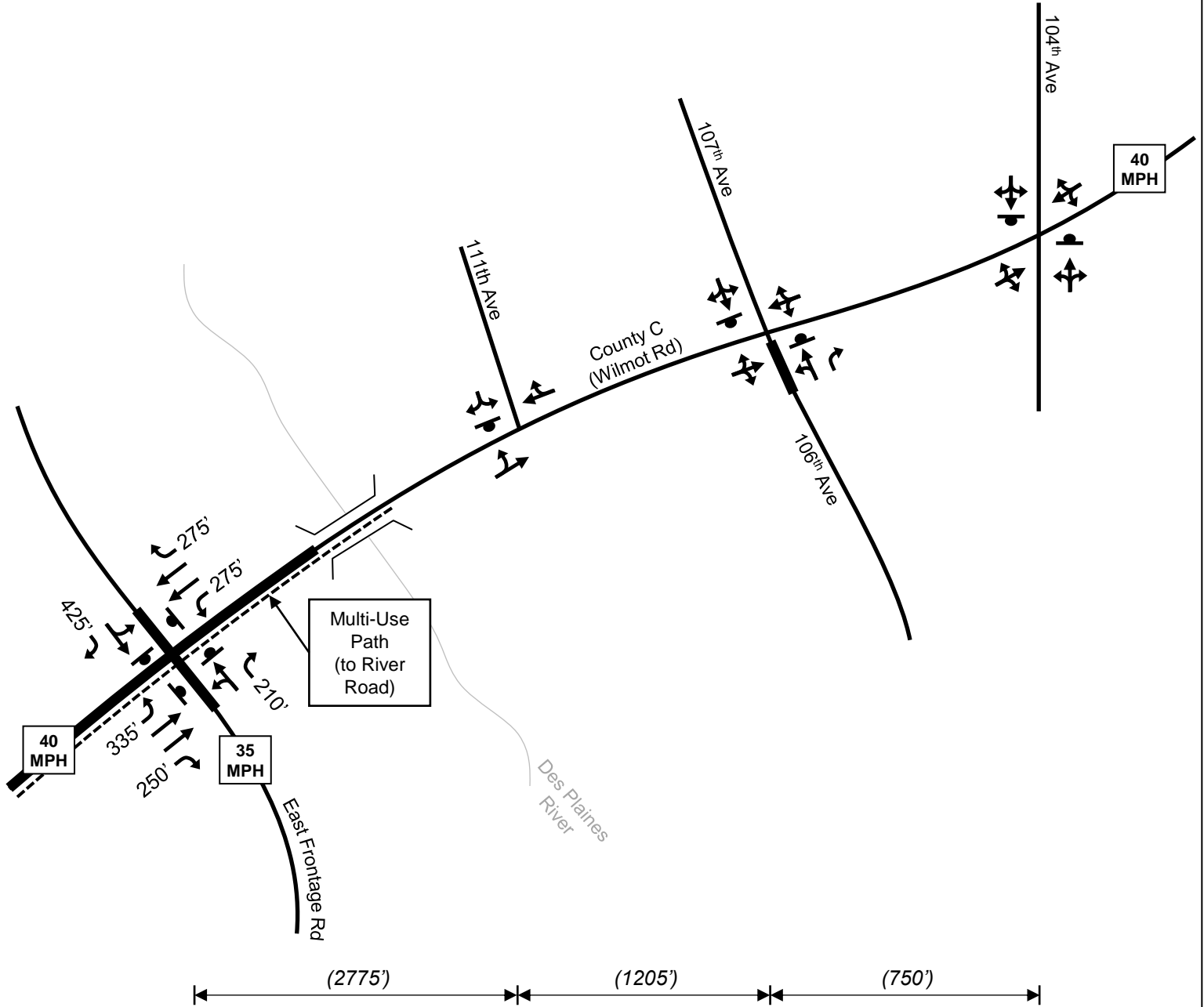
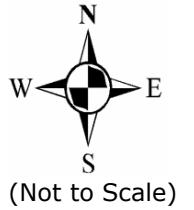
Note:
1) Per Village and County request, the County C intersection with I-94 East Frontage Road was analyzed under year 2018 conditions for information purposes only. It was not included in the horizon year 2028 analysis.

Legend

★ = Study Intersections

Study Area and Aerial Image

Exhibit
2



Legend

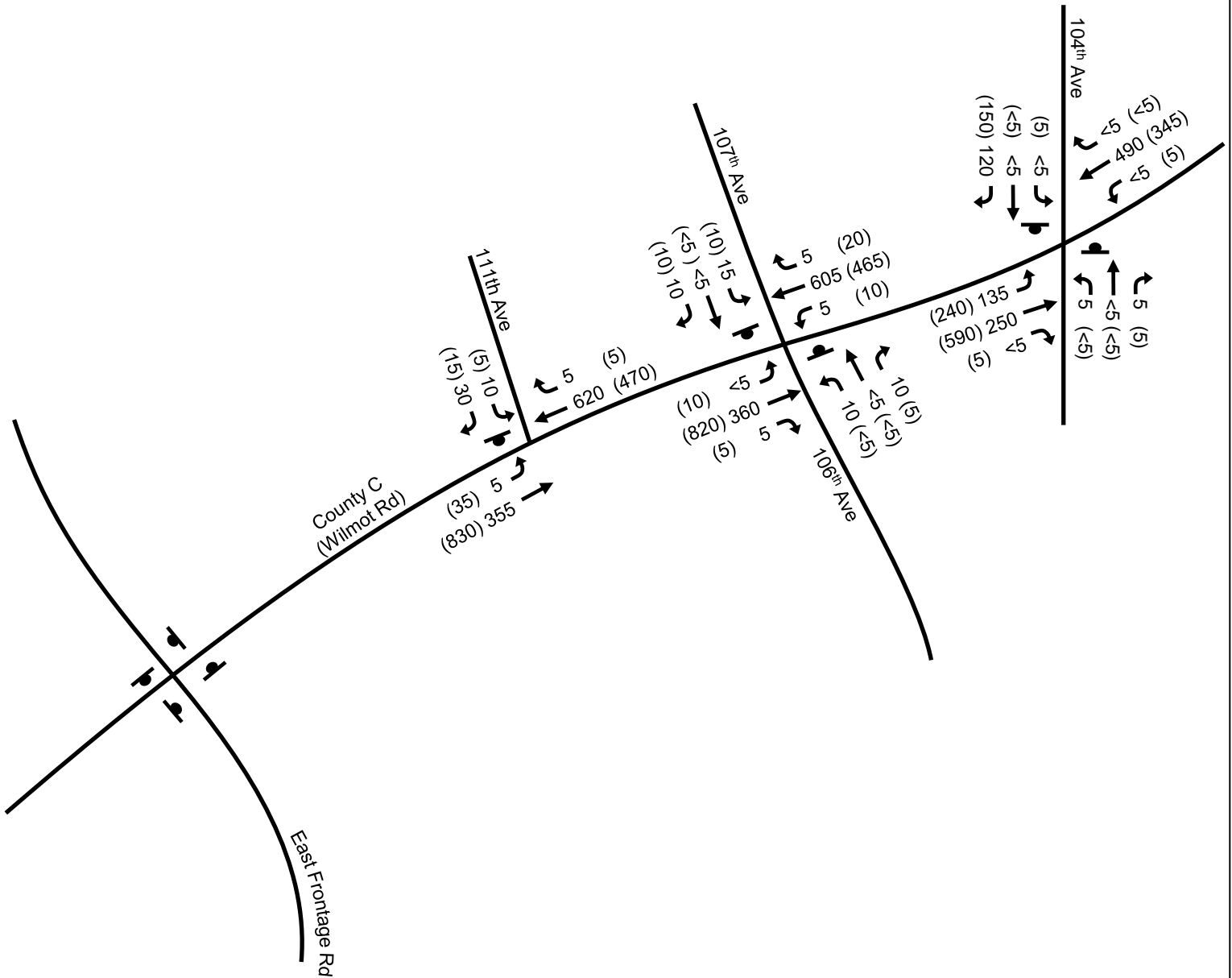
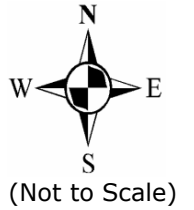
- = Stop Sign
- = Travel Lane
- = Raised Median
- XX' = Turn Bay Length, ft
- (XX') = Intersection Spacing (ft, centerline to centerline)
- = Posted Speed Limit

Note: Posted speed limits are 25 mph unless noted.

**Existing
Transportation
System**

Exhibit
3





Legend

XXX = Weekday Morning Peak Hour Volume (7:00am to 8:00am)

(XXX) = Weekday Evening Peak Hour Volume (4:30pm to 5:30pm)

 = Stop Sign

Year 2028
Background Traffic Volumes

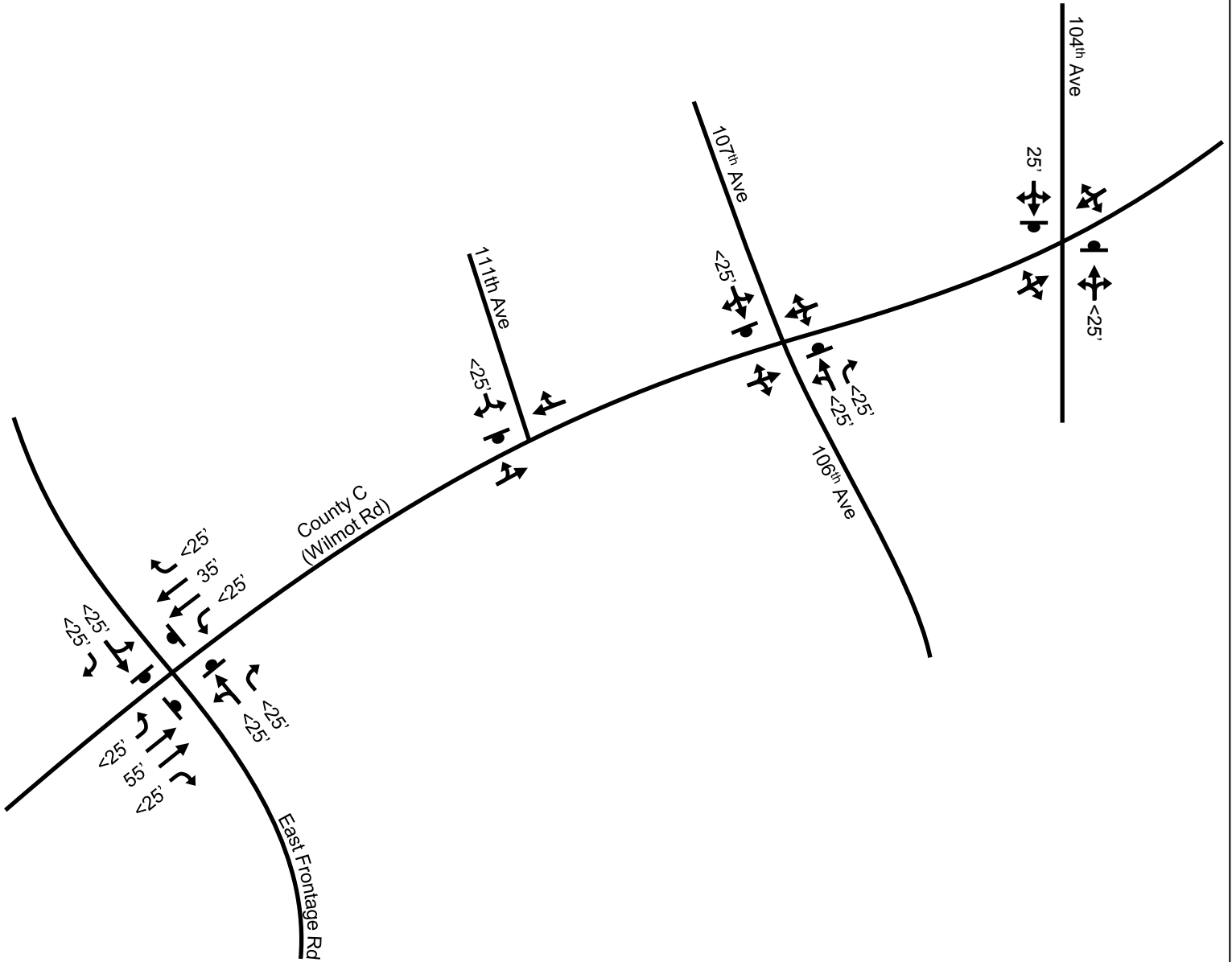
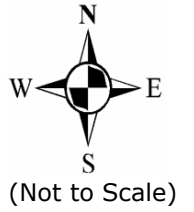
Exhibit
5

Year 2018 Background Traffic Level of Service



Intersection	Traffic Control	Peak	Level of Service per Movement by Approach ¹											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
County C (Wilmot Road) with I-94 East Frontage Road	All-Way Stop	AM	A	A	A	A	B	A	A	A	A	A	A	A
		PM	A	B	A	A	B	A	A	A	A	A	A	A
County C (Wilmot Road) with 111 th Avenue	One-Way Stop ²	AM	A	*	--	--	*	*	--	--	--	B	--	B
		PM	A	*	--	--	*	*	--	--	--	C	--	C
County C (Wilmot Road) with 106 th Avenue/107 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	A	C	C	C
		PM	A	*	*	A	*	*	D	D	B	C	C	C
County C (Wilmot Road) with 104 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	C	B	B	B
		PM	A	*	*	A	*	*	C	C	C	B	B	B

Notes:

- 1) The '--' symbol indicates movement not allowed. The '*' symbol indicates free-flow turn movement.
- 2) North approach stop controlled.
- 3) North-South approaches stop controlled.



Legend

-  = Stop Sign
- XX' = 95th Percentile Maximum Queue (feet)
-  = Travel Lane

**Year 2018
Background Queues**

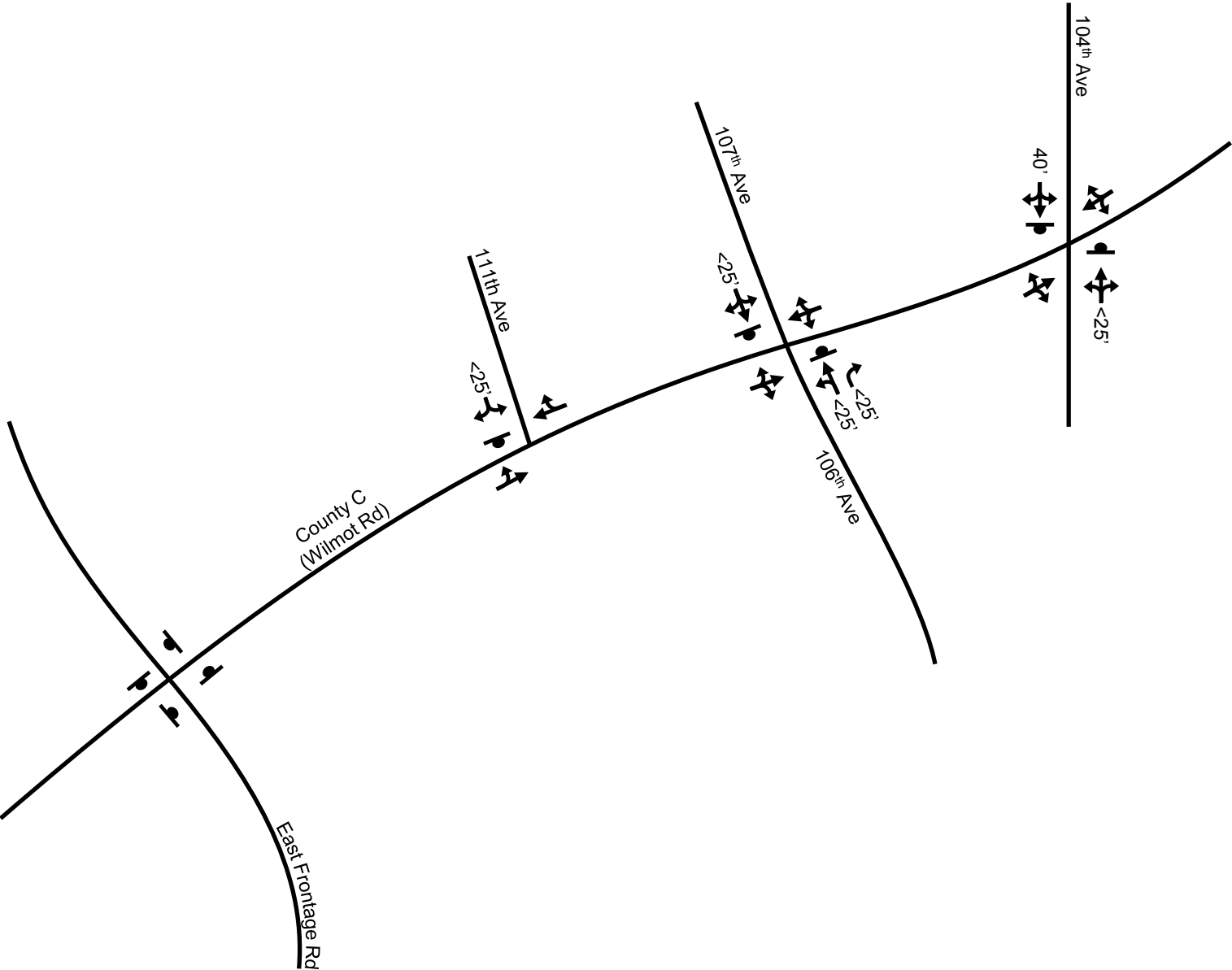
Exhibit
7

Year 2028 Background Traffic Level of Service

Intersection	Traffic Control	Peak	Level of Service per Movement by Approach ¹											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
County C (Wilmot Road) with 111 th Avenue	One-Way Stop ²	AM	A	*	--	--	*	*	--	--	--	C	--	C
		PM	A	*	--	--	*	*	--	--	--	C	--	C
County C (Wilmot Road) with 106 th Avenue/107 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	B	C	C	C
		PM	A	*	*	A	*	*	E ⁴	E ⁴	C	D	D	D
County C (Wilmot Road) with 104 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	C	B	B	B
		PM	A	*	*	A	*	*	D	D	D	C	C	C

Notes:

- 1) The '--' symbol indicates movement not allowed. The '*' symbol indicates free-flow turn movement.
- 2) North approach stop controlled.
- 3) North-South approaches stop controlled
- 4) LOS E: Delay = 41.8 seconds, v/c = 0.02, less than 5 vph per movement

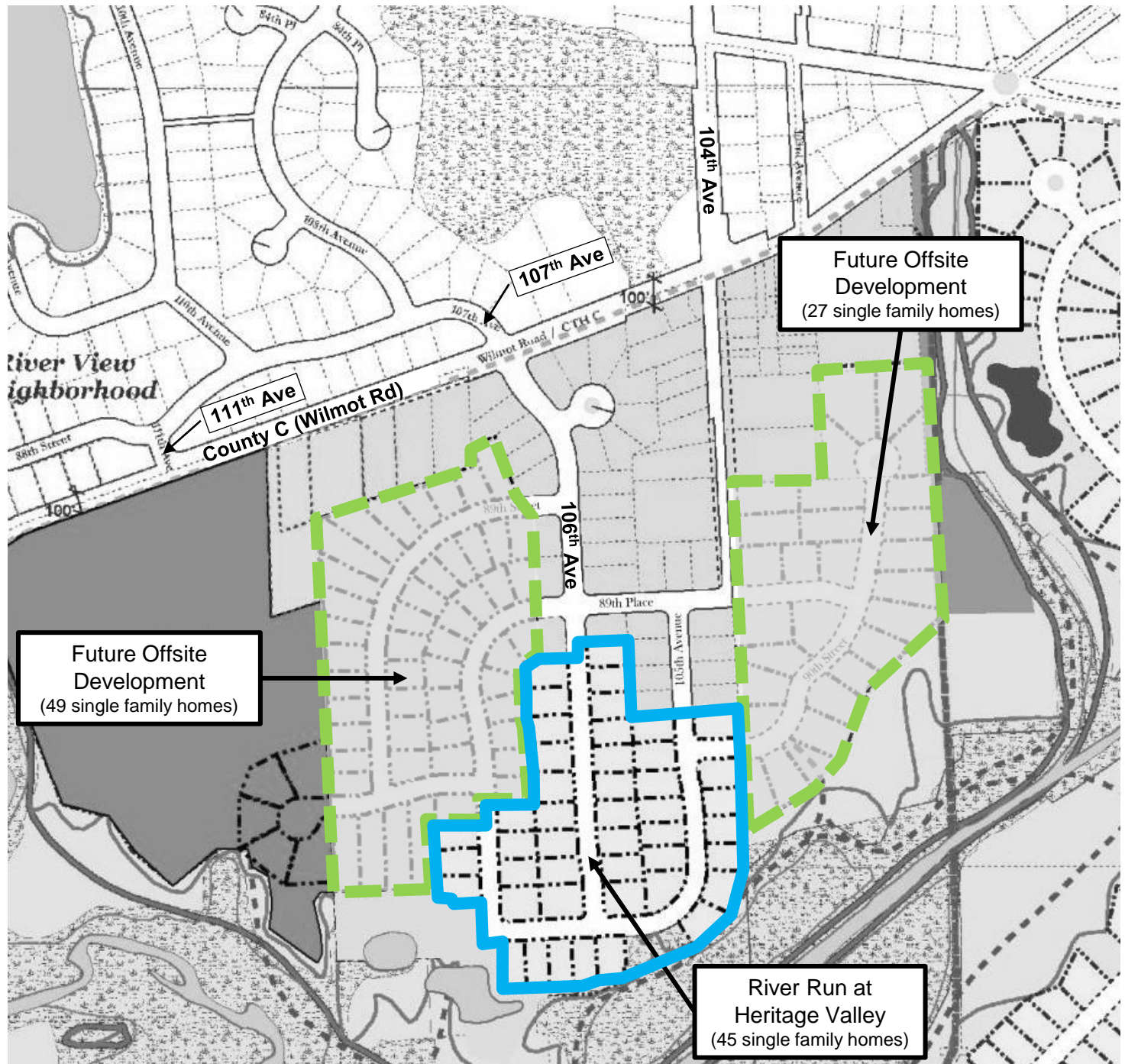


Legend

- = Stop Sign
- XX' = 95th Percentile Maximum Queue (feet)
- = Travel Lane

Year 2028
Background Queues

Exhibit
9



River Run
Trip Generation

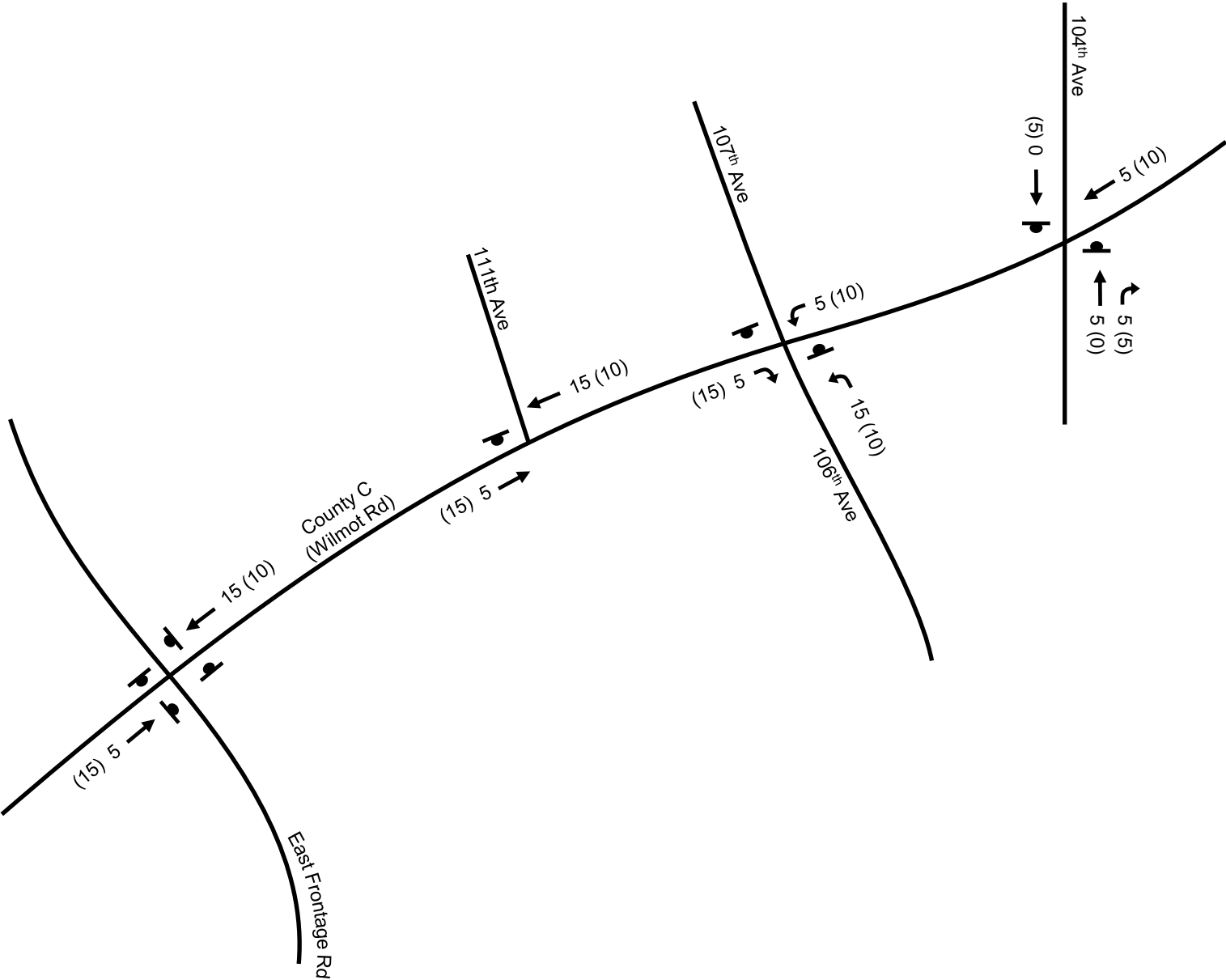
ITE Code	Land Use	Size	Weekday Daily Trips	Weekday Morning Peak Hour			Weekday Afternoon Peak Hour		
				In	Out	Total	In	Out	Total
210	Single-Family (General Urban/Suburban) ¹	45 units	500	10	25	35	30	15	45
Total New Trips			500	10	25	35	30	15	45

1) ITE Trip Generation 10th Edition fitted curve equations were used.

Future Year Off-Site Residential Development
Trip Generation

ITE Code	Land Use	Size	Weekday Daily Trips	Weekday Morning Peak Hour			Weekday Afternoon Peak Hour		
				In	Out	Total	In	Out	Total
210	Single-Family (General Urban/Suburban) ¹	49 units	540	10	30	40	30	20	50
210	Single-Family (General Urban/Suburban) ¹	27 units	310	5	20	25	20	10	30
Total New Trips			850	15	50	65	50	30	80


1) ITE Trip Generation 10th Edition fitted curve equations were used.

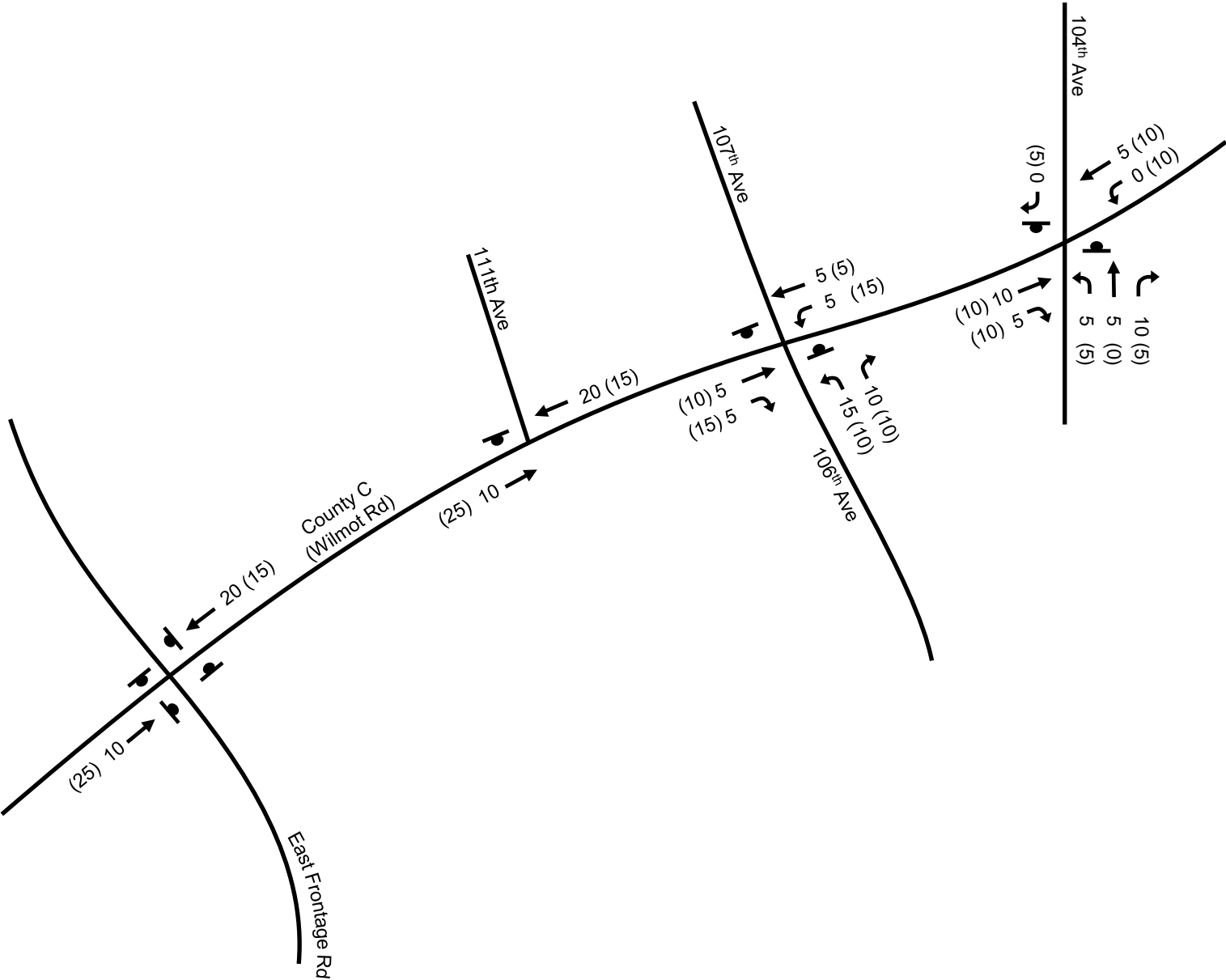


Legend

XXX = Weekday Morning Peak Hour Volume (7:00am to 8:00am)

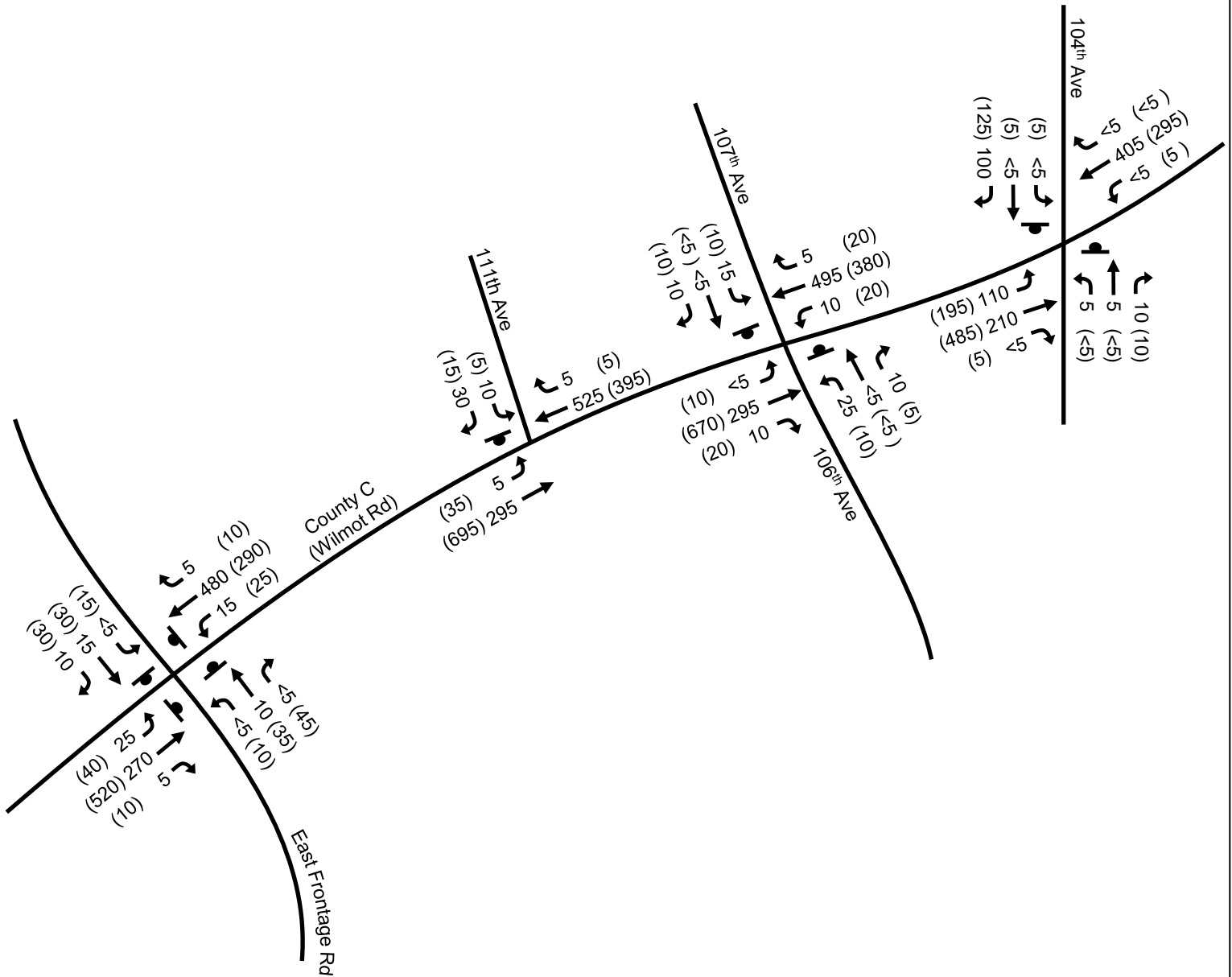
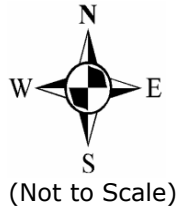
(XXX) = Weekday Evening Peak Hour Volume (4:30pm to 5:30pm)

 = Stop Sign



Legend

XXX = Weekday Morning Peak Hour Volume (7:00am to 8:00am)
(XXX) = Weekday Evening Peak Hour Volume (4:30pm to 5:30pm)
[Stop Sign Symbol] = Stop Sign



Legend

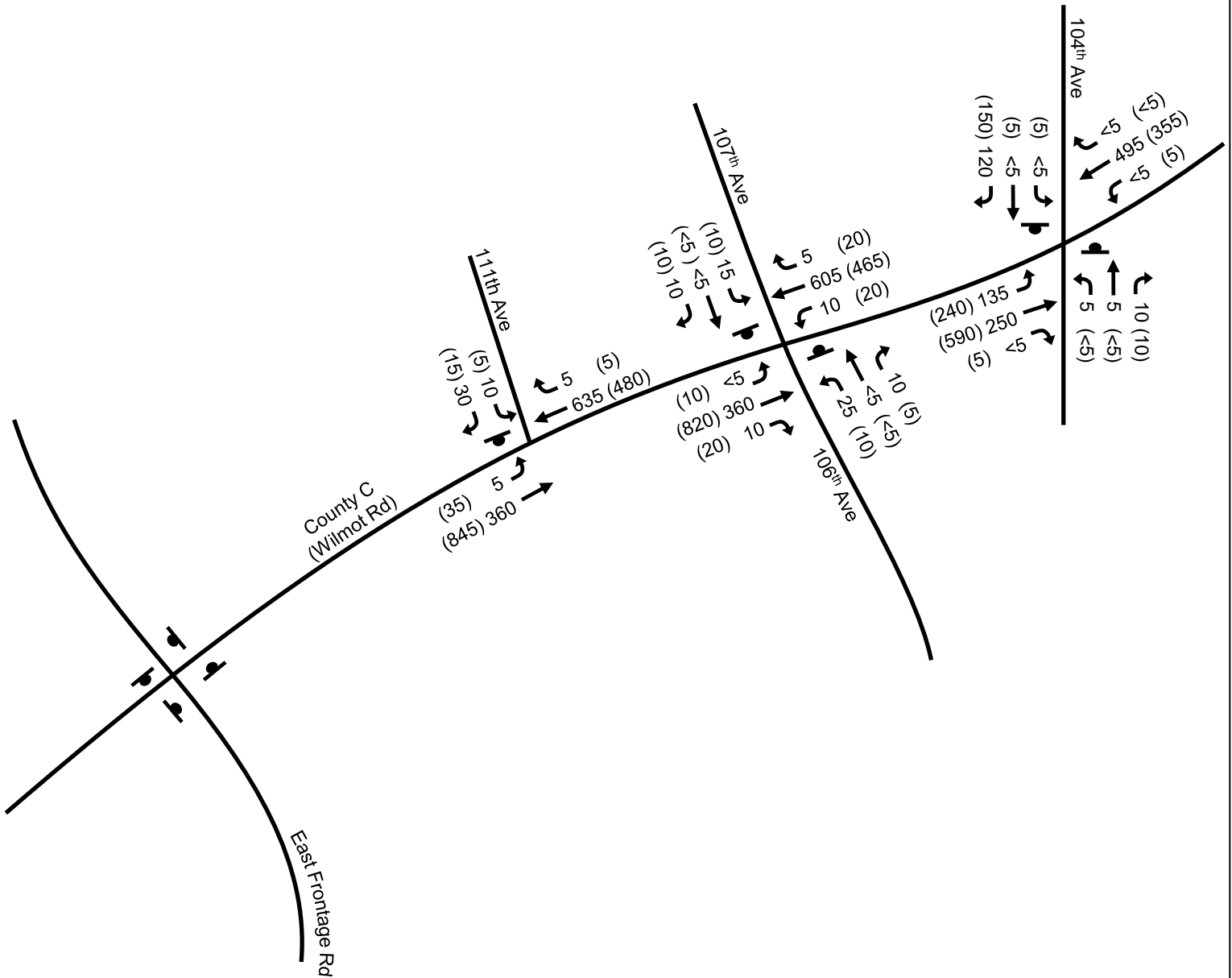
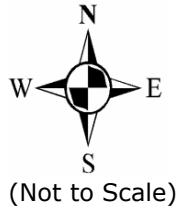
XXX = Weekday Morning Peak Hour Volume (7:00am to 8:00am)

(XXX) = Weekday Evening Peak Hour Volume (4:30pm to 5:30pm)


 = Stop Sign

Year 2018
Total Traffic Volumes

Exhibit
14

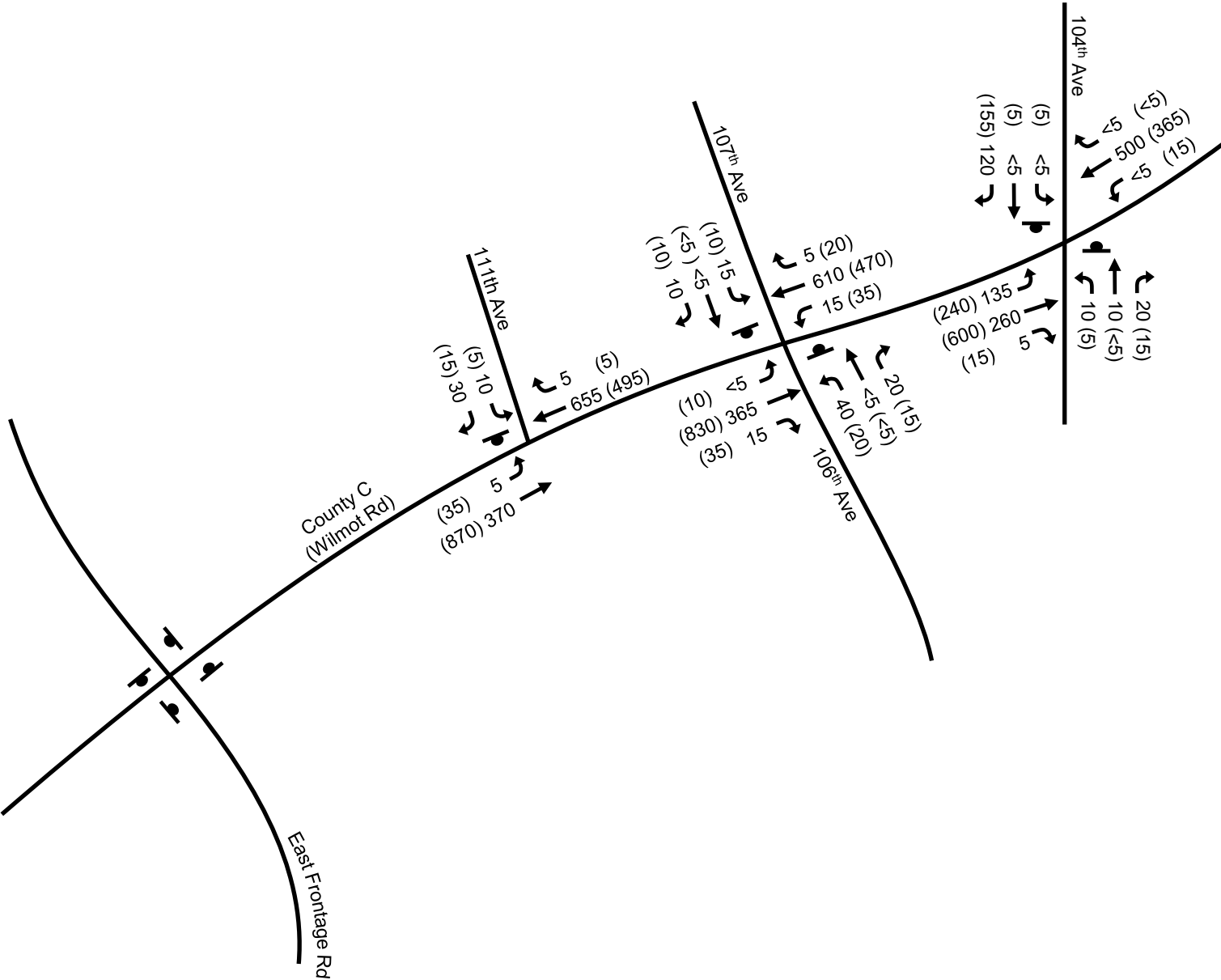


Legend

XXX = Weekday Morning Peak Hour Volume (7:00am to 8:00am)
 (XXX) = Weekday Evening Peak Hour Volume (4:30pm to 5:30pm)
 = Stop Sign

Year 2028
Build Traffic Volumes

Exhibit
15



Legend

XXX = Weekday Morning Peak Hour Volume (7:00am to 8:00am)
(XXX) = Weekday Evening Peak Hour Volume (4:30pm to 5:30pm)
[Stop Sign Symbol] = Stop Sign

Year 2028 Total Traffic Volumes	Exhibit 16
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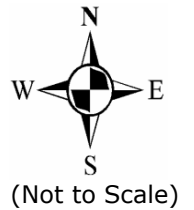
Intersection	Traffic Control	Peak	Level of Service per Movement by Approach ¹											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
County C (Wilmot Road) with East Frontage Road	All-Way Stop	AM	A	A	A	A	B	A	A	A	A	A	A	A
		PM	A	B	A	A	B	A	A	A	A	A	A	A
County C (Wilmot Road) with 111 th Avenue	One-Way Stop ²	AM	A	*	--	--	*	*	--	--	--	B	--	B
		PM	A	*	--	--	*	*	--	--	--	C	--	C
County C (Wilmot Road) with 106 th Avenue/107 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	A	C	C	C
		PM	A	*	*	A	*	*	D	D	B	C	C	C
County C (Wilmot Road) with 104 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	C	B	B	B
		PM	A	*	*	A	*	*	C	C	C	C	C	C

Notes:

- 1) The '--' symbol indicates movement not allowed. The '*' symbol indicates free-flow turn movement.
- 2) North approach stop controlled.
- 3) North-South approaches stop controlled.

**Year 2018 Total
Level of Service**

Exhibit
17



Intersection	Traffic Control	Peak	Level of Service per Movement by Approach ¹											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
County C (Wilmot Road) with 111 th Avenue	One-Way Stop ²	AM	A	*	--	--	*	*	--	--	--	C	--	C
		PM	A	*	--	--	*	*	--	--	--	C	--	C
County C (Wilmot Road) with 106 th Avenue/107 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	B	C	C	C
		PM	A	*	*	A	*	*	F⁴	F⁴	C	E⁵	E⁵	E⁵
County C (Wilmot Road) with 104 th Avenue	Two-Way Stop ³	AM	A	*	*	A	*	*	C	C	C	B	B	B
		PM	A	*	*	A	*	*	D	D	D	C	C	C

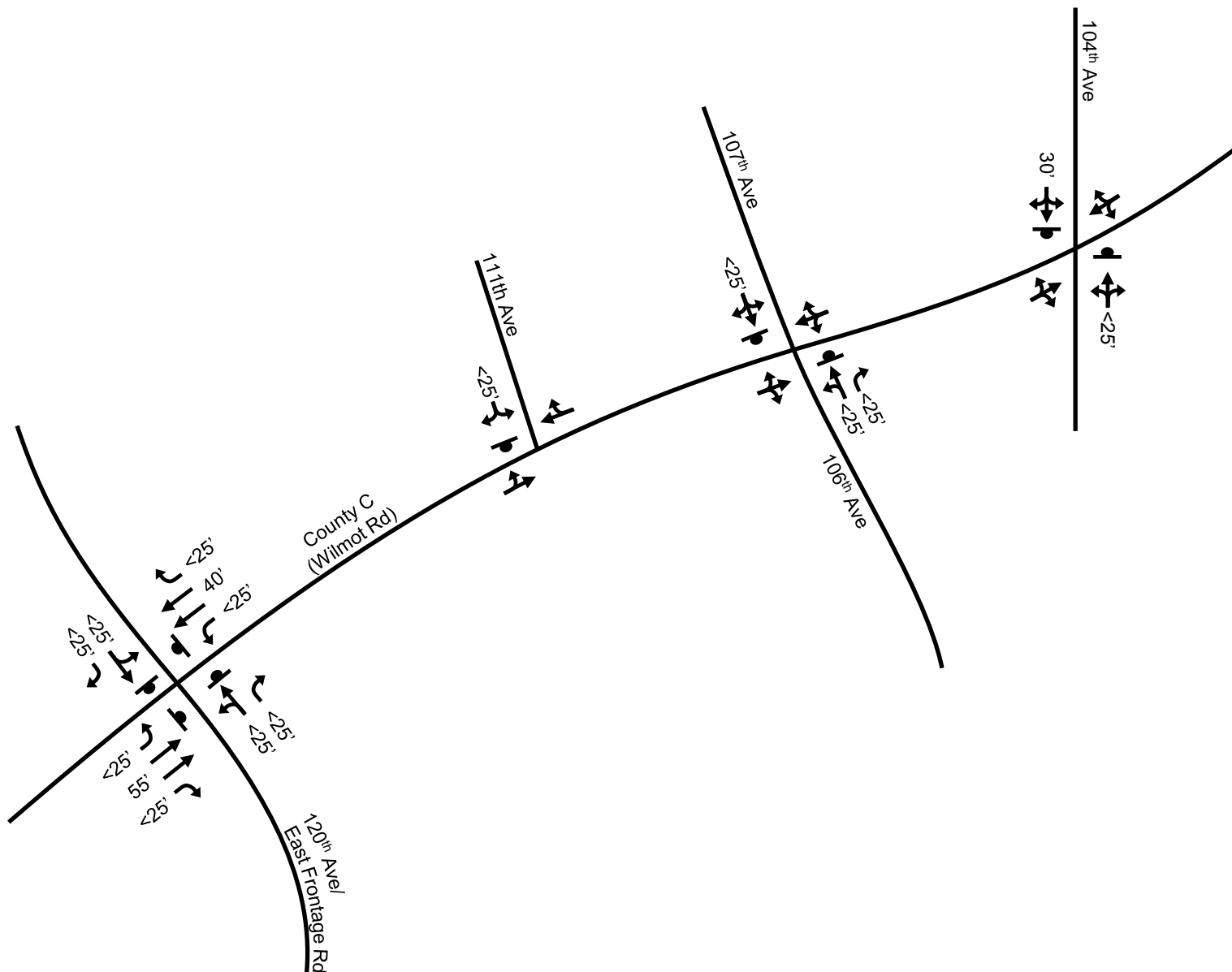
Notes:

- 1) The '--' symbol indicates movement not allowed. The '*' symbol indicates free-flow turn movement.
- 2) North approach stop controlled.
- 3) North-South approaches stop controlled.
- 4) LOS F: Delay = 53.9 seconds, v/c = 0.15, up to 10 vph per movement
- 5) LOS E: Delay = 35.4 seconds, v/c = 0.17, up to 10 vph per movement

Intersection	Traffic Control	Peak	Level of Service per Movement by Approach											
			Eastbound			Westbound			Northbound			Southbound		
			L	T	R	L	T	R	L	T	R	L	T	R
County C (Wilmot Road) with 111 th Avenue	One-Way Stop ¹	AM	A	*	--	--	*	*	--	--	--	C	--	C
		PM	A	*	--	--	*	*	--	--	--	C	--	C
County C (Wilmot Road) with 106 th Avenue/107 th Avenue	Two-Way Stop ²	AM	A	*	*	A	*	*	D	D	B	C	C	C
		PM	A	*	*	A	*	*	F ⁴	F ⁴	C	E ⁵	E ⁵	E ⁵
County C (Wilmot Road) with 104 th Avenue	Two-Way Stop ²	AM	A	*	*	A	*	*	C	C	C	B	B	B
		PM	A	*	*	A	*	*	E ⁶	E ⁶	E ⁶	C	C	C

Notes:

- 1) The '--' symbol indicates movement not allowed. The '*' symbol indicates free-flow turn movement.
- 2) South approach stop controlled.
- 3) North-South approaches stop controlled.
- 4) LOS F: Delay = 72.7 seconds, v/c = 0.31, up to 20 vph per movement
- 5) LOS E: Delay = 40.8 seconds, v/c = 0.19, up to 15vph per movement
- 6) LOS E: Delay = 48.8 seconds, v/c = 0.22, up to 20 vph per movement

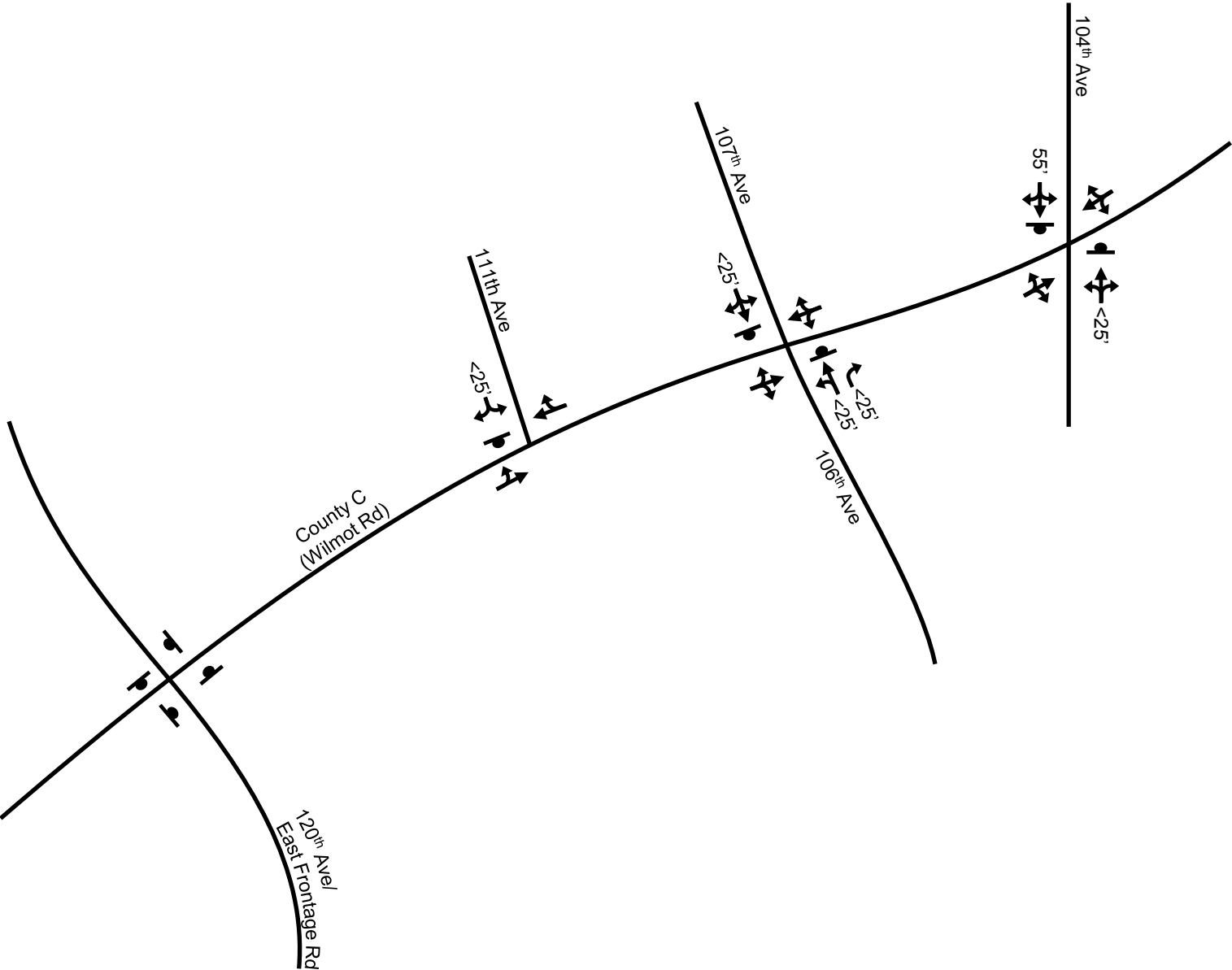


Legend

- = Stop Sign
- XX' = 95th Percentile Maximum Queue (feet)
- = Travel Lane

Year 2018
Total Traffic Queues

Exhibit
20

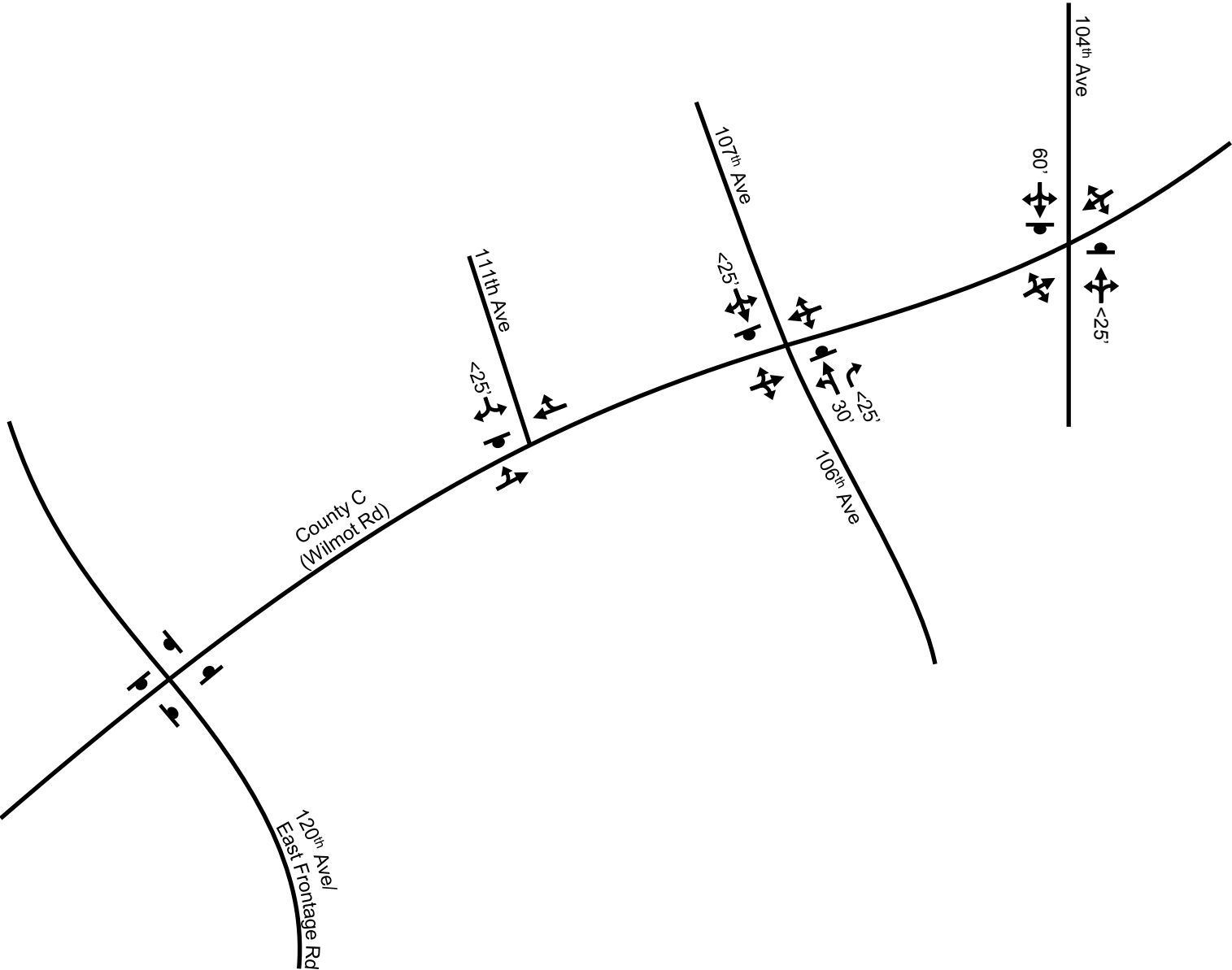


Legend

- = Stop Sign
- XX' = 95th Percentile Maximum Queue (feet)
- = Travel Lane

Year 2028
Build Traffic Queues

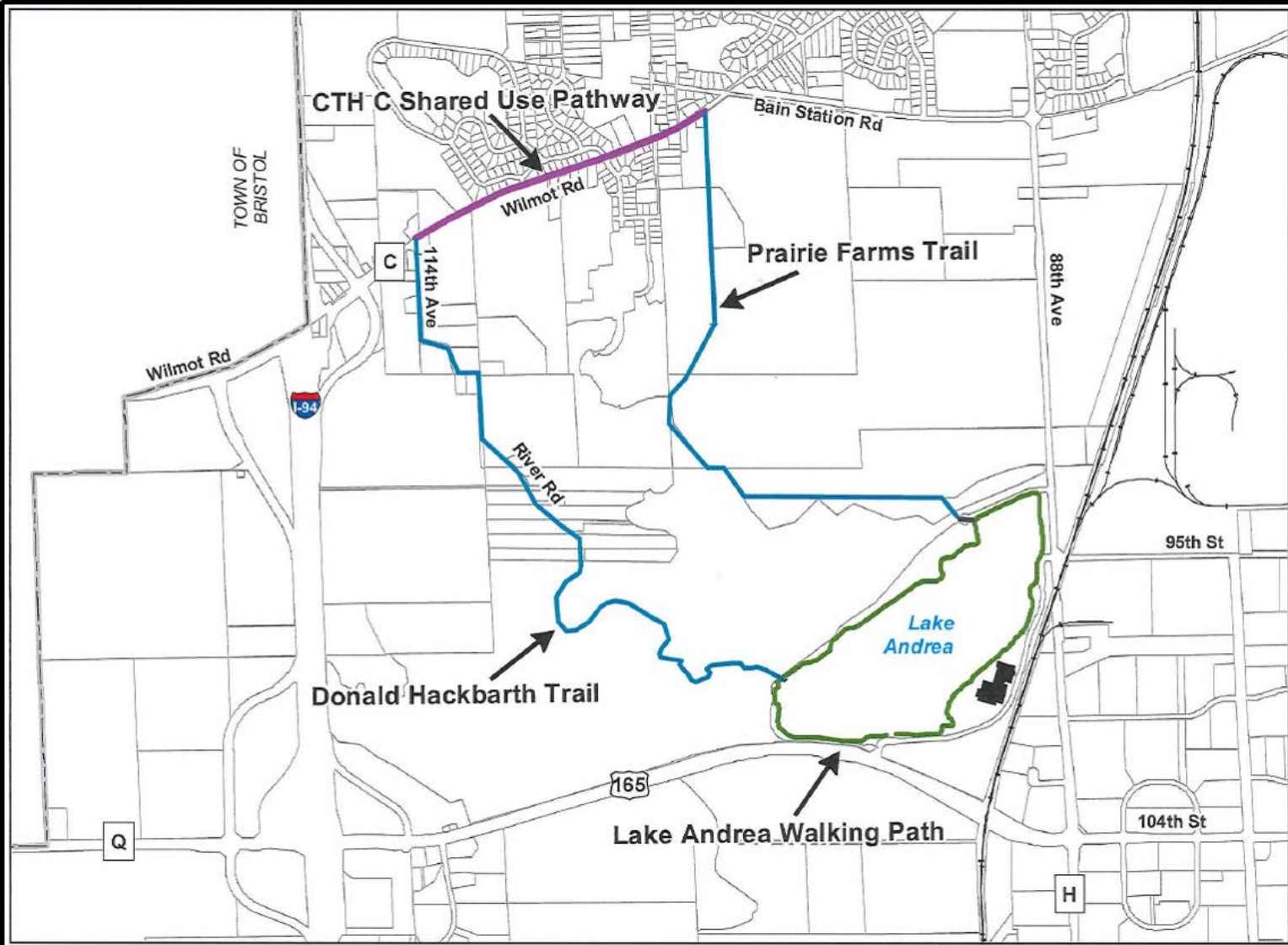
Exhibit
21



Legend

- = Stop Sign
- XX' = 95th Percentile Maximum Queue (feet)
- = Travel Lane

Year 2028 Total Traffic Queues	Exhibit 22
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**DECLARATION OF COVENANTS, CONDITIONS, AND
RESTRICTIONS FOR RIVER RUN AT HERITAGE VALLEY**

THIS DECLARATION is made as of _____, by U.S. Shelter Homes I LLC, a limited liability company (“Declarant”), with reference to the following facts and circumstances:

A. The Declarant is the fee owner of certain real property in the Village of Pleasant Prairie, Kenosha County, Wisconsin, (“Village”) the legal description which is set forth on Exhibit A attached hereto and made a part hereof by reference which property shall hereafter be referred as a subdivision (“Subdivision”).

B. Declarant desires to establish covenants, conditions and restrictions upon the Subdivision, and each and every portion thereof, which will constitute a general scheme for the management of the Subdivision, and for the use, occupancy and enjoyment thereof, all for the purposes of enhancing and protecting the value, desirability and attractiveness of the Subdivision and enhancing the quality of life within the Subdivision.

C. For purposes of development and marketing control, Developer may develop Subdivision in up to three phases.

THEREFORE, Declarant hereby declares that all the properties described above shall be held, sold, conveyed, hypothecated, encumbered, leased, rented, occupied and improved, subject to the following easements, restrictions, covenants, and conditions, all of which are declared and agreed to in furtherance of a general plan for the protection, maintenance, improvement, and development of the Subdivision and for the protection and enhancement of the value, desirability and attractiveness of the Subdivision. All provisions of this Declaration are hereby imposed as equitable servitudes upon the Subdivision. All of the easements, restrictions, covenants and conditions set forth in this Declaration shall run with the land and shall be binding on and for the benefit of the Subdivision and all of the parties having or acquiring any right, title or interest in the Subdivision or any part thereof, their heirs, successors and assigns.

**ARTICLE I
DEFINITION OF TERMS**

Whenever used in this Declaration, the following terms shall have the following meanings:

- (a) *Association*—River Run at Heritage Valley Community Association Inc., a Wisconsin incorporated association, its successors and assigns.
- (b) *Declarant*—U.S. Shelter Homes I LLC, a limited liability company, its successors and assigns, if such successors and assigns hold title to all, or any portion of, the Subdivision.
- (c) *Member*—Every person or entity who holds a membership in the Association through ownership of a Lot, in accordance with the provisions of this Declaration.

- (d) *Owner*—Each person and entity holding a record ownership interest in a Lot, including the Declarant. The term “Owner” shall not include persons or entities who hold an interest in a Lot merely as security for the performance of an obligation.
- (e) *Lot*—Each buildable parcel shown upon the recorded Map of the Subdivision.
- (f) *Outlots* – Each parcel of land shown upon the recorded Map of the Subdivision listed as Outlots. Outlots 1 & 4, to be dedicated to the Village; Outlot 2 to be dedicated to the Declarant and Outlot 3 to be dedicated to the Association.
- (g) *Subdivision*—Lots 1 through 45, and Outlots 1, 2 and 3, of River Run at Heritage Valley as shown on the map thereof filed _____, 20__ as Map Document No. _____, Kenosha County Records. .
- (h) *Subdivision Interest*—The ownership interest held by an “Owner”, as defined above.
- (i) *Residence* – The home built upon a Lot in the Subdivision.

ARTICLE II PROPERTY RIGHTS, RIGHTS OF ENJOYMENT & EASEMENTS

1. **LOT OWNERSHIP: EXCLUSIVE EASEMENTS.** The ownership of each Lot within the Subdivision shall include one Lot and all rights incidental thereto, and any exclusive easement or easements appurtenant to such Lot as described in the deed to such Lot or on the Map for such Subdivision.
2. **NON-EXCLUSIVE EASEMENTS OF ENJOYMENT.** Each Owner shall have a non-exclusive easement of use and enjoyment to Outlot 2 of the Association as further set forth herein and as set forth in the By-Laws of the Association.
3. **EASEMENTS GRANTED BY ASSOCIATION.** Declarant, and from and after its formation, the Association, shall have full rights to grant easements and rights-of-way in, on, over and under the Subdivision for drainage, utilities, public sewers, water systems and any other similar public or quasi-public improvement or facilities, until such time as Declarant is no longer involved, at which time the Association shall continue to retain such rights. No such easement may be granted if the same would interfere with the use, occupancy or enjoyment by any Owner of their Residence constructed upon their Lot.
4. **CERTAIN EASEMENTS AND RIGHTS RESERVED TO DECLARANT.**
 - (a) *Utilities.* Easements over the Subdivision for the installation and maintenance of electric, telephone, cable television, water, gas, sanitary sewer mains, storm sewer mains and drainage facilities, water mains, hydrants, landscape easements, vision triangles, monument signs and street lights as are needed to service the Subdivision and each of the Lots contained therein, are hereby reserved by Declarant together with the right to grant and transfer the same; provided, however, such easements shall not unreasonably interfere

with the use and enjoyment by the Owners of the residences constructed on their respective Lots.

- (b) *Construction and Sales.* There is hereby reserved to Declarant, together with the right to grant and transfer the same to Declarant's sales agents and representatives and prospective purchasers of Lots, over the Subdivision as the same may from time to time exist, easements for construction, display, maintenance, sales and exhibit purposes in connection with the erection and sale or lease of residences within the Subdivision; provided, however, that such use shall not be for a period beyond the sale by Declarant of all Lots within the Subdivision, and provided further that no such use by Declarant and others shall otherwise unreasonably restrict the Owners in the reasonable use and enjoyment of their respective Lots. Placement of a Residence to be used for such marketing and display purposes shall be an option of Declarant only subject to approval by the Village, and will require a Conditional Use Permit.
- (c) *Cable Television.* There is hereby reserved in Declarant over the Subdivision, together with the right to grant and transfer the same, the right to place on, under or across the Subdivision transmission lines and other facilities for a cable television system and thereafter to own and convey such lines and facilities and the right to enter upon the Subdivision to service, maintain, repair, reconstruct and replace said lines or facilities; provided, however, that the exercise of such rights shall not unreasonably interfere with any Owner's reasonable use and enjoyment of their Lot. Nothing contained herein shall be construed to create an obligation of Declarant to install such cable system.
- (d) *Access and Maintenance Easement Lots 3 and 4.* There is hereby reserved and granted, to the Declarant and Village, a fifteen foot Dedicated Easement for Access and Maintenance of the sanitary sewer which is located along the south one hundred and forty one feet (141) of lot and the south one hundred forty two and 42 tenths feet (144.42) of lot 3. There shall be a parallel 15 foot temporary Dedicated Easement along the property on the south side of the Lot 3 and 4 Access and Maintenance Easement. Once the adjacent lots are platted, then the temporary easement shall be replaced with a permanent Dedicated 15 foot Easement along the north side of the adjacent lots (currently lots 22 and 23).
- (e) *Access and Maintenance Easement over all Storm sewer mains and drainage facilities and Water Drainage Areas (a "Water Drainage Area" is an area which is causing a problem or restriction for the Master Drainage Plans proper drainage expectation).* Declarant shall grade the sub-grade of each Phase of development to meet the Master Grading Plan. Should the Declarant build the home upon a lot, the Declarant shall spread topsoil upon that lot to meet the grades of the master grading plan, with-in reasonable tolerances. Should a third party purchase the lot, they shall be responsible for maintaining and establishing the grading to meet the Master Grading Plan. There is hereby reserved and granted, to the Association, the Village and the Declarant a Dedicated Easement for Access and Maintenance of all Storm water easement and Drainage Areas. While the Declarant is establishing the grading and owns the lots the Declarant shall establish and maintain the proper grades for drainage. Upon sale of a lot to a third party the third party shall maintain, at its expense, the proper drainage. The Owner of each lot shall be responsible to maintain

the grade, on thier lot, in accordance with the Master Grading Plan and insure the drainage is flowing according to the plan. Should there be a blockage, change of grade or issue related to the proper storm water flow, the Association or the Village may repair the problem and bill the Owner for their actions.

(f) *Monuments and Sign Easements and Landscaping in Right of Way (Parkway Areas).*

There is hereby reserved to Declarant and Association a Monument and Sign Easement upon Outlot 3. The Easement shall run South fifty feet (50) feet from the Northwest corner of lot 38 and then westerly fifty feet (50) then back north to the lot line of Outlot 2. No landscaping of any kind may be installed into the Right of Way area adjacent to a lot by the Owner or Association without the written approval of the Village. The Owners have the full responsibility to maintain mow, water and care for the trees within the Parkway areas.

ARTICLE III USE RESTRICTIONS

1. **RESIDENTIAL USE.** Lots shall be used for single family residential purposes which may include a licensed home based business as allowed by the Village, provided, however, that for a period of ten (10) years from and after the date of recordation of this Declaration or the date by which all Lots have been sold by Declarant, whichever occurs first, Lots owned by Declarant may be used by Declarant or its designees as models, sales offices, and construction offices for the purpose of developing, improving, and selling lots in the Subdivision, subject to approval by the Village. Nothing in this Declaration shall prevent an Owner from leasing or renting their Lot, provided, however, any lessee or renter thereof shall abide by and be subject to all the provisions of this Declaration.

2. **OWNER MAINTENANCE OF INDIVIDUAL LOTS.** Each Owner shall be responsible for the maintenance and repair of all the improvements to their Lot, including any residential structure, parking facilities and landscaping thereon. Each Owner shall maintain the exterior paint or other finish on any improvements constructed on their Lot in good condition and repair. Colors used for repainting and maintaining the exterior of each Residence shall be similar to other Residences within the Subdivision, no bright primary or garish colors shall be used.

3. **RESIDENCES.** All Residences shall be standard single family housing structures with permanent foundations and a minimum floor area (including walls and partitions) of no less than 1,600 square feet for living purposes, not including garage, porches, roof overhangs or outbuildings or other unattached structures.

4. **OUTBUILDINGS.** One small (not to exceed 120 square feet) maintenance shed, of similar materials and the same colors of the Residence and subject to architectural control standards established by the Architectural Committee hereinafter referred to, is permitted in the rear one quarter of the rear yard of each lot provided it is not located in any easement and not abutting any Street Right of Way.

5. **TEMPORARY STRUCTURES.** No mobile home or trailer shall be located on or at any Lot for any period of time exceeding 72 hours unless approved by the Architectural Control Committee. For example, no mobile home or trailer shall be permanently parked in a driveway for temporary living quarters, guest house unit or storage unit unless first approved by the Architectural Control Committee.

6. **ACCESSORY STRUCTURES MOUNTED ON THE RESIDENCE.** One accessory structure such as a satellite dish or antenna shall be allowed on the residence located on the roof at the rear one quarter of the home and not exceed a height of three feet above the highest point of the roof ridge unless the Architectural Committee first approves and the Village allows said accessory structure. When possible the preference is to maintain television or radio antennae within completely enclosed portions of their Residence or on the Residence, provided such television or radio antennae is not visible from the street in front of the Residence. The Architectural Committee can review applications for additional accessory structures or alternative locations and can either approve or reject additional accessory structures or alternate locations.

OFFENSIVE CONDUCT; NUISANCES. No noxious or offensive activities, including, without limitation, the repair of automobiles or other motorized vehicles, shall be carried on, upon or within the Subdivision or any Lot contained therein, nor shall anything be done thereon which may be or become an annoyance or nuisance to the residents of the Subdivision, or which shall in any way interfere with the quiet enjoyment of occupants of the Lots. Motorcycles and other two-wheel motorized vehicles shall be strictly limited to essential operations such as transportation to and from work. Any action such as excess noise, speed, or the action of revving up engines or speeding up and down adjacent roads shall constitute a violation of this covenant. Go-carts, racing cars, snowmobiles and other such type vehicles shall not be operated in the Subdivision, on any of the Lots or Outlots contained therein, or on any streets and roads adjacent thereto. Large commercial advertising vans, box trucks shall not be allowed to permanently park in the driveways

7. **SIGNS.** Temporary signs not to exceed nine (9) square feet may be installed on a Lot by the Owner thereof. Declarant shall have the right to display to the public from any Lot, except at such times as may be used by the Declarant or its designees for the purpose of developing, selling and improving Lots within the Subdivision. Notwithstanding the foregoing, one sign of customary and reasonable dimensions advertising a Lot for sale or for rent may be placed within each Lot by the Owner thereof. Additional signs as allowed or permitted by the Village will be allowed.

8. **TRASH DISPOSAL.** Trash, garbage, or other wastes shall be kept only in sanitary containers and no Lot shall be used as a dumping ground for rubbish. Trash and garbage cans must be removed from the street within 24 hours of the trash or garbage pickup and stored outside of public view or inside a structure.

9. **ANIMALS.** Up to four dogs or cats may be kept at a Residence. No livestock including but not limited to pigs, chickens and other barnyard animals may be kept on the premises.

10. WATER USE. Municipal water only shall be used for domestic purposes including household, formal landscaping, garden and drinking water.

11. LOT SPLIT. No Lot shall be subdivided into smaller parcels.

12. DRAINAGE OBLIGATIONS. Each Owner agrees for themselves, their heirs, assigns, vendees and successors in interest, that they will either refrain from any change or interference with the established master drainage pattern over their Lot from adjoining or other Lots in the Subdivision no changes, alterations or modifications of any sort shall be allowed without the approval of the Village For purposes hereof, established drainage is defined as the drainage pattern established at the time of the overall grading of the Subdivision is completed.

13. VEGETATION AND LANDSCAPING. All Lots shall be maintained as neatly as possible to achieve an atmosphere with as much vegetation remaining as possible to achieve a natural barrier between adjoining Lots and buildings. No healthy trees shall be removed other than for building sites and view. Each Owner of a Lot, upon conveyance of said lot to Owner, shall keep all shrubs, trees, grass and plantings of every kind on their Lot, including planted public areas between sidewalks and the street curb that are adjacent to Owners lot, if any, neatly trimmed, properly cultivated and watered, and free of trash, weeds and other unsightly material and shall keep that portion of any perimeter wall, if any, located in their Lot in good repair.

14. OUTSIDE DRYING AND LAUNDERING. No permanent exterior clothesline shall be erected or maintained and there shall be no exterior drying or laundering of clothes on balconies, patios, porches or other areas.

15. GROUND MOUNTED ANTENNAE. EXTERNAL FIXTURES, ETC. No television or radio poles, antennae, clotheslines, or other external fixtures other than those approved by the Architectural Committee, and any replacements thereof, shall be constructed, erected or maintained on or within any Lot, including any structures thereon. No wiring, insulation, air conditioning or other machinery or equipment other than approved by the Architectural Committee, and any replacement thereof, shall be constructed, erected or maintained on or within the Lot, including any structure thereon. Each Owner shall have the right to maintain one television, satellite or radio antennae as provided in Section 7.

ARTICLE IV ASSOCIATION AND COMMUNITY PROPERTY MAINTENANCE

1. ASSOCIATION. Each Owner shall automatically become a member of the River Run at Heritage Valley Community Association Inc., upon its formation pursuant to Section 2 of this Article IV. Each Owner shall remain a member of the Association until such time as their ownership ceases for any reason, at which time their membership in the Association shall automatically cease. Individuals who jointly own a single Lot shall together be considered a single member of the Association for purposes of this Declaration, although they shall be jointly and severally liable for compliance with the terms of this Declaration.

2. **FORMATION.** The Association shall be formed in accordance with the Declaration of Covenants, Conditions and Restrictions for River Run at Heritage Valley, and the Bylaws of River Run at Heritage Valley Community Association Inc. (Attached hereto as Exhibit A) River Run at Heritage Valley Community Association Inc., shall be formed as a Wisconsin incorporated association, organized under the Wisconsin Nonstock corporation Laws, to serve as the association of Owners of Lots in River Run at Heritage Valley subdivision in Pleasant Prairie, Kenosha County Wisconsin, and all subsequent additions to said subdivision. The provisions of the Declaration of Covenants, Conditions and Restrictions and the By-Laws both for River Run at Heritage Valley shall apply to the Subdivision and to the use and occupancy of the Subdivision and Lots. The first meeting of the Association shall be held no sooner than thirty (30) days after 75% of the Lots in the Subdivision have been sold, exchanged or conveyed by Declarant ("Transfer Date"). After such time, as determined by Declarant, Declarant shall initiate the first annual meeting of the Association for the purpose of turning over the Association to the Home Owners. Declarant shall provide notices as well as the agenda, financial statements and budgets.

3. **MAINTENANCE PRIOR TO FIRST MEETING.** Until such time as the Association conducts its first meeting as above set forth and pursuant to the By-Laws hereinafter set forth, the Owner or Owners of each Lot shall be responsible for the upkeep and maintenance of their own Lots as called for by this Declaration and the Declarant shall be responsible for the common area referred to as outlot 3 which area will all be deeded to the Association for the common benefit of all Lot Owners at the time 75% of all Lots are sold, exchanged or conveyed by Declarant. Expenses incurred by the Declarant with respect to maintenance and improvement of outlot 3 prior to conveyance of same to the Association shall be allocated to the Owner or Owners of each Lot in the Subdivision in the same proportion as each Lot bears to the total number of Lots in the Subdivision. For purposes of illustration and not limitation such maintenance expense shall include maintenance, repair, replacement or other work with respect to any improvements, facilities or equipment incidental to any facilities or improvements, placed or maintained on said outlots or non-exclusive easements for the benefit of each Lot Owner including without limitation perimeter fencing, entry standards, landscaping, sewers and any other equipment or facilities used in connection with such maintenance such as wells, detention areas, wetlands or any utilities used in connection with same. After conveyance of said outlot 3 to the Association the Association shall assume responsibility for same.

4. **DUTIES AND POWERS OF THE ASSOCIATION.** The Association shall be authorized to prosecute in any proceeding at law or equity any violation or attempted violation of the Declaration, including, without limitation, the right to seek injunctive or other equitable relief or to recover damages or both. In any litigation or other proceeding arising out of this Declaration (whether such proceeding or litigation is brought by the Association, the Declarant or an individual Lot Owner or Owners), all costs and reasonable attorneys' fees may be made a part of the judgment of the court. Nothing contained herein shall be construed to limit the rights and remedies to which any Owner is entitled as a result of a breach of any provision of this Declaration. The Association, acting pursuant to its By-Laws, shall take all actions necessary for the preservation and protection of the Subdivision. Such preservation and protection of the Subdivision shall include all items of maintenance described in Paragraph 3 above. The Association, after its formation, shall incur expenses for maintenance of common areas and outlot 3 as well as paying the power bills for the street lighting within the Subdivision (pursuant to Paragraph 5 below).

5. PUBLIC STREET LIGHT ELECTRICITY BILLING AND MAINTENANCE. The Association shall pay the WE Energies monthly billing to the Village for the electricity and maintenance of the street lights.

6. PUBLIC STREET TREE AND PARKWAY MAINTENANCE. The Association shall maintain the parkway and the trees planted that are adjacent to the Outlot 3. The Owners shall be responsible for the replacement and maintenance of the street trees and maintenance of the easement areas adjacent to their lot. An Owner may not change any plantings within the Right of way adjacent to their Lot, unless they receive a permit from the Village to make changes.

7. STORM WATER AND ASSOCIATION OBLIGATIONS Each Owner agrees for themselves, their heirs, assigns, vendees and successors in interest, that they will either refrain from any change or interference with the established master drainage pattern over their Lot from adjoining or other Lots in the Subdivision no changes, alterations or modifications of any sort shall be allowed without the approval of the Village For purposes hereof, established drainage is defined as the drainage pattern established at the time of the overall grading of the Subdivision is completed.

8. ASSOCIATION BY-LAWS. The By-Laws are included herein and attached hereto as exhibit (A).

ARTICLE V ARCHITECTURAL CONTROL

1. ARCHITECTURAL RESTRICTIONS. No building, fence, berm, wall or other structures shall be commenced, erected or maintained upon any Lot, nor shall any exterior addition, change or alteration therein be made until the plans and specifications showing the nature, kind, shape, height, materials and location of the same have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Architectural Committee. All requests made to the Architectural Committee shall be addressed in a reasonably prompt manner.

2. APPOINTMENT OF ARCHITECTURAL COMMITTEE. Declarant shall appoint all of the original members of the Architectural Committee and all replacements until the later of the date set forth in Section 2 of Article IV or the Declarant no longer owns any Lots in the Subdivision and shall consist of three (3) members. Thereafter, the governing board of the Association shall have the power to appoint all the members of the Architectural Committee. If the governing board fails to appoint members of the Architectural Committee, for any reason (including the failure of the Association to be organized), then no plans and specifications need to be submitted for approval

pursuant to this Article V until such members are appointed. No plans or specifications for improvements, which are commenced or for which a building permit has been issued after the date set forth in Section 2 of Article IV and before the Association has appointed the member of the Architectural Committee, are subject to the approval of the Architectural Committee. Members appointed by the governing board of the Association shall be Owners of the Lots. Members appointed by the Declarant need not be members of the Association. The Architectural Committee shall follow the provisions for committees within the Bylaws of the Association.

3. **ARCHITECTURAL STANDARDS.** All Lot improvements in the Subdivision shall be so constructed as will protect against depreciation of property values and shall be so constructed as to guard against an excess of similar architectural styles so as to avoid housing monotony, to promote and obtain harmonious color schemes, to insure appropriate development of Lots and encourage the construction of attractive, substantial homes with appropriate locations within the Lot boundaries, to encourage secure and maintain attractive and harmonious landscaping, to provide adequately for high quality improvements and enhance the value of investments made by the purchasers of Lots. All Residences shall be standard single family housing structures with permanent basement foundations and a minimum floor area (including walls and partitions) of no less than 1,600 square feet for living purposes, not including garage, porches, roof overhangs or outbuildings or other unattached structures. The Residences shall include both ranch style homes and two story homes, some of the two story homes shall include the master bedroom suites on the first floor. The architecture of the Residences shall generally be designed to include current market demands and not to conflict with the architectural style and building materials similar to the existing homes in Heritage Valley. The architecture shall be primarily traditional style and shall be interesting and varied using details typical of traditional, craftsman, colonial and prairie style elements for the exterior of the buildings including variations of roof line including gables and hip roofs provided that the roof pitch not be less than 6/12. Colors and materials shall be varied but compatible with the existing homes and shall include low maintenance asphalt shingles. Metal accent roofing is allowed over projecting windows or bays, porches or on accent roofing areas. Wood or composite wood trim shall be located at the exterior side of all windows, doors and corners of the home, unless a masonry type exterior cladding is used. When a front masonry elevation ends at a corner the same masonry material shall wrap the corner to the side elevation by at least 2 feet. Exterior elevations shall be created using a variety of natural products such as stone, brick, cedar trim, shutters, box or bay windows, accent materials such as vertical siding, shake shingle look or other variations for various accent walls. No Lots shall be used for the storage of material or the conduct of any activity which would compromise the collective good of the Subdivision Lot Owners. All Village of Pleasant Prairie Land Division and Development Control Ordinances and Zoning Ordinance requirements shall be observed including all required setbacks. Minimum square footage set forth for homes shall not include garages, porches or basements. No below grade area shall be considered in determining square footage. Each home shall be served with no less than an attached two-car garage and no garage shall be used as a temporary or permanent residential structure or business. All garages shall be connected to the road by proper hard surface (not compacted gravel) driveway, within one year of occupancy of the residence. Only below grade pools, which comply with all Village requirements, setbacks and fencing may be allowed. Fencing shall be as uniform as possible for a consistent Subdivision appearance, the fencing allowed shall be a maximum of six (6) feet high and shall not be chain-link style fencing. Fencing may be located at the rear of the Residence only and no closer to the road than the rear

corner of the Residence or up to the rear ¼ of the garage (at garage side yard) for the purposes of encompassing a side yard service door or garage service door. Fences located within Street Yards, are restricted to four feet in height. Electric fences, buried under ground are permitted. Landscaping requirements shall include seeded or sodded yards within the first growing season after move-in and front foundation plantings shall comprise at least fifty (50) per cent of the front of the homes foundation and have no less than a Three Thousand dollar value (\$3,000).

4. MAIL BOXES. Mail boxes shall be four unit gang mail boxes mounted on a post behind the curb. Declarant will select locations for mounting each gang of mail boxes. The mail box shall be attractive but simple so that replacement when needed can remain uniform.

ARTICLE VI TERM OF DECLARATION OF COVENANTS

This Declaration shall run with the land, and shall continue in full force for a period of thirty (30) years from and after the date of this Declaration. Thereafter, this Declaration and all covenants, conditions, restrictions and other provisions herein shall be automatically extended for successive periods of ten (10) years, unless an instrument, signed by a majority of the then Owners, agreeing to terminate this Declaration in whole or in part, has been recorded within one (1) year prior to the termination of the initial thirty (30) year term or within one (1) year prior to the termination of any successive ten (10) year.

ARTICLE VII ENFORCEMENT

1. NO RESCISSION OR TERMINATION. No breach of this Declaration shall entitle any party or Owner to cancel, rescind, or otherwise terminate this Declaration or excuse the performance of such party's or Owner's obligations hereunder; provided, however, that this limitation shall not affect in any manner any other rights or remedies which the parties or Owners may have by reason of any such breach.

2. RIGHT OF ENFORCEMENT. The Declarant, any Owner, or the Village, shall have the right, but not the obligation, to enforce by proceedings at law or in equity, all restrictions, covenants, conditions, reservations, liens, and charges now or hereafter imposed by the provisions of this Declaration or any amendment thereto, including the right to prevent the violation of any such restrictions, covenants, conditions or reservations and the right to recover damages or other dues for such violations.

3. NO WAIVER. No waiver of any default by any party to this Declaration shall be implied from any omission by any party to take any action in respect of such default if such default continues or is repeated. The failure by any party to enforce any provision of this Declaration shall not be deemed a waiver of the right to do so thereafter.

4. NO SALE OF OUTLOTS. After the Declarant has transferred the Outlot3 to the Association, Outlot 3 may not be sold to any party, other than to the Village..

ARTICLE VIII PROTECTION OF MORTGAGES

1. MORTGAGES PERMITTED. Any Owner may encumber their Lot with a mortgage or deed of trust (either or both referred to herein as a “mortgage”).

2. SUBORDINATION. Any lien created or claimed under the provisions of this Declaration is expressly made subject and subordinate to the rights of any first mortgage encumbering all or a portion of the Subdivision, or any Lot therein, made in good faith and for value, and no such lien shall in any way defeat, invalidate or impair the obligation or priority of such mortgage unless the mortgage thereunder shall expressly subordinate their interest, in writing, to such lien.

3. EFFECT OF BREACH HEREOF. No breach of any provision of this Declaration shall invalidate the lien of any first mortgage made in good faith and for value, but all of said provisions shall be binding upon any Owner whose title is derived through foreclosure sale, trustee’s sale or otherwise.

4. FORECLOSURE. A lien for regular or special assessments against an Owner is herein made subordinate to the lien of any first mortgage or first deed of trust hereafter collectively referred to as first encumbrance) against subdivision interests of the Owner. In the case of a subordination of a lien for assessments to a first encumbrance, the transfer of a subdivision interest as the result of the exercise of a power of sale or a judicial foreclosure involving a default under the first encumbrance shall extinguish the lien of assessments which were due and payable prior to the transfer of the subdivision interest. No transfer of the subdivision interest as the result of a foreclosure or exercise of a power of sale shall relieve the new owner, whether it be the former beneficiary of the first encumbrance or another person, from liability for any assessments thereafter becoming due or from the lien thereof.

5. NON-CURABLE BREACH. Any mortgagee who acquires title to a Lot by foreclosure shall not be obligated to cure any breach of this Declaration which is non-curable or of a type which is not practical or feasible to cure.

6. LOAN TO FACILITATE. Any mortgage given to secure a loan to facilitate the re-sale of a Lot after acquisition by foreclosure shall be deemed to be a loan made in good faith and for value and entitled to all of the rights and protections of this Article VIII.

7. APPEARANCE AT MEETINGS. Because of its financial interest in the Subdivision, any institutional mortgagee, upon request, may appear at meetings of the member and the Board, or designate a representative to attend all such meetings, to draw attention to the violations of this Declaration, the By-Laws, or the Associations’ Rules and Regulations which have not been corrected or made the subject of remedial proceedings or assessments. Said mortgagee shall, upon request, receive written notice of all meetings of the Association.

8. RIGHT TO FURNISH INFORMATION; COLLECTION OF INSURANCE PREMIUMS. Any mortgagee shall have the right to furnish information to the Board concerning the status of any mortgage. The Board may also delegate to any mortgagee the right to collect such portion of a Lot's assessments, or installments thereof, representing premiums payable for insurance coverage.

9. LOSS PAYABLE CLAUSES. All applicable fire and all physical loss or extended coverage insurance policies shall contain loss payable clauses naming the mortgagees, as their interests may appear.

ARTICLE IX MISCELLANEOUS

1. CONSTRUCTION. The provisions of this Declaration shall be liberally construed to effectuate its purposes. The provisions hereof shall be deemed independent and severable and the invalidity or partial invalidity or enforceability of any one provision, or portion thereof, shall not affect the validity or enforceability of the remainder. The various headings are for convenience only and shall not affect the meaning or interpretation of this Declaration.

2. ATTORNEYS' FEES. In any action brought to declare the rights granted herein or to enforce any of the terms hereof, the prevailing party shall be entitled to an award of reasonable attorneys' fees in the amount determined by the Court.

3. SUCCESSORS AND ASSIGNS. This document shall bind and inure to the benefit of the respective heirs, personal representatives, successors and assigns of the parties hereto.

4. INSURANCE. The Association shall maintain, at all times, liability, property and directors insurance, of not less than one million dollars, insuring all of its property and assets as well as listing the Declarant and its owners and employees and Directors as listed insureds.

5. NOTICE. Any notice sent to any Owner or to Declarant under the provisions hereof shall be deemed to have been received when mailed with proper postage prepaid to the last known address of such Owner or Declarant, or in the case of hand delivery, upon delivery to such last known address.

6. AMENDMENT. This Declaration may be amended only by an affirmative vote of sixty-six and two-thirds percent (66 2/3%) of the Owners within the Subdivision. Any such amendment shall be by written instrument duly executed under notary by all parties whose approval is required by this subsection and recorded in the office of the Kenosha County Register of Deeds.

IN WITNESS WHEREOF, the undersigned has executed this instrument as of the date first above written.

U.S. SHELTER HOMES I LLC by:

PRINT NAME:

TITLE:

STATE OF WISCONSIN)
) SS
 COUNTY)

Personally came before me this ____ day of _____, 201__, the above
named _____.

Notary Public

County, Wisconsin

My commission expires: _____

Drafted By:

Revised by JMS 11/20/17

Revised by JMS 1/23/18

**BY-LAWS OF
RIVER RUN AT HERITAGE VALLEY COMMUNITY ASSOCIATION, INC.
A WISCONSIN NOT-FOR-PROFIT CORPORATION**

**ARTICLE I
NAME OF CORPORATION**

The name of this corporation is the River Run at Heritage Valley Community Association Inc. (Association).

**ARTICLE II
PURPOSES AND POWERS**

2.01 **PURPOSES.** The purposes of this Association are to act on behalf of its members collectively, as their governing body, with respect to the preservation, care, maintenance, replacement, improvement, enhancement, operation and administration of both real and personal property owned by the Association and for the promotion of the health, safety and welfare of the Members of the Association, all on a not-for-profit basis. These By-Laws are attached as Exhibit "A" to the River Run at Heritage Valley Community Association Inc. Declaration of Covenants, Conditions, Restrictions and Easements ("Declaration"). All terms used herein shall have the meanings set forth in the Declaration.

2.02 **POWERS.** The Association shall have and exercise all powers as are now or may hereafter be granted by the General Not-For-Profit Corporation Act of the State of Wisconsin, the Act, the Declaration and these By-Laws.

**ARTICLE III
OFFICES**

3.01 **REGISTERED OFFICE.** The Association shall have and continuously maintain in this State a registered office and a registered agent whose office is identical with such registered office, and may have other offices within or without the State of Wisconsin as the Board may from time to time determine.

3.02 **PRINCIPAL OFFICE.** The Association's principal office shall be maintained at the office of the Declarant prior to the Transfer Date or at the office of the managing agent engaged by the Association.

**ARTICLE IV
VOTING RIGHTS AND
REPRESENTATION OF MEMBERS**

4.01 **ANNUAL MEETINGS.** The initial meeting of the Members shall be held upon not less than twenty-one (21) days' written notice given by the Declarant. If not called earlier by the Declarant, the initial meeting of the Owners shall be held no later than ninety (90) days after the Transfer Date. Thereafter, there shall be an annual meeting of the Owners on the anniversary

thereof, or at such other reasonable time or date (not more than ninety (90) days before or after such date) as may be designated by written notice of the Board delivered to the Owners not less than ten (10) days prior to the date fixed for said meeting.

4.02 PLACE OF MEETING; QUORUM. Meetings of the Members shall be held at such place in Pleasant Prairie, Wisconsin as may be designated in any notice of a meeting. All meetings shall be conducted in accordance with the rules and provisions set forth in Roberts Rules of Order as from time to time published. Twenty percent (20%) of the Voting Members shall constitute a quorum. Unless otherwise expressly provided herein or in the Declaration, any action may be taken at any meeting of the Owners at which a quorum is present upon the affirmative vote of a majority of the members present at such meeting.

4.03 SPECIAL MEETINGS. Special meetings of the Members may be called at any time for the purpose of considering matters which, by the terms of the Declaration, require the approval of all or some of the Owners or for any other reasonable purpose. Said meetings shall be called by written notice, authorized by a majority of the Board, or by twenty percent (20%) of the Owners, and delivered not less than fourteen (14) days prior to the date fixed for said meeting. The notice shall specify the date, time and place of the meeting and the matters to be considered.

4.04 NOTICE OF MEETINGS. Notices of meetings required to be given herein may be delivered either personally or by mail to the members, addressed to each such member at the address given by him to the Board for the purpose of service of such notice or to his/her Unit, if no address has been given to the Board. A notice of meeting shall include an agenda of business and matters to be acted upon or considered at the meeting.

ARTICLE V BOARD OF DIRECTORS

5.01 IN GENERAL. The affairs of the Association and the direction and administration of the Community Area shall be vested in the Community Board ("Board"), which (after the Transfer Date) shall consist of three (3) Directors.

5.02 DECLARANT DESIGNATED BOARDS. Anything herein to the contrary notwithstanding, until the first meeting of the Board, the Board shall consist of three (3) Directors from time to time designated by the Declarant. Such individuals may be, but are not required to be, Owners and shall serve at the discretion of the Declarant.

5.03 INITIAL ANNUAL MEETING. At the first meeting of the Owners (which shall be held no later than ninety (90) days after the Transfer Date), the Voting Members shall elect a full Board of Directors in the manner hereinafter provided to replace the Declarant designated Board established under Section 5.02. From and after such meeting, each member of the Board shall be an Owner or a Voting Member, or both. Within ninety (90) days after the election of a majority of the Board, other than those designated by the Declarant, the Declarant shall deliver to the Board:

- A. Original or certified copies of the Declaration, these By-Laws, the Association's Articles of Incorporation and the Association's minute book, if any.
- B. An accounting of all receipts and expenditures made or received on behalf of the Association by the Declarant designated Board.
- C. All Association funds and bank accounts.
- D. A schedule of all personal property, equipment and fixtures belonging to the Association, including documents transferring property to the Association.

5.04 VOTING RIGHTS. The Association shall meet, at a duly called meetings of the Association action may be taken at any time, at which a quorum is present, and upon an affirmative vote of a majority of the votes represented at the meeting by the members present at such meeting. Any Lot whose Owner is delinquent in any obligation to the Association, shall not have the right to vote until such obligation is confirmed to be satisfied by the Association. Each Owner shall furnish the Association with the Owner's name and current mailing address, no Owner may vote at meetings of the Association until this information is furnished. At any meeting of the Association, an Owner shall be entitled to vote, provided he has satisfied all requirements of these Declarations of Covenants, Conditions and Restrictions and By-Laws, either in person or by proxy. A proxy shall be executed in writing by the Owner or by his duly authorized attorney in fact. All proxies must bear the date of execution, and shall become invalid ninety (90) days after execution. If a Lot is owned by more than one person, the voting rights with respect to such Lot shall not be divided, but shall be exercised as if the Owner consisted of only one person in accordance with the proxy or other designation made by the persons constituting such Owner. If only one of the persons constituting such Owner is present, they shall be entitled to cast the vote allocated to the Lot. If more than one of the persons constituting such Owner are present, the votes allocated to the Lot may be cast only in accordance with the agreement of a majority in interest of such persons. Unanimous agreement of all owners shall be presumed if any of them purports to cast the votes allocated to that Lot without protest being made promptly by any of the other Owners to the person presiding over the meeting or until any of the multiple owners files a statement with the Secretary stating that thereafter the vote must be cast proportionately. Association Directors appointed by the Declarant need not be Owners.

5.05 ELECTION OF DIRECTORS. Upon receipt by the President of the Association of a copy of the written notice of the Declarant to voluntarily terminate its control of the Association, described in Section 2.04(ii) or of any other appropriate evidence of the termination of the Declarant's right to select the Directors of the Board, he/she shall promptly convene a meeting of the Members.

The Board at all times shall consist of three (3) Directors, elected or appointed as follows: the Association shall cause an election to be held by the Owners of the Lots for the purpose of electing Directors to represent the Owners of all Lots. One individual shall be designated as the "Voting Person" for each Lot. The Voting Person or his/her proxy shall be the individual who shall be entitled to vote for election of the Directors to represent the Association. If the record ownership of a Lot shall be in more than one person, or if an Owner is a trustee, corporation,

partnership, limited liability company or other legal entity, then the Voting Person for the Lot shall be designated by such Owner or Owners in writing to the Board and if in the case of multiple individual Owners no designation is given, then the Board, at its election, may recognize an individual Owner of the Lot as the Voting Person for such Lot. The three (3) Owners of Lots receiving the highest number of Votes shall be elected as Directors of the Association Board, for the terms set forth in the By-Laws.

The candidate receiving the greatest number of votes shall serve a three (3) year term and the candidate receiving the next greatest number of votes shall serve a two (2) year term and the candidate receiving the next greatest number of votes shall serve a one (1) year term. Thereafter, each Director shall serve a three (3) year term and shall serve until his or her successor is elected or appointed as provided herein. Each Director shall hold office until his/her term expires or until his/her successor shall have been elected and qualified. Directors may succeed themselves in office.

5.06 PLACE OF DIRECTORS MEETING; QUORUM. Meetings of the Board of Directors shall be held at such place convenient to the Directors as may be designated in any Notice of a Meeting. All Meetings shall be conducted in accordance with the rules and provisions set forth in Roberts Rules of Order, as from time to time published. A majority of the Directors, represented in person or by proxy, shall constitute a quorum. The vote of a majority of the votes entitled to be cast by the Directors present or represented by proxy at a Meeting at which a quorum is present, shall be necessary for the adoption of any matter voted upon by the Directors.

5.07 NOTICE OF MEETINGS. Notice of each Meeting of the Board shall be mailed or personally delivered to each Director at least forty eight (48) hours prior to the Meeting and shall be posted at the Premises at least forty eight (48) hours prior to such Meeting. Written notice of any meeting of the Board of Directors concerning the adoption of the proposed budget or any increase or establishment of an assessment shall be mailed or personally delivered to the Owners and posted conspicuously giving the Owners not less than ten (10) nor more than thirty (30) days notice of the time, place, and purposes of the meeting; unless a written waiver of such notice is signed by the person or persons entitled to such notice before the meeting is convened.

5.08 ANNUAL MEETINGS. The Board shall hold an annual meeting within thirty (30) days from the anniversary date of the initial annual meeting at such time, on such date, and at such place as shall be fixed by the Directors. All Owners shall be invited to the Annual Meetings.

5.09 SPECIAL MEETINGS. Special Meetings of the Board may be called by the President or by at least one-third (2/3) of the Directors then serving.

5.10 OPEN MEETINGS. Each Meeting of the Board shall be open to any Owner except for the portion of any Meeting held (i) to discuss litigation when an action against or on behalf of the Association has been filed and is pending in a court or administrative tribunal, or when the Board finds that such an action is probable or imminent, (ii) to consider information regarding appointment, employment or dismissal of an employee, or (iii) to discuss violations of

Rules and Regulations of the Association or an Owner's unpaid share of Common Expenses or assessments. Any vote taken on any of the matters set forth in subparagraphs (i), (ii) or (iii) above shall be taken at a meeting or portion thereof open to any Owner. If required by the Board, notice of such meeting shall be mailed or personally delivered and posted at the Premises at least forty-eight (48) hours prior thereto, unless a written waiver of such notice is signed by the person or persons entitled to such notice before the meeting is convened. The Board may adopt reasonable rules governing the conduct of Owners who attend meetings and Owners who do not comply with such rules may be removed from the meeting. Any Owner may record the proceedings at a meeting required to be open by tape; film or other means and the Board may prescribe reasonable rules and regulations to govern the right to make such recordings.

5.11 QUORUM. A majority of the Directors serving from time to time shall constitute a quorum for the election of officers and for the transaction of business at any meeting of the Board. Except as otherwise expressly provided herein or in the Declaration, any action may be taken upon the affirmative vote of a majority of the Directors present at a meeting at which a quorum is present. Quorum for the Annual Meeting of Owners shall be 20%, of all Lots represented by either the Owner in person or a properly filed Proxy.

5.12 COMPENSATION/REIMBURSEMENT FOR EXPENSES. No Director shall be compensated for services rendered to the Association. Upon the presentation of receipts or other appropriate documentation, a Director shall be reimbursed by the Association for reasonable out-of-pocket expenses incurred in the course of the performance of his/her duties as a Director.

5.13 REMOVAL OR RESIGNATION OF DIRECTOR. Any Director may be removed from office, with or without cause, by action of the Board at any annual meeting or at a special meeting called for such purpose. Any Director whose removal has been proposed by the Board shall be given an opportunity to be heard at the meeting. Any Director may resign at any time by submitting his/her written resignation to the Board. If a Director ceases to be an Owner, he/she shall be deemed to have resigned as of the date of such cessation.

A successor to fill the unexpired term of a Director who resigns or is removed shall be selected by the remaining Directors.

5.14 POWERS AND DUTIES OF THE BOARD. The Board shall have all the powers and duties granted to it or imposed upon it by the Declaration, these By-Laws, and the Wisconsin General Not-For-Profit Corporation Act, including, without limitation, the following powers and duties:

- A. To procure insurance as provided for in the Declaration;
- B. To engage the service of a managing agent to assist the Association in performing and providing such services as the Association is required to provide to its Members under the Declaration;

C. To provide for the designation, hiring and removal of such employees and such other personnel, including attorneys and accountants, as the Board may, in its discretion, deem necessary or proper for the effective administration of the Association;

D. To provide for any maintenance, repair, alteration, addition, improvement or replacement of the Community Area for which the Association is responsible under the Declaration and these By-Laws;

E. To estimate and provide each Owner with an annual budget as provided for in the Declaration;

F. To set, give notice of, and collect assessments from the Owners as provided in the Declaration;

G. To pay the community expenses;

H. To adopt Rules and Regulations as provided in the Declaration;

I. To delegate the exercise of its power to committees appointed pursuant to Section 7.01 of these By-Laws;

J. To own, convey, encumber, lease or otherwise deal with the Community Area conveyed to or purchased by the Association;

K. To keep detailed, accurate records of the receipts and expenditures affecting the use and operation of the Community Area;

L. To pay real property taxes, special assessments, and any other special taxes or charges of the State of Wisconsin or of any political subdivision thereof, or other lawful taxing or assessing body, which are authorized by law to be assessed and levied upon the real property of the Association;

M. To impose charges for late payments of Association Assessments, or any other expenses lawfully agreed upon, and after notice and an opportunity to be heard, levy reasonable fines for violation of the Declaration, By-laws, and Rules and Regulations of the Association;

ARTICLE VI OFFICERS

6.01 **OFFICERS.** The officers of the Association shall be a President, a Vice President / Secretary, a Treasurer, and such assistants to such officers as the Board may deem appropriate. All officers shall be elected at each Annual Meeting of the Board and shall hold office at the discretion of the Board. Officers may succeed themselves in office. All officers shall be Directors.

6.02 **VACANCY OF OFFICE.** Any officer may be removed at any Meeting of the Board by the affirmative vote of the majority of the Owners, either with or without cause, and any vacancy in any office may be filled by the remaining Board at any meeting thereof.

6.03 **POWERS OF OFFICERS.** The respective officers of the Association shall have such powers and duties as are from time to time prescribed by the Board and as are usually vested in such officers of a Wisconsin Not-For-Profit Corporation including without limitation, the following:

A. The President shall be the Chief Executive Officer of the Association and shall preside at all meetings of the Owners and at all meetings of the Board and shall execute amendments to the Declaration and these By-Laws, as provided for in the Declaration and these By-Laws.

B. The Vice President shall, in the absence or disability of the President, perform the duties and exercise the powers of such office and other duties assigned by the Board. If neither the President nor the Vice President is able to act, the Board shall appoint some other Member of the Board to act in the capacity of President on an interim basis.

C. The Secretary shall keep minutes of all meetings of the Association Members and of the Board and have charge of such other books, papers and documents as the Board may prescribe, and shall be responsible for giving and receiving all notices to be given to or by the Association under the Declaration or these By-Laws.

D. The Treasurer shall be responsible for Association funds and securities and for keeping full and accurate accounts of all receipts and disbursements in the Association books of accounts kept for such purpose. The Treasurer shall be responsible for the deposit of all moneys and other valuable effects in the name, and to the credit, of the Association in such depositories as may from time to time be designated by the Board.

6.04 **OFFICERS' COMPENSATION.** The officers shall receive no compensation for their services except as expressly provided by a resolution duly adopted by the Directors.

ARTICLE VII COMMITTEES DESIGNATED BY BOARD

7.01 **BOARD COMMITTEES.** The Board, by resolution adopted by a majority of the Directors in office, may designate one or more committees, each of which shall consist of two (2) or more Directors, which committees, to the extent consistent with law and as provided in said resolution, shall have and exercise the authority of the Board in the management of the Association; but the designation of such committees and delegation thereto of authority shall not operate to relieve the Board, or any individual Director, of any responsibility imposed upon it or him/her by law.

7.02 **SPECIAL COMMITTEES.** Other committees not having and exercising the authority of the Board in the management of the Association may be designed by a resolution

adopted by a majority of the Directors present at a meeting at which a quorum is present. Except as otherwise provided in such resolution, members of each such committee shall be Owners and the President of the Association shall appoint the members thereof. Any member thereof may be removed by the Board whenever in their judgment the best interest of the Association shall be served by such removal.

7.03 **TERM.** Each member of a committee shall continue as such until the next annual meeting of the Board and until his successor is appointed, unless the committee shall be sooner terminated, or unless such member shall be removed from such committee, or unless such member shall cease to qualify as a member thereof.

7.04 **CHAIRMAN.** One member of each committee shall be appointed chairman.

7.05 **VACANCIES.** Vacancies in the membership of any committee may be filled by appointments made in the same manner as provided in the case of the original appointments.

7.06 **QUORUM.** Unless otherwise provided in the resolution of the Board designating a committee, a majority of the whole committee shall constitute a quorum and the act of a majority of the members present at a meeting at which a quorum is present shall be the act of the committee.

7.07 **RULES.** Each Committee may adopt rules for its own government not inconsistent with the Declaration, these By-Laws or with rules adopted by the Board.

ARTICLE VIII INSTRUMENTS, CHECKS, DEPOSITS AND FUNDS

8.01 **CONTRACTS.** The Board may authorize any officer or officers, agent or agents of the Association, in addition to the officers so authorized by the By-Laws, to enter into any contract or execute and deliver any in the name of and on behalf of the Association and such authority may be general or confined to specific instances. In the absence of any such authorization by the Board, any such contract or instrument shall be executed by the President or a Vice President and attested to by the Secretary or a Treasurer of the Association.

8.02 **PAYMENTS.** All checks, drafts, vouchers or other orders for the payment of money, notes or other evidences of indebtedness issued in the name of the Association shall be signed by such officer or officers, agent or agents of the Association, and in such manner as shall from time to time be determined by resolution of the Board. In the absence of such determination by the Board, such instruments shall be signed by the Treasurer or an Assistant Treasurer and countersigned by the President or a Vice President of the Association.

8.03 **BANK ACCOUNTS.** All funds of the Association not otherwise employed shall be deposited from time to time to the credit of the Association in such banks, trust companies or other depositaries as the Board shall elect.

8.04 **SPECIAL RECEIPTS.** The Board may accept on behalf of the Association any contribution, gift, bequest, or devise for the general purposes or for any special purpose of the Association.

ARTICLE IX FISCAL MANAGEMENT

9.01 **FISCAL YEAR.** The Fiscal Year of the Association shall be determined by the Board and may be changed from time to time, as the Board deems advisable.

9.02 **SPECIAL STATEMENT.** Within ten (10) days after receipt of a written request from an Owner (together with payment of a reasonable fee, if any, set by the Board), the Board shall provide the Owner with a statement containing the following information:

- A. The status of the Owner's account and the amount of any unpaid assessments or other charges due and owing from the Owner; and
- B. The status and amount of any and all Capital Reserves.

9.03 **ASSESSMENT PROCEDURE.** Assessments and Special Assessments shall be made and collected as provided in the Declaration.

ARTICLE X BOOKS AND RECORDS

The Association shall keep correct and complete book and records of account and shall also keep minutes of the proceedings of its Members, the Board, and committees having any of the authority of the Board, and shall keep at the registered or principal office of the Association a record giving the names and addresses of the Members. All books and records of the Association may be inspected by any Owner, or his/her agent, mortgagee or attorney, for any proper purpose at any reasonable time.

ARTICLE XI AMENDMENTS

These By-Laws may be amended or modified at any time, or from time to time by the affirmative votes of Owners having more than two-thirds (2/3) of the total votes, provided that prior to the Transfer Date, Section 5.02 and this Article XI may not be amended without the written consent of the Declarant, and provided further, that no provision of these By-Laws may be amended or modified so as to conflict with the provisions of the Declaration.



MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: River Run at Heritage Valley
Preliminary Plat and Engineering Plans

DATE: February 9, 2018

Peggy,

The Engineering Department has reviewed the submitted preliminary plat and engineering plans for the proposed River Run at Heritage Valley subdivision. We have the following comments listed below and noted on the attached mark-up plan. Refer to both this memo and mark-up plan sheets for all engineering comments. Prior to the Final Plat submittal a revised set of engineering plans addressing Village comments shall be provided for further review.

See comments on attached mark-up plan sheets.

1. Only plan sheets with comments are included.
2. Comments that apply to multiple locations are not repeated for every occurrence.

General Items

3. Project phasing plans shall be more detailed. Exact phasing limits and temporary utility terminations need to be clarified and clearly shown/noted. Also, grading/erosion control plans need to be further defined by phase.
4. Phasing limits and temporary cul-de-sac locations are inconsistent throughout the plans. Correct as needed.
5. Lot 13 shall be developed as part of phase 2, not phase 1.
6. Lot 34 shall be undevelopable until 107th Avenue is extended in the future and the temporary cul-de-sac is removed.
7. We recommend reviewing the proposed phase 2 limit at 91st place. Consider utility construction needs.
8. Provide plans for gas and electric placement and easement locations. Gas and electric facilities shall not be located within drainage swales.
9. A construction and specification manual shall be provided for review.

10. An estimate of the amount of import or export of fill needed for the site grading plan shall be provided.

Roadway

11. A geotechnical soils report, including geotechnical recommendations shall be prepared and submitted for the roadway design. Borings shall be performed at a minimum of 500-foot intervals along the roadway. (Geotechnical report shall also be provided for the retention pond location)
12. Roadway cross-sections shall be provided in the plans.
13. A concrete jointing plan and details shall be provided. The design engineer can provide this with the plans or require a submittal by the contractor. If the contractor is to be responsible then an appropriate note shall be placed on the plans specifying the requirements.
14. A street lighting and signage plan shall be provided for review.
15. The design engineer shall evaluate the extension of 90th Street to determine if the proposed slope meeting existing grade at the lot line will adequately serve for the future extension/development needs of the adjacent property or if the road and adjacent lot grading needs to be raised or adjusted.
16. Drainage from 90th Street is proposed to flow onto the adjacent property (Kevek). The developer shall discuss the plan with the adjacent landowner and obtain a written flowage easement regarding the acceptance the proposed discharge.

Grading / Storm Water / Erosions Control

17. The design of rear yard drainage between 106th/105th Avenue and 106th/107th Avenue shall be revised. Provide additional rear yard storm sewer inlets, eliminate the hard ditch line; and provide overland gradient(s) meeting a minimum gradient of 1.0-percent.
18. Confirm that the entire site is being mass graded as part of phase 1 improvements and/or provide further clarification if this is not the intent.
19. Clarify restoration requirements of lots and roadway areas in phase 2 and 3 upon completion of mass grading.
20. Side yard swales shall be placed on lot lines. Also, grading shall accommodate potential buildings at set back lines or place restrictions if building at an allowable set back line will cause a grading problem. Maximum allowable slopes are 4:1. The design engineer shall review lot grading and revise, as needed.
21. The temporary flat ditch associated with phase 1 is not acceptable. An alternate design and means of storm water conveyance shall be provided for phase 1.
22. Design engineer shall check grading for accuracy, errors and to ensure positive drainage. Examples are pointed out in the plan mark-up.
23. The designer shall provide a conceptual plan of how off-site storm water north of 107th Avenue terminus (Area PR-2 in storm water report) can be managed for future lot development as it appears that the River Run pond should manage these flows.

24. Provide phase 1, 2, and 3 grading and erosion control plans with all necessary information for each individual phase.
25. Plan/profiles are required for all public storm sewers.
26. The pond is required to have aerator(s) or pond fountain(s). The plans shall note the requirement and aerator/fountain information shall be provided.
27. A more project specific/detailed construction sequence plan shall be provided for erosion control. Also, show temporary diversion berms etc. where needed. Separate tracking pads need for phase 2 and 3?

Sanitary Sewer and Water Main

28. Water profile information is missing on all sheets and was not reviewed.
29. Provide lift station plans and design report for review.
30. Provide completed WDNR sewer and water extension forms.
31. Upon Village approval of the public sanitary sewer and water main plans, the Village will submit plans to the City of Kenosha Water/Wastewater Utility (KWWU) for their system level review and approval.
32. Upon approval of the Village and KWWU, the Developer shall submit sanitary plans to SEWRPC and WDNR for approval and water main plans to the WDNR for their approval. A copy of the agency approvals shall be provided to the Village.

Traffic Impact Analysis

A traffic impact analysis was completed by RA Smith to review the subdivision intersections at County Trunk Highway “C”. The overall conclusion of the report is noted below:

“The River Run and future off-site residential developments are expected to increase traffic and side street delay at the study intersections. However, traffic impacts are expected to be minor and all study intersections movements were shown to operate well under capacity with the additional traffic. Therefore, no roadway improvements are recommended with the developments. The addition of turn lanes would not improve the LOS, and the intersection volumes are well below meeting the warrants for traffic signals.”

Kenosha County reviewed the TIA and concurs with the conclusions and is not requiring any improvements. The Village had an independent review of the TIA by TADI (Traffic Analysis and Design, Inc.). TADI also concurred with the TIA analysis and conclusions.

The Village met with the County Highway Commissioner to discuss the TIA and resident traffic concerns. Upon discussion, the County is aware of the traffic concerns and will continue to monitor the traffic conditions as traffic continues to grow in the future and work with the Village in planning and developing overall area traffic improvements as warranted within the CTH “C” corridor.

As the topic is of concern to area residents, the Developer’s traffic engineer is requested to be at the Plan Commission meeting to answer traffic related questions that may arise.

Proposed Lift Station Cost Recovery

1. The following shall be provided to review the proposed cost recovery:
 - a. Provide the preliminary cost estimate for the lift station. The Village needs to understand the cost impacts to all properties involved, prior to proceeding with a recovery agreement.
 - b. The average design flow for the future church shall be revised to reflect the church as opposed to 60-homes. The design engineer shall provide information as to the lift station/force main design considerations and/or needed upgrades if the church property converted back to residential.
 - c. Provide a service area map.

Proposed Storm Water Management Plan / Pond Cost Recovery

1. The management plan reduces the offsite area PR-2 future post-developed discharge rate for the 2-year and 100-year storms to existing condition discharge rates and the report the states “Sub-basins PR-2 and PR-6 are also offsite areas that would require rate reduction in the future if developed”. The development of offsite areas will be required to reduce runoff rates per Village requirements. The evaluation shall be revised to provide:
 - a. Incorporate development of the offsite areas peak flow reduction in River Run retention pond design and/or show how the pond can be easily modified in the future for the future development.
 - b. The offsite drainage area(s) shall be modified to incorporate anticipated area draining the River Run pond via the neighborhood plan layout. If additional ponds are needed or anticipated, then this need and potential locations shall be identified.
 - c. If the pond is designed and built to accommodate offsite areas under developed conditions, then a cost recovery may be considered. The cost of relocating the existing retention basin servicing Heritage Valley Unit 1 is entirely associated with River Run, hence under the submitted calculation, the area should be included in the overall tributary area to the pond for cost calculation purposes.
2. Show the neighborhood layout on the developed drainage area map(s) and delineate post developed drainage for the storm sewer and pond design with future development drainage expectations.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and as additional information is provided.

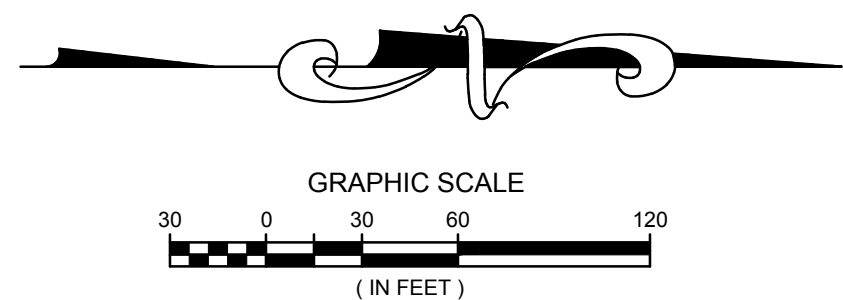
VOPP ENG REVIEW
PLAN MARK UP
2-9-18

REQUIRE
DRIVEWAY
ACCESS TO BE
ON THE SOUTH
SIDE OF THE
LOT?

TEMPORARY
STREET ACCESS
& MAINTENANCE
EASEMENT AREA
TYP.=TYPICAL

LOT 34 TO REMAIN
UNDEVELOPED UNTIL
FUTURE
DEVELOPMENT
EXTENSION

	Lot	square feet
	1	15581
	2	12507
	3	14069
Outlot 1	4	13204
Outlot 2	5	12500
Outlot 3	6	12501
Outlot 4	7	12501
Total	8	12501
	9	13776
Wetlands	10	13776
Wetland 1	11	13776
Wetland 2	12	13776
Wetland 3	13	15001
Wetland 4	14	12501
Wetland 5	15	12501
Wetland 6	16	12822
Total	17	14215
	18	13878
Floodplain	19	15756
Floodplain	20	12501
	21	12501
	22	12625
	23	14155
	24	13204
	25	13273
	26	13273
	27	13273
	28	17000
	29	17757
	30	13341
	31	12729
	32	12765
	33	13776
	34	12504
	35	12502
	36	12502
	37	16429
	38	12504
	39	12504
	40	12505
	41	12561
	42	12561
	43	12561
	44	12734
	45	13389
Total		602,071



raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

LEGEND
(PROPOSED FEATURES)

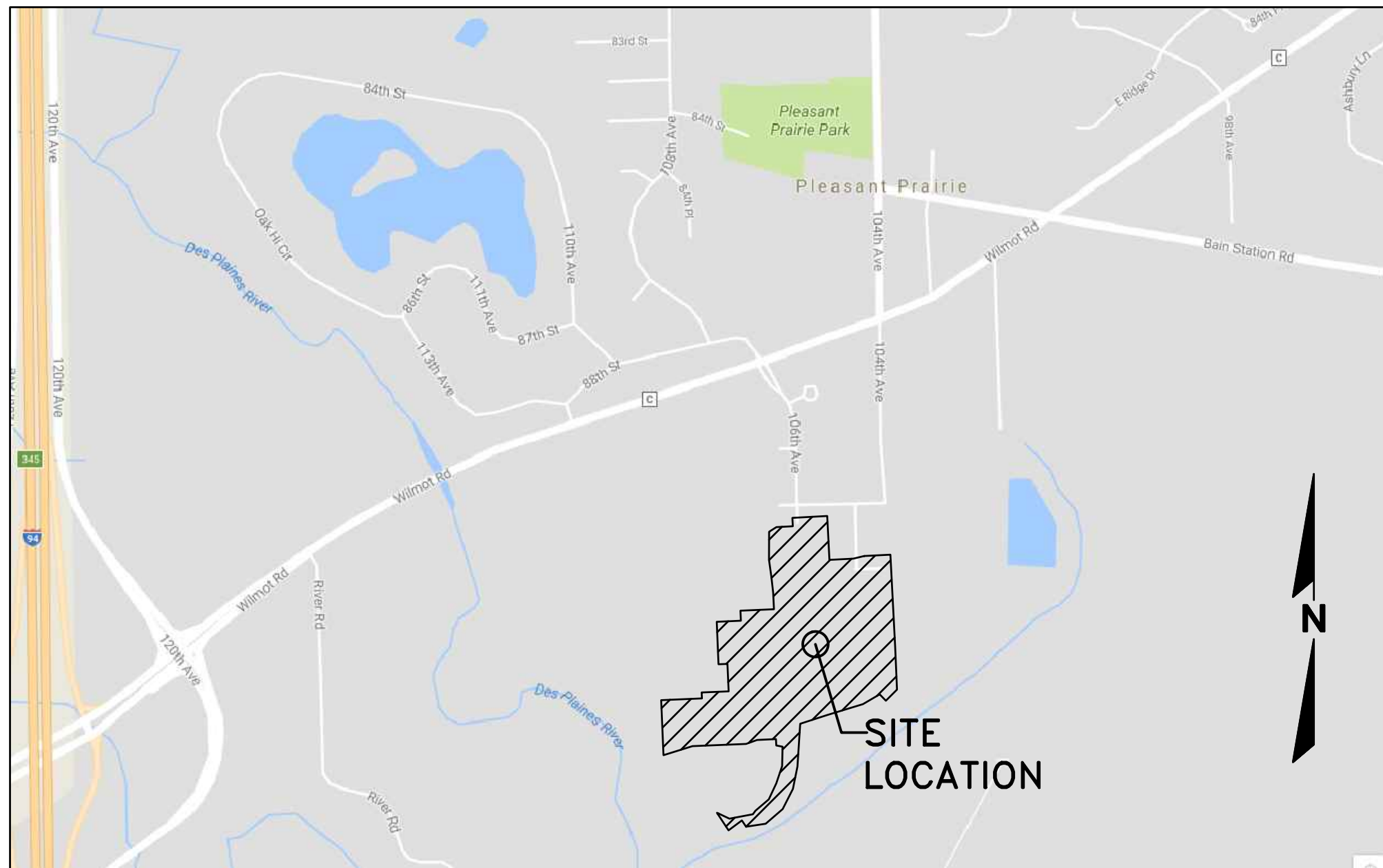
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED ACCESSIBLE PAVEMENT MARKING
	VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE @ THRESHOLD
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, 'LOG' DENOTES GROUND LEVEL FOR LOOK OUT.
	'WOG' DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
1" DIA. IRON PIPE FOUND	(UNLESS OTHERWISE NOTED)
1" DIA. IRON PIPE, 18" LONG-SET	(UNLESS OTHERWISE NOTED)
BOLLARD	
SOIL BORING/MONITORING WELL	
FLAGPOLE	
MAILBOX	
SIGN	
BILLBOARD	
AIR CONDITIONER	
CONTROL BOX	
TRAFFIC SIGNAL	
RAILROAD CROSSING SIGNAL	
CABLE PEDESTAL	
POWER POLE	
GUY POLE	
GUY WIRE	
LIGHT POLE	
SPOT/YARD/PEDESTAL LIGHT	
HANDICAPPED PARKING	
ELECTRIC MANHOLE	
ELECTRIC PEDESTAL	
ELECTRIC METER	
ELECTRIC TRANSFORMER	
TELEPHONE MANHOLE	
TELEPHONE PEDESTAL	
MARKED FIBER OPTIC	
GAS VALVE	
GAS METER	
GAS WARNING SIGN	
STORM MANHOLE	
ROUND INLET	
SQUARE INLET	
STORM SEWER END SECTION	
SANITARY MANHOLE	
SANITARY CLEANOUT OR SEPTIC VENT	
SANITARY INTERCEPTOR MANHOLE	
MISCELLANEOUS MANHOLE	
WATER VALVE	
HYDRANT	
WATER SERVICE CURB STOP	
WATER MANHOLE	
WELL	
WATER SURFACE	
WETLANDS FLAG	
MARSH	
CONIFEROUS TREE	
DECIDUOUS TREE	
SHRUB	
EDGE OF TREES	
SANITARY SEWER	
STORM SEWER	
WATERMAIN	
MARKED GAS MAIN	
MARKED ELECTRIC	
OVERHEAD WIRES	
BUREAU ELEC. SERV.	
MARKED TELEPHONE	
MARKED CABLE TV LINE	
MARKED FIBER OPTIC	
INDICATES EXISTING CONTOUR ELEVATION	
INDICATES EXISTING SPOT ELEVATION	
EXISTING PROPERTY LINE	
EXISTING EASEMENT LINE	

PRELIMINARY PLANS
FOR
RIVER RUN AT HERITAGE VALLEY
SUBDIVISION
PLEASANT PRAIRIE, WI

VICINITY MAP



VOPP ENG REVIEW
PLAN MARK UP
2-9-18

PLAN INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE PLAN
3-5	EROSION CONTROL PLANS
6-9	MASTER GRADING PLANS
10-13	CONSTRUCTION PHASING
14	OVERALL UTILITY PLAN
15-19	SANITARY & WATER MAIN PLAN AND PROFILE
20-23	ROADWAY & STORM SEWER PLAN AND PROFILE
24	LIFT STATION SITE PLAN
25-31	PROJECT DETAILS

OWNER:

U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:

R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:

VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM DAMAGES, ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

- NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
- SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
- SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

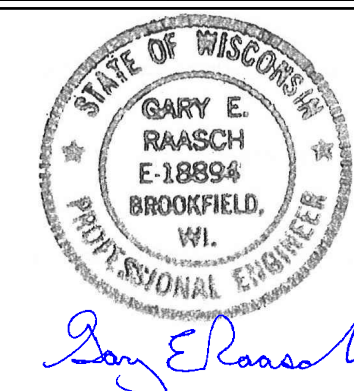
AT&T
JAY BULANEK
262-896-7669

PLAN DATE: 1/24/18

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

TITLE SHEET



© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: NONE
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG
CHECKED BY: GER

SHEET NUMBER

1

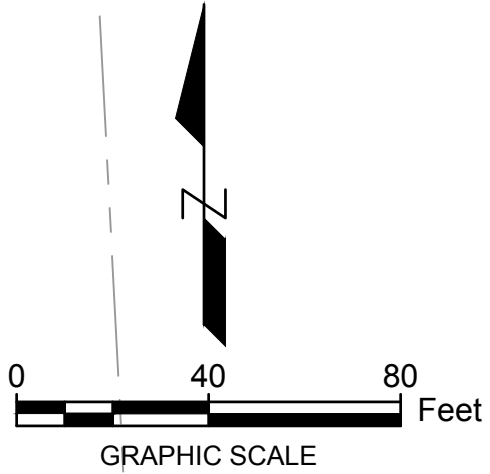
EROSION CONTROL DETAILS AND NOTES ARE SHOWN ON SHEETS 26 & 27

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

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XXX.X - YARD GRADE

SET BM, NW FLANGE BOLT
ON HYDRANT EL. = 698.17



SHOW EXISTING
CONTOURS ON
ALL EROSION
CONTROL PLAN
SHEETS

SITE BOUNDARY

TRACKING PAD
(SEE DETAIL)

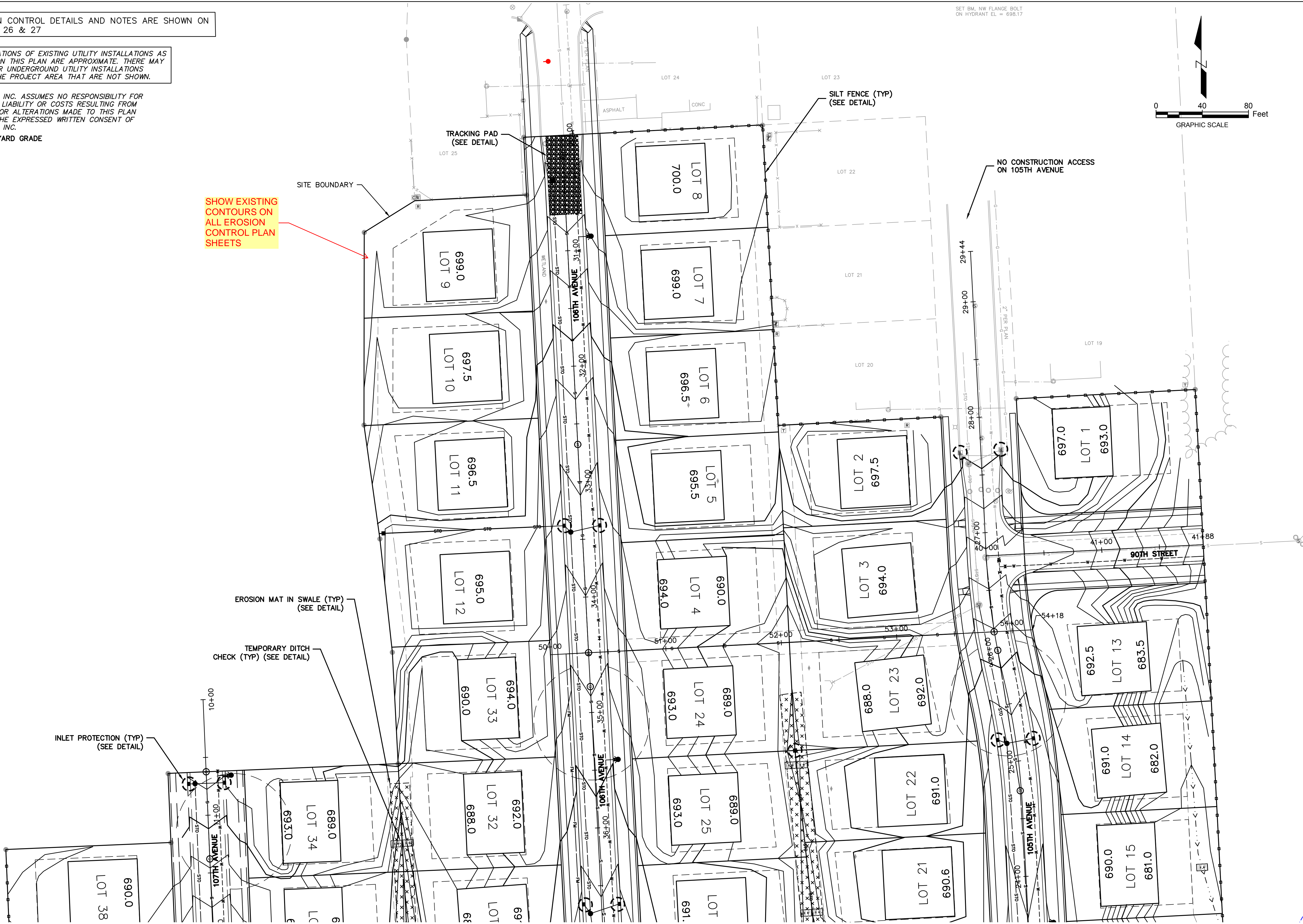
SILT FENCE (TYP)
(SEE DETAIL)

NO CONSTRUCTION ACCESS
ON 105TH AVENUE

EROSION MAT IN SWALE (TYP)
(SEE DETAIL)

TEMPORARY DITCH
CHECK (TYP) (SEE DETAIL)

INLET PROTECTION (TYP)
(SEE DETAIL)



RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

EROSION CONTROL PLAN
NORTH

PRELIMINARY
NOT FOR
CONSTRUCTION

© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG

CHECKED BY: GER

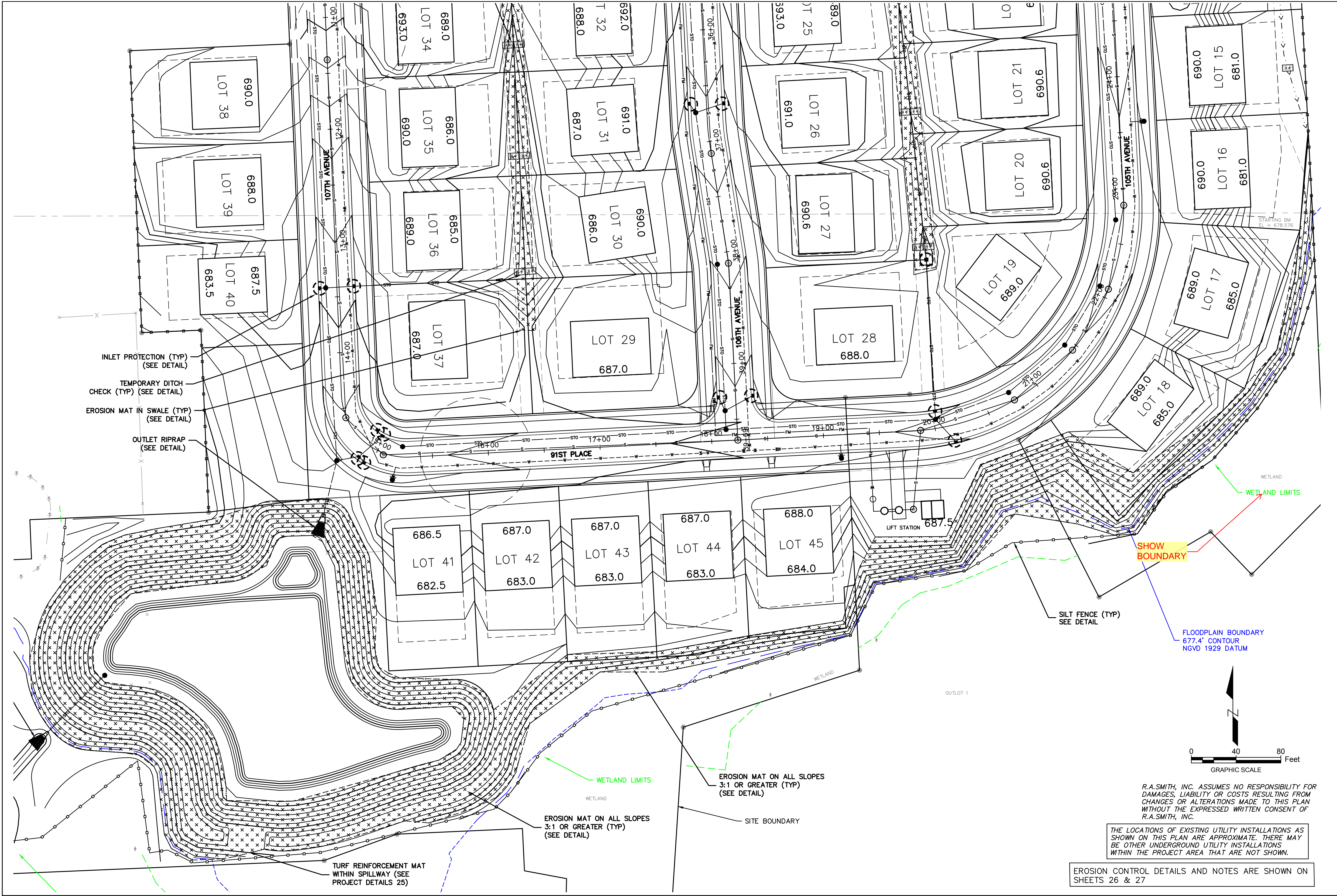
SHEET NUMBER

3

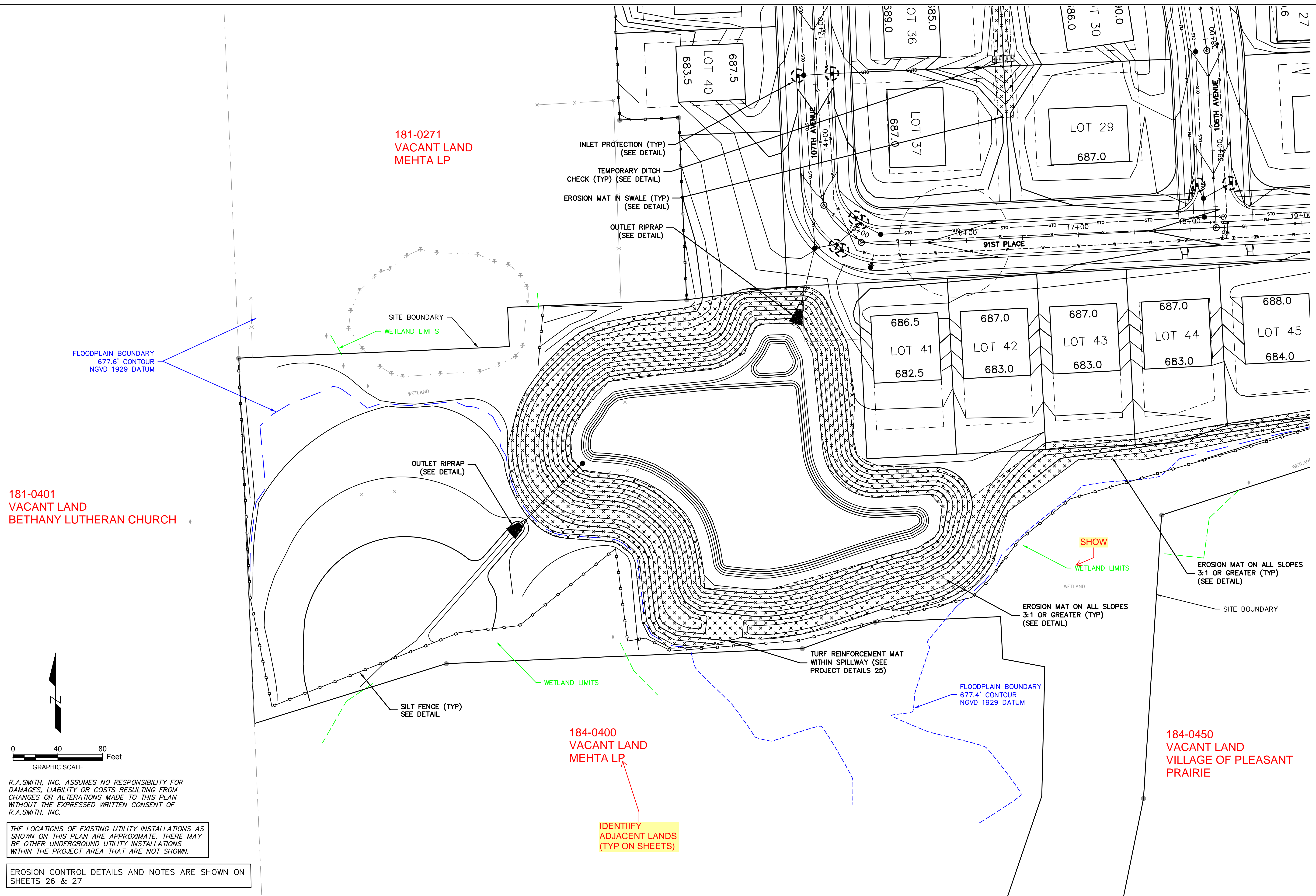
raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com


DESCRIPTION

DATE



DESCRIPTION		DATE
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com		
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE		
EROSION CONTROL PLAN		
SOUTH		
PRELIMINARY NOT FOR CONSTRUCTION		
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DATE: 1/24/18		
SCALE: 1" = 40'		
JOB NO. 1160367		
PROJECT MANAGER: GARY RAASCH, PE		
DESIGNED BY: MJG		
CHECKED BY: GER		
SHEET NUMBER		
4		



<div style="text-align: center;">  <p>raSmith CREATIVITY BEYOND ENGINEERING rasmith.com</p> </div>		DATE	DESCRIPTION
<div style="text-align: center;"> <p>RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE</p> <p>EROSION CONTROL PLAN</p> <p>POND</p> </div>			
<p>PRELIMINARY NOT FOR CONSTRUCTION</p>			
© COPYRIGHT 2018 R.A. Smith, Inc.			
DATE: 1/24/18			
SCALE: 1" = 40'			
JOB NO. 1160367			
PROJECT MANAGER: GARY RAASCH, PE			
DESIGNED BY: MJG			
CHECKED BY: GER			
SHEET NUMBER			
5			

XXX.X — YARD GRADE

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESIGN ENGINEER SHALL CHECK ALL SPOT GRADES...CURRENT ERRORS THROUGHOUT. GRADES SHALL BE AT EVERY HIGH POINT, LOW POINT, PROPERTY CORNERS AND 25' MAX BETWEEN.

PROVIDE SPOT GRADES ALONG SWALE CENTERLINE (TYP)

SHIFT INLET AND DEPRESS TO CAPTURE DRAINAGE

DELINEATE OFFSITE AREAS DRAINING TO SUBDIVISION BOUNDARIES AND ADDRESS DRAINAGE

LABEL CONTOURS

GRADING SHOULD ACCOMODATE POTENTIAL BUILDING AT SET BACK LINE (TYP) 5,381 SF. WETLAND TO BE FILLED PER WDNR PERMIT. NO USACE JURISDICTION.

INCREASE DRAINAGE EASEMENT TO COVER ENTIRE DRAINAGE WAY AREA (TYP)

EXISTING GRADES OR PROPOSED? PROVIDE ADDITIONAL TOPOGRAPHIC INFORMATION

PROVIDE EXISTING SPOT GRADES

INSTALL DRAINAGE SWALE IN THIS DEVELOPMENT OR OBTAIN EASEMENT FROM ADJACENT LAND OWNERS TO PLACE THE SWALE ON THE PROPERTY LINE. 1% MIN SLOPE. (VILLAGE HAS RECIEVED DRAINAGE COMPLAINTS WITH RESECT TO THE EXISTING REAR YARD AREA NOT DRAINING WELL)

PROVIDE POSITIVE DRAINAGE

PROVIDE EXISTING SPOT GRADES ALONG COMMON LOT LINE (TYP)

GRADING CROSS PROPERTY LINE-REVISED OR PROVIDE OFFSITE GRADING EASEMENT AGREEMENT

PROVIDE ADDITIONAL REAR YARD INLET

GRADING AT SIDEWALK IS SHOWN INCORRECTLY

EVALUATE FUTURE EXTENSION FOR ROAD GRADE DESIGN; OBTAIN APPROVAL FROM ADJACENT LANDOWNER FOR STORM WATER RUNOFF.

TOO STEEP 4:1 MAX SLOPE IN LAWNS

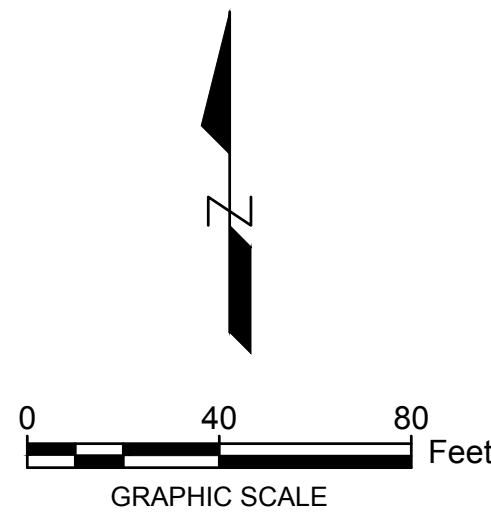
LABEL DRAINAGE EASEMENTS

IF POSSIBLE MOVE THE DRAINAGE SWALE CLOSER TO THE REAR LOT LINE AND NARROW THE DRAINAGE EASEMENT

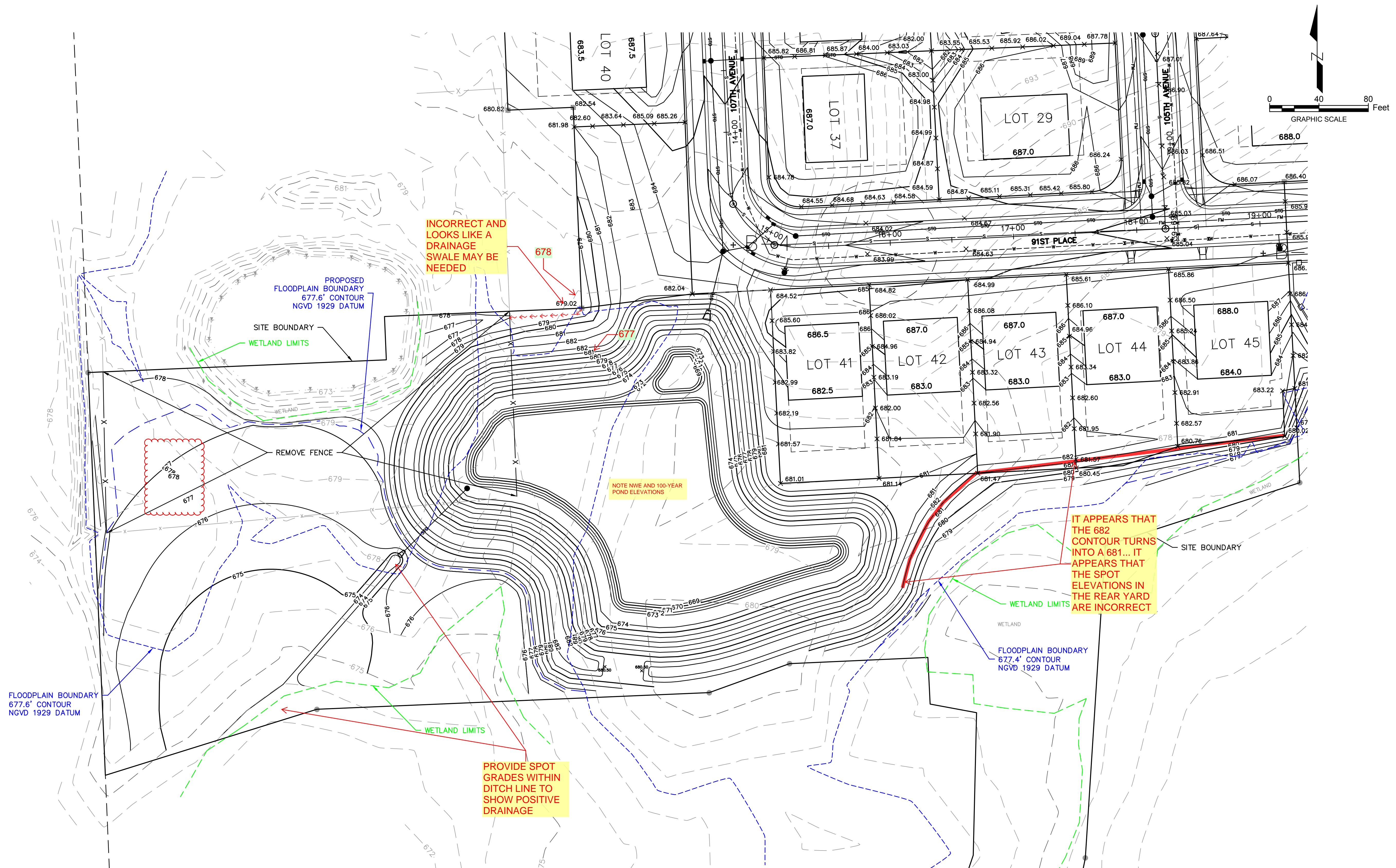
NEEDS TO LOWER THAN THE HOME

DRAINAGE SWALES SHALL BE ALONG THE LOT LINE (TYP)

SEE SHEET 8



DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	MASTER GRADING PLAN NORTH LOTS
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER 7	



XXX.X – YARD GRADE

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE		raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	DATE	DESCRIPTION
MASTER GRADING PLAN SOUTH POND				
PRELIMINARY NOT FOR CONSTRUCTION		© COPYRIGHT 2018 R.A. Smith, Inc.		
		DATE: 1/24/18		
		SCALE: 1" = 40'		
		JOB NO. 1160367		
		PROJECT MANAGER: GARY RAASCH, PE		
		DESIGNED BY: MJG		
		CHECKED BY: GER		
		SHEET NUMBER 9		



IS THE ENTIRE SITE BEING MASS GRADED IN PHASE 1?

PROVIDE TEMPORARY TOPSOIL STOCKPILE LOCATION(S) AND REMOVAL TIMELINE.

EXISTING CONTOURS NEED TO BE SHOWN ON ALL SHEETS WHICH SHOW PROPOSED CONTOURS

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

CONSTRUCTION PHASING
PHASE 1

PRELIMINARY
NOT FOR
CONSTRUCTION

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DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG

CHECKED BY: GER
SHEET NUMBER

DESCRIPTION	DATE

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

PHASE 1 LOTS 1-12
XXX.X - YARD GRADE
R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

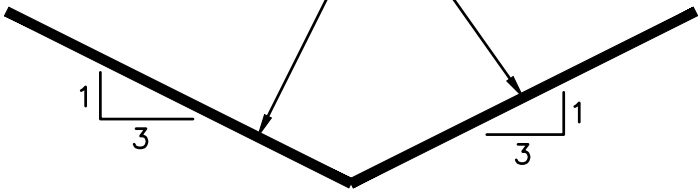
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

XXX.X - YARD GRADE

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

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RESTORE WITH 4" MIN. TOP SOIL, GRASS SEED AND CLASS 1 TYPE B EROSION MAT

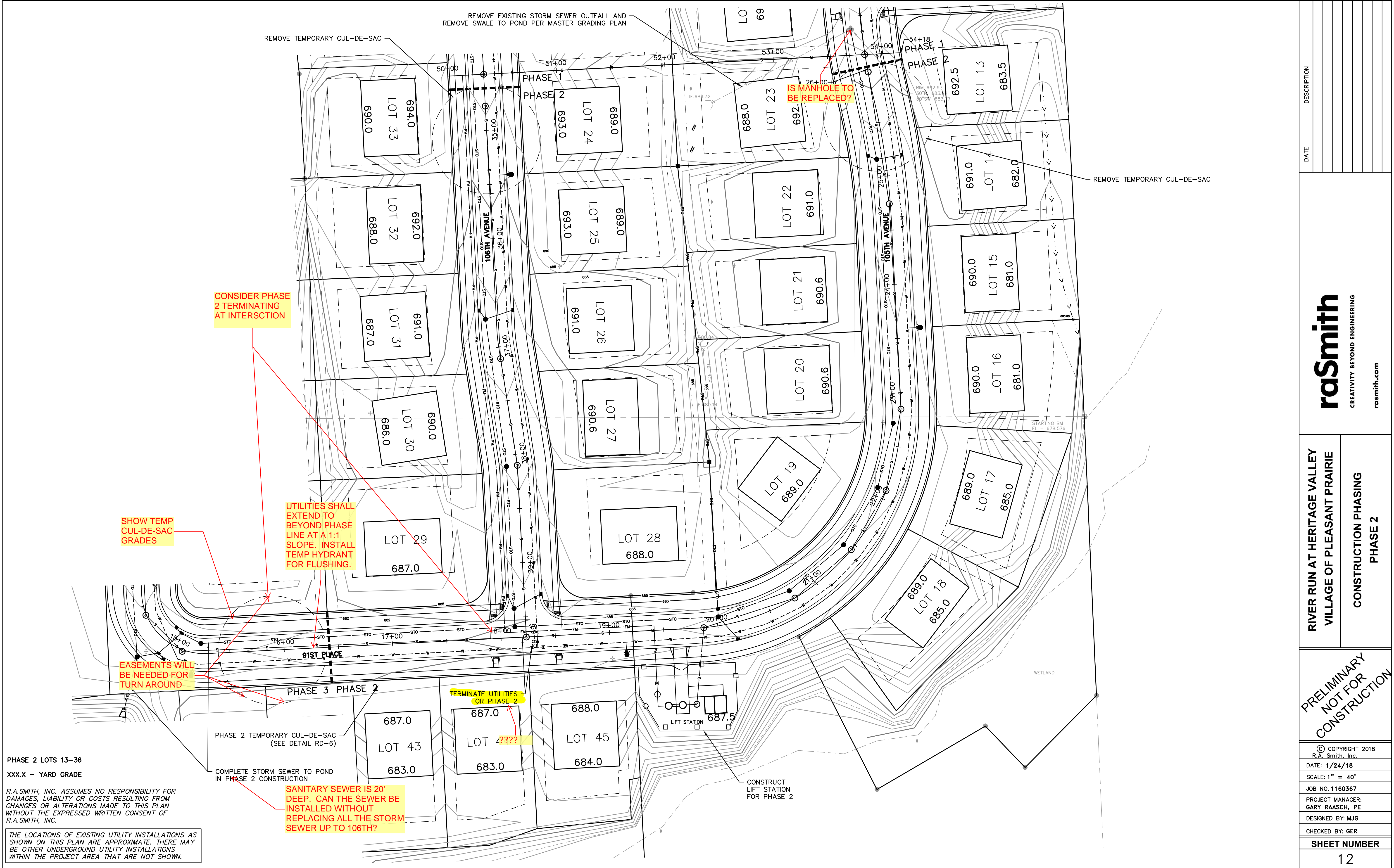


TEMPORARY DIVERSION SWALE SECTION

SITE BOUNDARY

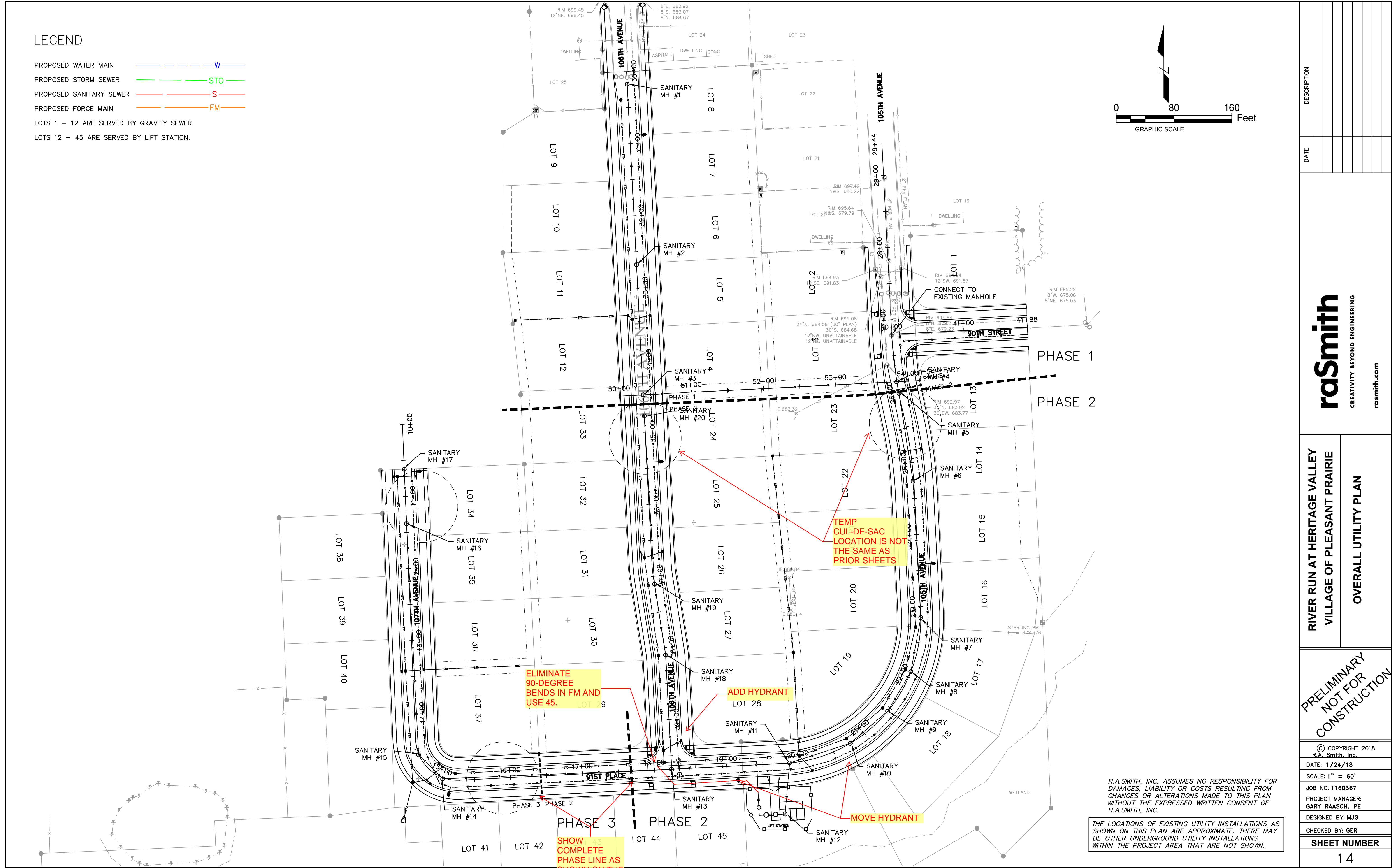
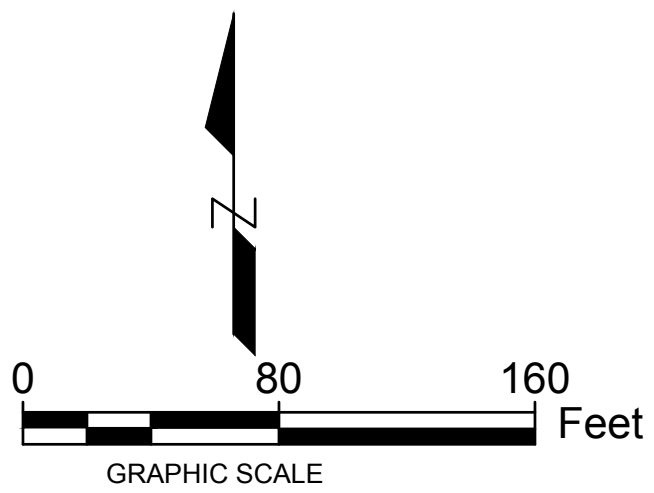


DESCRIPTION	
DATE	
<div>raSmith</div> <div>CREATIVITY BEYOND ENGINEERING</div> <div>rasmith.com</div>	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
CONSTRUCTION PHASING PHASEE 1 - SWALE TO POND	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
11	



LEGEND

- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED FORCE MAIN
- LOTS 1 - 12 ARE SERVED BY GRAVITY SEWER.
- LOTS 12 - 45 ARE SERVED BY LIFT STATION.



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DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY

VILLAGE OF PLEASANT PRAIRIE

OVERALL UTILITY PLAN

PRELIMINARY

NOT FOR

CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 60'

JOB NO. 1160367

PROJECT MANAGER:

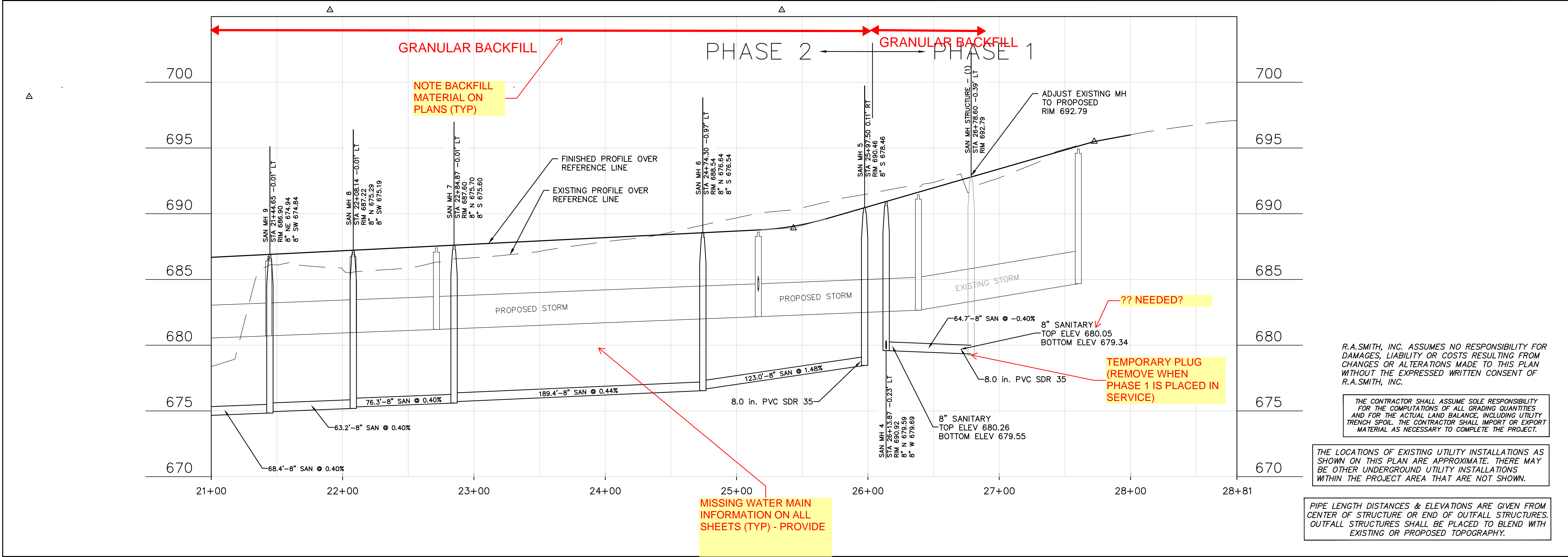
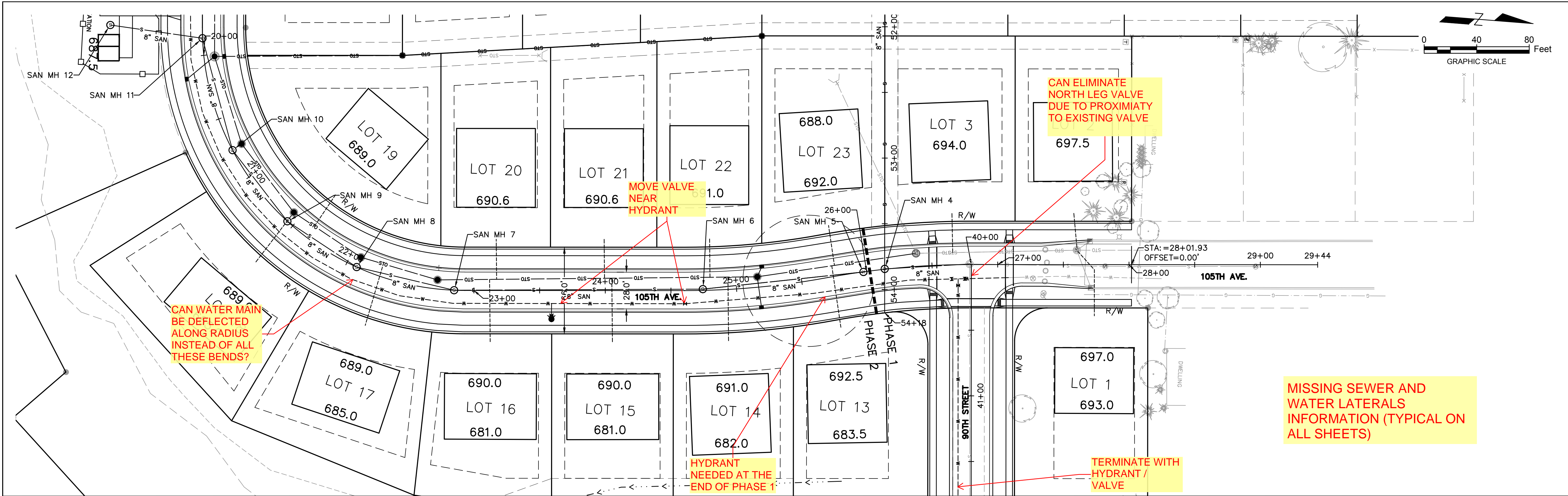
GARY RAASCH, PE

DESIGNED BY: MJG

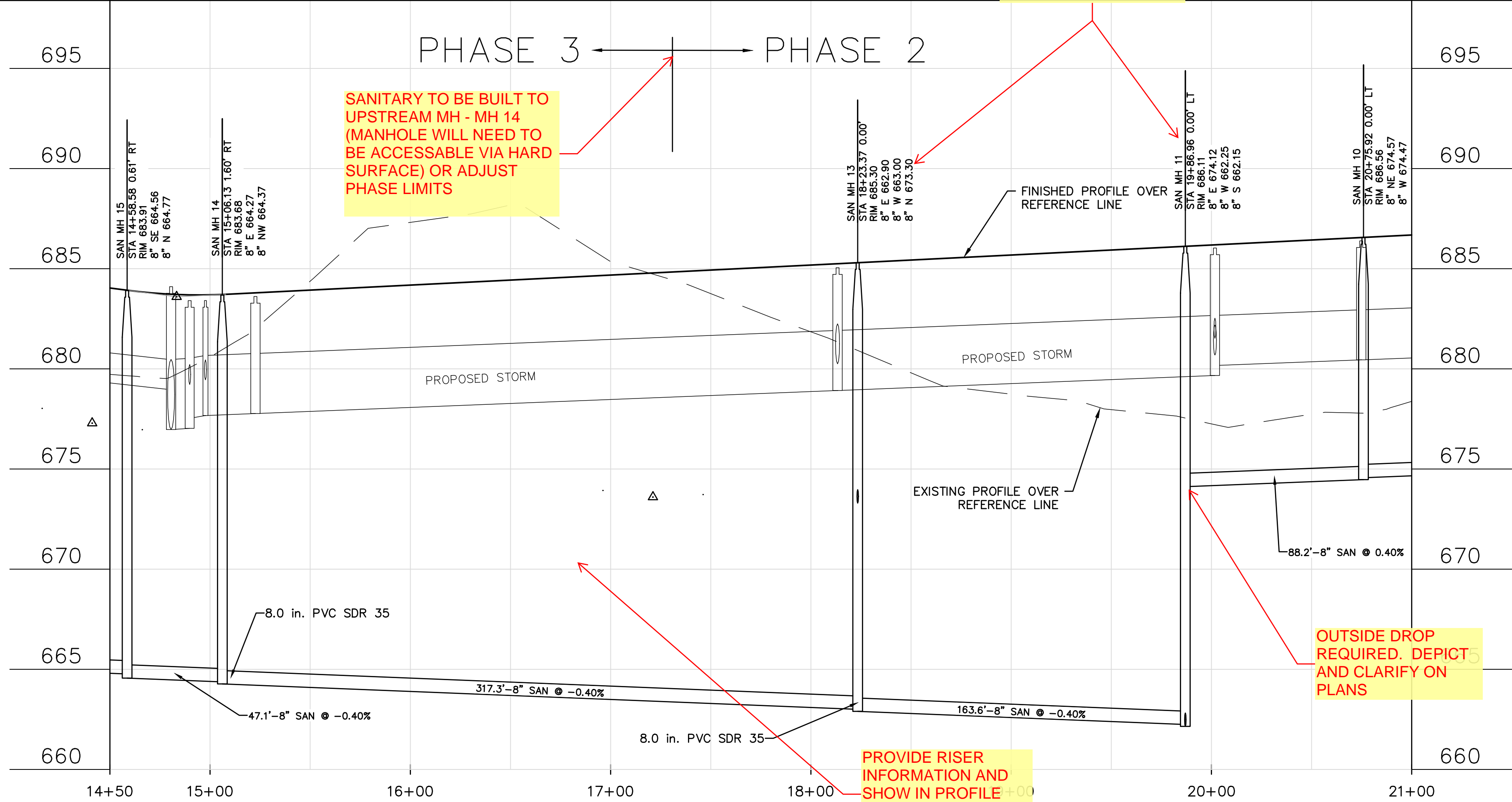
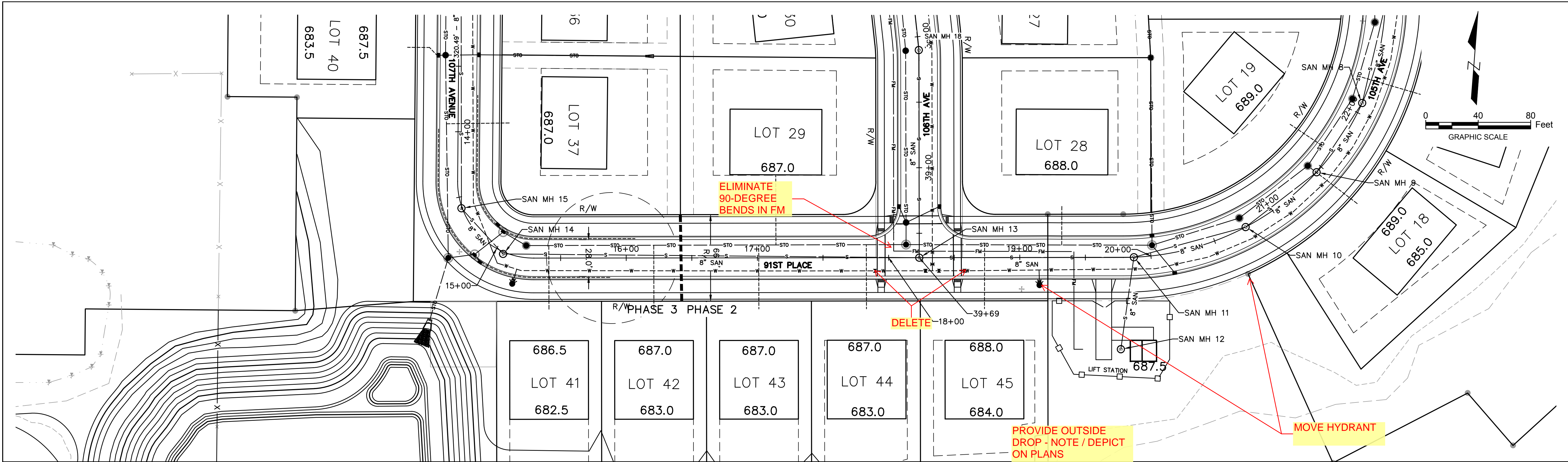
CHECKED BY: GER

SHEET NUMBER

14



DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 105TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
15	



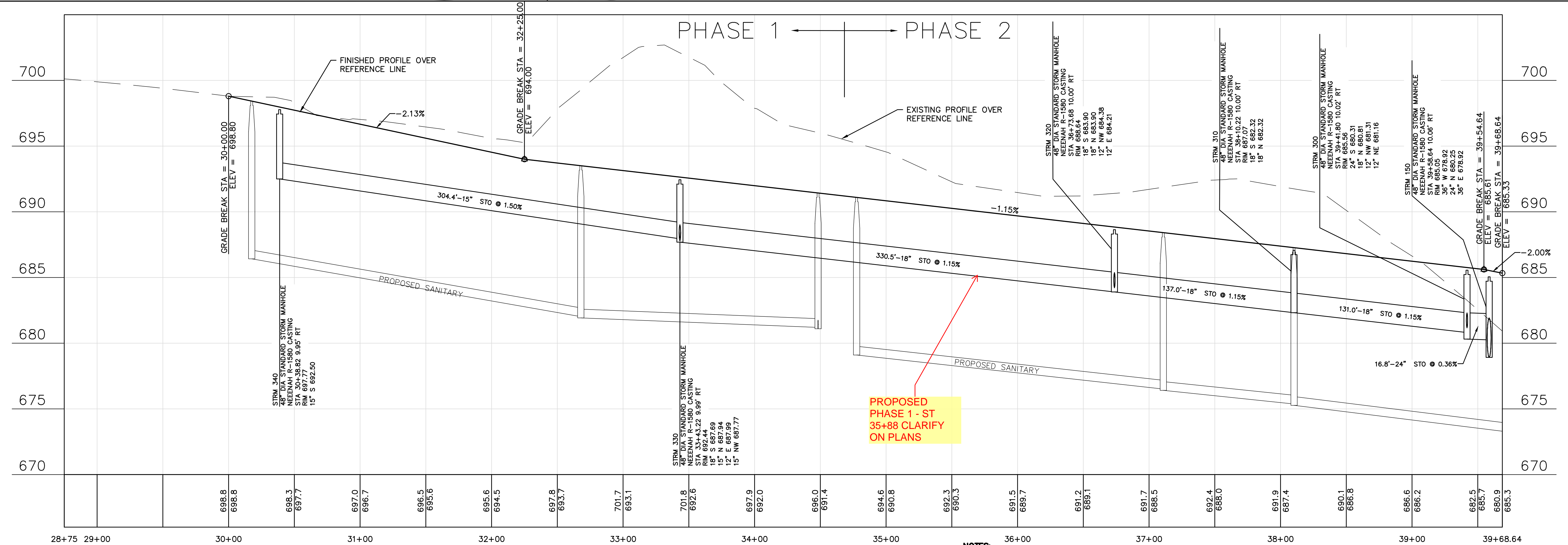
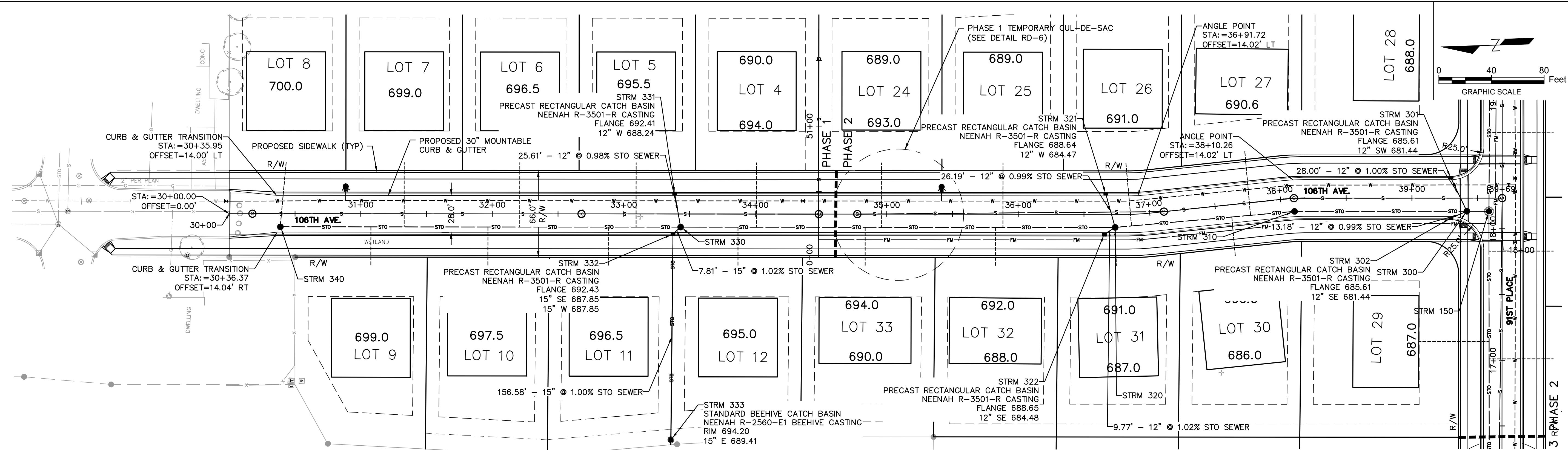
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 91ST PLACE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
18	



THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

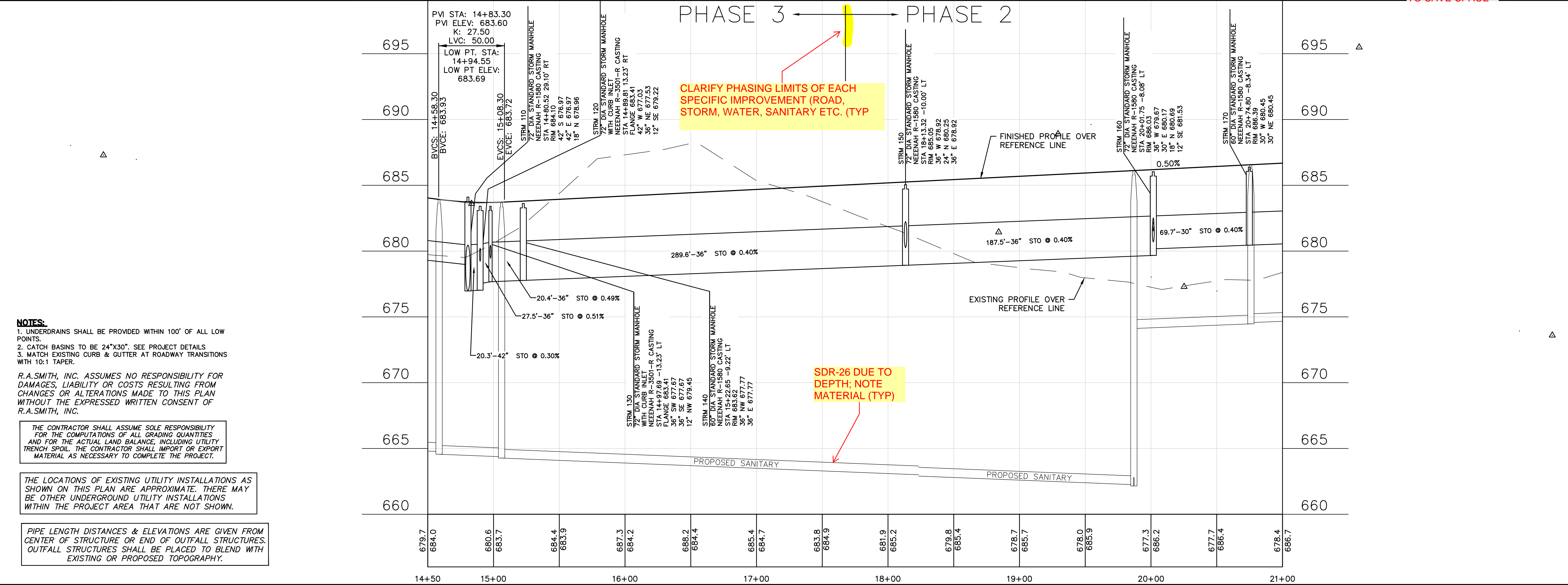
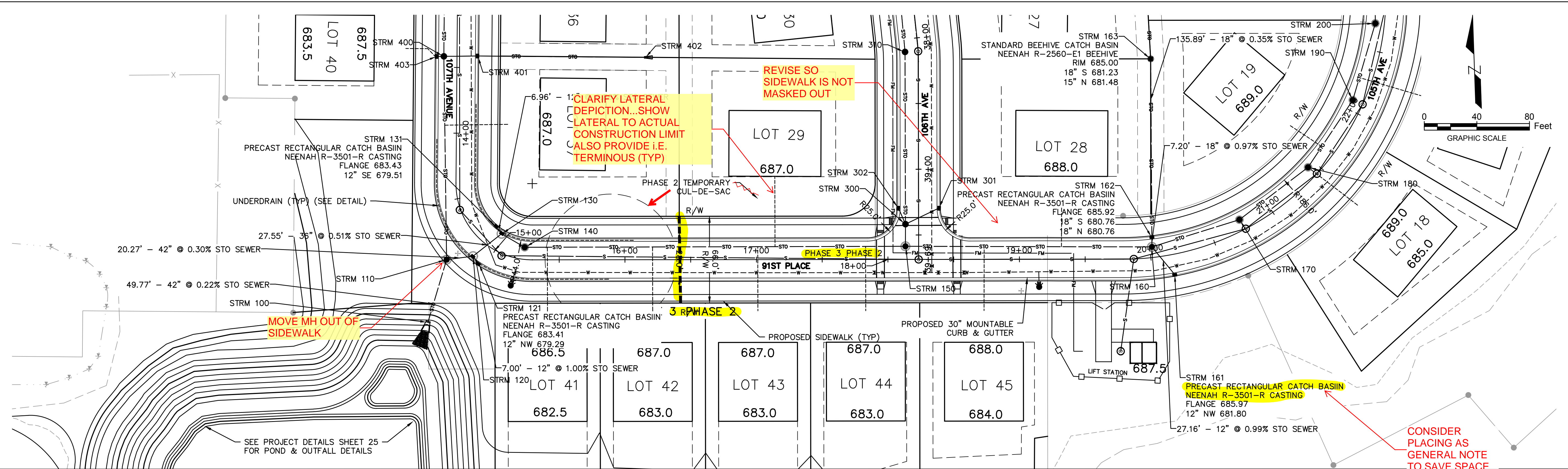
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PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

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NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS.
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 106TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
21	



NOTES:

1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

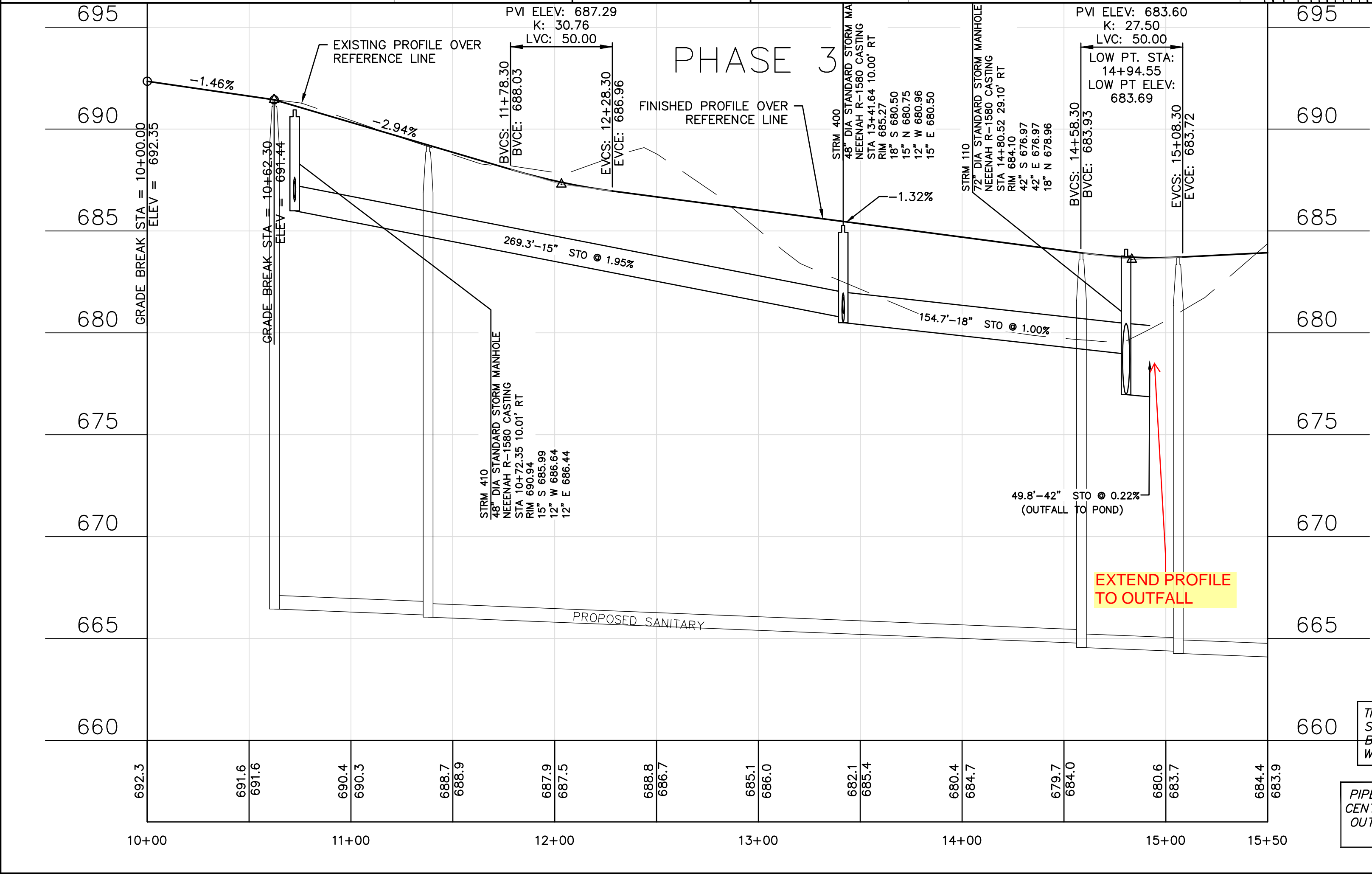
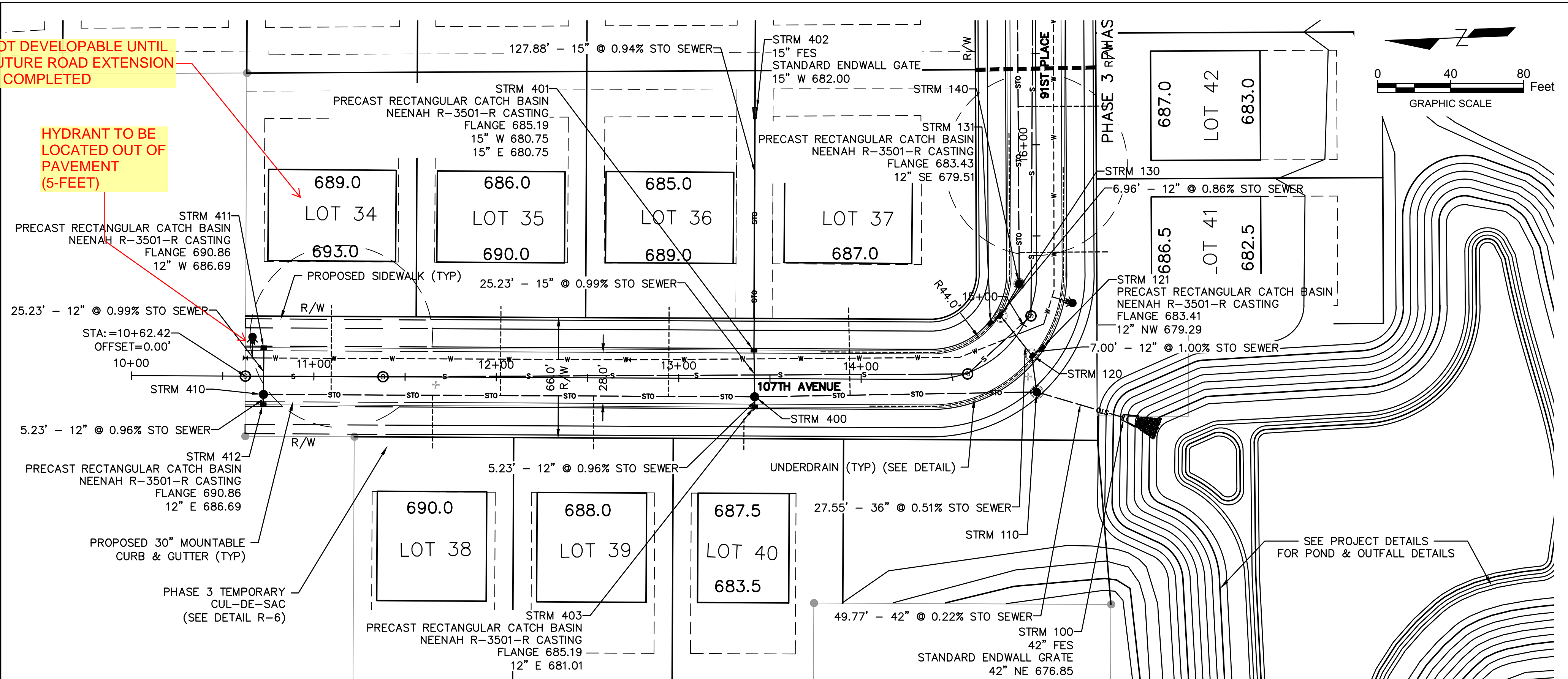
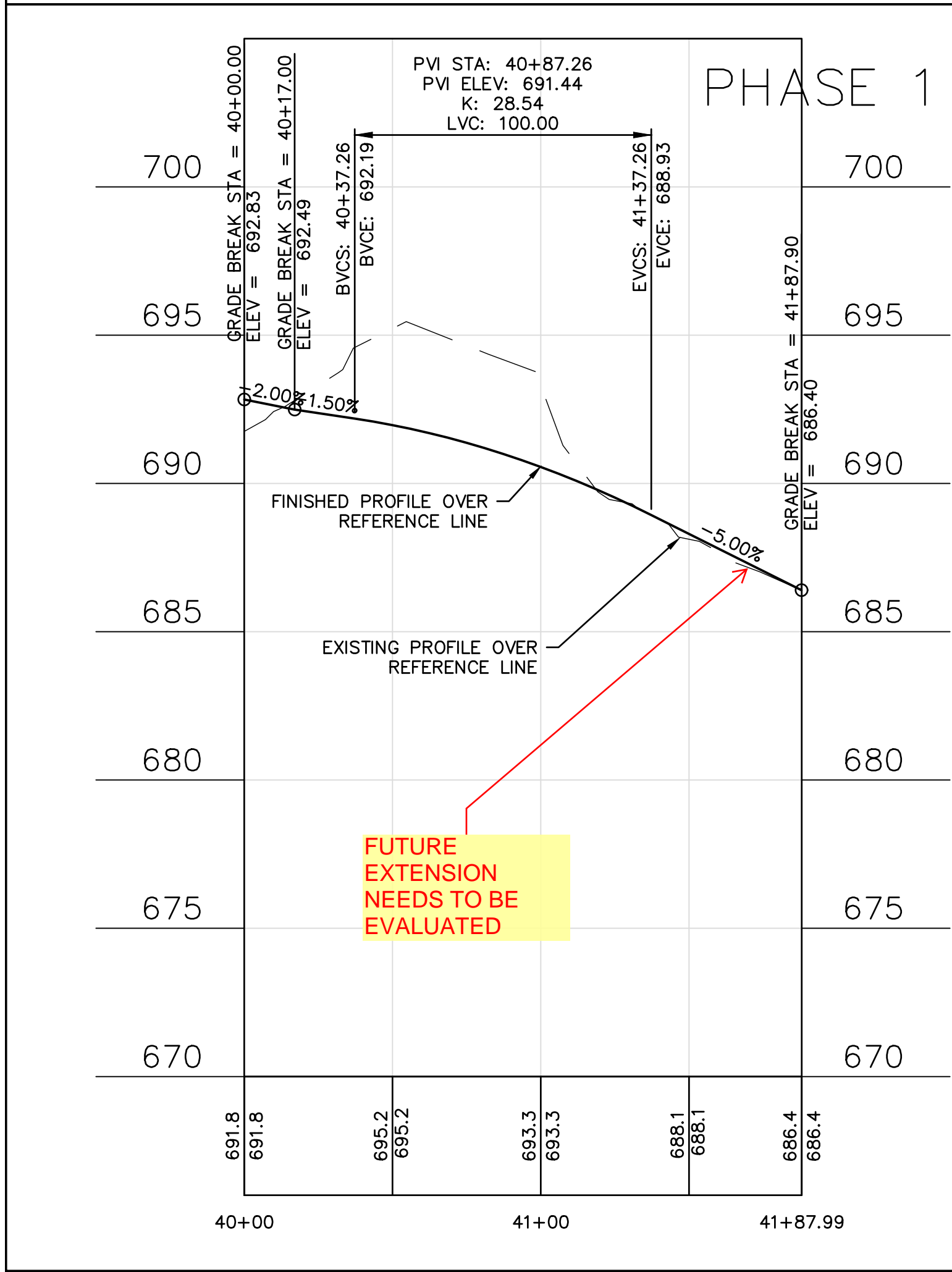
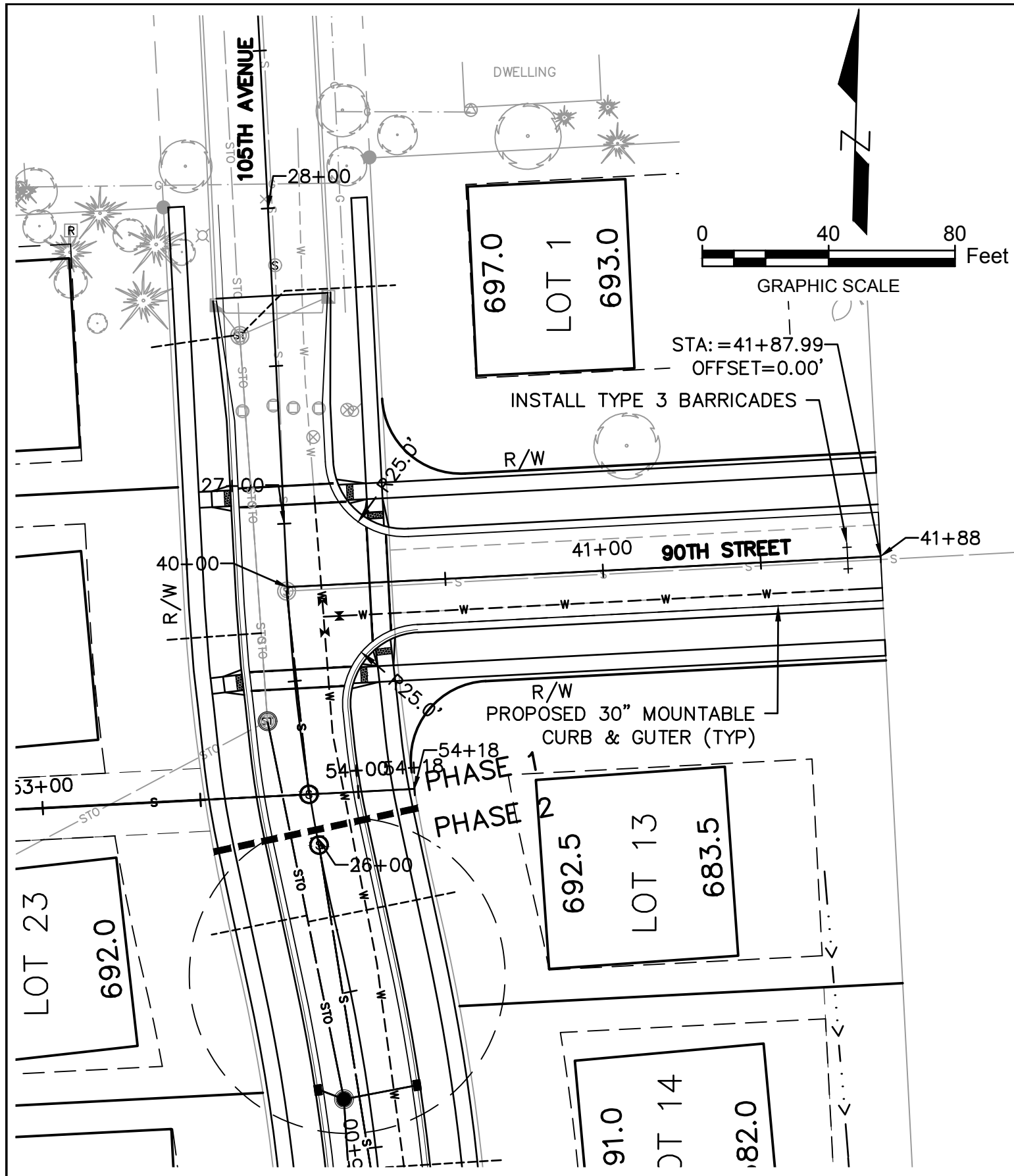
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

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PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 91ST PLACE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: MJG CHECKED BY: GER	
SHEET NUMBER 22	



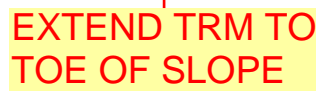
NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

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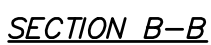
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DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 90TH PLACE AND 107TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
23	



1. LINER MAY BE ELIMINATED WHERE NATIVE SUBGRADE MEETS WDNR TECHNICAL STANDARD 1001 REQUIREMENTS FOR TYPE B CLAY POND LINER.
2. IF SILT OR SAND SEAMS ARE ENCOUNTERED, THEY SHALL BE REMOVED TO A DEPTH OF TWO FEET AND BE REPLACED WITH A LEAN CLAY FILL SUITABLE FOR CLAY LINER USE. ANY CLAY FILL PLACED FOR LINER MATERIAL SHALL BE PLACED IN ONE FOOT LIFTS OR LESSS WITH EACH LIFT COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY.

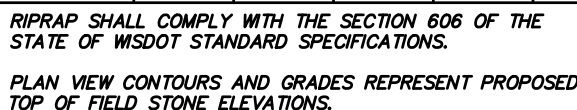
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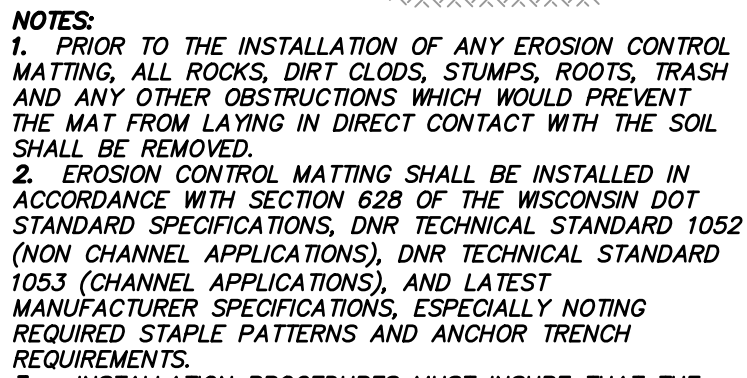
VILLAGE OF
**PLEASANT
PRAIRIE**

DETAIL: STM - 5

APPROVED BY: MATT FINEOUR



24"



1. PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLUMPS, STUMPS, ROOTS, TRASH SHALL BE REMOVED.
2. EROSION CONTROL MATTING SHALL BE INSTALLED IN ACCORDANCE WITH THE FACTORS OF THE WISDOT DITCH STANDARD SPECIFICATIONS, DNR TECHNICAL STANDARD 1052 (NON CHANNEL APPLICATIONS), DNR TECHNICAL STANDARD 1053 (CHANNEL APPLICATIONS), AND LATEST MANUFACTURER SPECIFICATIONS, ESPECIALLY NOTING REQUIRED PATTERN PATTERNS AND ANCHOR TRENCH REQUIREMENTS.
3. INSTALLATION PROCEDURES MUST INSURE THAT THE MAT WILL REMAIN IN CONTACT WITH THE SOIL.
4. EROSION CONTROL MATTING SHALL BE ANCHORED PER MANUFACTURER REQUIREMENTS.
5. THE MATTING SHALL BE ANCHORED TO THE GROUND PER MANUFACTURER REQUIREMENTS.
6. TEMPORARY EROSION CONTROL MATTING SHALL BE WISDOT PAF CLASS I, TYPE B AND PERMANENT EROSION CONTROL MATTING SHALL BE WISDOT PAF CLASS III, TYPE A.
7. MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
8. FOR CHANNEL APPLICATIONS, EXTEND MAT UPSTREAM ONE-FOOT MINIMUM VERTICALLY FROM DITCH BOTTOM OR EROSION LINE HIGHER THAN DESIGN FLOW, WHICHEVER IS GREATER.

WOOD STAKES (2 PER BALE) NOMINAL 2" X 2" X 30" MIN. LENGTH OR EQUIVALENT

30" MIN.

16" NOM.

4" NOM.

14" NOM.

NOTE: ALL DIMENSIONS ARE APPROXIMATE

EMBED BALES

SECTION A-A

BALE SPACING ON SLOPES	
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
33% TO 50%	20 FEET
> 50%	NOT PERMITTED

7" NOM.

7" NOM.

DIRECTION OF FLOW

FOR SCOUR PROTECTION USE EROSION MAT FOR CHANNEL LINING. LAP MAT UNDER UPSTREAM BALES AND SECURE FABRIC WITH WOOD STAKES AT 3-FOOT INTERVALS.

PLAN VIEW

STAGGER JOINTS BETWEEN ADJACENT ROWS OF BALES

STAKES DRIVEN FLUSH WHEN SOIL CONDITIONS PERMIT

4" NOM.

SLOPE VAR.

10" MIN.

16" NOM.

SLOPE VAR.

STAGGER JOINTS WITH A DOUBLE ROW.

FRONT ELEVATION

TEMPORARY DITCH CHECK USING EROSION BALES

BOTTOM ELEVATION OF DITCH SHALL BE GREATER THAN TOP OF LOWEST MIDDLE BALE

NOTES

1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION AND MINOR TECHNICAL STANDARD 1062.
2. TEMPORARY DITCH CHECKS OF A SINGLE ROW OF EROSION BALES ARE NOT PERMITTED.
3. SEDIMENT BALE BARRIERS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
4. DAMAGED OR DECOMPOSED SEDIMENT BALE BARRIERS, AND UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF THE SEDIMENT BALE BARRIERS SHALL BE REPAIRED.
5. SEDIMENT SHALE BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT BALE BARRIER.
6. SEDIMENT BALE BARRIERS AND ANCHORING DEVICES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN THEY ARE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPLSORE AREAS HAVE BEEN PERMANENTLY STABILIZED.
7. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
8. EFFECTIVENESS OF BALES IS LESS THAN 3 MONTHS.



1. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
2. THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
3. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

NOTES

WORKING PAD:

1. TRACKING PAD TO CONFORM TO MDCNR CONSERVATION PRACTICE STANDARD 1057.
2. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3"-6" CLEAR OR WASHED STONE. ALL MATERIAL SHALL BE RETAINED ON A 1/2-INCH SIEVE.
4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK, ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE, TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
6. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
7. B. MAINTENANCE
1. ROCKS LOOSED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
2. TRACKING PADS AND TIRE WASHING STATIONS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING 24 HOURS.
3. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
4. A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

STONE TRACKING PAD DETAIL

[illegible]

CREATIVITY BEYOND ENGINEERING

rasmith.com

PROJECT DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18



SCALE: NTS



JOB NO. 11

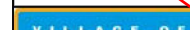

PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: ----
SHEET NUMBER

	STANDARD SANITARY MANHOLE		DETAIL: SAN - 1	
	CREATED: 11-21-12	APPROVED BY: MATT FINEOUR		
	REVISED: 11-10-15			

	STANDARD STORM MANHOLE		DETAIL: STM - 1	
	CREATED: 11-21-12	APPROVED BY: MATT FINEOUR		
	REVISED: 12-1-15			

	STANDARD STORM MANHOLE WITH CURB INLET		DETAIL: STM - 2	
	CREATED: 9-23-04	APPROVED BY: MATT FINEOUR		
	REVISED: 12-1-15			

[illegible]

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

**RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE**

PROJECT DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

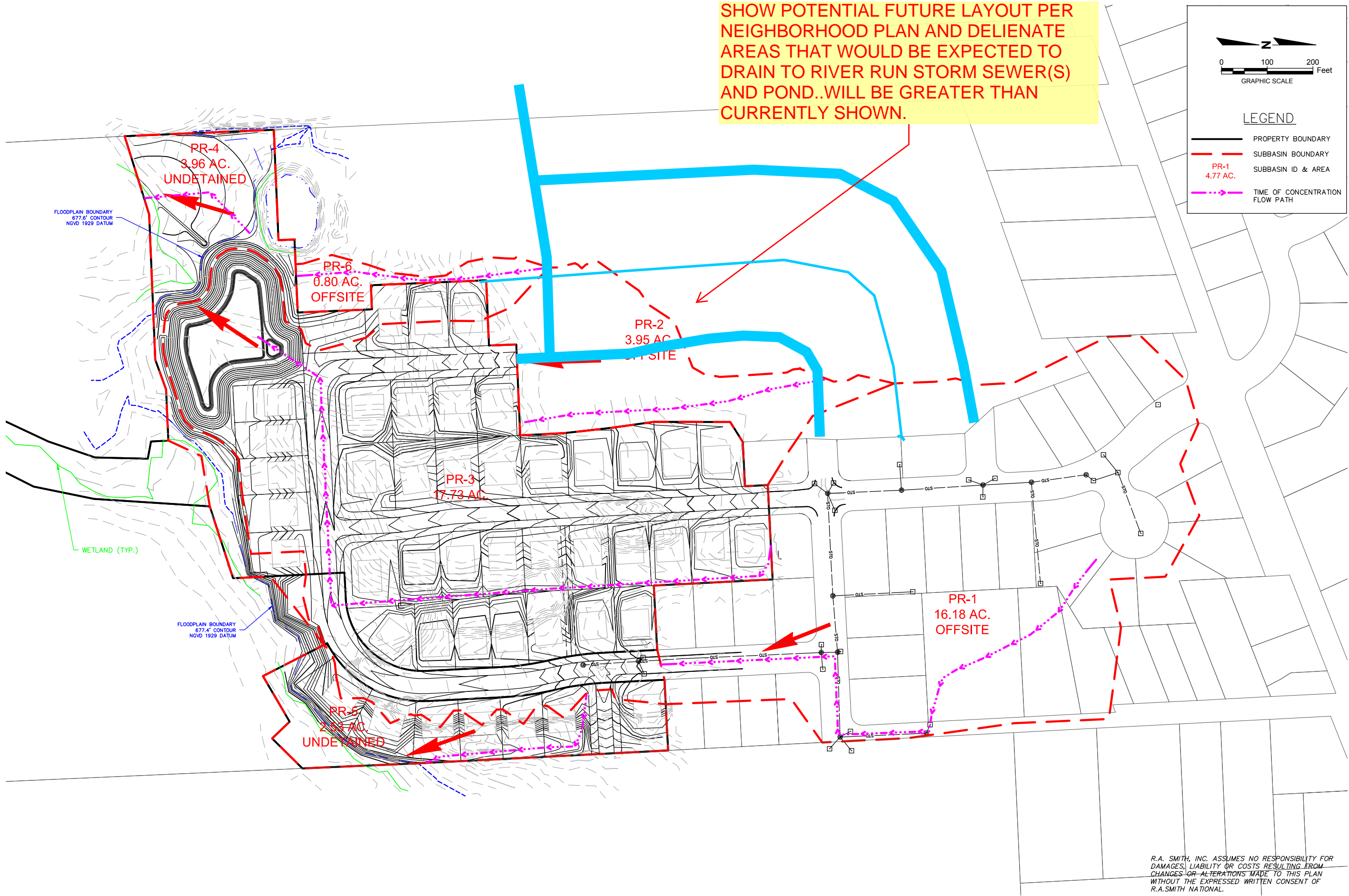
DESIGNED BY: MJG

CHECKED BY: ----

SHEET NUMBER

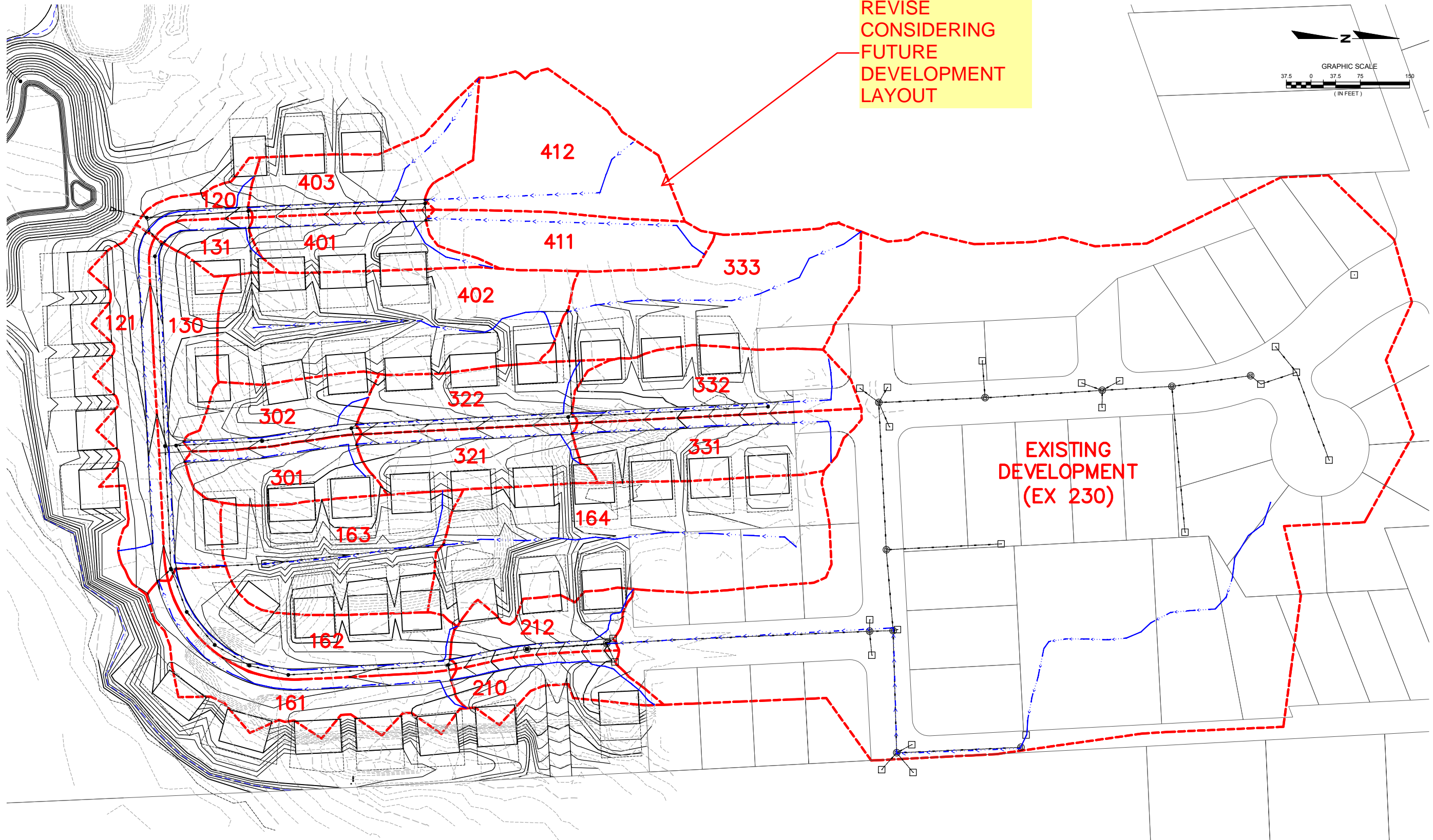
29

SHOW POTENTIAL FUTURE LAYOUT PER NEIGHBORHOOD PLAN AND DELIENATE AREAS THAT WOULD BE EXPECTED TO DRAIN TO RIVER RUN STORM SEWER(S) AND POND..WILL BE GREATER THAN CURRENTLY SHOWN.



DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	STORMWATER MANAGEMENT PLAN PROPOSED CONDITIONS
© COPYRIGHT 2017 R.A. Smith, Inc. DATE: 11/15/17 SCALE: 1" = 100' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: GER CHECKED BY: CVD	
SHEET NUMBER B	

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LEGEND

--- CATCHMENT BOUNDARY

->->->- TIME OF CONCENTRATION FLOWPATH

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DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	PROPOSED STORM SEWER HYDRAFLOW CATCHMENTS
© COPYRIGHT 2017 R.A. Smith, Inc. DATE: 11/08/17 SCALE: 1" = 150' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: RRS CHECKED BY: ---	
SHEET NUMBER ##	

LEGEND
(PROPOSED FEATURES)

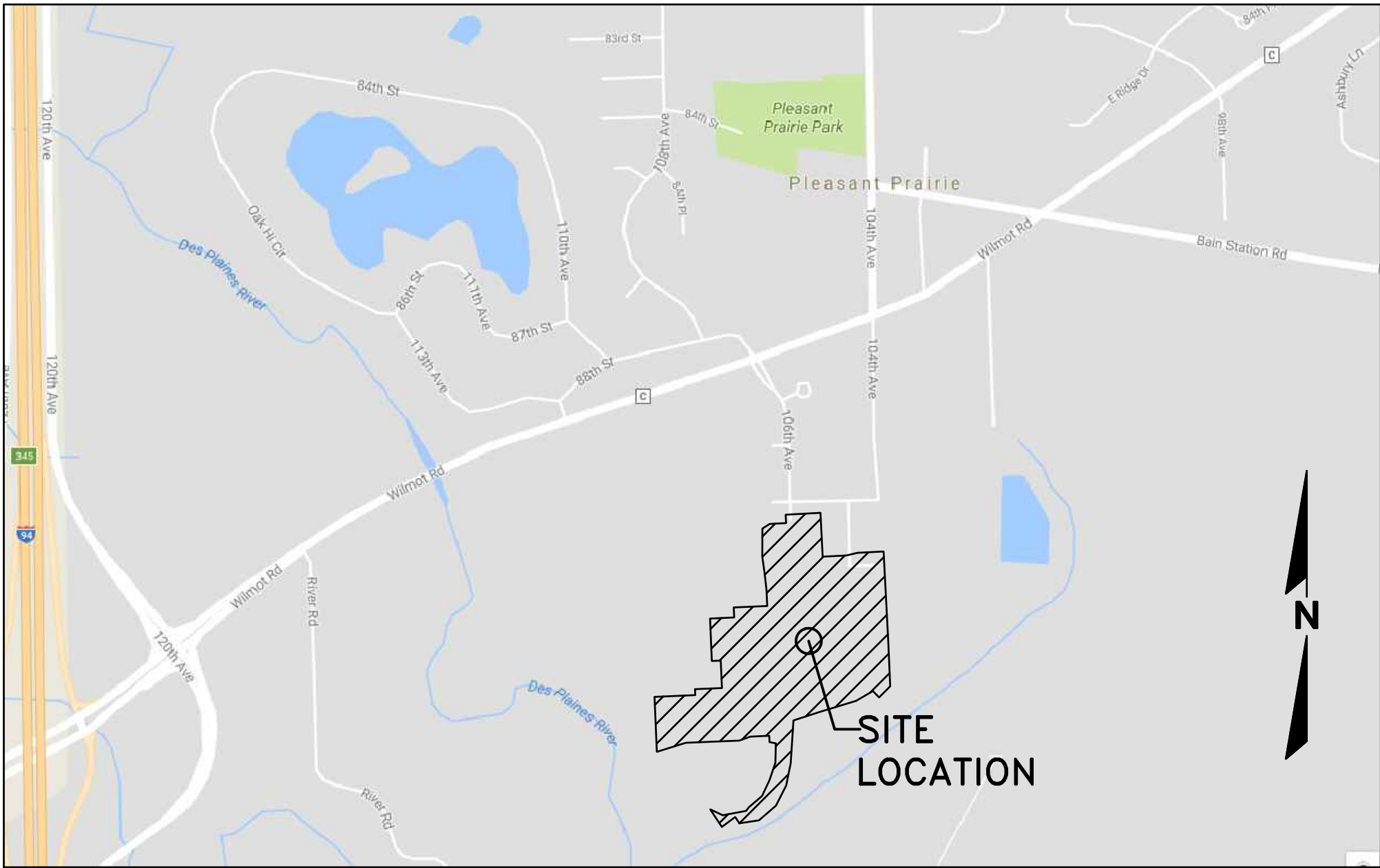
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED ACCESSIBLE PAVEMENT MARKING
	VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE @ THRESHOLD
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, 'LOG' DENOTES AROUND LEVEL FOR LOOK OUT, 'WOG' DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
1"	DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
1"	DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
O	BOLLARD
+	SOIL BORING/MONITORING WELL
+	FLAGPOLE
+	MAILBOX
+	SIGN
+	BILLBOARD
A	AIR CONDITIONER
B	CONTROL BOX
T	TRAFFIC SIGNAL
X	RAILROAD CROSSING SIGNAL
C	CABLE PEDESTAL
P	POWER POLE
G	GUY POLE
G	GUY WIRE
L	LIGHT POLE
S	SPOT/YARD/PEDESTAL LIGHT
H	HANDICAPPED PARKING
E	ELECTRIC MANHOLE
E	ELECTRIC PEDESTAL
X	ELECTRIC METER
T	ELECTRIC TRANSFORMER
T	TELEPHONE MANHOLE
T	TELEPHONE PEDESTAL
F	MARKED FIBER OPTIC
G	GAS VALVE
G	GAS METER
G	GAS WARNING SIGN
S	STORM MANHOLE
R	ROUND INLET
S	SQUARE INLET
S	STORM SEWER END SECTION
S	SANITARY MANHOLE
S	SANITARY CLEANOUT OR SEPTIC VENT
S	SANITARY INTERCEPTOR MANHOLE
M	MISCELLANEOUS MANHOLE
W	WATER VALVE
H	HYDRANT
W	WATER SERVICE CURB STOP
W	WATER MANHOLE
W	WELL
W	WATER SURFACE
W	WETLANDS FLAG
M	MARSH
C	CONIFEROUS TREE
D	DECIDUOUS TREE
S	SHRUB
---	EDGE OF TREES
-S	SANITARY SEWER
-S	STORM SEWER
-W	WATERMAIN
-G	MARKED GAS MAIN
-E	MARKED ELECTRIC
-OHW	OVERHEAD WIRES
-B	BUREAU ELEC. SERV.
-T	MARKED TELEPHONE
-TV	MARKED CABLE TV LINE
-FO	MARKED FIBER OPTIC
-780	INDICATES EXISTING CONTOUR ELEVATION
-x 780.55	INDICATES EXISTING SPOT ELEVATION
----	EXISTING PROPERTY LINE
----	EXISTING EASEMENT LINE

LANDSCAPE PLANS
FOR
RIVER RUN AT HERITAGE VALLEY
SUBDIVISION
PLEASANT PRAIRIE, WI

VICINITY MAP



VOPP ENG REVIEW
PLAN MARK UP
2-9-18

PLAN INDEX

SHEET NO.

- 1
- 2
- 3
- 4

DESCRIPTION

- TITLE SHEET
- OVERALL LANDSCAPE PLAN & DETAILS
- LANDSCAPE PLAN NORTH
- LANDSCAPE PLAN SOUTH

OWNER:

U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:

R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:

VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

- NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
- SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
- SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

AT&T
JAY BULANEK
262-896-7669

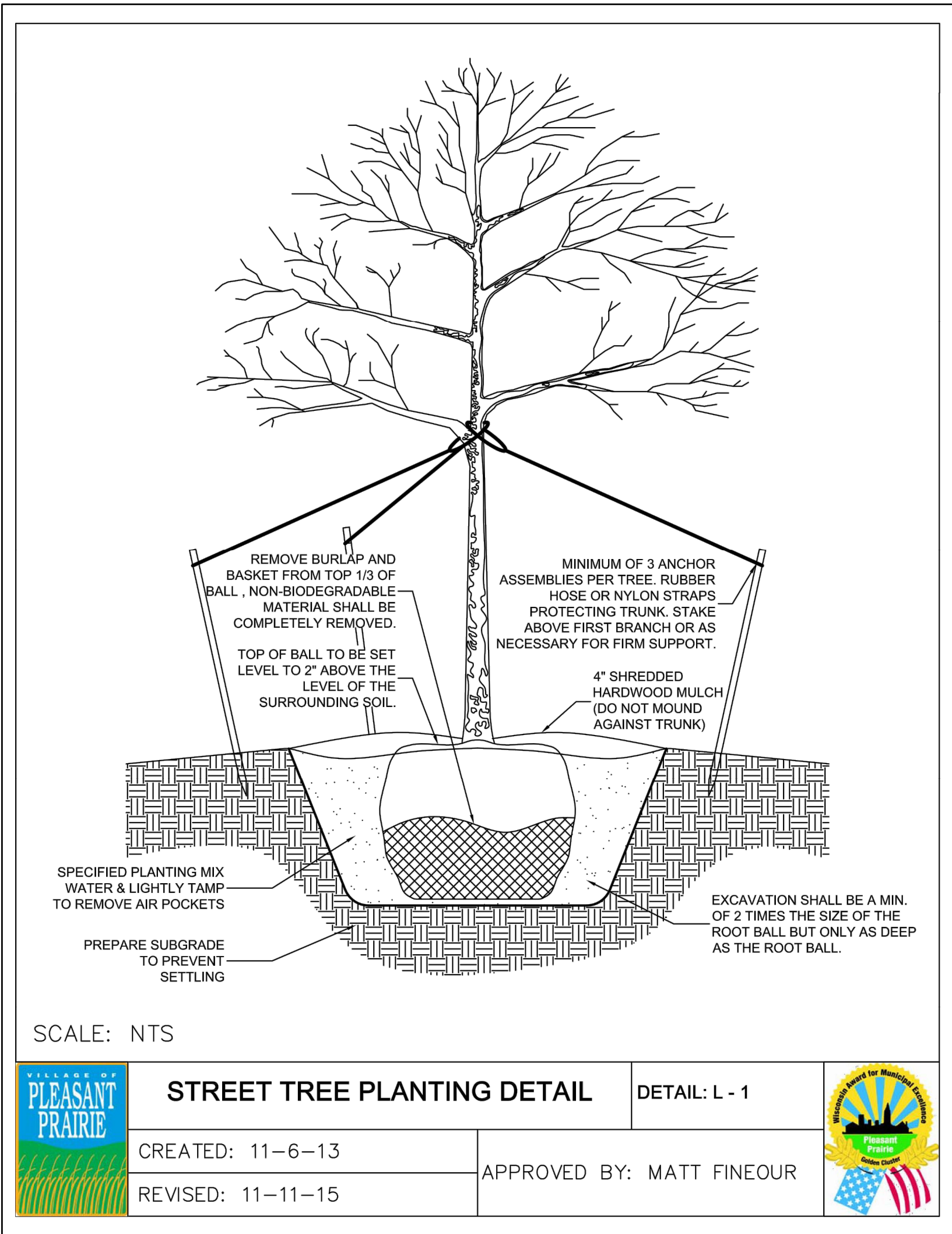
PLAN DATE: 1/24/18

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

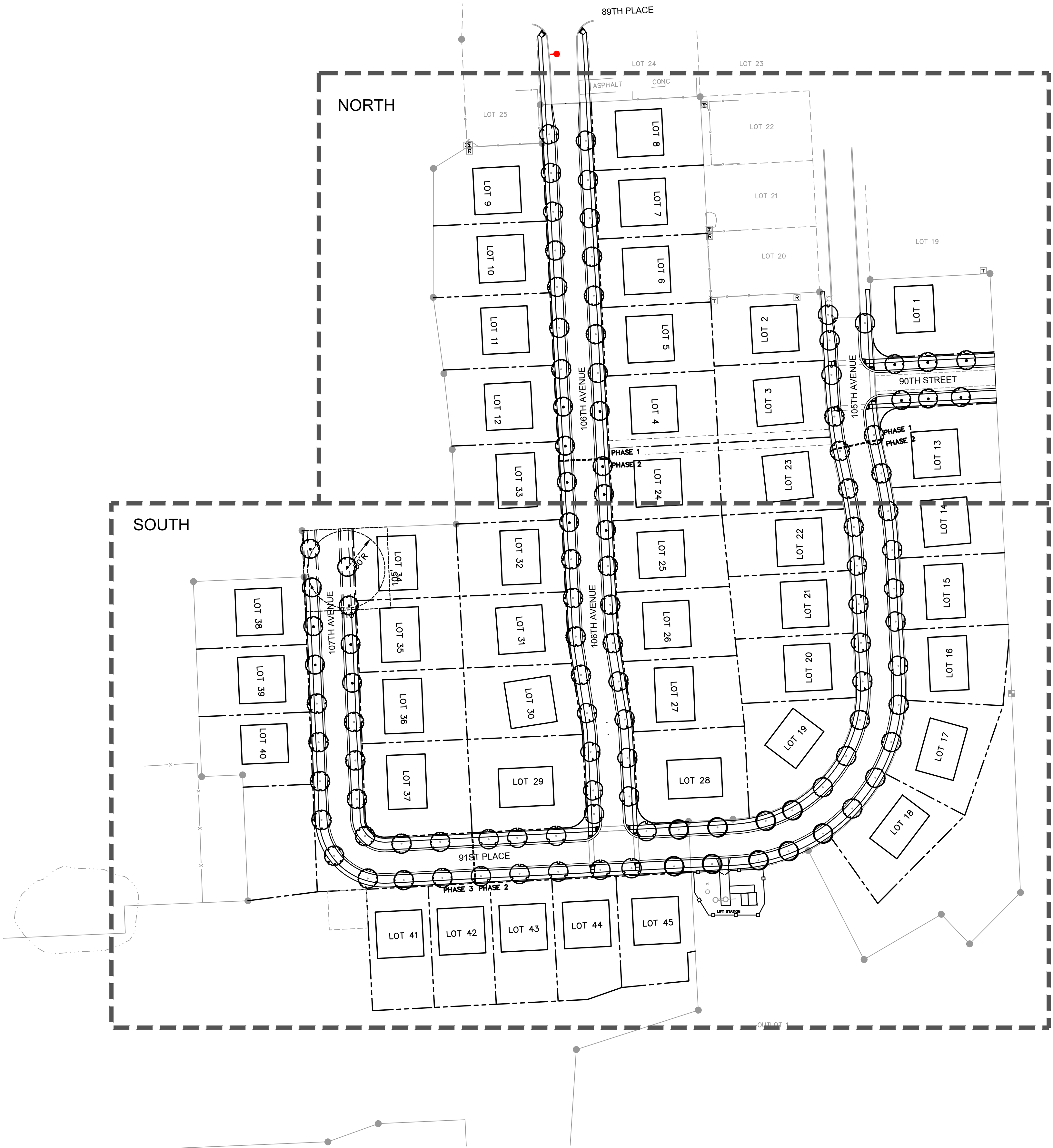
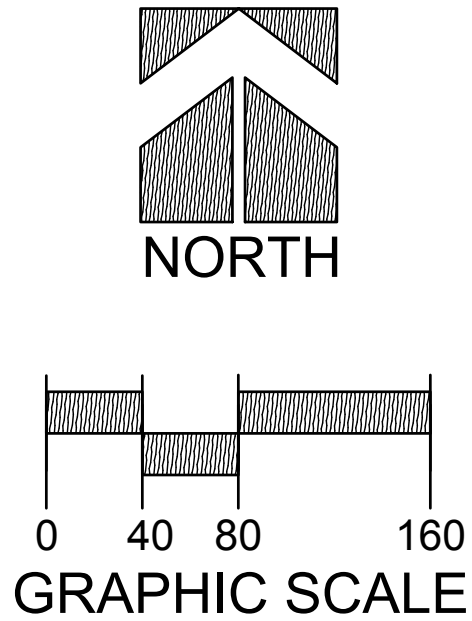
© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: NONE
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: LJH/NPW
CHECKED BY: GER
SHEET NUMBER
1



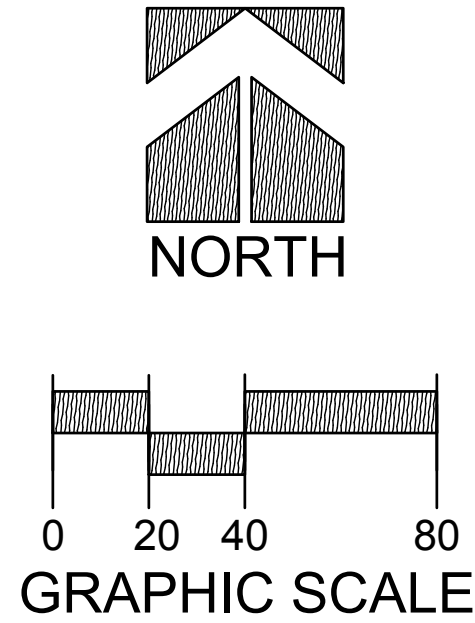
- NOTES:
1. All street trees to be planted in accordance with planting details and specifications as listed in Pleasant Prairie Village Standard Construction Specifications VS-0700 Street Trees.
 2. Street tree locations are general. Actual locations will be staked by contractor based on field conditions for Village review and concurrence prior to installation.
 3. Street trees should generally be spaced 50-feet on center, 7-feet back of curb, 10-feet from any fire hydrant and 7-feet from any driveway.
 4. Street trees shall not be placed on the common lot line between two properties.
 5. Provide a 4" deep, 3 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



DESCRIPTION	
DATE	
R.A. Smith National Beyond Surveying and Engineering www.rasmithnational.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	LANDSCAPE PLAN OVERALL
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith National, Inc.	
DATE: 1/24/18	
SCALE: 1" = 80'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: LJH/NPW	
CHECKED BY: TTH	
SHEET NUMBER	
2	



PLANT SCHEDULE NORTH

STREET TREES	QTY	COMMON NAME	BOTANICAL NAME	MIN. PLANTING SIZE	MATURE SIZE	ROOT	REMARKS
ABM	12	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" CAL / 6' HT	40' HT x 40' SPD	B&B	Full, matching heads
SMM	4	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
KCE	8	Espresso Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" CAL / 6' HT	50' HT x 50' SPD	B&B	Full, matching heads
SVL	6	Silver Linden	Tilia tomentosa	2" CAL / 6' HT	40' HT x 30' SPD	B&B	Full, matching heads
ACE	5	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	2" CAL / 6' HT	60' HT x 40' SPD	B&B	Full, matching heads

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY

VILLAGE OF PLEASANT PRAIRIE

#####

#####

PRELIMINARY

NOT FOR

CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGER:

GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: TTH

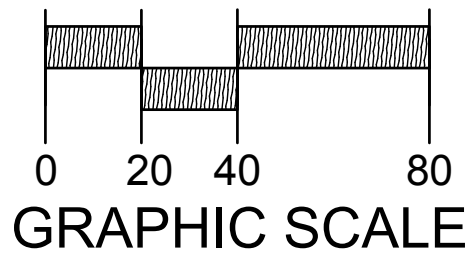
SHEET NUMBER

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.



PLANT SCHEDULE SOUTH

STREET TREES	QTY	COMMON NAME	BOTANICAL NAME	MIN. PLANTING SIZE	MATURE SIZE	ROOT	REMARKS
ABM	10	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" CAL / 6' HT	40' HT x 40' SPD	B&B	Full, matching heads
SMM	10	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
SL	9	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
KCE	12	Espresso Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" CAL / 6' HT	50' HT x 50' SPD	B&B	Full, matching heads
SVL	15	Silver Linden	Tilia tomentosa	2" CAL / 6' HT	40' HT x 30' SPD	B&B	Full, matching heads
ACE	18	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	2" CAL / 6' HT	60' HT x 40' SPD	B&B	Full, matching heads

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

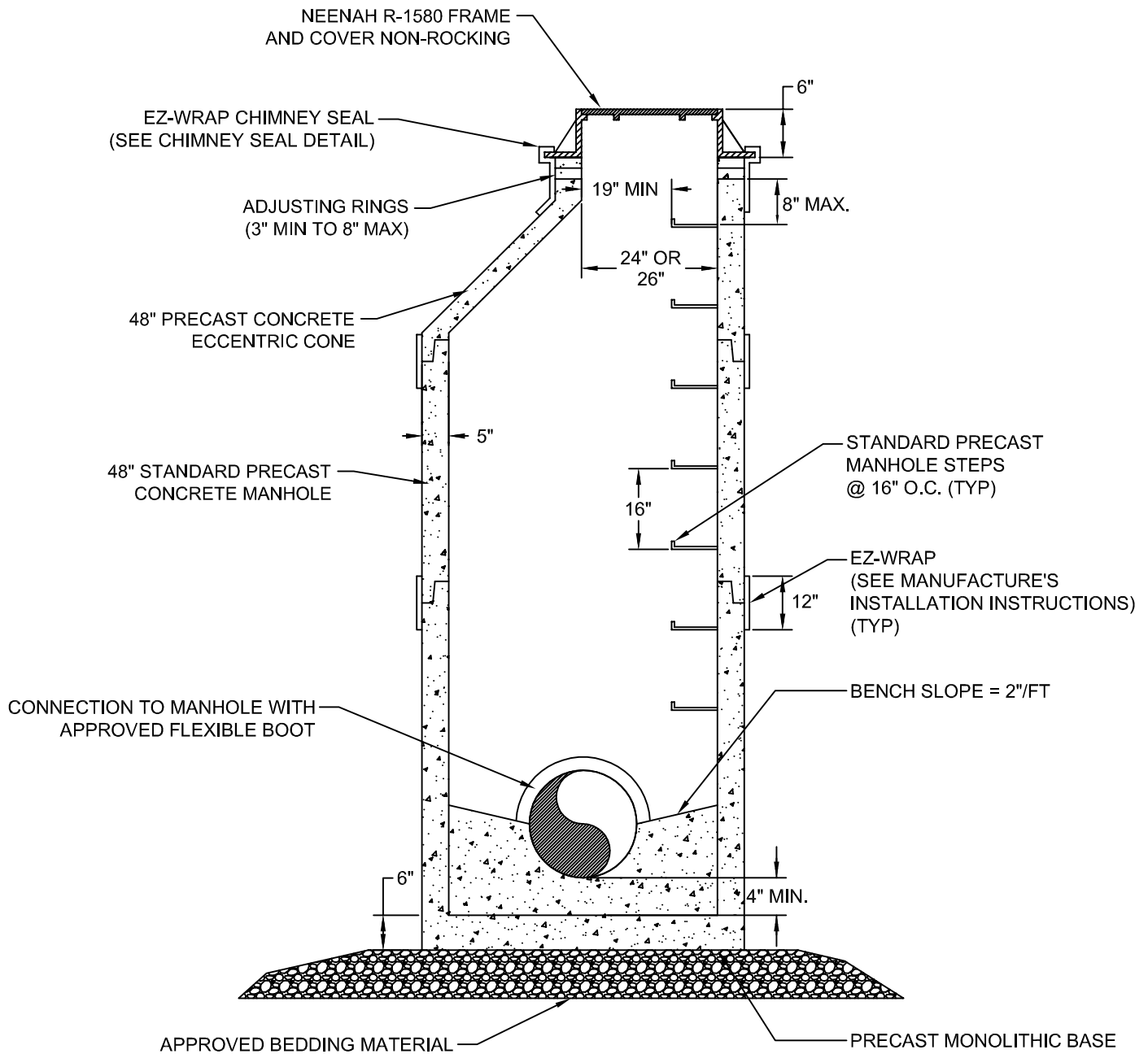
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RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

#####

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CONSTRUCTION

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R.A. Smith, Inc.
DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG
CHECKED BY: TTH
SHEET NUMBER
##



NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY SEWER.

SCALE: NTS



STANDARD SANITARY MANHOLE

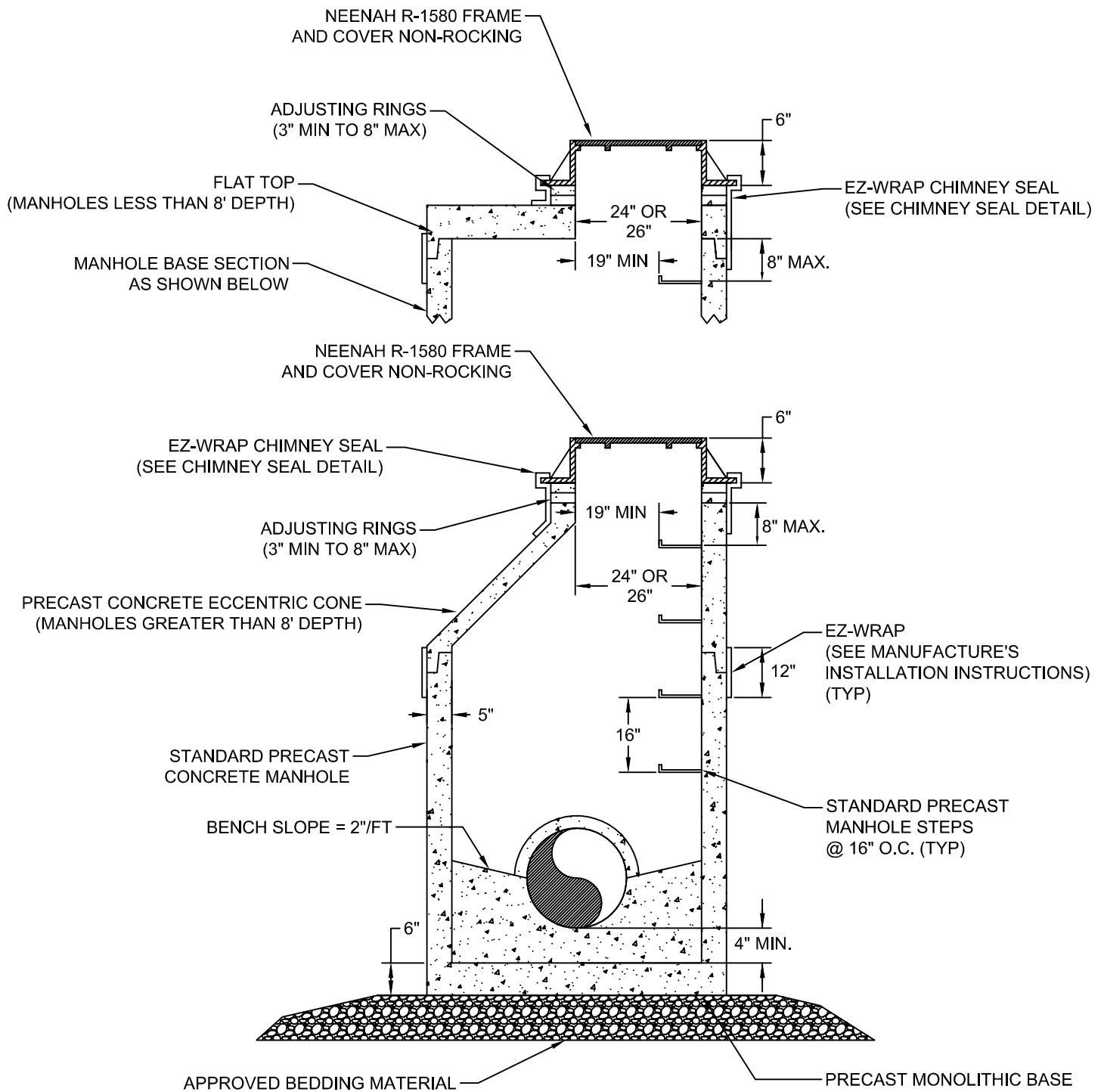
DETAIL: SAN - 1

CREATED: 11-21-12

REVISED: 10-30-17

APPROVED BY: MATT FINEOUR





NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER.

SCALE: NTS



STANDARD STORM MANHOLE

DETAIL: STM - 1

CREATED: 11-21-12

REVISED: 10-30-17

APPROVED BY: MATT FINEOUR



NEENAH R-3067 CURB INLET FRAME, TYPE "L" GRATE OR
NEENAH R-3501-R FRAME AND GRATE , MOUNTABLE CURB

EZ-WRAP CHIMNEY SEAL
(SEE CHIMNEY SEAL DETAIL)

ADJUSTING RINGS
(3" TO 12") WITH
MAXIMUM OF 4 RINGS

ADJUSTABLE

TOP SECTION WITH
RECTANGULAR OPENING
SIZED TO MATCH
SPECIFIED FRAME AND
GRATE

48" STANDARD
PRECAST CONCRETE
MANHOLE

STANDARD PRECAST
MANHOLE STEPS
@ 16" O.C. (TYP)

EZ-WRAP
(SEE MANUFACTURE'S
INSTALLATION INSTRUCTIONS)
(TYP)

LEAD
(24" MAX)

APPROVED BEDDING MATERIAL

PRECAST MONOLITHIC BASE

NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER

SCALE: NTS

STANDARD STORM MANHOLE WITH CURB INLET

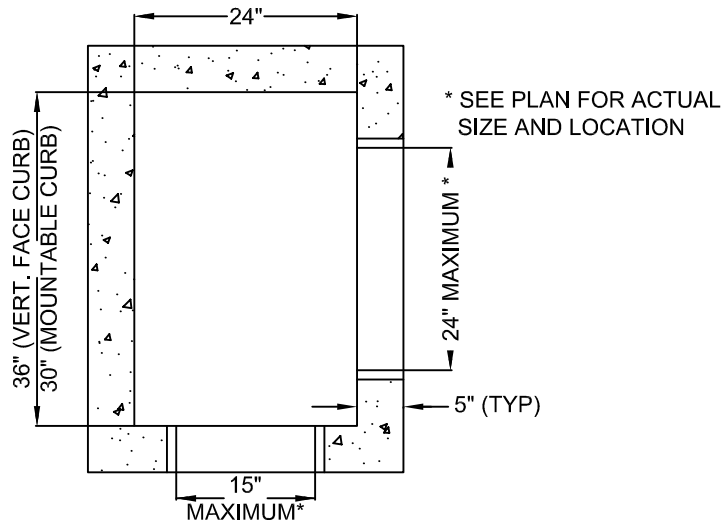
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CREATED: 9-23-04

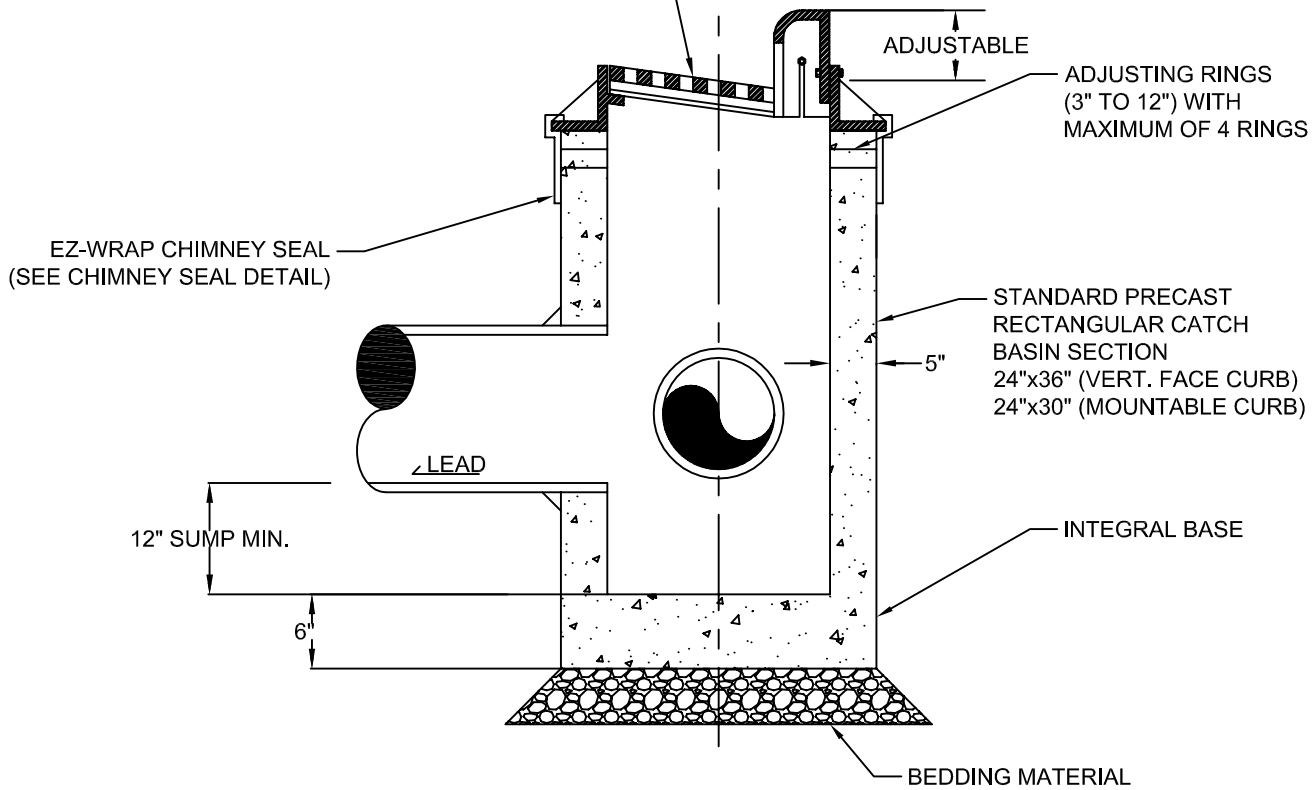
REVISED: 10-30-17

APPROVED BY: MATT FINEOUR





NEENAH R-3067 CURB INLET FRAME, TYPE "L" GRATE OR
NEENAH R-3501-R FRAME AND GRATE, MOUNTABLE CURB



NOTES:

1. NON-SHRINKING MOTAR REQUIRED (TYP)-STORM CONNECTIONS, ADJUSTING RINGS, ECT.
2. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER

SCALE: NTS

PRECAST RECTANGULAR CATCH BASIN

DETAIL: STM - 3

CREATED: 12-14-04

REVISED: 6-23-17

APPROVED BY: MATT FINEOUR



NEENAH R-2560-E1 BEEHIVE
FRAME AND GRATE IN LAWN AREAS

ADJUSTING RINGS
(3" - 12") WITH
MAXIMUM OF 4 RINGS

PRECAST CONCRETE
ECCENTRIC CONE

EZ-WRAP (SEE MANUFACTURE'S
INSTALLATION INSTRUCTIONS)
(TYP)

EZ-WRAP CHIMNEY SEAL
(SEE CHIMNEY SEAL DETAIL)
(TYP)

FLAT TOP SECTION WITH
CIRCULAR OPENING SIZED
TO MATCH SPECIFIED
FRAME AND GRATE

BEEHIVE CATCH BASIN WITH ALTERNATE FLAT TOP

LEAD
MINIMUM 12" SUMP

42" OR 48" I.D.

42" OR 48" I.D.

APPROVED BEDDING MATERIAL

PRECAST MONOLITHIC BASE

NOTE:

1. NON SHRINKING MORTAR REQUIRED (TYP)-STORM CONNECTIONS, ADJUSTING RINGS, ECT.
2. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER

SCALE: NTS



STANDARD BEEHIVE CATCH BASIN

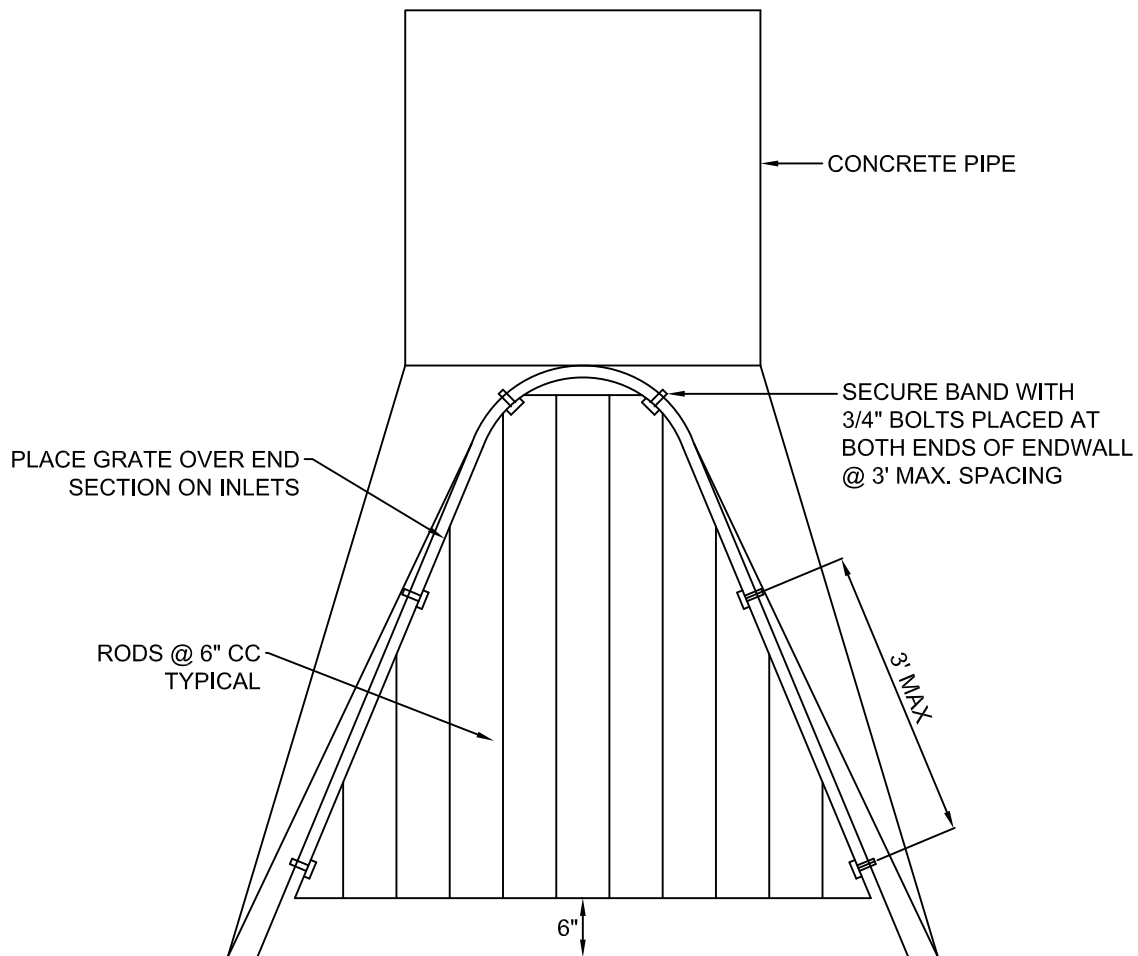
DETAIL: STM - 4

CREATED: 12-15-04

REVISED: 6-23-17

APPROVED BY: MATT FINEOUR





NOTE:

1. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER.
2. SECURE THE LAST TWO PIPE SECTIONS, INCLUDING END SECTIONS, USING JOINT TIES.

SCALE: NTS



STANDARD ENDWALL GRATE

DETAIL: STM - 5

CREATED: 11-01-13

REVISED: 12-2-15

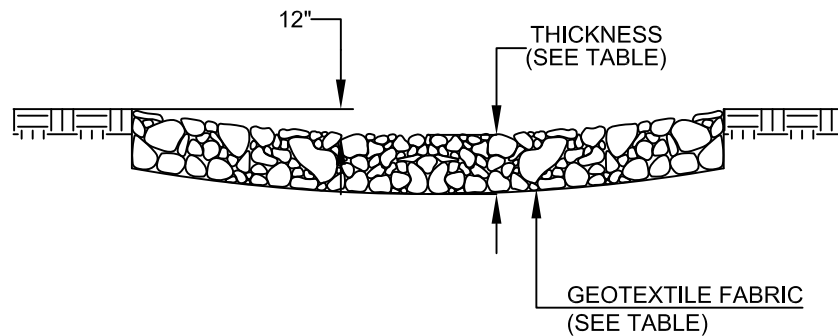
APPROVED BY: MATT FINEOUR



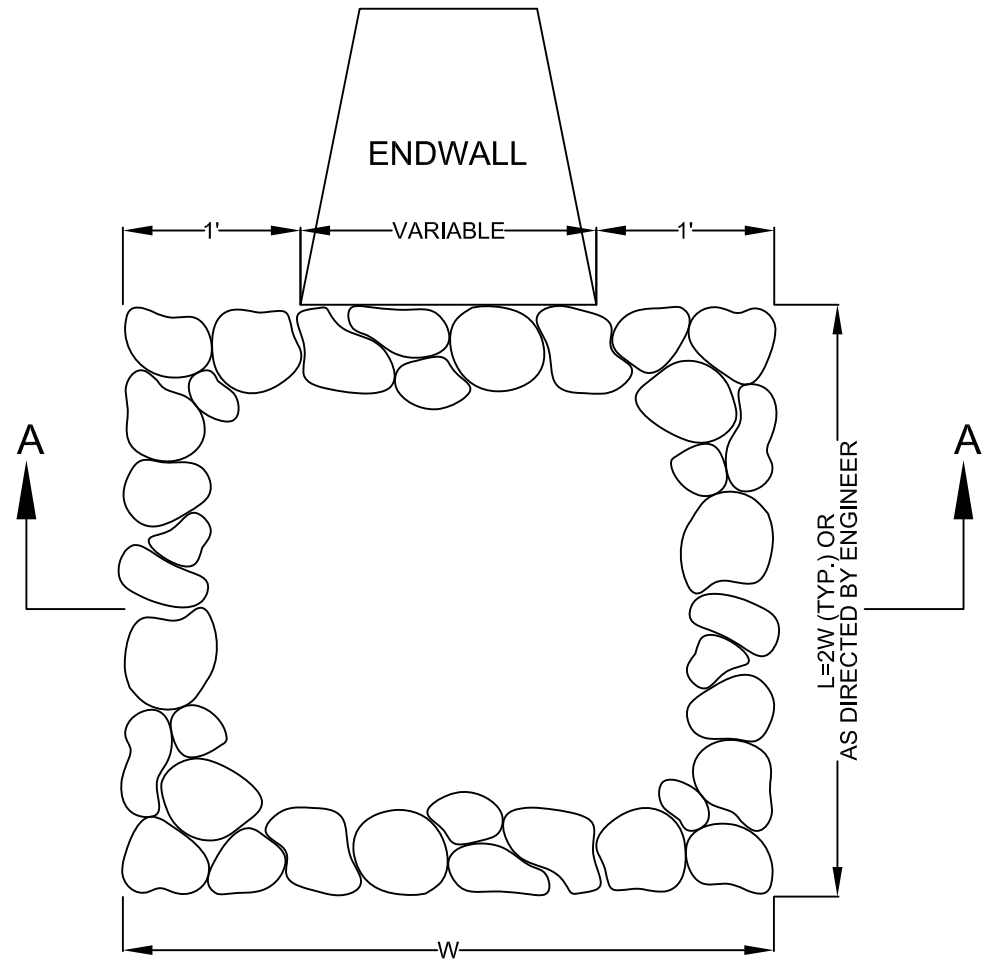
NOTE:

1. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWERS

RIPRAP	RIPRAP THICKNESS	GEOTEXTILE FABRIC TYPE
LIGHT	12"	R
MEDIUM	18"	HR
HEAVY	24"	HR
EXTRA HEAVY	30"	HR



SECTION A-A



SCALE: NTS



RIPRAP TREATMENT AT ENDWALLS

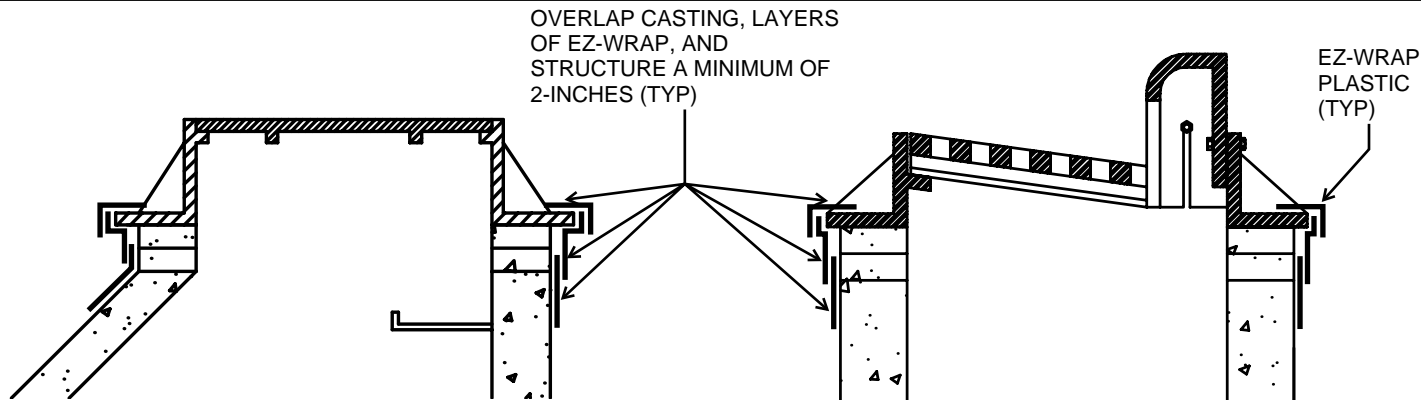
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CREATED: 11-04-13

REVISED: 12-2-15

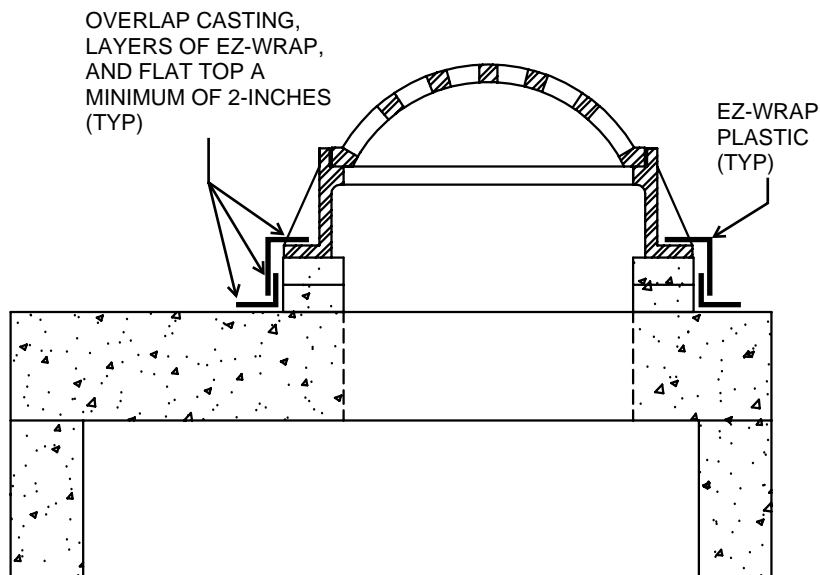
APPROVED BY: MATT FINEOUR



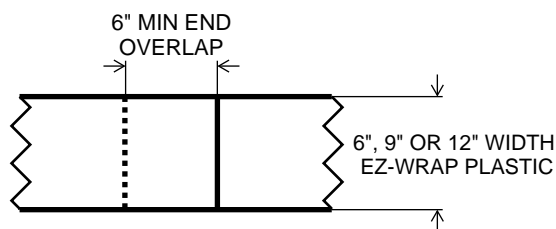


CONE SECTION MANHOLE INSTALLATION

CATCH BASIN INSTALLATION



FLAT TOP MANHOLE/INLET INSTALLATION



EZ-WRAP END OVERLAP DETAIL

INSTALLATION INSTRUCTIONS:

1. CLEAN AND DRY THE EXTERIOR SURFACES OF THE CASTING, ADJUSTING RINGS, AND STRUCTURE TO BE WRAPPED. SURFACES AND MATERIALS SHALL BE ABOVE 32 DEGREES.
2. APPLY MANUFACTURER RECOMMENDED AEROSOL ADHESIVE OR EZ-PRIMER #4 TO ALL SURFACES TO BE WRAPPED. EZ-PRIMER SHALL BE APPLIED USING A CLEAN PAINT BRUSH OR ROLLER.
3. WAIT FOR SOLVENTS TO DISPENSE FROM THE TREATED SURFACE. EZ-PRIMER TREATED SURFACE SHALL BE DRY AND APPEAR SMOOTH AND CLEAN. AEROSOL ADHESIVE SHALL BE TACKY. DEPENDING ON THE TEMPERATURE THIS MAY TAKE 10-30 MINUTES FOR EZ-PRIMER OR 1-3 MINUTES FOR AEROSOL ADHESIVE.
4. CUT EZ-WRAP TO LENGTH. CUT ENDS SHALL OVERLAP A MINIMUM OF 6".
5. BEGINNING AT THE BOTTOM OF THE STRUCTURE CAREFULLY INSTALL THE EZ-WRAP TO THE DRY, TREATED SURFACES, REMOVING THE RELEASE PAPER AS YOU APPLY THE EZ-WRAP. DO NOT STRETCH THE EZ-WRAP. PRESS THE EZ-WRAP DOWN FIRMLY AND EVENLY AS YOU COVER THE SURFACES.
6. INSTALL EZ-PRIMER OR AEROSOL ADHESIVE OVER TOP 2-INCHES OF EZ-WRAP AND CUT END TO BE OVERLAID. ALLOW SURFACE TO DRY AS STATED IN STEP 3.
7. INSTALL NEXT SECTION OF EZ-WRAP. OVERLAP THE EZ-WRAP VERTICALLY A MINIMUM OF 2-INCHES. DO NOT STRETCH THE EZ-WRAP. PRESS THE EZ-WRAP DOWN FIRMLY AND EVENLY AS YOU COVER THE SURFACES.
8. REPEAT STEPS 6 AND 7 UNTIL THE ENTIRE CHIMNEY SECTION IS WRAPPED.



CHIMNEY SEAL DETAIL

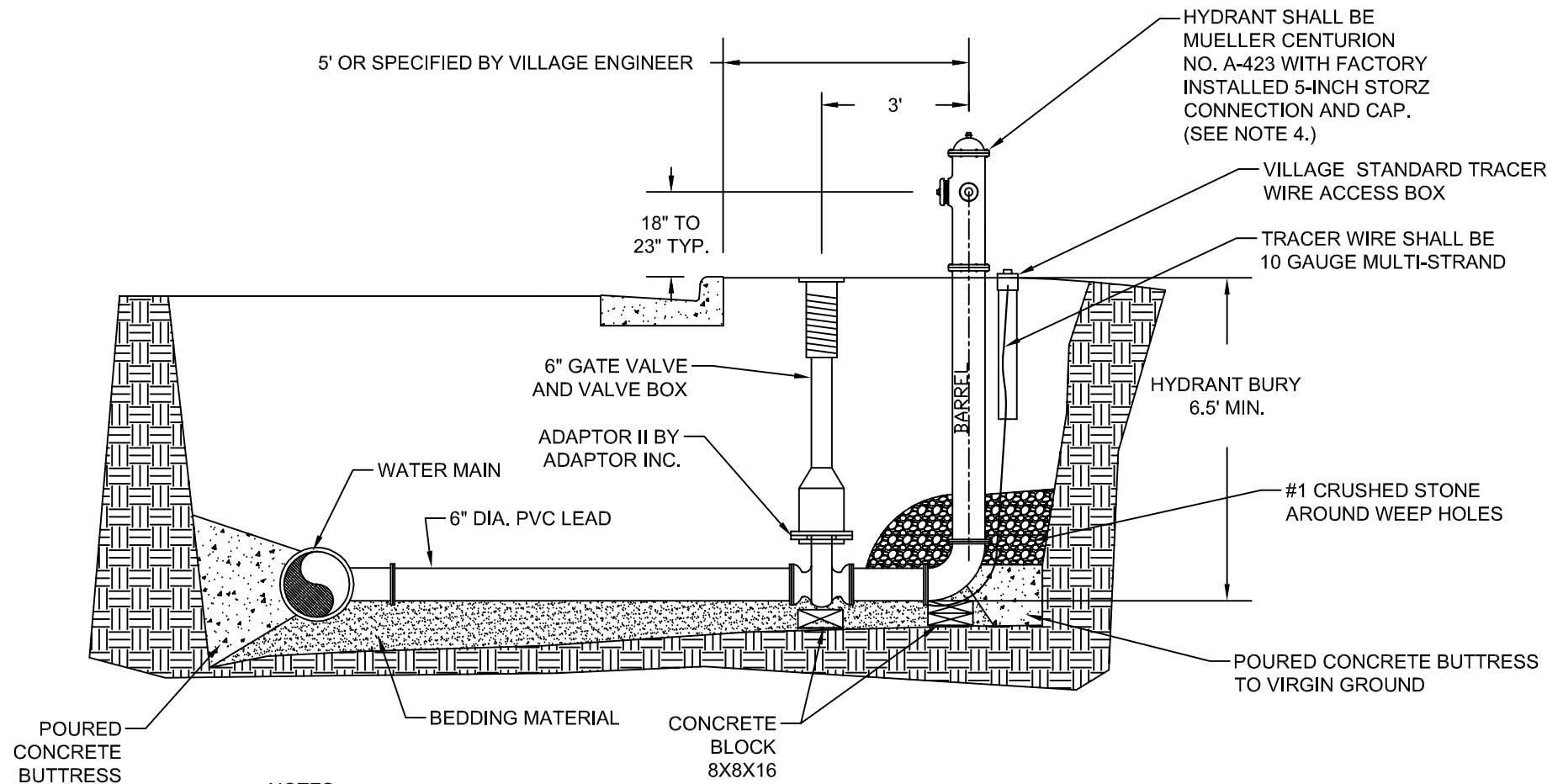
DETAIL: CS - 1

CREATED: 7-11-17

REVISED:

APPROVED BY: MATT FINEOUR





NOTES:

1. MECHANICAL JOINTS FROM TEE TO VALVE AND FROM VALVE TO HYDRANT SHALL BE RESTRAINED WITH MEGALUGS AND STAINLESS STEEL BOLTS.
2. ALL FASTENERS SHALL BE STAINLESS STEEL.
3. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION
4. HYDRANT SPECIFICATIONS - 2 EACH 2-1/2 INCH NST NOZZLE, 1 FACTORY INSTALLED 5-INCH STORZ CONNECTION AND CAP MANUFACTURED BY MUELLER.
5. PAINT SPECIFICATION - PLEASE REFER TO VS-0400 OF THE VILLAGE CONSTRUCTION SPECIFICATIONS.
6. HYDRANT EXTENSIONS ARE NOT PERMITTED.

SCALE: NTS



STANDARD HYDRANT ASSEMBLY

DETAIL: W - 1

CREATED: 11-26-12

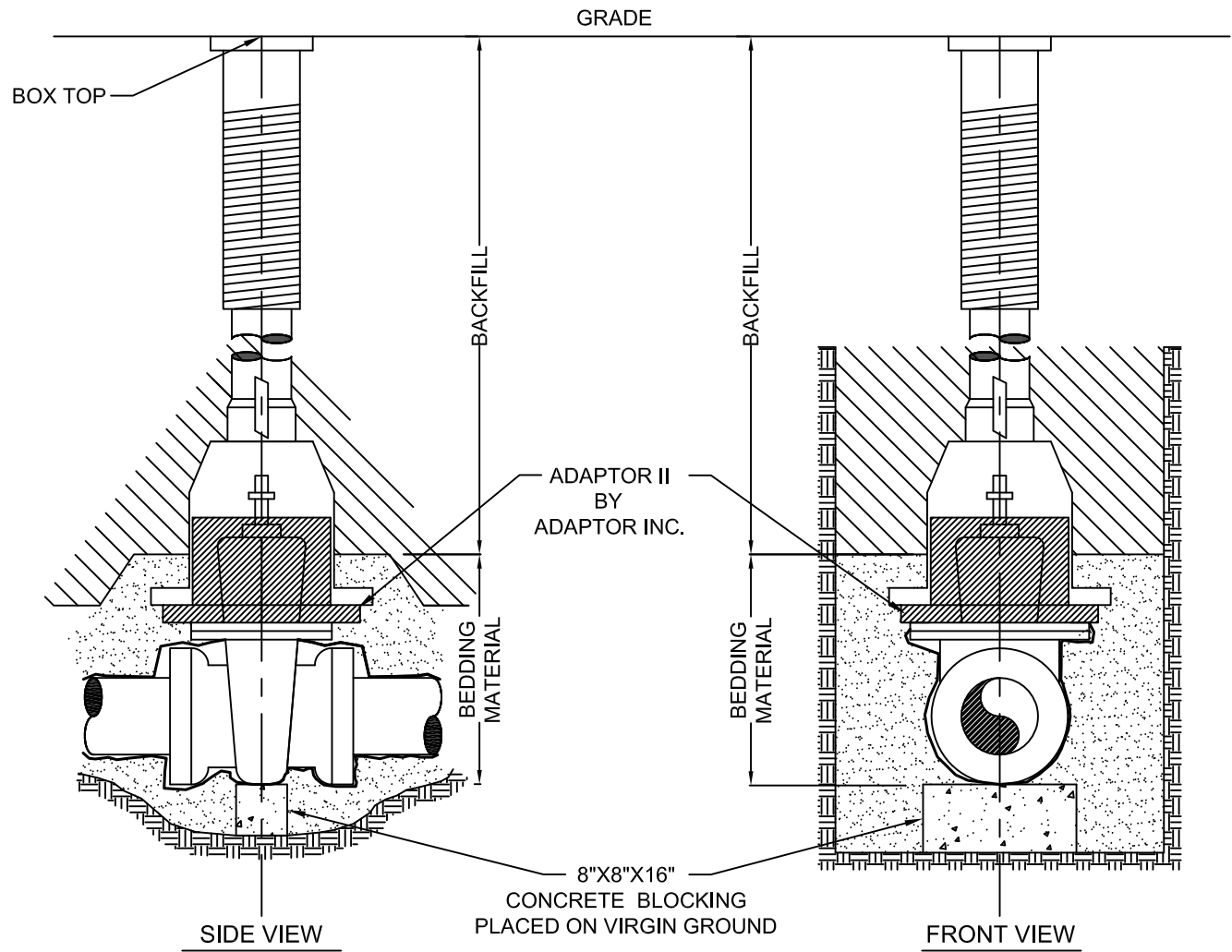
REVISED: 8-4-16

APPROVED BY: MATT FINEOUR

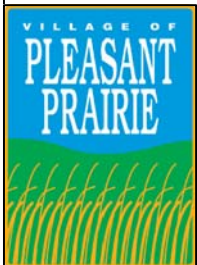


NOTE:

1. VALVE SHALL BE WRAPPED IN BLACK POLYETHYLENE.
2. REFER TO VILLAGE STANDARD SPECIFICATION FOR WATER MAIN



SCALE: NTS



STANDARD GATE VALVE BOX SETTING

DETAIL: W - 3

CREATED: 12-14-04

REVISED: 11-16-15

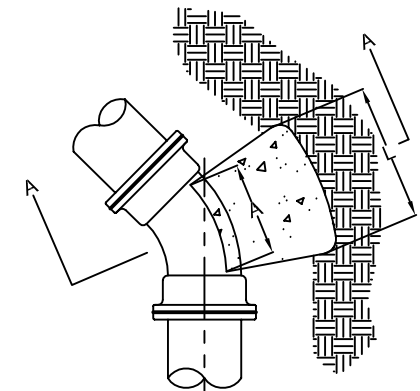
APPROVED BY: MATT FINEOUR



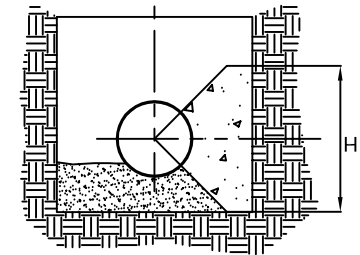
SCALE: NTS

NOTES:

1. $L_{(WATER)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR STANDARD WATER MAINS AND WATER SERVICES.
2. $L_{(FIRE)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 200 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR FIRE LINES AND COMBINATION FIRE / WATER SERVICES.
3. DIMENSION (A) SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH MECHANICAL JOINT BOLTS.
4. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH AND SURFACE AREA (H x L) MATCHES THAT LISTED IN THE TABLE.
5. IF IN-SITU SOILS HAVE AN EARTH RESISTANCE OF LESS THAN 2 TONS PER SQ. FT. THE BUTTRESS AREA SHALL BE INCREASED PROPORTIONALLY.
6. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
7. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.



PLAN



SECTION A-A

BUTTRESS DIMENSIONS

PIPE	11 $\frac{1}{4}$ DEG. BEND			22 $\frac{1}{2}$ DEG. BEND			45 DEG. BEND			90 DEG. BEND		
SIZE	H	L (WATER)	L (FIRE)	H	L (WATER)	L (FIRE)	H	L (WATER)	L (FIRE)	H	L (WATER)	L (FIRE)
4"	0'-8"	0'-5"	0'-5"	1'-1"	0'-6"	0'-6"	1'-3"	0'-10"	0'-10"	1'-4"	1'-6"	1'-6"
6"	1'-2"	0'-6"	0'-6"	1'-6"	0'-9"	0'-9"	1'-8"	1'-4"	1'-4"	1'-10"	2'-2"	2'-2"
8"	1'-3"	0'-9"	0'-9"	2'-0"	1'-0"	1'-0"	2'-0"	1'-11"	1'-11"	2'-4"	3'-0"	3'-0"
10"	1'-3"	0'-10"	1'-2"	2'-0"	1'-1"	1'-5"	2'-0"	2'-1"	2'-9"	2'-4"	3'-4"	4'-5"
12"	1'-4"	1'-2"	1'-6"	2'-6"	1'-2"	1'-7"	2'-6"	2'-4"	3'-2"	2'-8"	4'-1"	5'-5"
14"	1'-6"	1'-4"	1'-10"	3'-0"	1'-4"	1'-10"	3'-0"	2'-8"	3'-6"	3'-0"	4'-11"	6'-6"
16"	2'-0"	1'-4"	1'-9"	3'-0"	1'-9"	2'-4"	3'-0"	3'-5"	4'-7"	3'-0"	6'-4"	8'-5"
18"	2'-6"	1'-4"	1'-9"	3'-6"	1'-10"	2'-6"	3'-6"	3'-8"	4'-11"	3'-6"	6'-9"	9'-1"
20"	2'-9"	1'-6"	2'-0"	3'-9"	2'-2"	2'-10"	3'-9"	4'-2"	5'-7"	3'-9"	7'-9"	10'-4"
24"	3'-0"	1'-11"	2'-7"	4'-3"	2'-8"	3'-7"	4'-3"	5'-4"	7'-1"	4'-4"	9'-7"	12'-10"

BUTTRESS FOR BENDS

DETAIL: W - 5

CREATED: 2-4-14

REVISED: 8-4-16

APPROVED BY: MATT FINEOUR

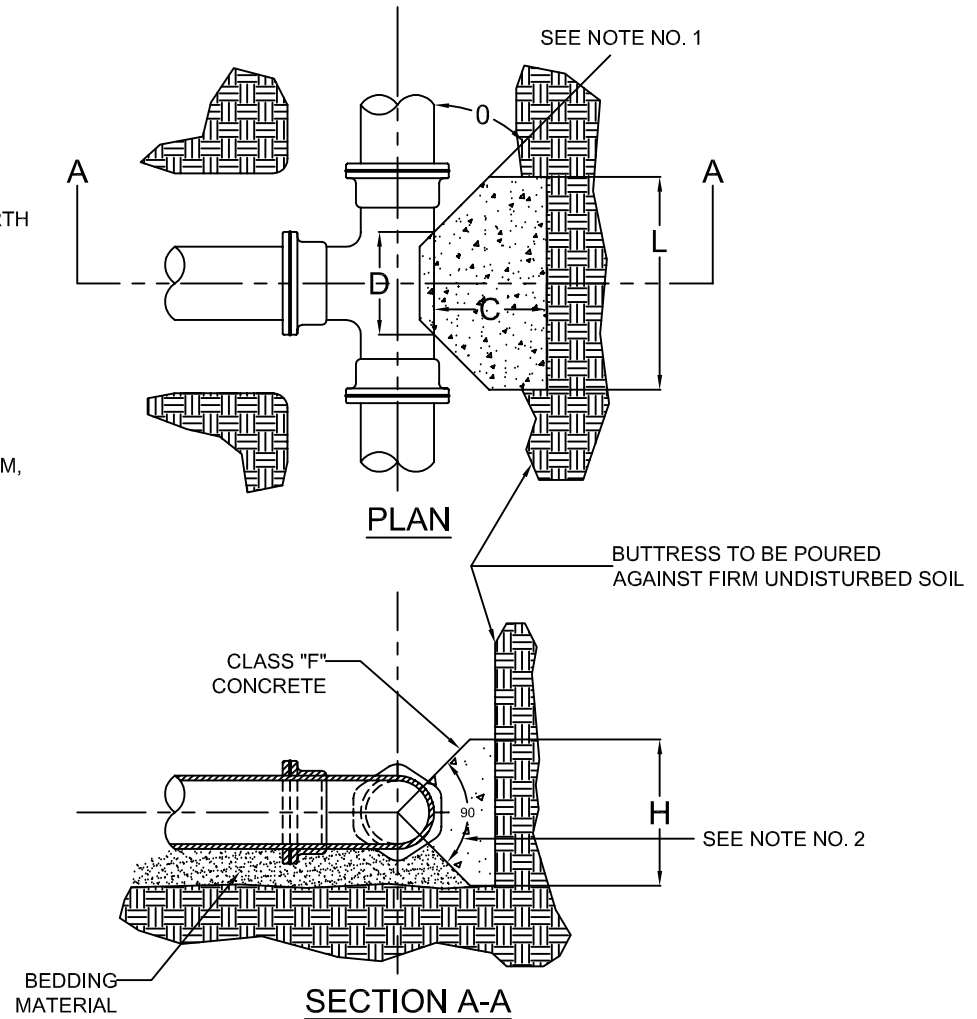


NOTES:

1. $L_{(WATER)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR STANDARD WATER MAINS AND WATER SERVICES.
2. $L_{(FIRE)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 200 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR FIRE LINES AND COMBINATION FIRE / WATER SERVICES..
3. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH AND SURFACE AREA (H x L) MATCHES THAT LISTED IN THE TABLE. CONCRETE SHALL BEAR ON FITTINGS AS SHOWN.
4. DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE "O" EQUAL TO OR LARGER THAN 45 DEG.
5. DIMENSION "D" EQUALS APPROX. I.D. OF PIPE LESS 2". AN EFFORT SHOULD BE MADE TO PREVENT CONCRETE FROM COVERING THE MECHANICAL JOINT BOLTS.
6. WHERE BUTTRESSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED IF APPROVED BY THE VILLAGE.
7. IF IN-SITU SOILS HAVE AN EARTH RESISTANCE OF LESS THAN 2 TONS PER SQ. FT. THE BUTTRESS AREA SHALL BE INCREASED PROPORTIONALLY.
8. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
9. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.

BUTTRESS DIMENSIONS

PIPE	TEE		
SIZE	H	$L_{(WATER)}$	$L_{(FIRE)}$
4"	1'-6"	1'-0"	1'-0"
6"	1'-8"	1'-9"	1'-9"
8"	2'-4"	2'-0"	2'-1"
10"	2'-4"	2'-4"	3'-1"
12"	2'-7"	3'-0"	4'-0"
14"	2'-10"	3'-8"	4'-10"
16"	2'-10"	4'-9"	6'-4"
18"	3'-6"	4'-10"	6'-5"
20"	3'-10"	5'-5"	7'-2"
24"	4'-8"	6'-2"	8'-3"



SCALE: NTS



BUTTRESS FOR TEES

DETAIL: W - 5A

CREATED: 2-5-14

REVISED: 8-4-16

APPROVED BY: MATT FINEOUR

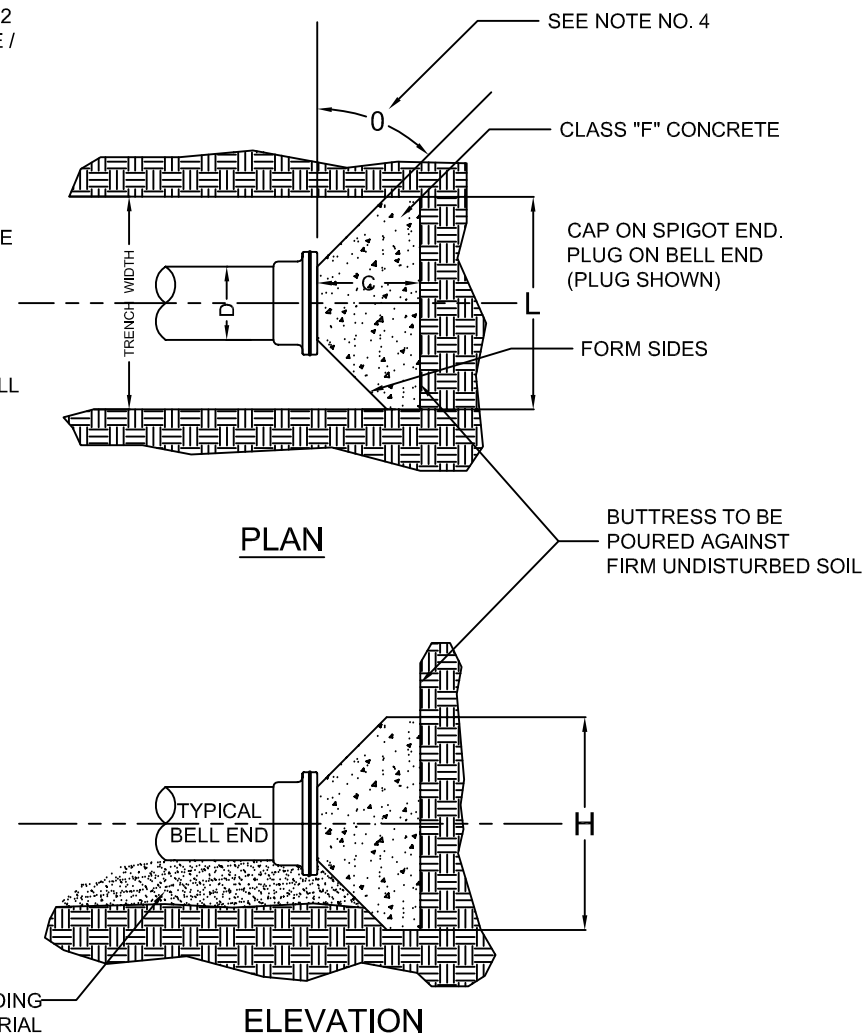


NOTES:

1. $L_{(WATER)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR STANDARD WATER MAINS AND WATER SERVICES.
2. $L_{(FIRE)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 200 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR FIRE LINES AND COMBINATION FIRE / WATER SERVICES..
3. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH AND SURFACE AREA (H x L) MATCHES THAT LISTED IN THE TABLE.
4. DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE "O" EQUAL TO OR LARGER THAN 45 DEG.
5. DIMENSION "D" EQUALS APPROX. I.D. OF PIPE LESS 2". AN EFFORT SHOULD BE MADE TO PREVENT CONCRETE FROM COVERING THE MECHANICAL JOINT BOLTS.
6. WHERE BUTTRESSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED IF APPROVED BY THE VILLAGE.
7. IF IN-SITU SOILS HAVE AN EARTH RESISTANCE OF LESS THAN 2 TONS PER SQ. FT. THE BUTTRESS AREA SHALL BE INCREASED PROPORTIONALLY.
8. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
9. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.

BUTTRESS DIMENSIONS

PIPE SIZE	DEAD ENDS		
	H	$L_{(WATER)}$	$L_{(FIRE)}$
4"	1'-6"	1'-0"	1'-0"
6"	1'-8"	1'-9"	1'-9"
8"	2'-4"	2'-0"	2'-1"
10"	2'-4"	2'-4"	3'-1"
12"	2'-7"	3'-0"	4'-0"
14"	2'-10"	3'-8"	4'-10"
16"	2'-10"	4'-9"	6'-4"
18"	3'-6"	4'-10"	6'-5"
20"	3'-10"	5'-5"	7'-2"
24"	4'-8"	6'-2"	8'-3"



SCALE: NTS



BUTTRESS FOR DEAD ENDS

DETAIL: W - 5B

CREATED: 2-5-14

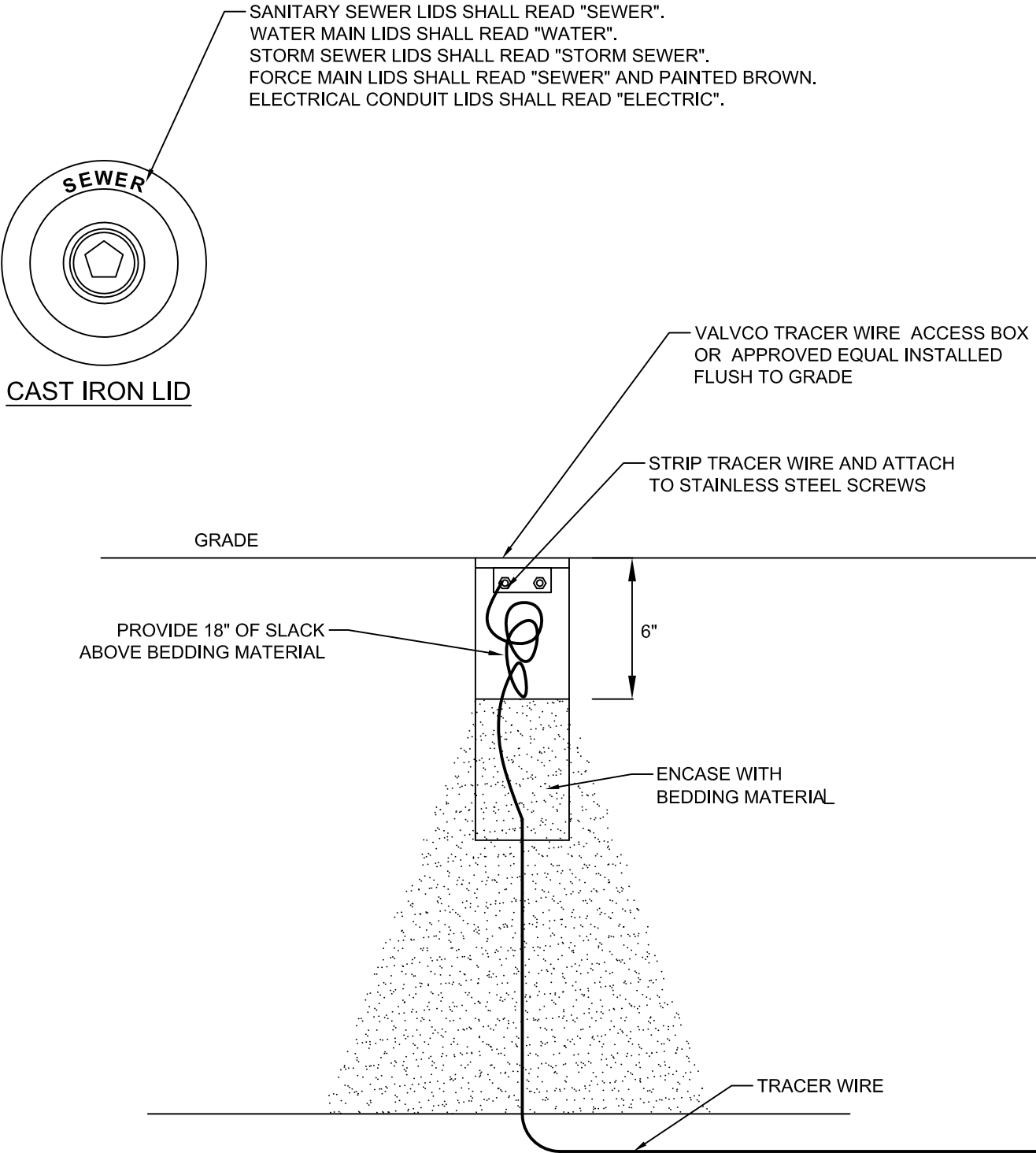
REVISED: 8-4-16

APPROVED BY: MATT FINEOUR

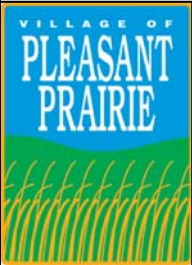


NOTES:

1. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR TRACER WIRE.



SCALE: NTS



TRACER WIRE ACCESS BOX

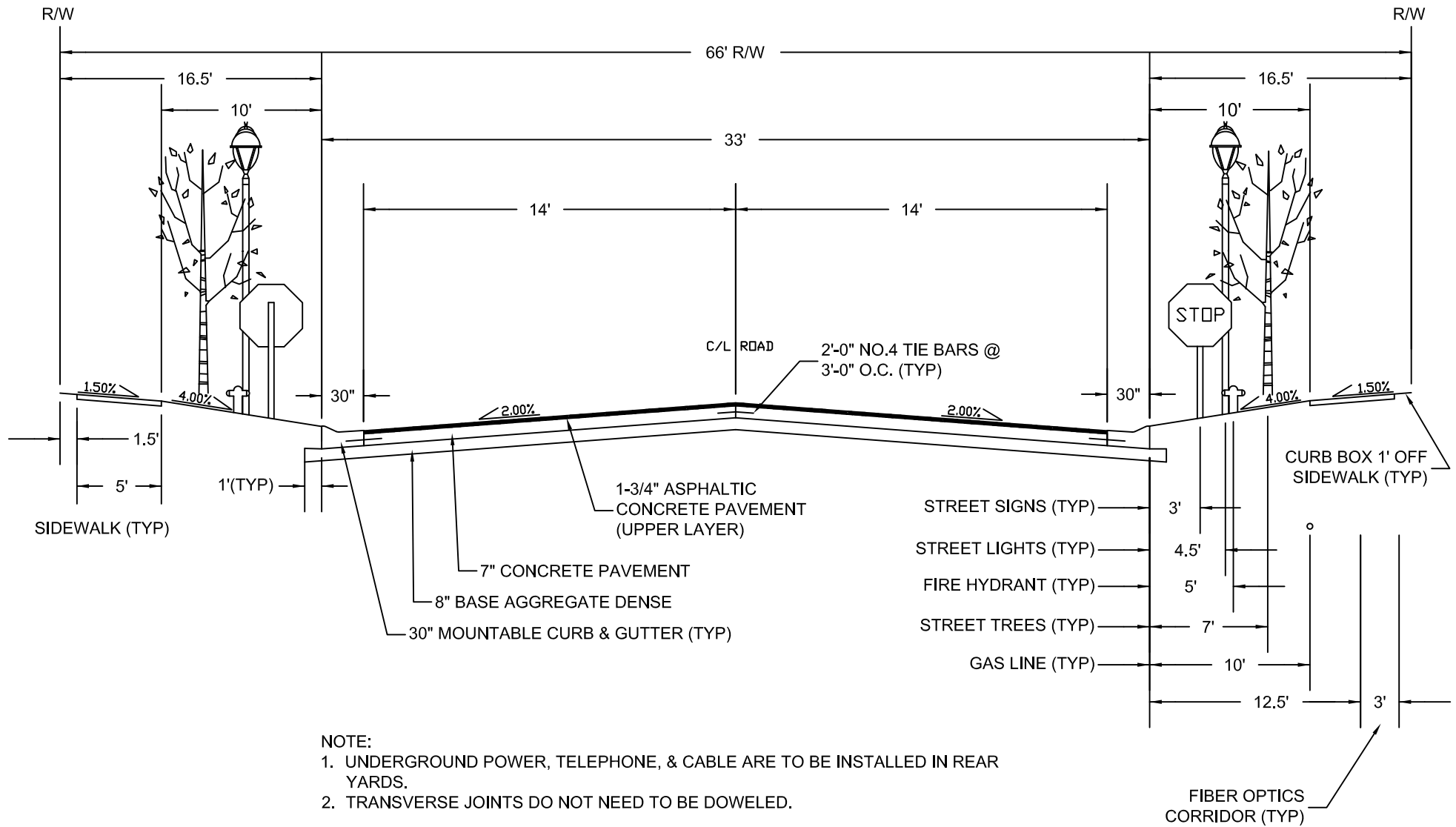
DETAIL: TW - 1

CREATED: 11-06-13

REVISED: 12-3-15

APPROVED BY: MATT FINEOUR





SCALE: NTS

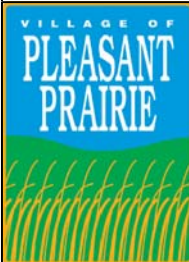
STANDARD RESIDENTIAL MINOR STREET SECTION

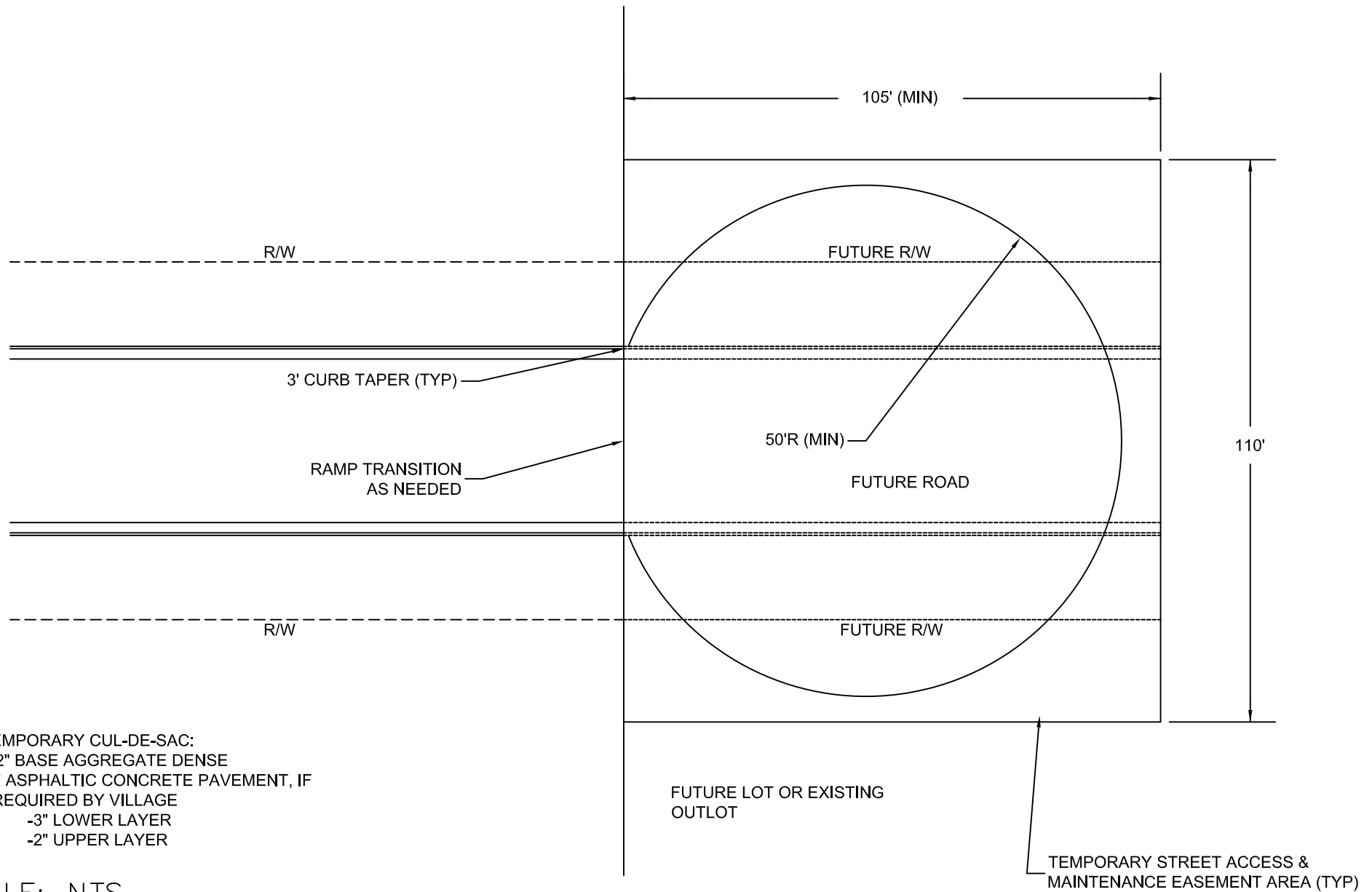
DETAIL: RD - 1

CREATED: 11-21-12

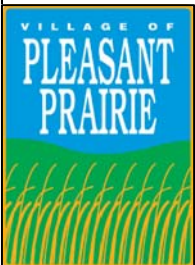
REVISED: 12-2-15

APPROVED BY: MATT FINEOUR





SCALE: NTS



TEMPORARY CUL-DE-SAC TURNAROUND

DETAIL: RD - 6

CREATED: 2-21-14

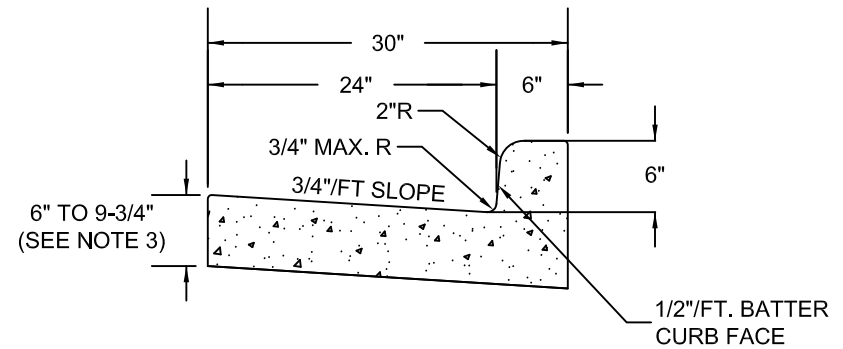
REVISED: 12-1-15

APPROVED BY: MATT FINEOUR

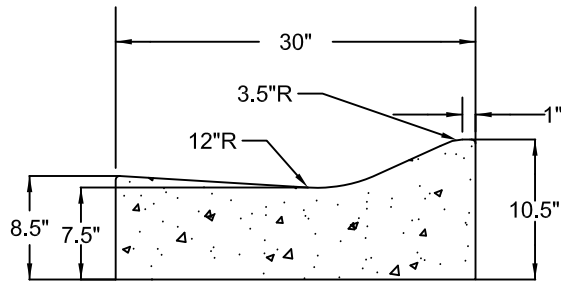


NOTE:

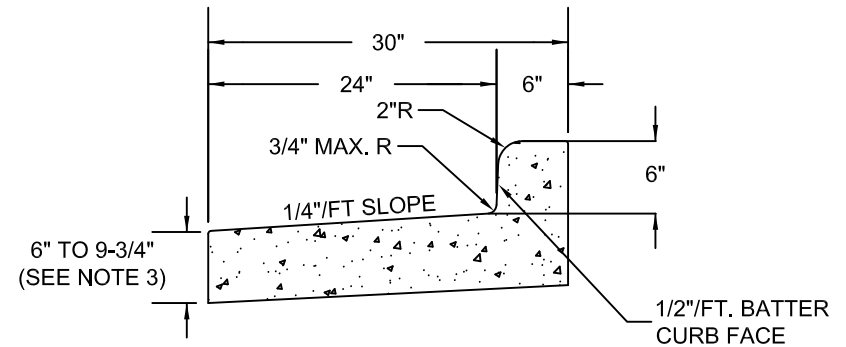
1. DAMAGED CURB / GUTTER SECTIONS SHALL BE REMOVED TO THE NEAREST JOINT.
2. CURB AND GUTTER CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
3. WHERE ADJACENT PAVEMENT SECTION CONTAINS CONCRETE THE GUTTER THICKNESS SHALL EXTEND TO THE BOTTOM OF THE ADJACENT CONCRETE PAVEMENT.



30" VERTICAL FACE CURB AND GUTTER

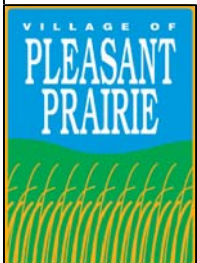


30" MOUNTABLE CURB AND GUTTER



30" VERTICAL FACE CURB AND GUTTER
(REVERSE SLOPE GUTTER)

SCALE: NTS



STANDARD CURB & GUTTER DETAILS

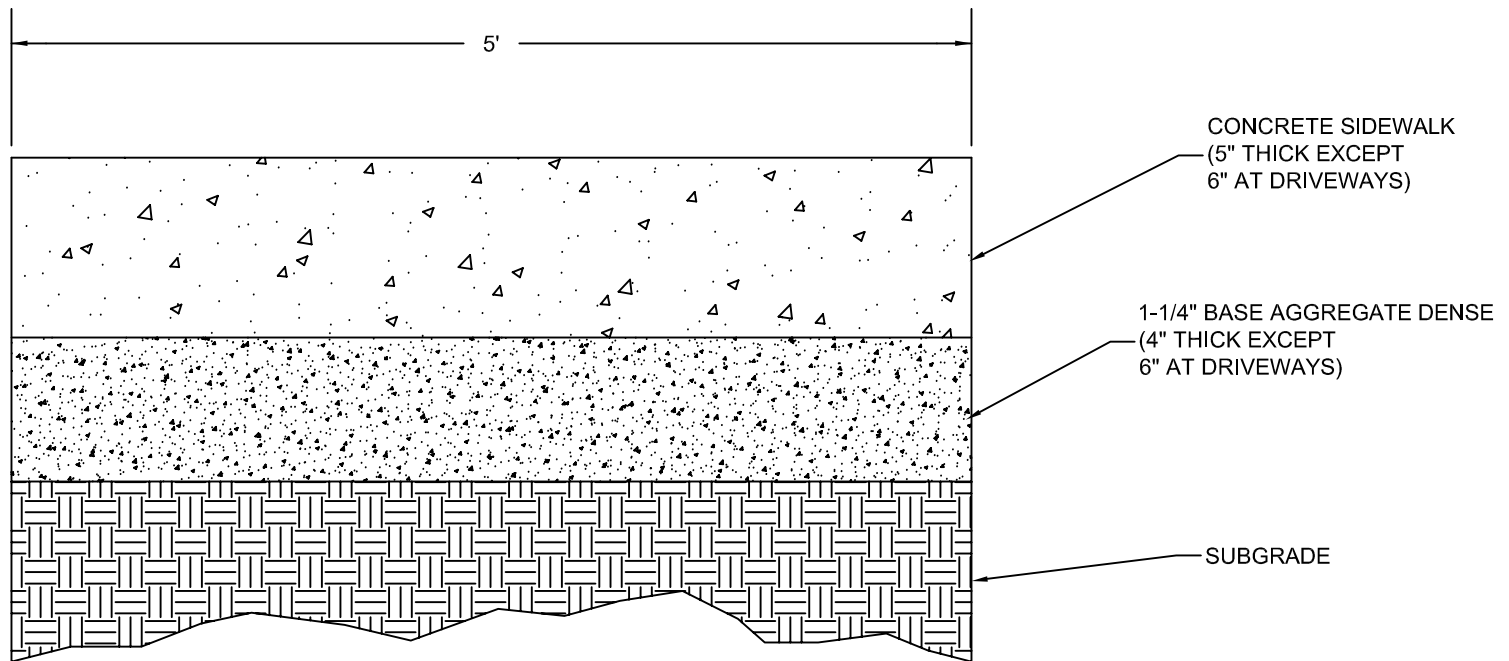
DETAIL: RD - 9

CREATED: 2-7-14

REVISED: 12-1-15

APPROVED BY: MATT FINEOUR





SCALE: NTS



STANDARD CONCRETE SIDEWALK DETAIL

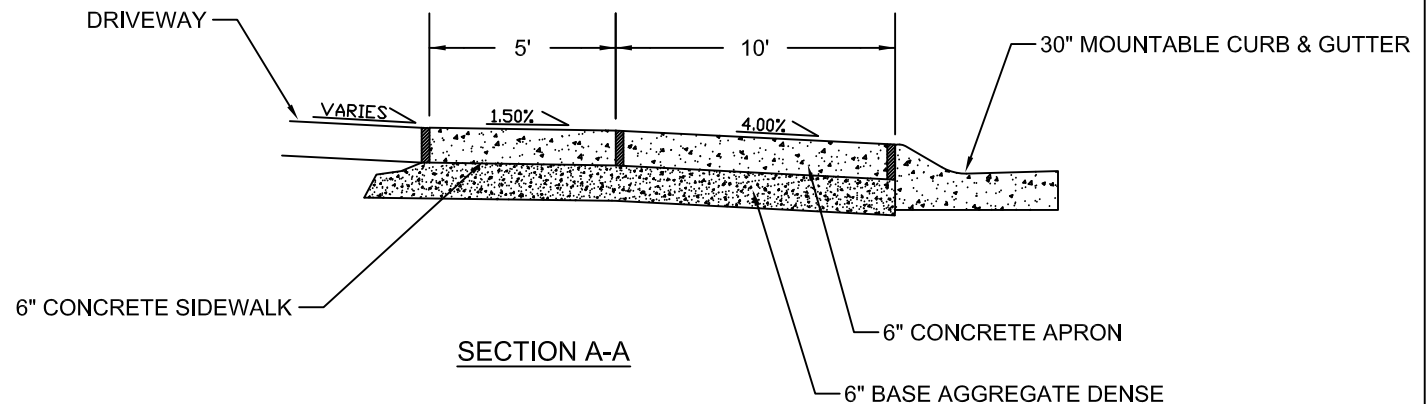
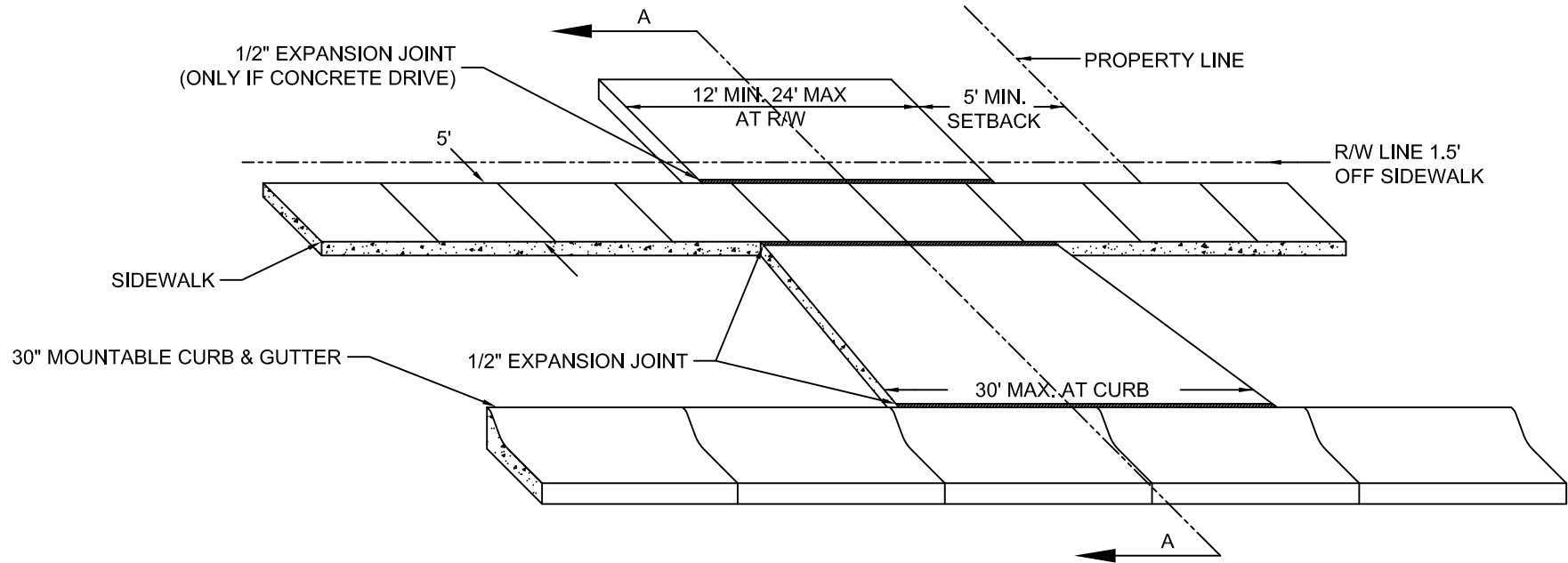
DETAIL: RD - 10

CREATED: 2-11-14

REVISED: 12-1-15

APPROVED BY: MATT FINEOUR





NOTE:

1. ALL CONCRETE SIDEWALK SHALL BE 5" THICK EXCEPT FOR AT DRIVEWAYS WHERE IT SHALL BE 6" THICK.
2. ALL SIDEWALK BASE SHALL BE 4" THICK EXCEPT FOR AT DRIVEWAYS WHERE IT SHALL BE 6" THICK.
3. SIDEWALK JOINT SPACING SHALL MATCH ADJACENT SIDEWALK.

SCALE: NTS

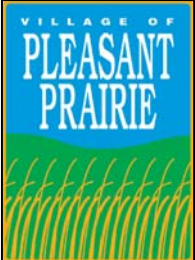
STANDARD CONCRETE DRIVE APPROACH (MOUNTABLE CURB)

DETAIL: RD - 12

CREATED: 2-12-14

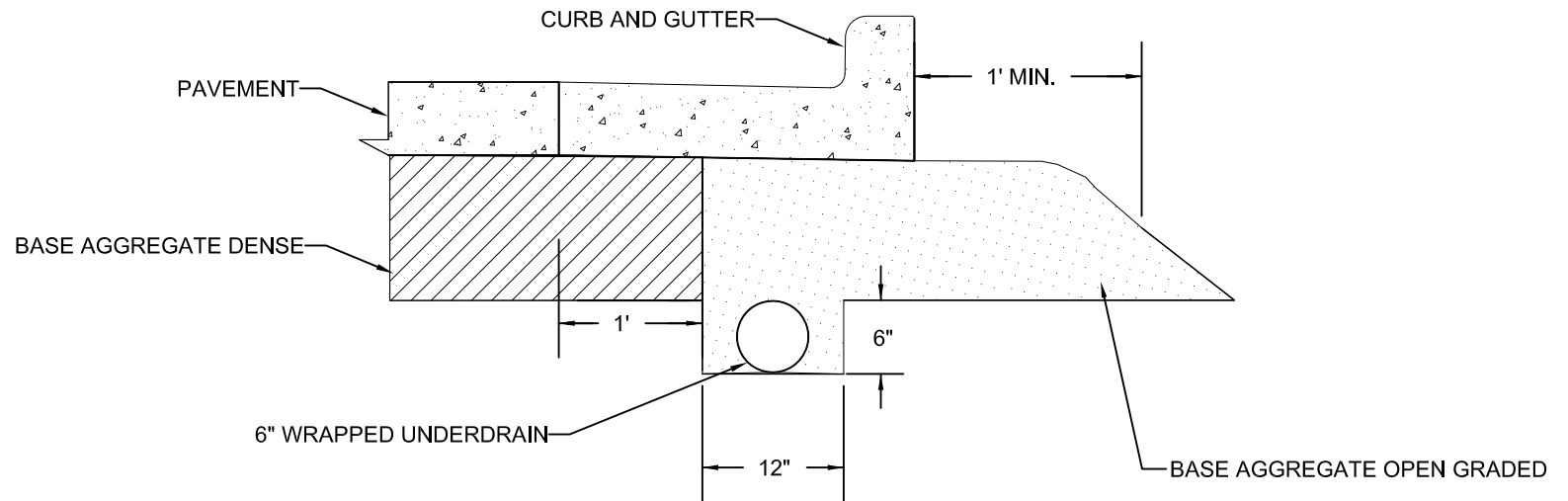
REVISED: 12-1-15

APPROVED BY: MATT FINEOUR

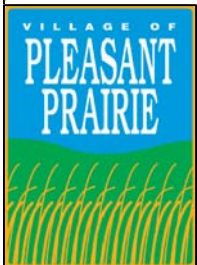


NOTE:

1. PIPE UNDERDRAIN SHALL BE LAID PARALLEL TO THE GRADE OF THE ROADWAY.



SCALE: NTS



EDGEDRAIN IN URBAN ROADWAY

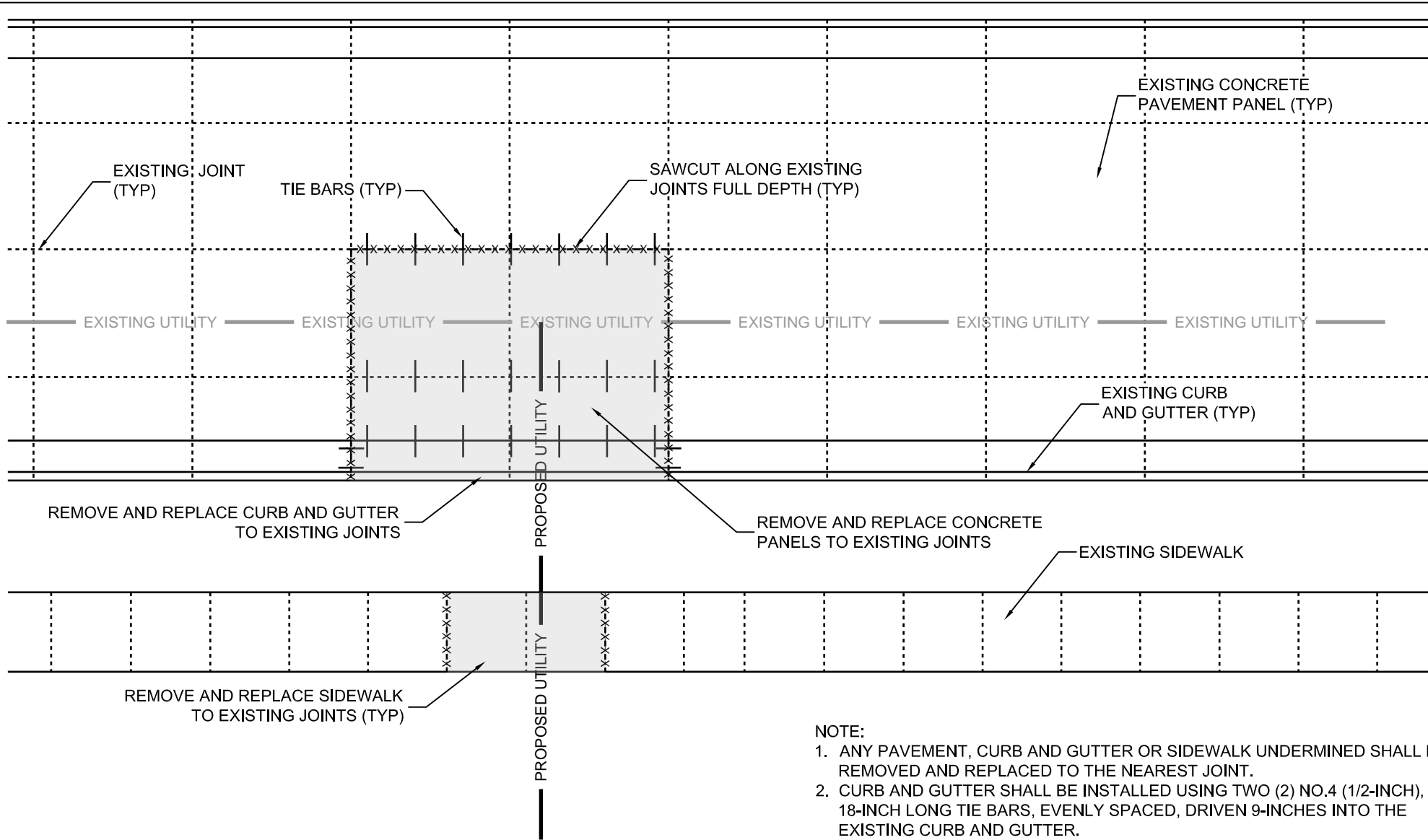
DETAIL: RD - 14

CREATED: 2-7-14

REVISED: 12-2-15

APPROVED BY: MATT FINEOUR





NOTE:

1. ANY PAVEMENT, CURB AND GUTTER OR SIDEWALK UNDERMINED SHALL BE REMOVED AND REPLACED TO THE NEAREST JOINT.
2. CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
3. TIE BARS SHALL BE INSTALLED ALONG EXISTING AND NEW LONGITUDINAL JOINTS. USE NO.4 (1/2-INCH), 24-INCH LONG TIE BARS AT 36-INCH ON CENTER SPACING, DRIVEN 12-INCHES INTO THE EXISTING CURB AND GUTTER.
4. REFER TO VILLAGE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SCALE: NTS



UTILITY PATCH DETAIL (COMPOSITE AND CONCRETE ROADWAYS)

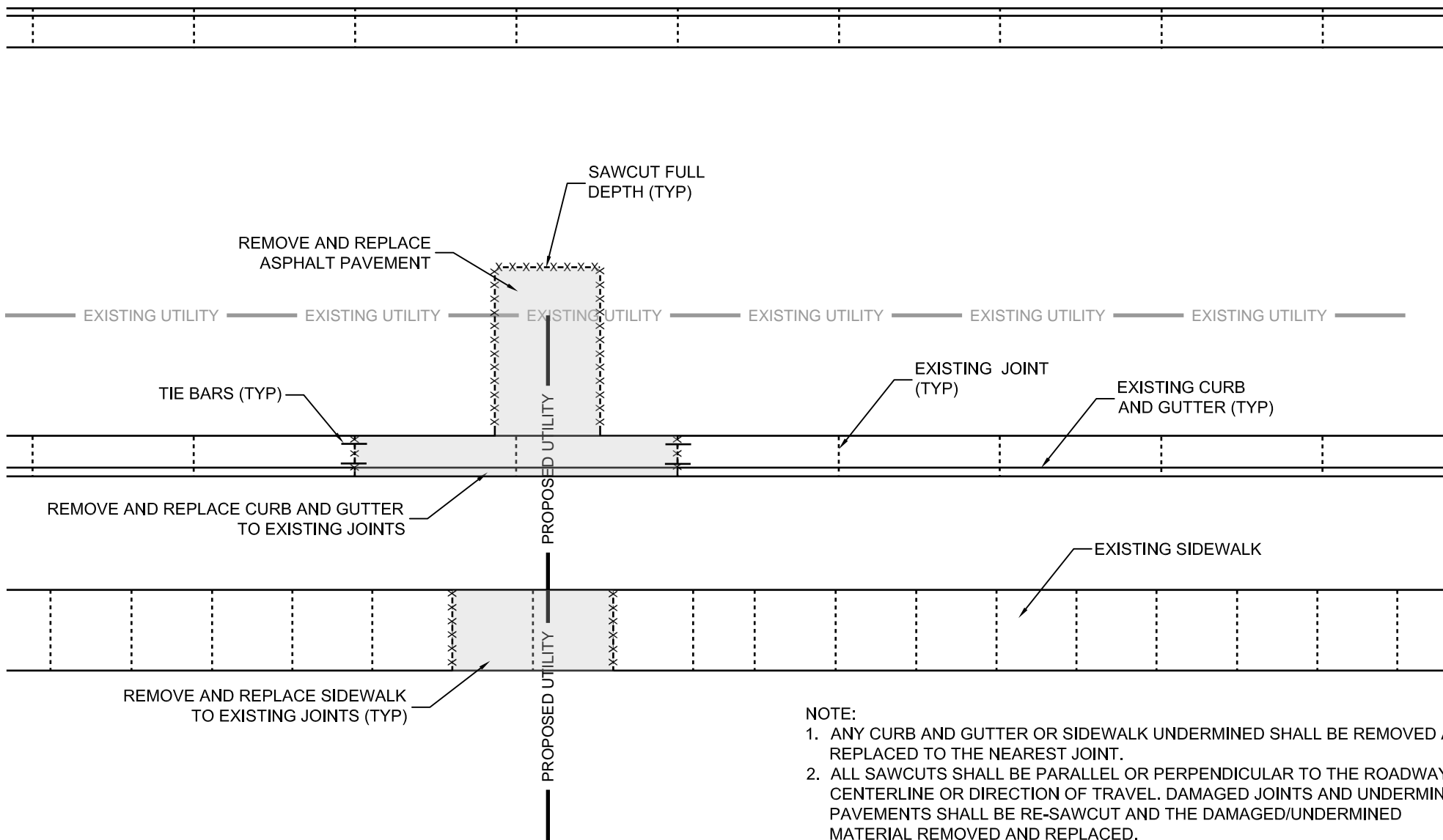
DETAIL: RD - 15

CREATED: 2-10-16

REVISED: 2-10-16

APPROVED BY: MATT FINEOUR





NOTE:

1. ANY CURB AND GUTTER OR SIDEWALK UNDERMINED SHALL BE REMOVED AND REPLACED TO THE NEAREST JOINT.
2. ALL SAWCUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE ROADWAY CENTERLINE OR DIRECTION OF TRAVEL. DAMAGED JOINTS AND UNDERMINED PAVEMENTS SHALL BE RE-SAWCUT AND THE DAMAGED/UNDERMINED MATERIAL REMOVED AND REPLACED.
3. CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
4. REFER TO VILLAGE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SCALE: NTS



UTILITY PATCH DETAIL (ASPHALT ROADWAYS)

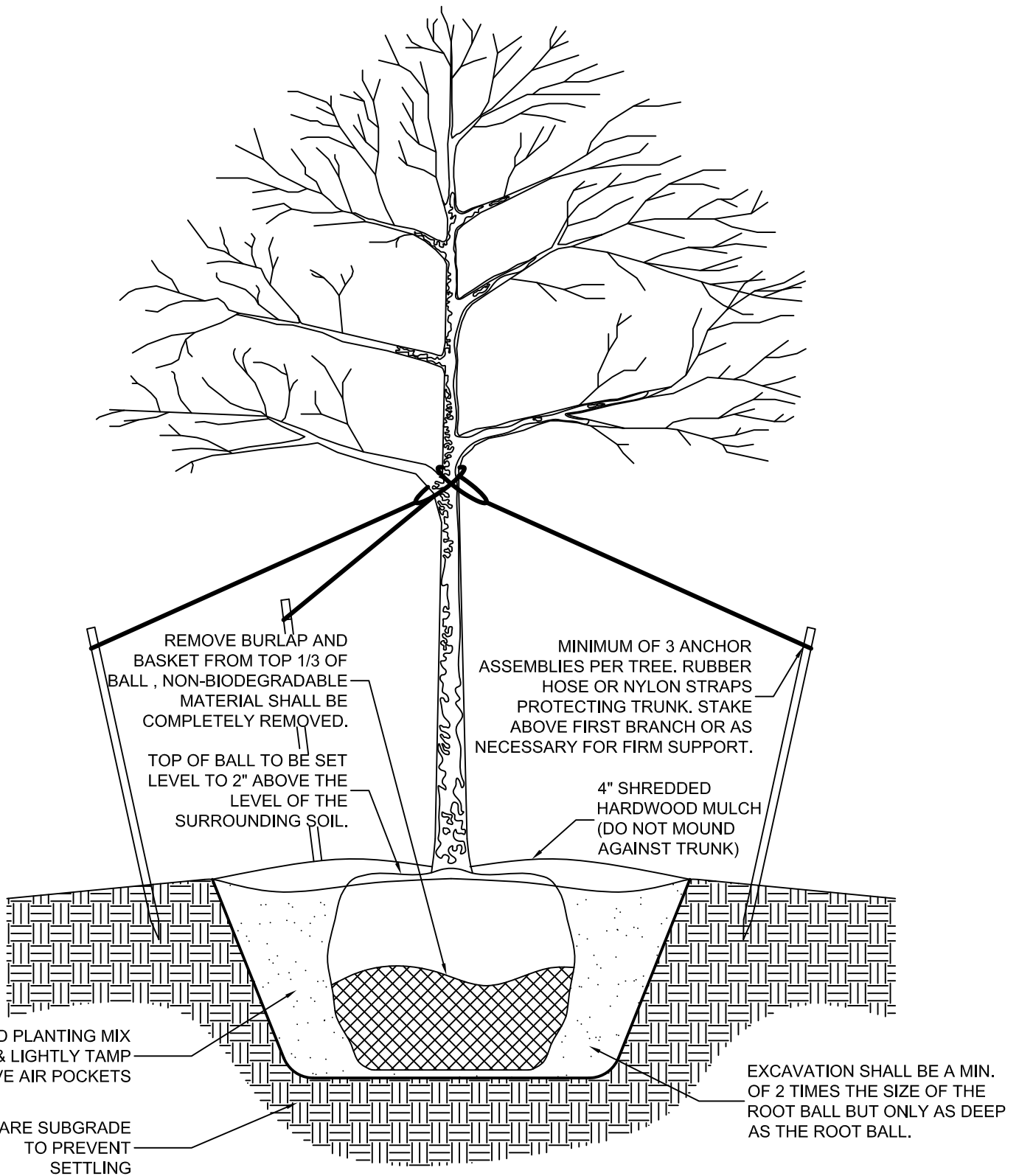
DETAIL: RD - 16

CREATED: 2-10-16

REVISED: 2-10-16

APPROVED BY: MATT FINEOUR





SCALE: NTS



STREET TREE PLANTING DETAIL

DETAIL: L - 1

CREATED: 11-6-13

REVISED: 11-11-15

APPROVED BY: MATT FINEOUR



Village Staff Memorandum

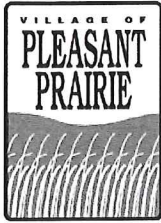
To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

Subject: River Run at Heritage Valley

Date: February 9, 2018

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. All street lighting is recommended to match the surrounding neighborhood, however be LED, 5000K color temperature and "Dark Sky" compliant.
3. All homes to be constructed by the latest WI. Building and MEP codes.



PRELIMINARY PLAT AND PRELIMINARY CONDOMINIUM PLAT APPLICATION

Development Name: River Run at Heritage Valley
General Location of Development: South of CTH C (Wilmot Road) at 106th Avenue
Tax Parcel Number(s): 92-4-122-181-0275 & 92-4-122-181-0541
Number of Lots: 45 Number of Outlots: 4
Size of Development: 24.46 acres. Proposed Zoning District(s): _____

Select All that Apply:

- ☐ The Development abuts or adjoins State Trunk Highway _____
☐ The Development abuts or adjoins County Trunk Highway _____
☐ The Development abuts the Kenosha County Bike Trail

Number of Copies Submitted: 20 (See below for required number)

Plat Copies required	# of Copies	To be Sent by the Village to:
All Plat	3	Village Staff
All Plats	3	Kenosha County Planning and Development
All Plats	2	Kenosha County Division of Highways
All Plats	2	Wisconsin Department of Commerce*
If Development abuts/adjoins a STH	3	Wisconsin Department of Transportation
If the Development is within 500 feet of a shoreland/floodplain jurisdictional area or includes wetlands.	1	Wisconsin Department of Natural Resources
All Plats	1	U.S. Army Corp of Engineers
All Plats	1	Southeastern WI Regional Planning Commission
All Plats	1	WE Energies—Gas Operations
All Plats	1	WE Energies—Electric Operations
All Plats	2	AT & T
All Plats	2	Kenosha Unified School District
All Plats	1	Time Warner Cable

* Applicant is responsible for sending the Plat and required application and review fee to the State.

In addition the following shall be submitted:

- ☒ 1 PDF copy of the Preliminary Plat
- ☒ Preliminary Plat application fee
- ☒ 3 sets of Preliminary Engineering Plans, Profiles and Specifications and a PDF copy
- ☒ 3 sets of Landscape Plans and a PDF copy
- ☒ Draft of Declarations of Covenant, Restrictions and Easements and a PDF copy
- ☒ Articles of Incorporation for the Neighborhood Association and a PDF copy
- ☒ Draft of By-Laws and a PDF copy
- ☒ WE Energies Application for Natural Gas/Electric for New Development for the Village to forward to We Energies with a PDF of the Engineering Plans
- ☐ PDF color rendering of the Preliminary Plat, Landscape Plans and any other renderings to explain the project
- ☐ Any other information as specified by the Village

DEV1711-006

Upon receipt of a complete application, the Village will schedule the required Public Hearing. The Village will notify adjacent property owners, within 300 feet of the property, of the public hearing, publish an official notice at least 10 days prior to the hearing in the Kenosha News and post the notice in three public places within the Village. The Village Plan Commission will hold a public hearing and make a recommendation to the Village Board who will make a final determination of the proposal. **The applicant shall appear at the Village Plan Commission meeting for the Public Hearing and shall appear for final action on the application at the Village Board Meeting.**

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), have submitted a draft Preliminary Plat for an initial review by the Village Community Development Director prior to submitting this application.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: US Shelter Companies, LLC

Signature: 

Address: 31632 North Ellis Drive

Volo IL 60073

(City) (State) (Zip)

Phone: 847-742-8200

Fax: 847-742-8204

Email: John@usshelter.com

Date: 1/25/18

APPLICANT/AGENT:

Print Name: US Shelter Companies, LLC

Signature: 

Address: 31632 North Ellis Drive

Volo IL 60073

(City) (State) (Zip)

Phone: 847-742-8200

Fax: 847-742-8204

Email: John@usshelter.com

Date: 1/25/18

DEVELOPER:

Print Name: _____

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

Email: _____

Date: _____

PRELIMINARY PLAT

RIVER RUN AT HERITAGE VALLEY

Being a part of the Southeast 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 18, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Surveyor & Engineer

R.A. Smith Inc
16745 W. Bluemound Road
Brookfield, WI. 53066
ph. 262-781-1000
fax 262-791-7373

Developer

US Shelter Companies
31632 North Ellis Drive
Volo, Illinois, 60073
ph. 847-742-6200

Objecting Agencies

Wisconsin Department of Administration

Approving Agencies

Village of Pleasant Prairie

NOTES:

Elevations refer to the NGVD 29 (SEWRPC).

Bearings are referenced to the Wisconsin State Plane Coordinate system-south zone (NAD27).

Topographic Data Surveyed by RA Smith National January 2017

Subdivision Statistics

subdivision to contain 45 lots and 4 Outlots

Total area of all lots	602,071 sf
Total area of all outlots	329,821 sf
Total site area	1,065,436 sf
Total area of 100 year flood line (current)	198,752 sf
Total area of 100 year flood line (proposed)	231,177 sf
Total area of wetlands (current)	87,613 sf
Total area of wetlands (proposed)	79,855 sf

Developable lots are zoned R-4.5, Urban Single Family Residential District

Minimum lot area	12,500 square feet
Minimum lot width	80 feet at building setback
Minimum lot frontage	60 feet
Minimum corner lot area	15,000 square feet
Minimum corner lot width	100 feet
Minimum street setback	30'
Minimum side setback	10'
Minimum rear setback	25'

Easements for utilities and drainage will be determined during site engineering and shown on the final plat.
Municipal water shall be extended throughout the development and shall connect to the existing watermain in Heritage Valley Subdivision.
Municipal sanitary sewer shall be extended from the existing sewer within Heritage Valley Subdivision and a lift station is required for Phases 2 & 3.

Construction access will be provided via 106th Avenue.

For Easements and Grading along proposed Phase lines, storm water and utility easements along with lot grading shall extend into the adjacent lot platted in the future phases.

Existing lift station and storm drainage easements will be vacated or released prior to submittal of final plat.

See sheet 2 for Lot details

Outlots 1 & 4 shall be dedicated (fee interest transfer) as common space to the VILLAGE OF PLEASANT PRAIRIE. The outlots shall be labeled as "Outlots 1 & 4 to be dedicated by the developer to the VILLAGE OF PLEASANT PRAIRIE for public park and open space.

Outlot 3 shall be dedicated (fee interest transfer) as common space to the RIVER RUN AT HERITAGE VALLEY HOMEOWNER'S ASSOCIATION, INC. The Outlot shall be labeled as "Outlot 3 to be dedicated for storm water drainage, open space, access and maintenance purposes." There shall also be an easement over this same area of Outlot 3 granted to the Village for the storm water drainage, retention basin, access and maintenance and related purposes, signage and lighting installation and maintenance, landscaping and maintenance, and for ingress and egress. There shall also be an easement over this same area of Outlot 2 granted to the developer for the construction and development of the storm water facilities.

Outlot 2 to be retained and owned by the developer for future development purposes.

100 year flood plain determined from FIS profile and topographic survey prepared by RA Smith National, Inc. Developable Lots 1 through 45 are outside of the proposed 100 year flood plain. The 100 year flood plain areas are subject to "A FLOODPLAIN PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT."

Agricultural fencing on the property at/near the Southwest corner will be removed.

Wetlands delineated by RA Smith National on October 25, 2016 (Proj No. 1160367)

Wetlands will be dimensioned on the final plat and are subject to a "WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT."

Sidewalks are required on both sides of new roadways.

420-44 Vision triangle.

Per section 395-61 Street intersections, Lots in this subdivision are rounded with with a circular curve with a radius of 25 feet. Vision Triangle specifications (15' from intersection of property lines) do not impact corner lots if a radius of 25 feet is used. The radius of 25 feet maintains a clear sight line of vision at the adjacent intersections. There shall be no obstructions, such as but not limited to structures, signage, fences, vehicular parking, trees, plantings or bus shelters placed within the intersection right-of-ways unless expressly approved in writing by the Village. This restriction is for the benefit of the traveling public and shall be enforceable by the Village.

Corner lots 1, 13, 28, 29 & 37 shall have a driveway access restriction of 100 feet measured from the centerlines of the intersecting streets.
Additional driveway access restrictions are shown for lots 3, 23, 41, 44 & 45 to avoid aligning with crosswalks.

SURVEYOR'S CERTIFICATE:

I, John P. Casucci, Professional Land Surveyor, do hereby certify that the preliminary plat is a correct representation of the existing land divisions features, and that I, to the best of my knowledge and belief, have complied with the applicable ordinances in preparing the same.

Dated this 23rd Day of January

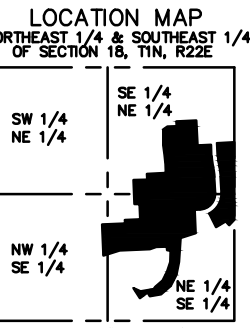
John P. Casucci
John P. Casucci, PLS S-2055



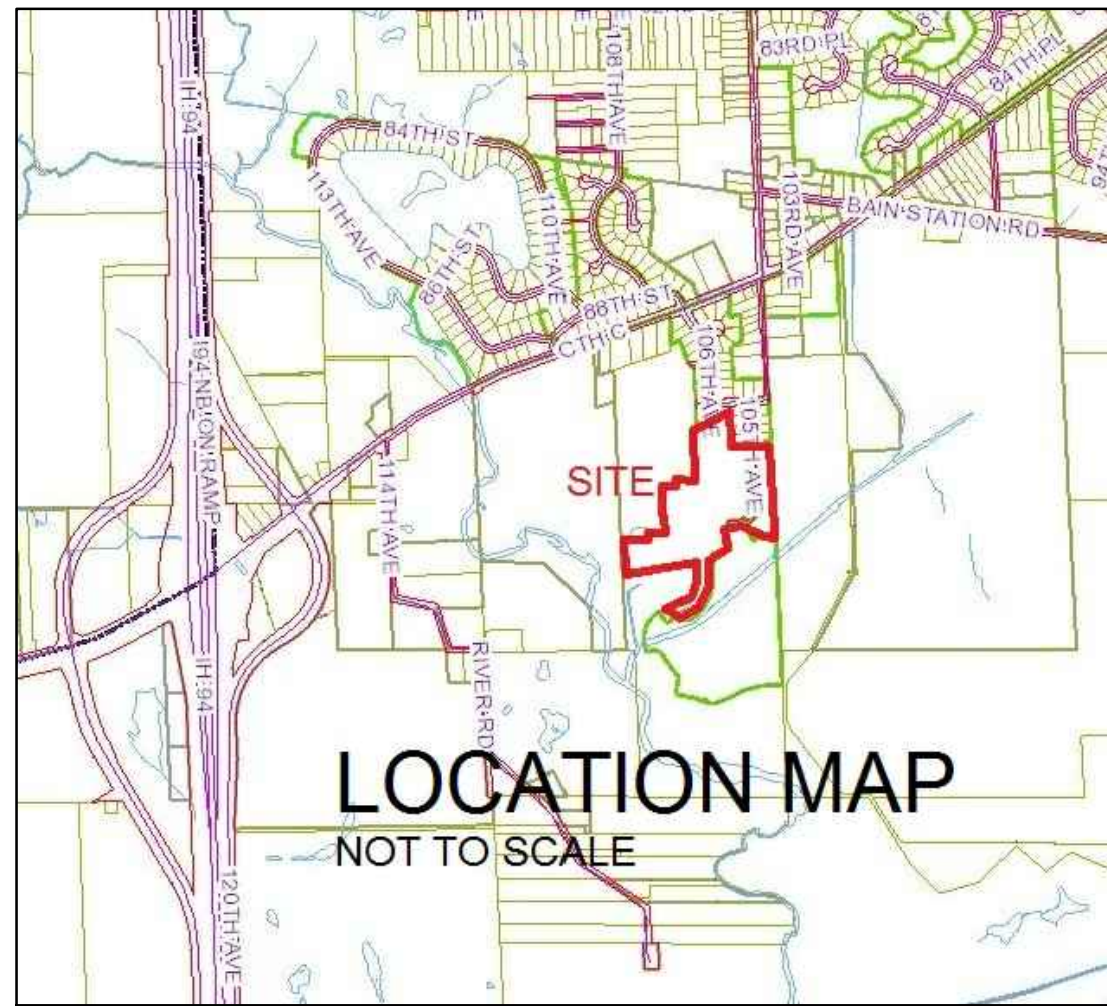
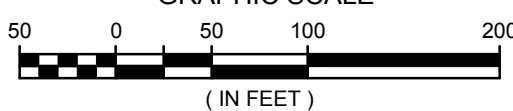
raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

Curve #	Length	Radius	Chord Bearing	Chord
C1	103.66	567.00	N8°11'59.5"W	103.52
C2	115.73	633.00	N8°11'59.5"W	115.57
C3	268.00	233.00	N29°59'19"E	253.47
C4	262.32	167.00	S42°02'16"W	236.17
C5	103.66	567.00	S8°11'59.5"E	103.52
C6	115.73	633.00	S8°11'59.5"E	115.57



GRAPHIC SCALE



LEGEND

() INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT

OR SECTION OR 1/4 SECTION CORNER AS DESCRIBED

1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)

18" LONG-SET (UNLESS OTHERWISE NOTED)

BOLLARD

SOIL BORING/MONITORING WELL

FLAGPOLE

MAILBOX

SIGN

BILLBOARD

AIR CONDITIONER

CONTROL BOX

TRAFFIC SIGNAL

RAILROAD CROSSING SIGNAL

CABLE PEDESTAL

POWER POLE

GUY POLE

GUY WIRE

LIGHT POLE

SPOT/YARD/PEDESTAL LIGHT

HANDICAPPED PARKING

ELECTRIC MANHOLE

ELECTRIC PEDESTAL

ELECTRIC METER

ELECTRIC TRANSFORMER

TELEPHONE MANHOLE

TELEPHONE PEDESTAL

FO MARKED FIBER OPTIC

GAS VALVE

GAS METER

GAS WARNING SIGN

STORM MANHOLE

ROUND INLET

SQUARE INLET

STORM SEWER END SECTION

SANITARY MANHOLE

SANITARY CLEANOUT OR SEPTIC VENT

SANITARY INTERCEPTOR MANHOLE

MISCELLANEOUS MANHOLE

WATER VALVE

HYDRANT

WATER SERVICE CURB STOP

WATER MANHOLE

WELL

WATER SURFACE

WETLANDS FLAG

MARSH

CONIFEROUS TREE

DECIDUOUS TREE

SHRUB

EDGE OF TREES

SANITARY SEWER

STORM SEWER

WATERMAIN

MARKED GAS MAIN

MARKED ELECTRIC

OVERHEAD WIRES

BUREAU ELEC. SERV.

MARKED TELEPHONE

MARKED CABLE TV LINE

MARKED FIBER OPTIC

INDICATES EXISTING CONTOUR ELEVATION

INDICATES EXISTING SPOT ELEVATION

PROPOSED PHASING LIMITS

EXISTING FLOOD PLAIN

PROPOSED FLOOD PLAIN

PROPOSED EASEMENTS

EXISTING WETLANDS

SOIL TYPES

SOIL TYPE BOUNDARY

BcA Beecher silt loam, 1% TO 3% Slopes

FoB Fox silt loam, 2% TO 6% Slopes

HbB Hebron sandy loam, 2% TO 6% Slopes

HeB2 Hubbard loamy fine sand, 6% TO 12% Slopes

MzdB2 Ozaukee silt loam, 2% TO 6% Slopes, eroded

MzdC2 Ozaukee silt loam, 6% TO 12% Slopes, eroded

Na Navan silt loam

Pa Palms muck, 0% TO 2% Slopes, eroded

Sm Sebawa silt loam, 0% TO 2% slopes

W Water

Wetland 1

Wetland 2

Wetland 3

Wetland 4

Wetland 5

Wetland 6

Wetland 7

Wetland 8

Wetland 9

Wetland 10

Wetland 11

Wetland 12

Wetland 13

Wetland 14

Wetland 15

Wetland 16

Wetland 17

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Wetland 121

Wetland 122

Wetland 123

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Wetland 126

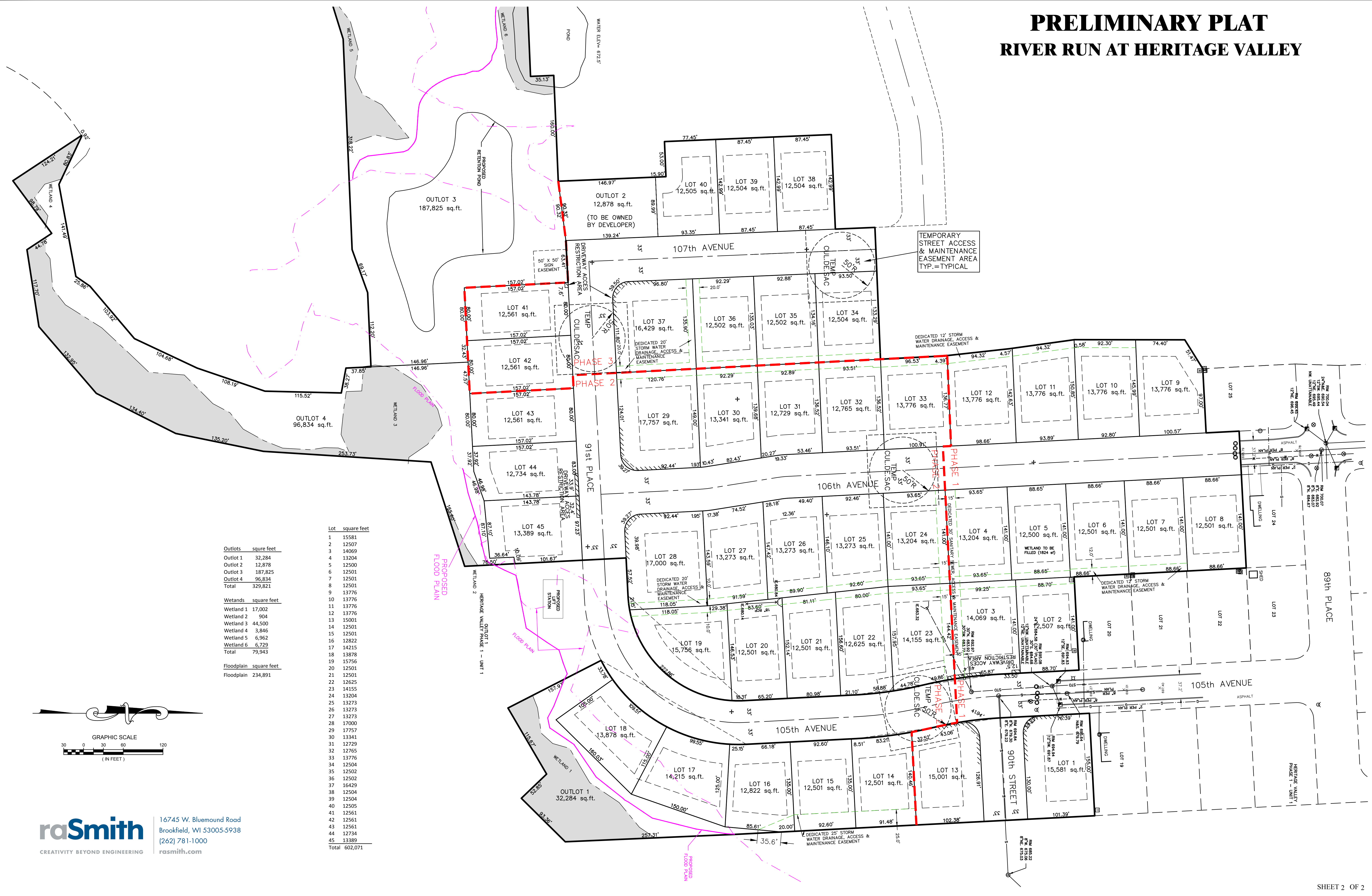
Wetland 127

Wetland 128

Wetland 129

Wetland 13

PRELIMINARY PLAT
RIVER RUN AT HERITAGE VALLEY

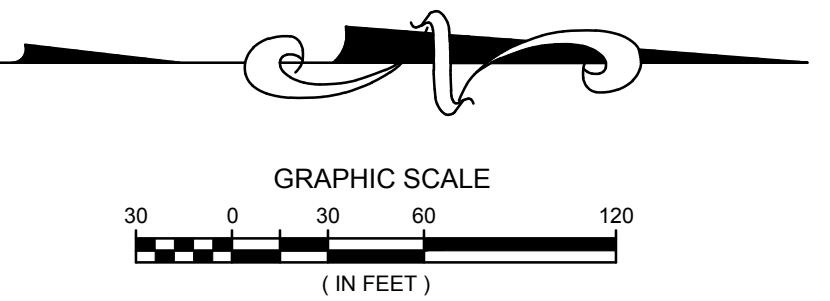


Lot	square feet
1	15581
2	12507
3	14069
4	13204
5	12500
6	12501
7	12501
8	12501
9	13776
10	13776
11	13776
12	13776
13	15001
14	12501
15	12501
16	12822
17	14215
18	13878
19	15756
20	12501
21	12501
22	12625
23	14155
24	13204
25	13273
26	13273
27	13273
28	17000
29	17757
30	13341
31	12729
32	12765
33	13776
34	12504
35	12502
36	12502
37	16429
38	12504
39	12504
40	12505
41	12561
42	12561
43	12561
44	12734
45	13389
Total	602,071

Outlots	square feet
Outlot 1	32,284
Outlot 2	12,878
Outlot 3	187,825
Outlot 4	96,834
Total	329,821

Wetlands	square feet
Wetland 1	17,002
Wetland 2	904
Wetland 3	44,500
Wetland 4	3,846
Wetland 5	6,962
Wetland 6	6,729
Total	79,943

Floodplain	square feet
Floodplain	234,891



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Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

LEGEND
(PROPOSED FEATURES)

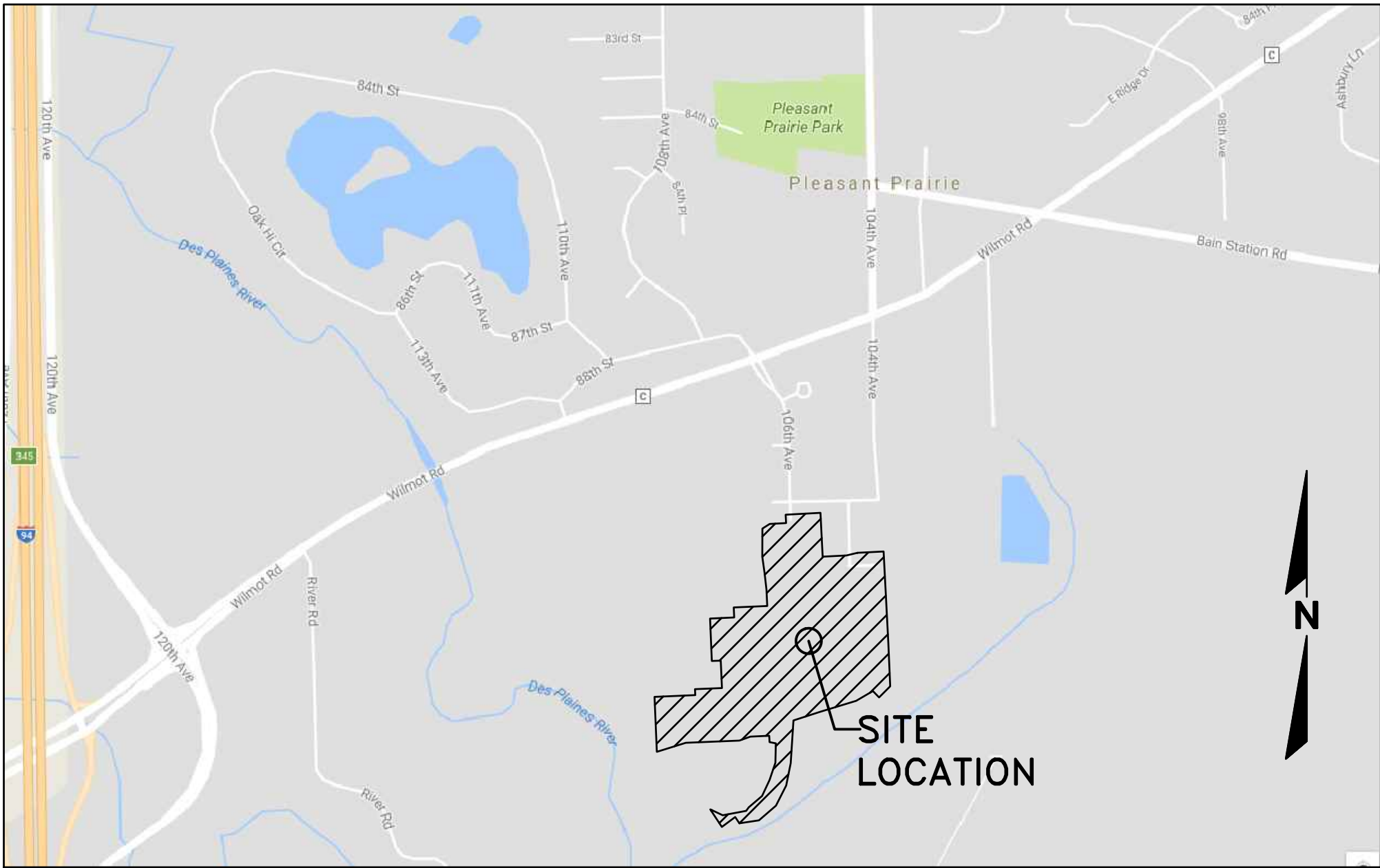
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED ACCESSIBLE PAVEMENT MARKING VAN
	VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE & THRESHOLD
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, 'LOG' DENOTES GROUND LEVEL FOR LOOK OUT. 'WOG' DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
1" DIA. IRON PIPE FOUND	(UNLESS OTHERWISE NOTED)
1" DIA. IRON PIPE, 18" LONG-SET	(UNLESS OTHERWISE NOTED)
BOLLARD	
SOIL BORING/MONITORING WELL	
FLAGPOLE	
MAILBOX	
SIGN	
BILLBOARD	
AIR CONDITIONER	
CONTROL BOX	
TRAFFIC SIGNAL	
RAILROAD CROSSING SIGNAL	
CABLE PEDESTAL	
POWER POLE	
GUY POLE	
GUY WIRE	
LIGHT POLE	
SPOT/YARD/PEDESTAL LIGHT	
HANDICAPPED PARKING	
ELECTRIC MANHOLE	
ELECTRIC PEDESTAL	
ELECTRIC METER	
ELECTRIC TRANSFORMER	
TELEPHONE MANHOLE	
TELEPHONE PEDESTAL	
MARKED FIBER OPTIC	
GAS VALVE	
GAS METER	
GAS WARNING SIGN	
STORM MANHOLE	
ROUND INLET	
SQUARE INLET	
STORM SEWER END SECTION	
SANITARY MANHOLE	
SANITARY CLEANOUT OR SEPTIC VENT	
SANITARY INTERCEPTOR MANHOLE	
MISCELLANEOUS MANHOLE	
WATER VALVE	
HYDRANT	
WATER SERVICE CURB STOP	
WATER MANHOLE	
WELL	
WATER SURFACE	
WETLANDS FLAG	
MARSH	
CONIFEROUS TREE	
DECIDUOUS TREE	
SHRUB	
EDGE OF TREES	
SANITARY SEWER	
STORM SEWER	
WATERMAIN	
MARKED GAS MAIN	
MARKED ELECTRIC	
OVERHEAD WIRES	
BUREAU ELEC. SERV.	
MARKED TELEPHONE	
MARKED CABLE TV LINE	
MARKED FIBER OPTIC	
INDICATES EXISTING CONTOUR ELEVATION	
INDICATES EXISTING SPOT ELEVATION	
EXISTING PROPERTY LINE	
EXISTING EASEMENT LINE	

PRELIMINARY PLANS
FOR
RIVER RUN AT HERITAGE VALLEY
SUBDIVISION
PLEASANT PRAIRIE, WI

VICINITY MAP



PLAN INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE PLAN
3-5	EROSION CONTROL PLANS
6-9	MASTER GRADING PLANS
10-13	CONSTRUCTION PHASING
14	OVERALL UTILITY PLAN
15-19	SANITARY & WATER MAIN PLAN AND PROFILE
20-23	ROADWAY & STORM SEWER PLAN AND PROFILE
24	LIFT STATION SITE PLAN
25-31	PROJECT DETAILS

OWNER:

U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:

R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:

VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM DAMAGES, ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

- NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
- SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
- SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

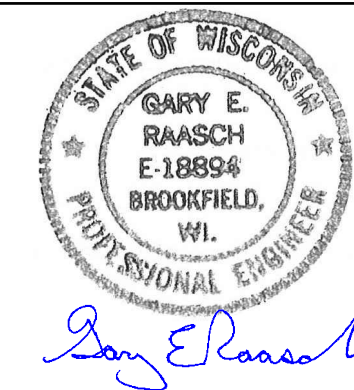
AT&T
JAY BULANEK
262-896-7669

PLAN DATE: 1/24/18

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

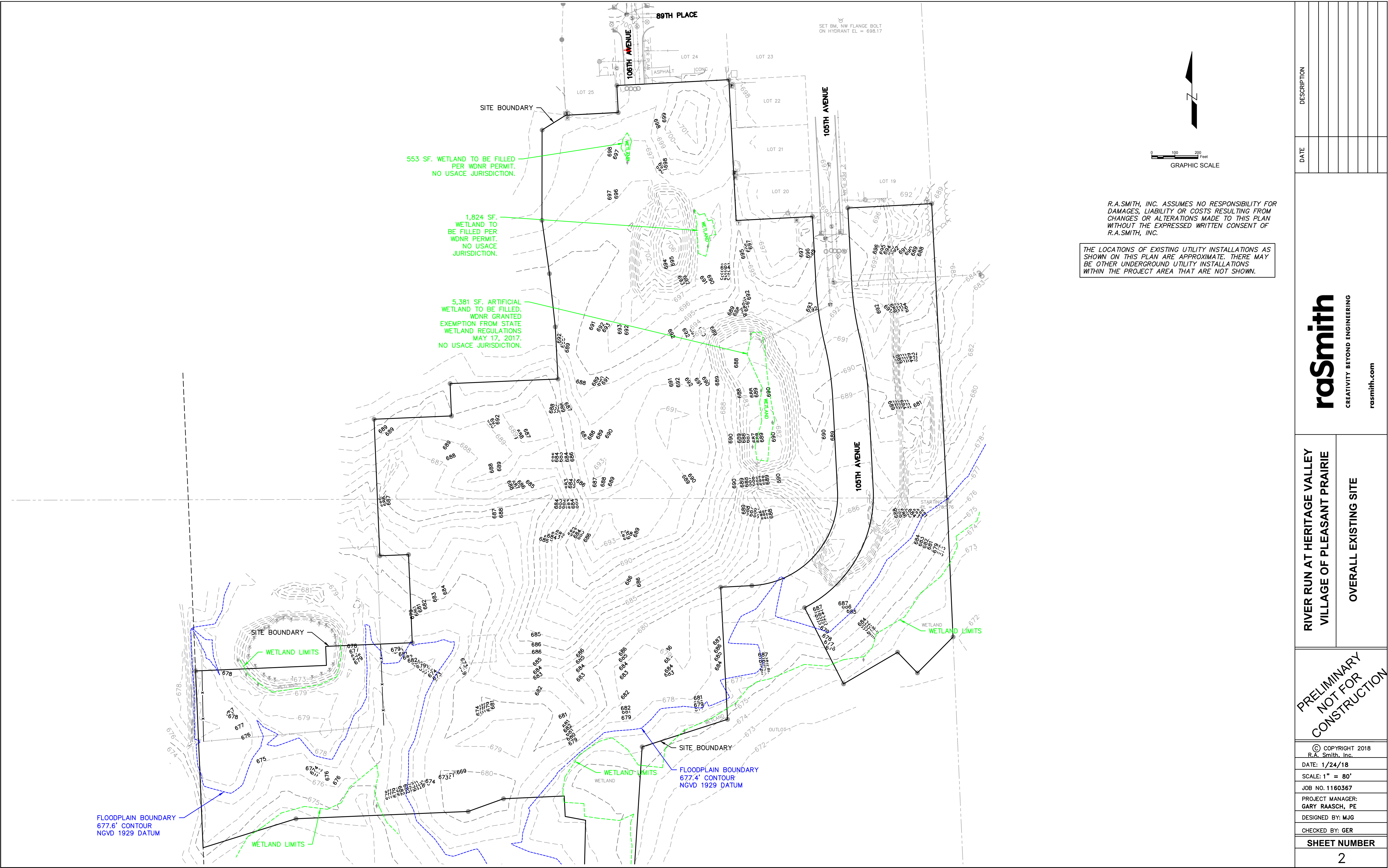
RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

TITLE SHEET



© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: NONE
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG
CHECKED BY: GER

SHEET NUMBER
1



DESCRIPTION	
DATE	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
OVERALL EXISTING SITE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 80'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
2	

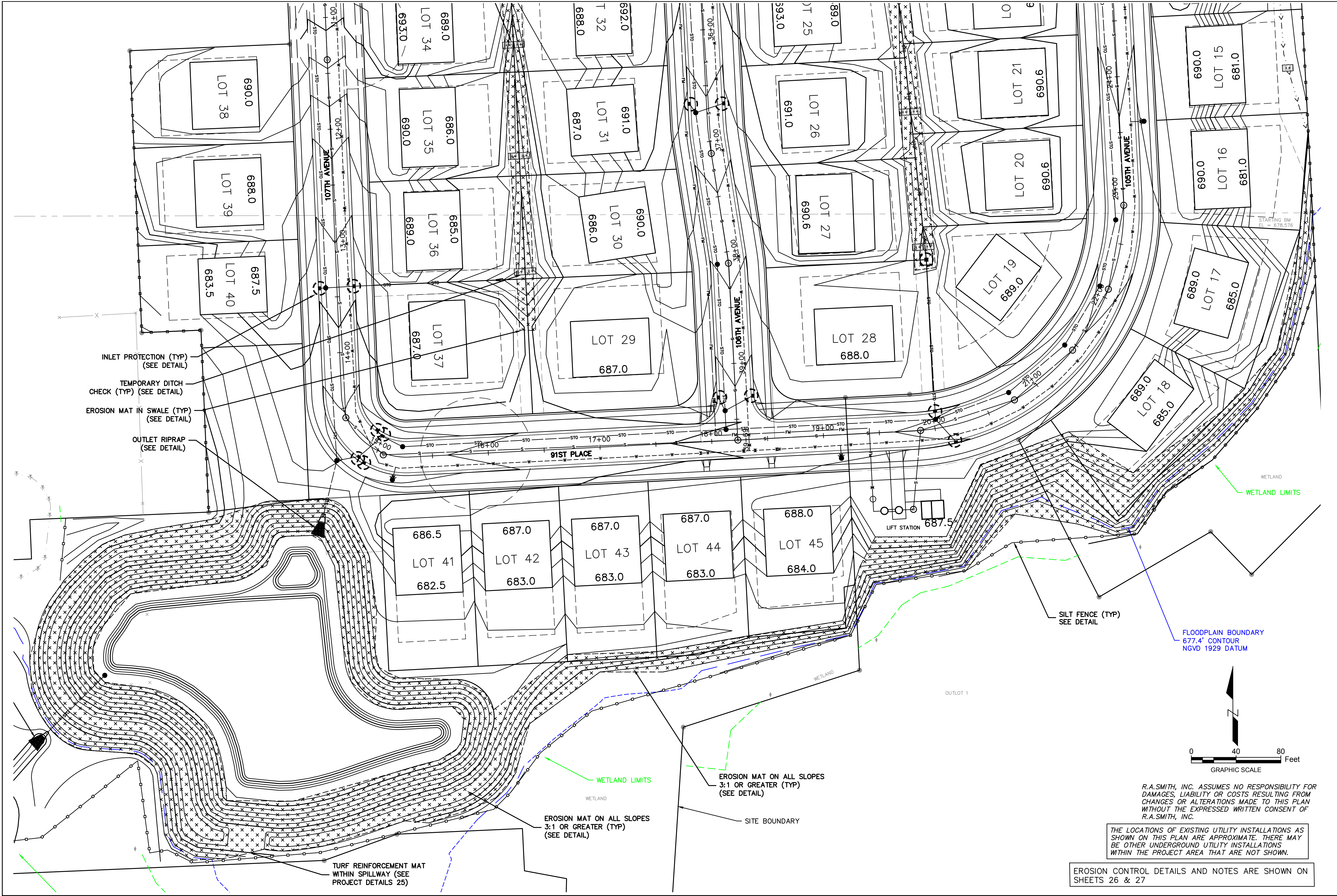
EROSION CONTROL DETAILS AND NOTES ARE SHOWN ON SHEETS 26 & 27

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

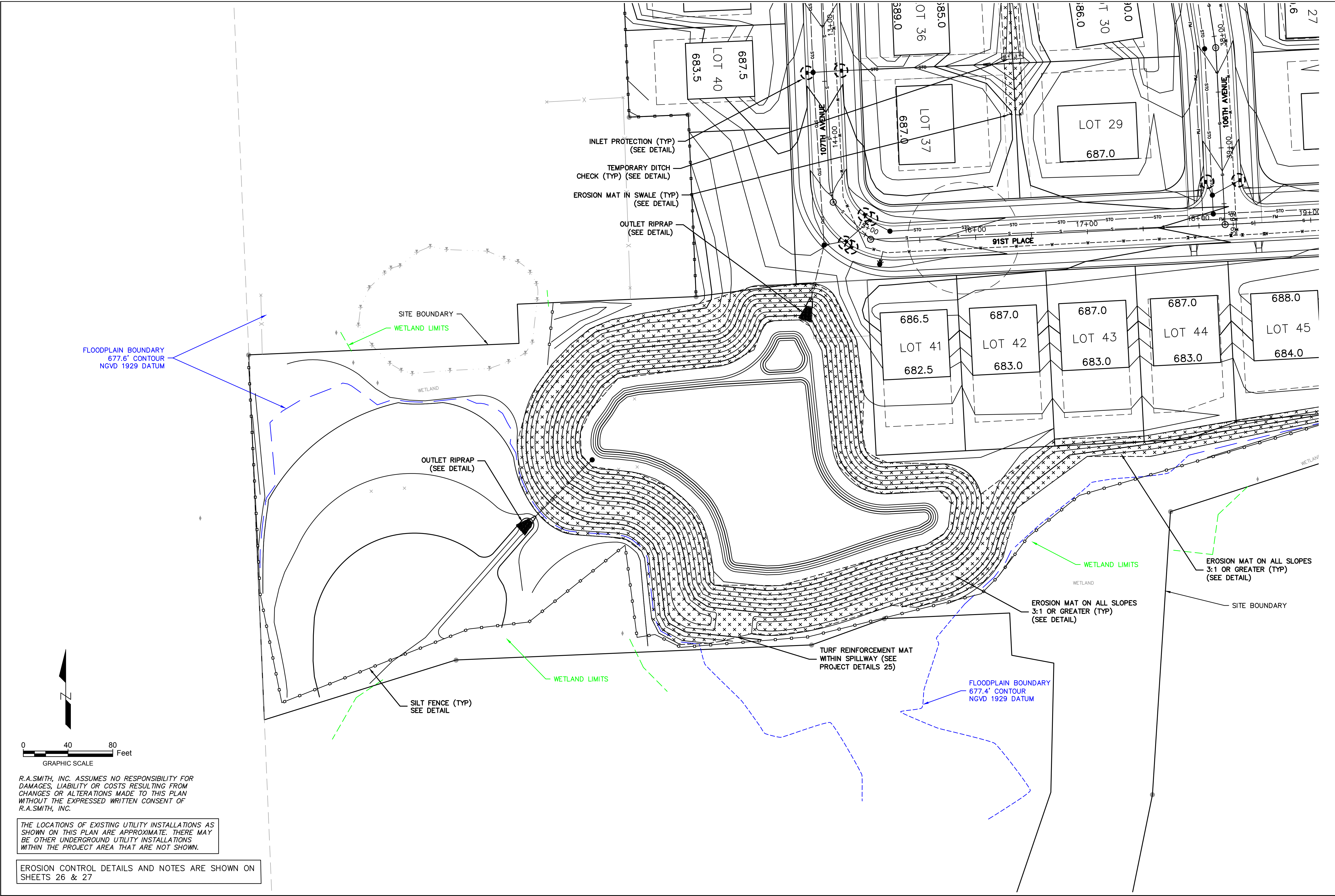
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

XXX.X - YARD GRADE





DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
EROSION CONTROL PLAN SOUTH	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: MJG CHECKED BY: GER	
SHEET NUMBER 4	



DESCRIPTION		DATE
<div>raSmith</div> <div>CREATIVITY BEYOND ENGINEERING</div> <div>rasmith.com</div>		
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE		
EROSION CONTROL PLAN		
POND		
PRELIMINARY NOT FOR CONSTRUCTION		
© COPYRIGHT 2018 R.A. Smith, Inc.		
DATE: 1/24/18		
SCALE: 1" = 40'		
JOB NO. 1160367		
PROJECT MANAGER: GARY RAASCH, PE		
DESIGNED BY: MJG		
CHECKED BY: GER		
SHEET NUMBER		
5		

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



DESCRIPTION

DATE _____

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

**RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE**

MASTER GRADING PLAN NORTH LOTS

PRELIMINARY
NOT FOR
CONSTRUCTION

© COPYRIGHT 2018
R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGE

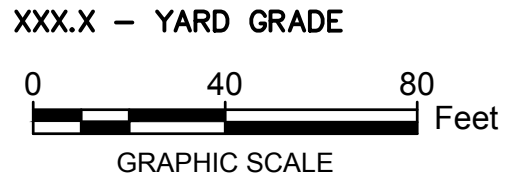
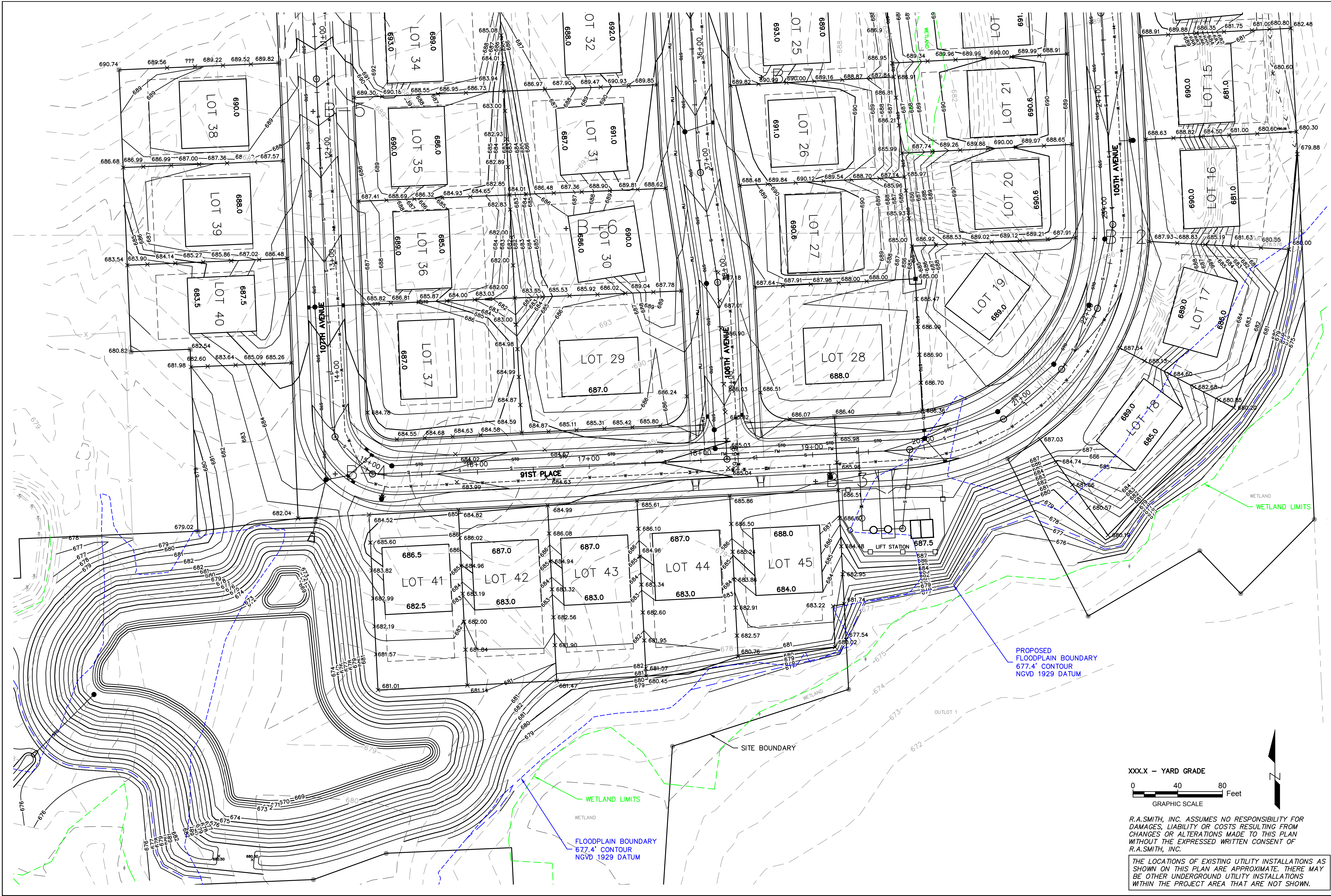
GARY RAASCH, P

DESIGNED BY: MJG

CHECKED BY: GER

SHEET NUMBER

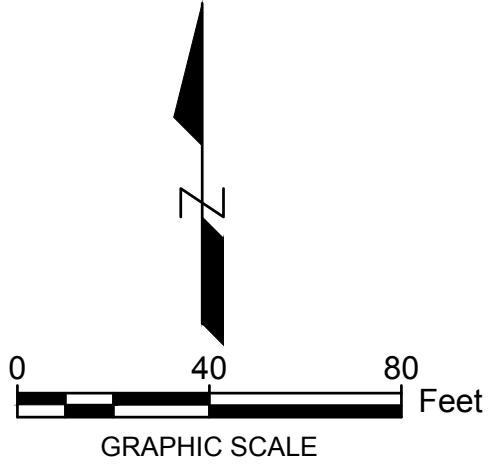
7



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

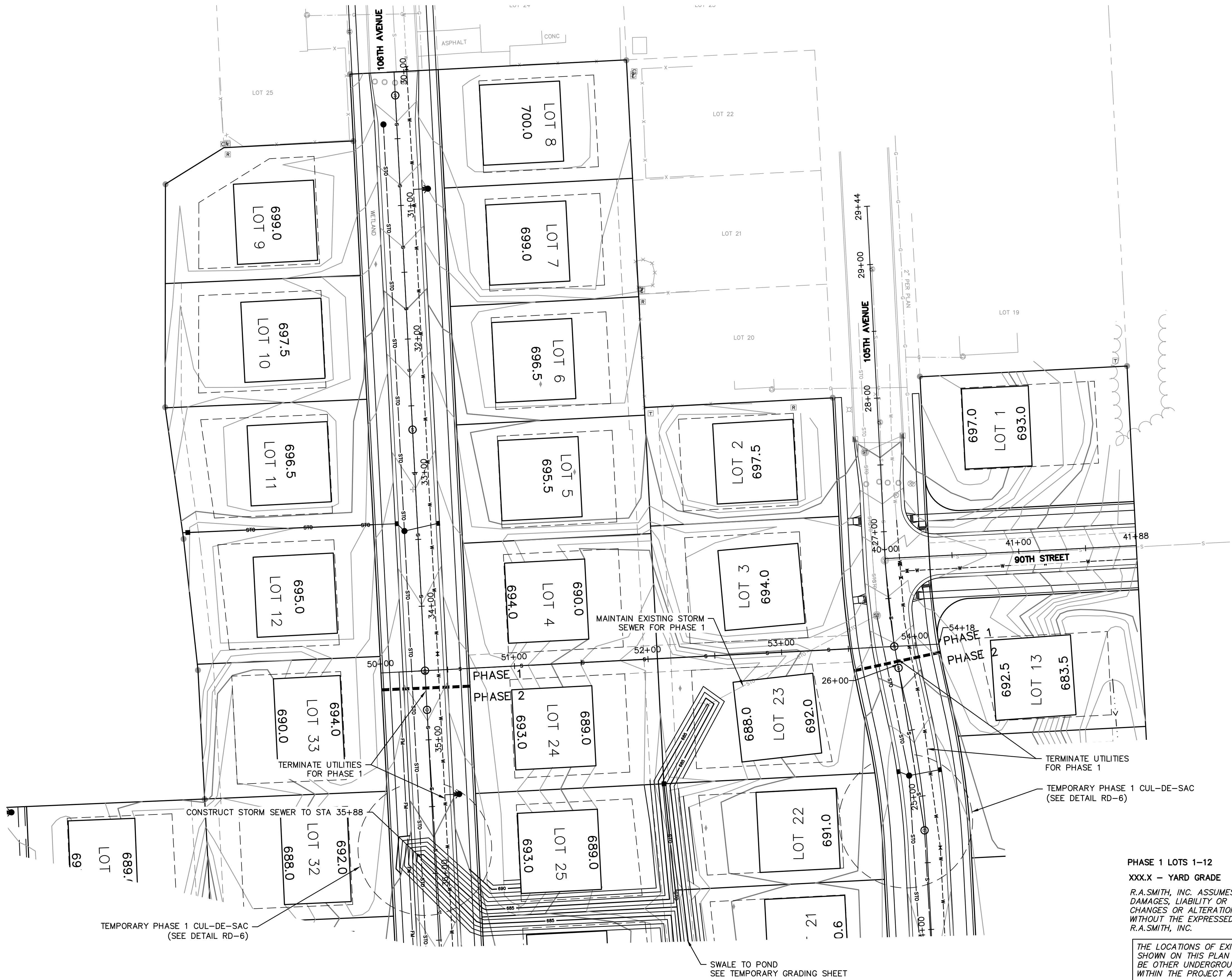
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
MASTER GRADING PLAN SOUTH LOTS	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: JMG CHECKED BY: GER	
SHEET NUMBER 8	



THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

[illegible]



PHASE 1 LOTS 1-12
XXX.X - YARD GRADE
R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY

VILLAGE OF PLEASANT PRAIRIE

CONSTRUCTION PHASING

PHASE 1

PRELIMINARY

NOT FOR

CONSTRUCTION

© COPYRIGHT 2018

R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGER:

GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: GER

SHEET NUMBER

10

DATE

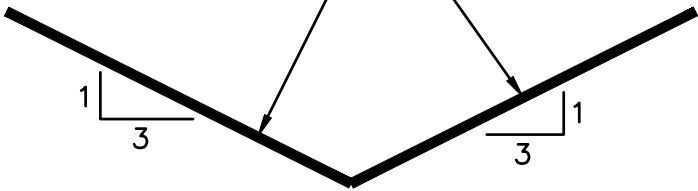
DESCRIPTION

XXX.X – YARD GRADE

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RESTORE WITH 4" MIN. TOP SOIL, GRASS SEED AND CLASS 1 TYPE B EROSION MAT



TEMPORARY DIVERSION SWALE SECTION

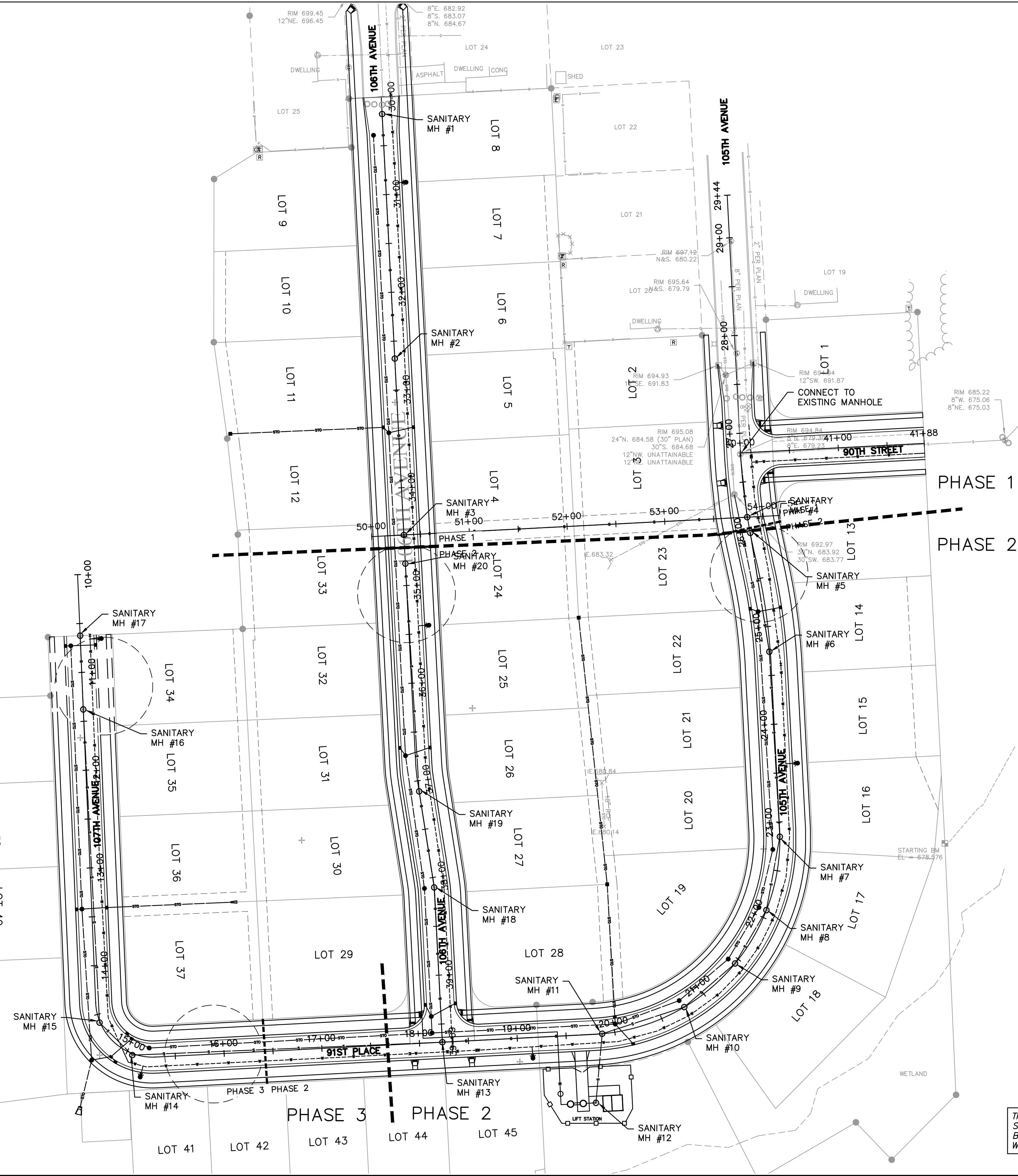
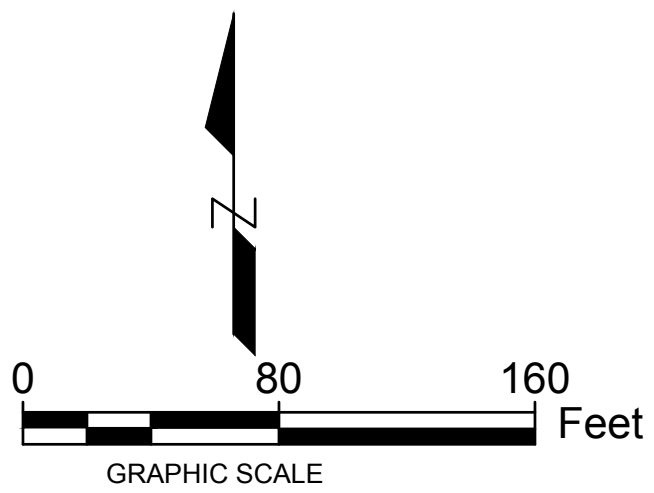
SITE BOUNDARY



DESCRIPTION		DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com		RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
		CONSTRUCTION PHASING PHASEE 1 - SWALE TO POND	
PRELIMINARY NOT FOR CONSTRUCTION		© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: MJG CHECKED BY: GER	
SHEET NUMBER		11	

LEGEND

- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED FORCE MAIN
- LOTS 1 – 12 ARE SERVED BY GRAVITY SEWER.
- LOTS 12 – 45 ARE SERVED BY LIFT STATION.



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DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY

VILLAGE OF PLEASANT PRAIRIE

OVERALL UTILITY PLAN

PRELIMINARY

NOT FOR

CONSTRUCTION

© COPYRIGHT 2018

R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 60'

JOB NO. 1160367

PROJECT MANAGER:

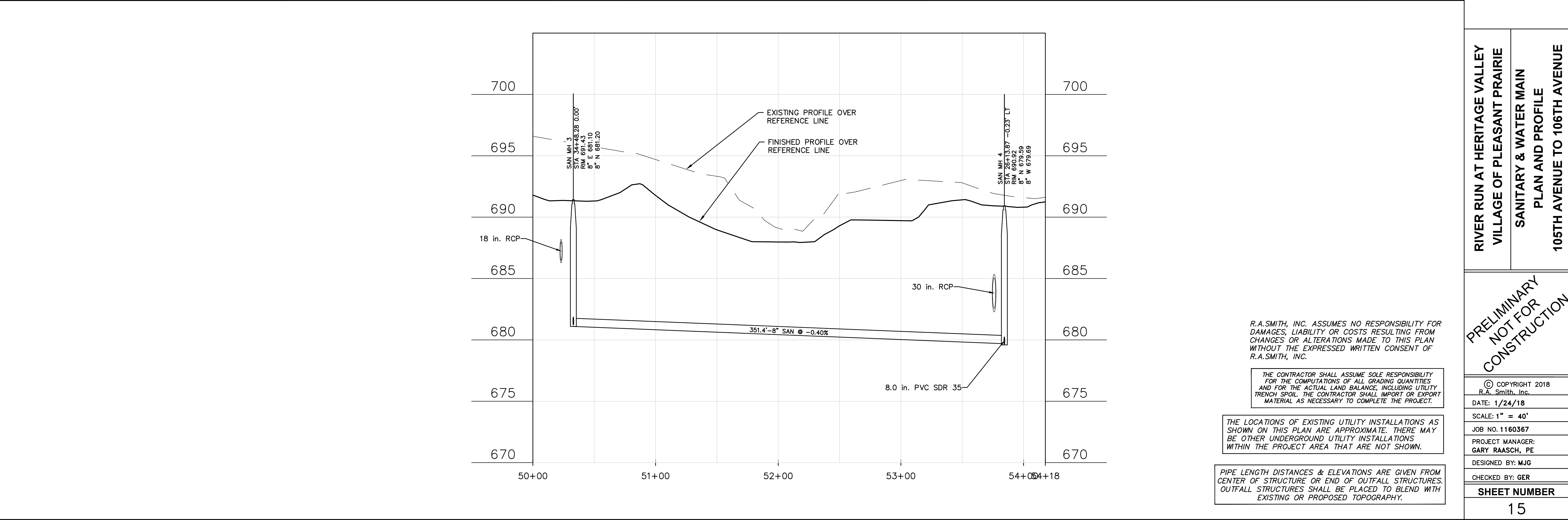
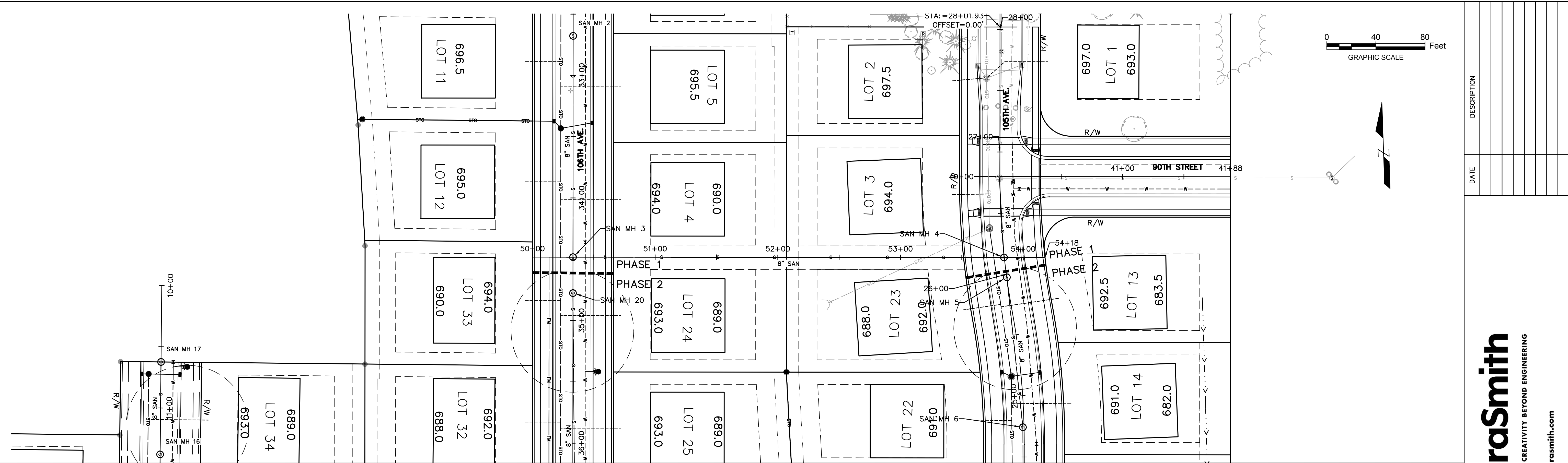
GARY RAASCH, PE

DESIGNED BY: MJG

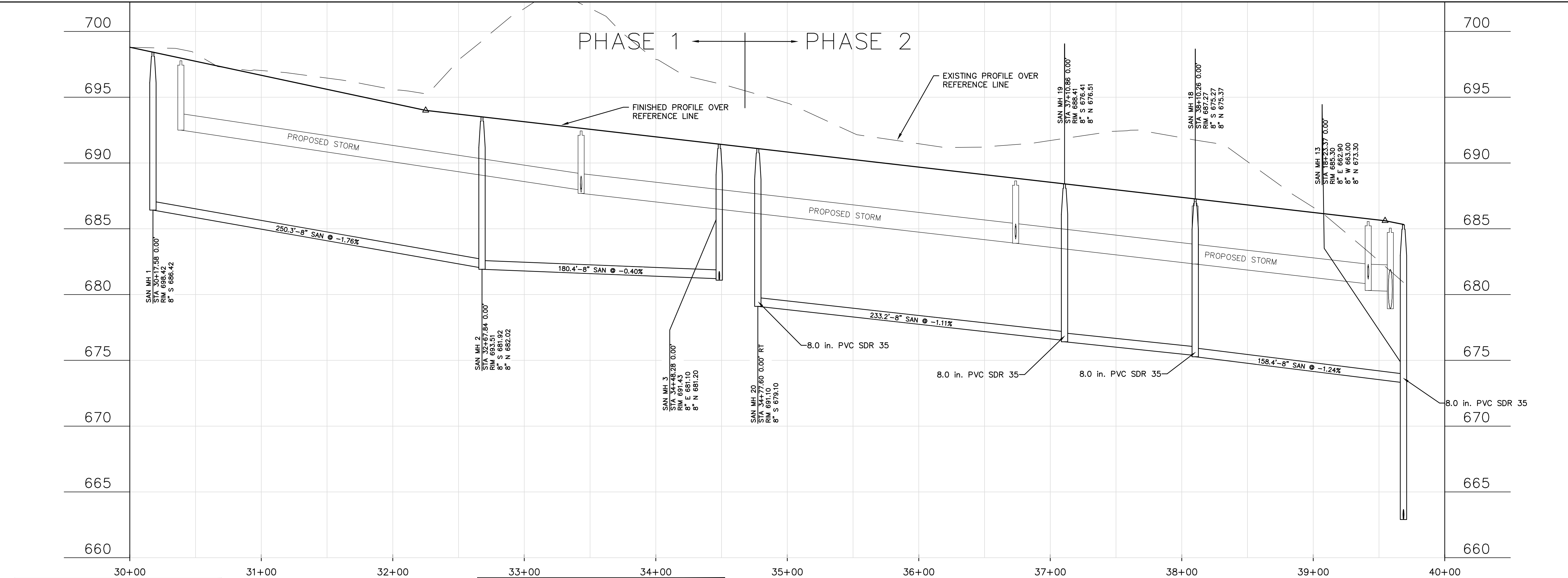
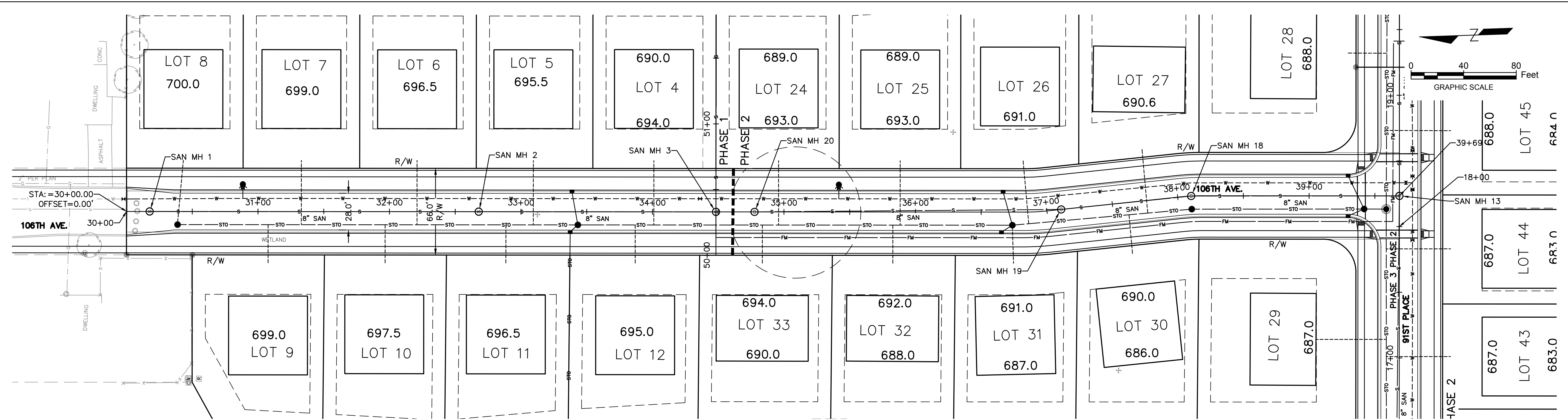
CHECKED BY: GER

SHEET NUMBER

14



DESCRIPTION	
DATE	
<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
SANITARY & WATER MAIN PLAN AND PROFILE	
105TH AVENUE TO 106TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
15	



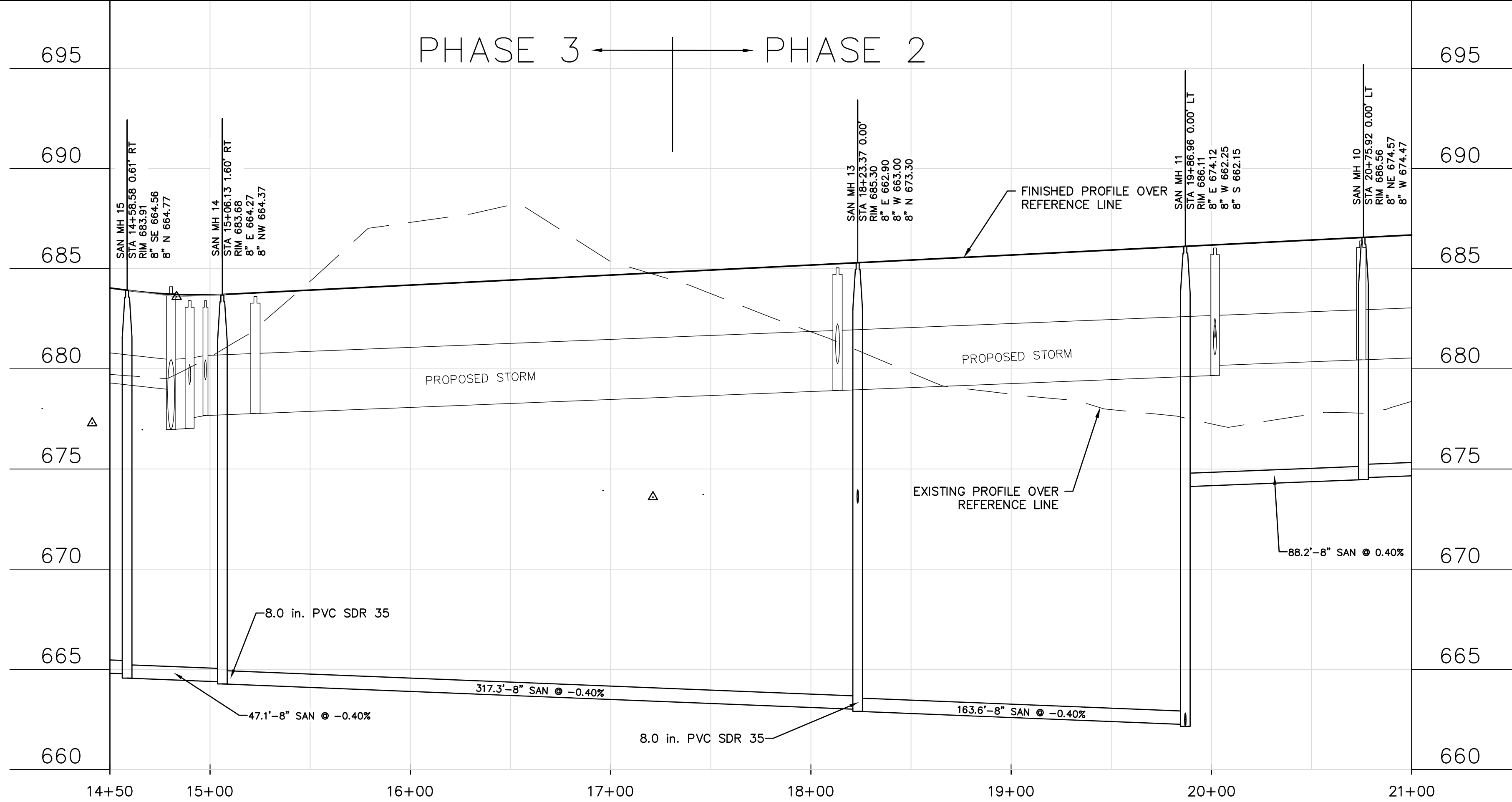
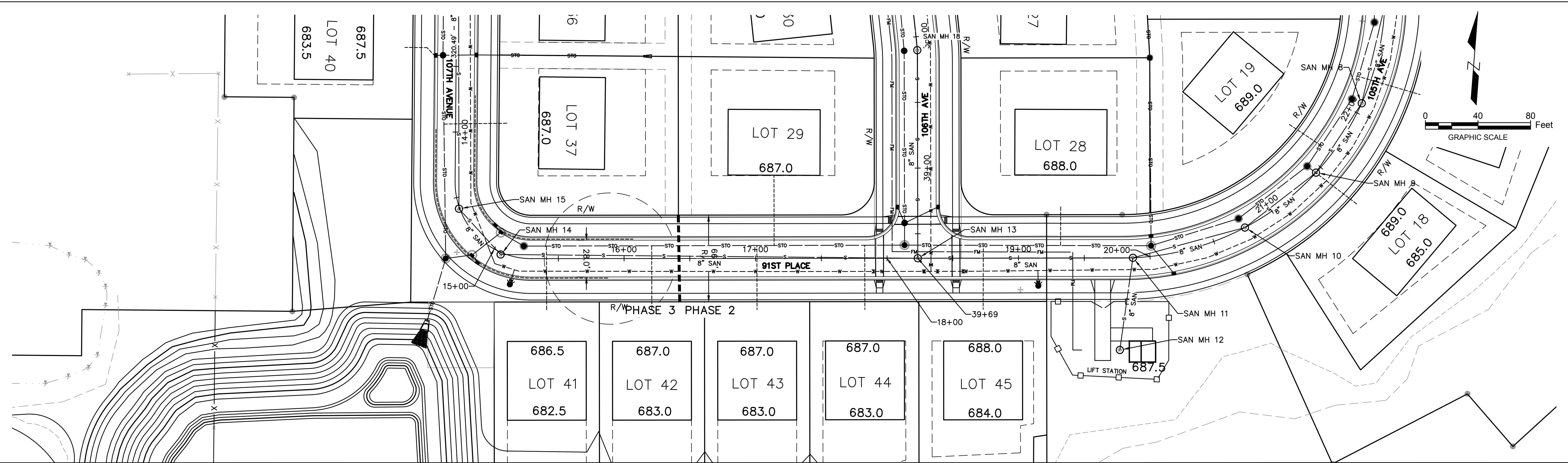
THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 106TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
17	



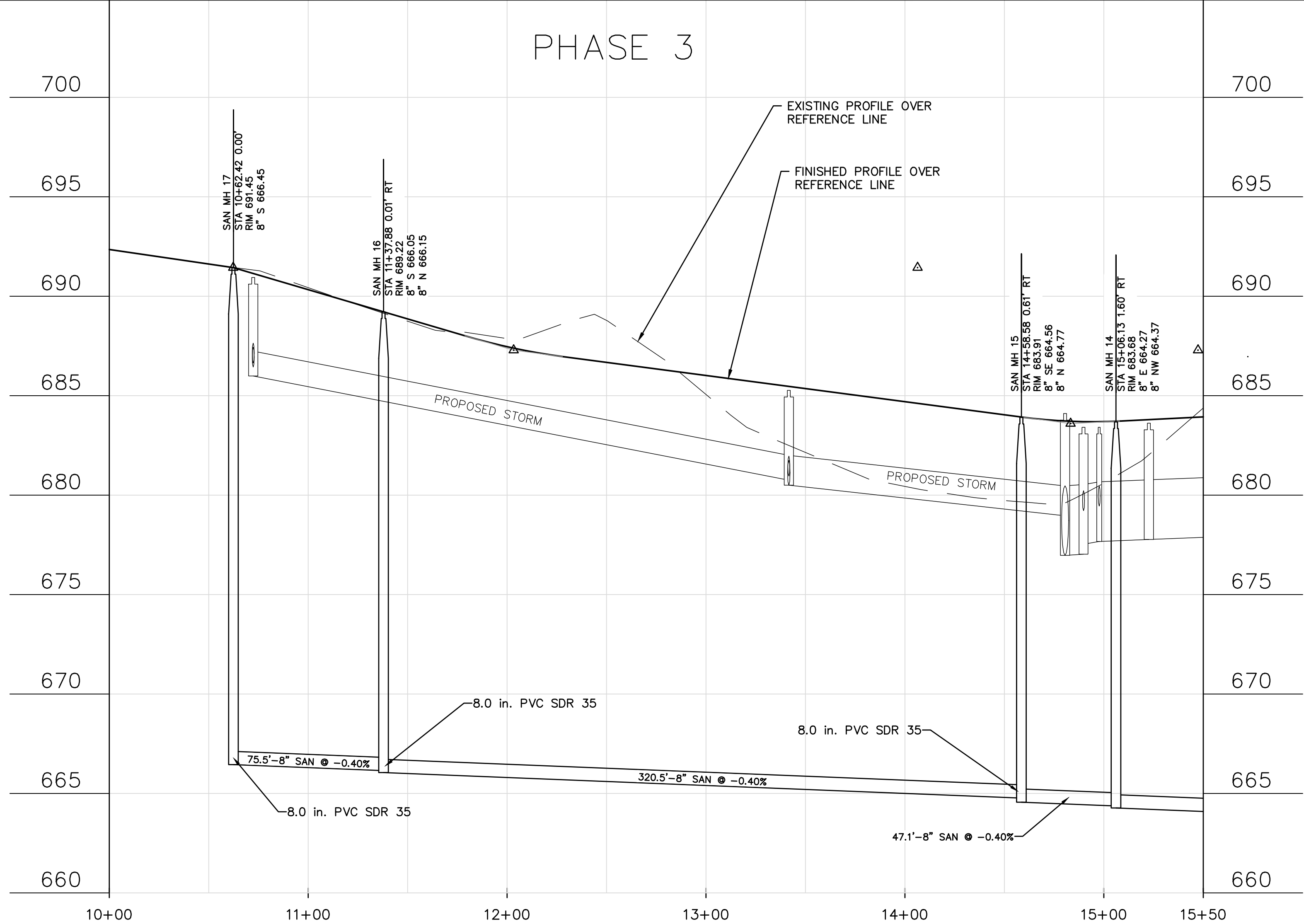
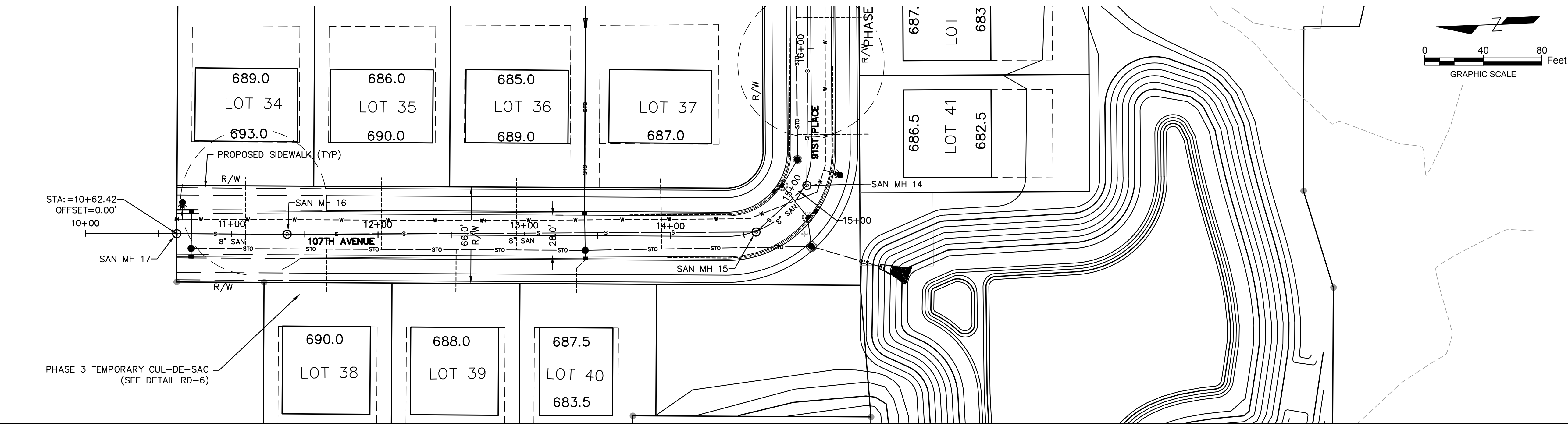
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DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 91ST PLACE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
18	



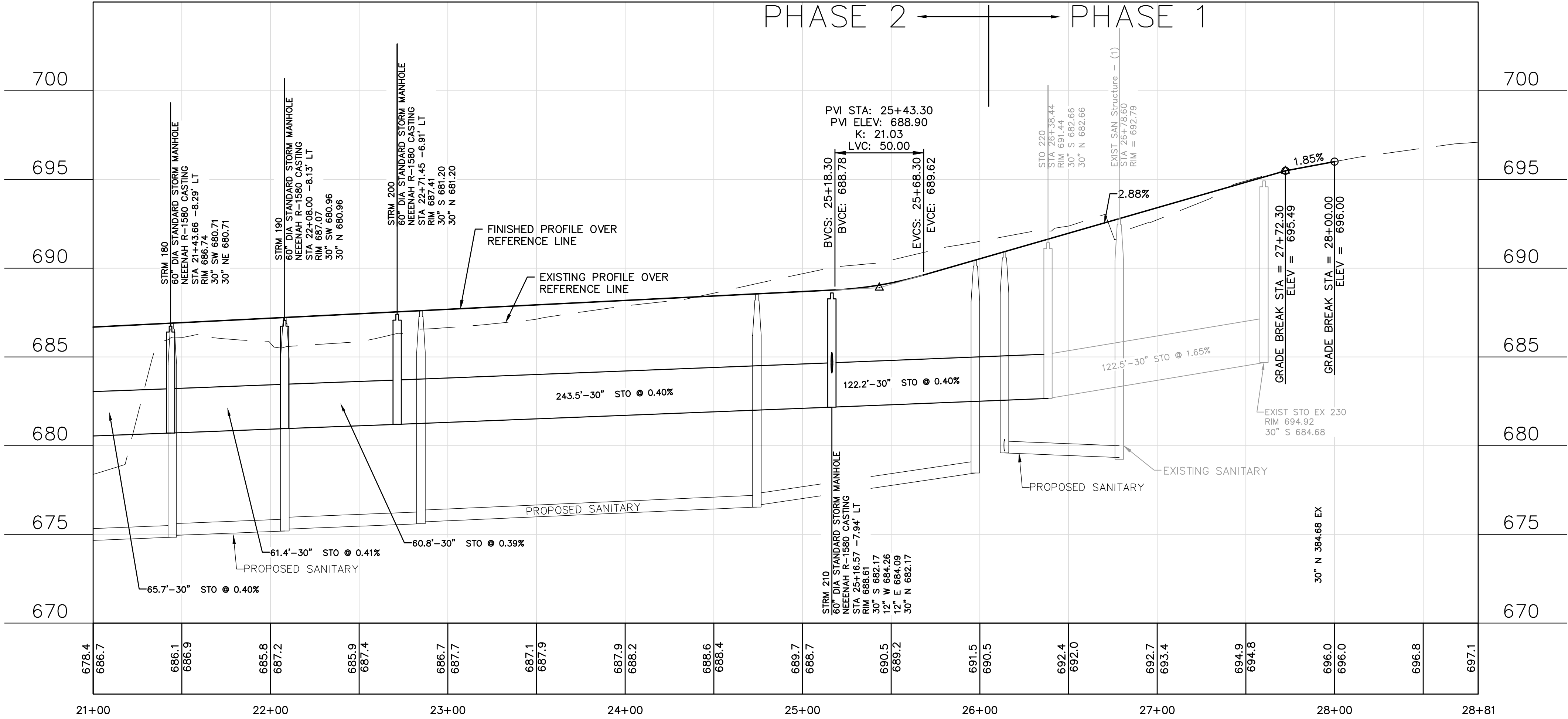
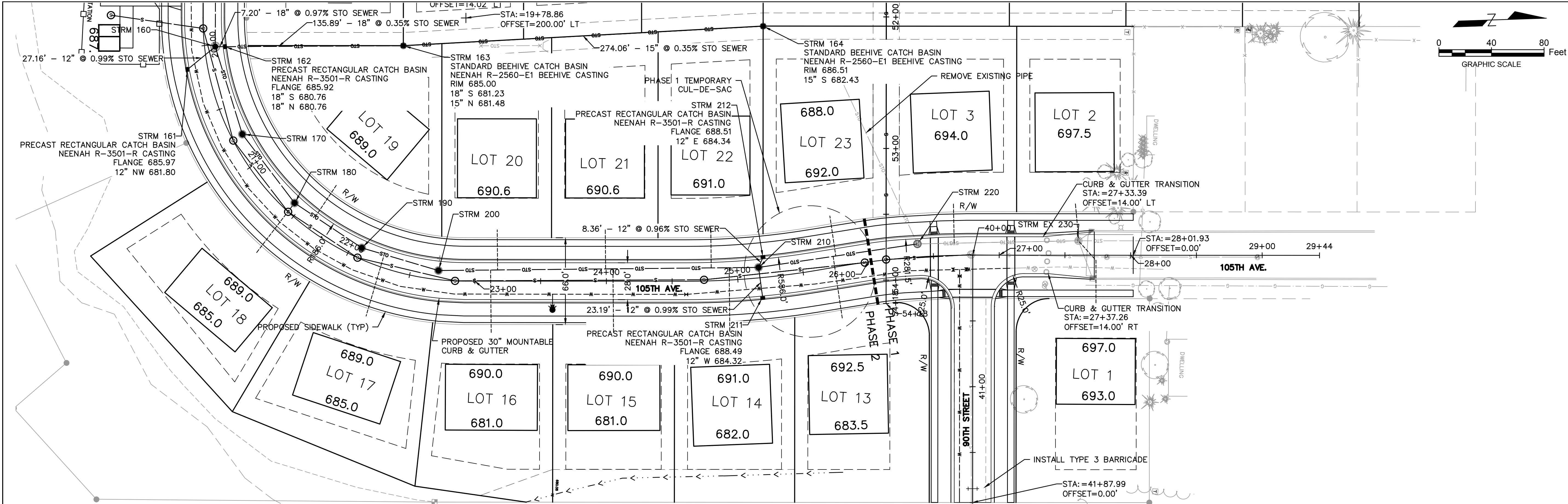
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DESCRIPTION	
DATE	
<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 89TH PLACE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
19	



NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

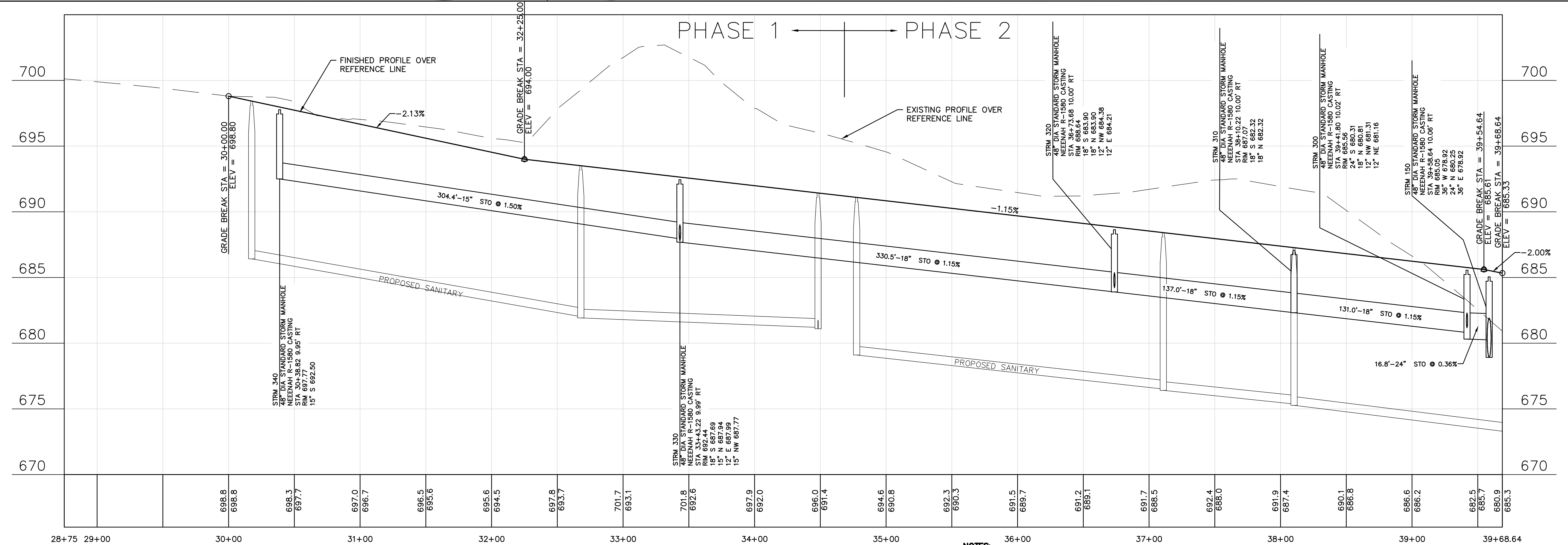
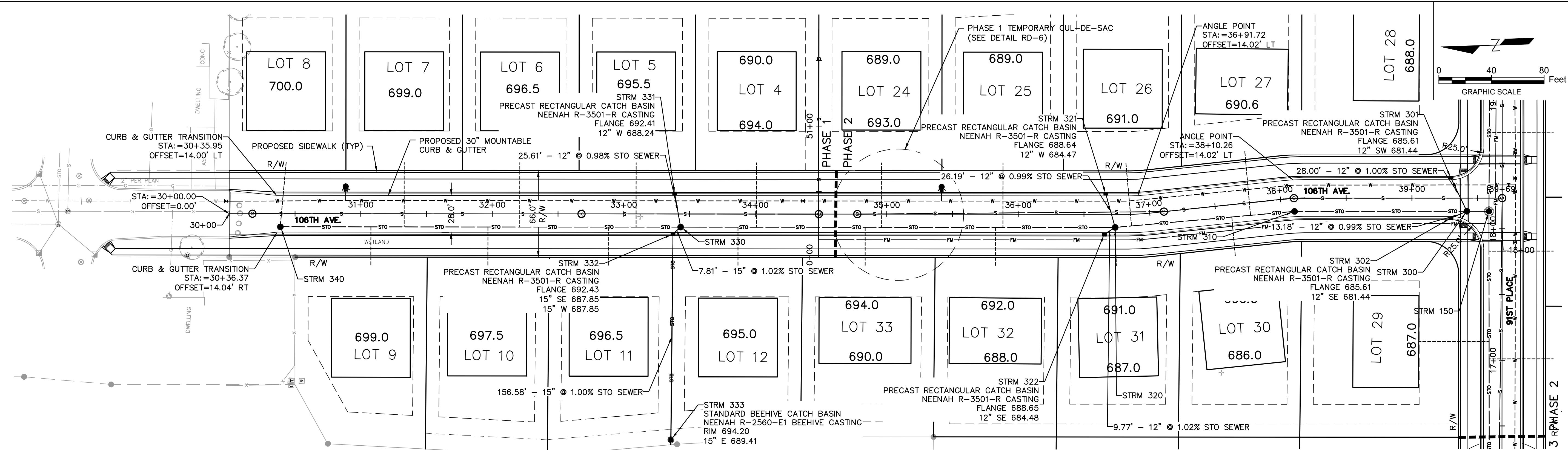
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DESCRIPTION	
DATE	
<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 105TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
20	



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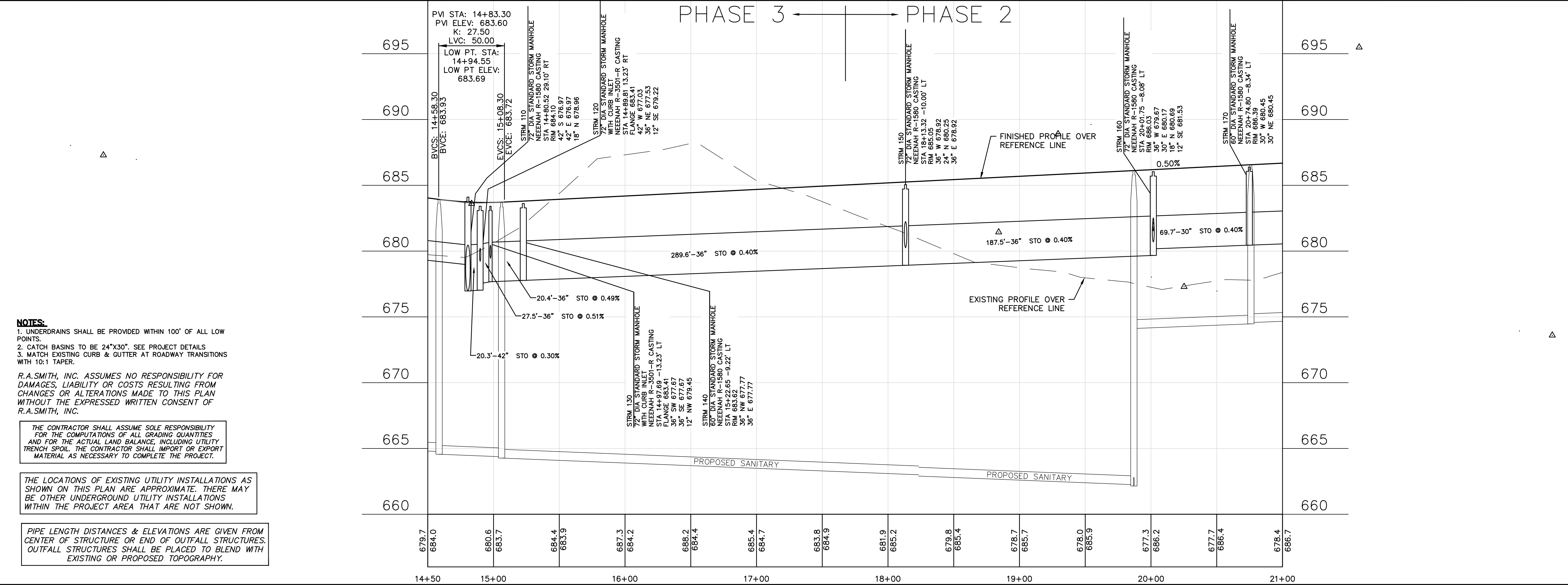
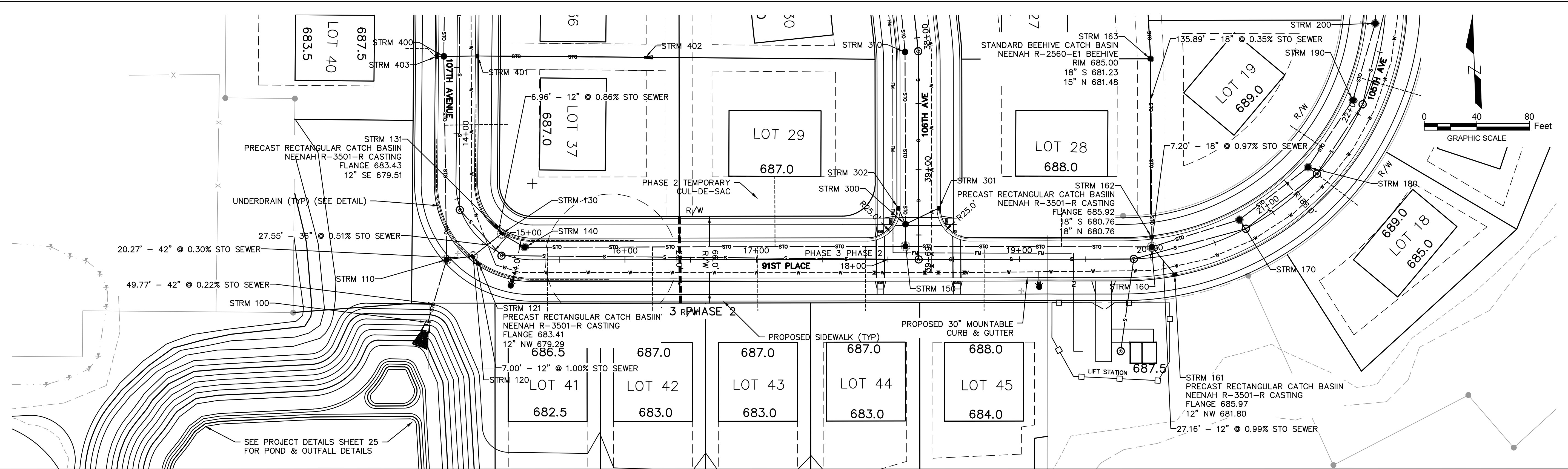
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2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS.
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 106TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
21	



NOTES:

1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

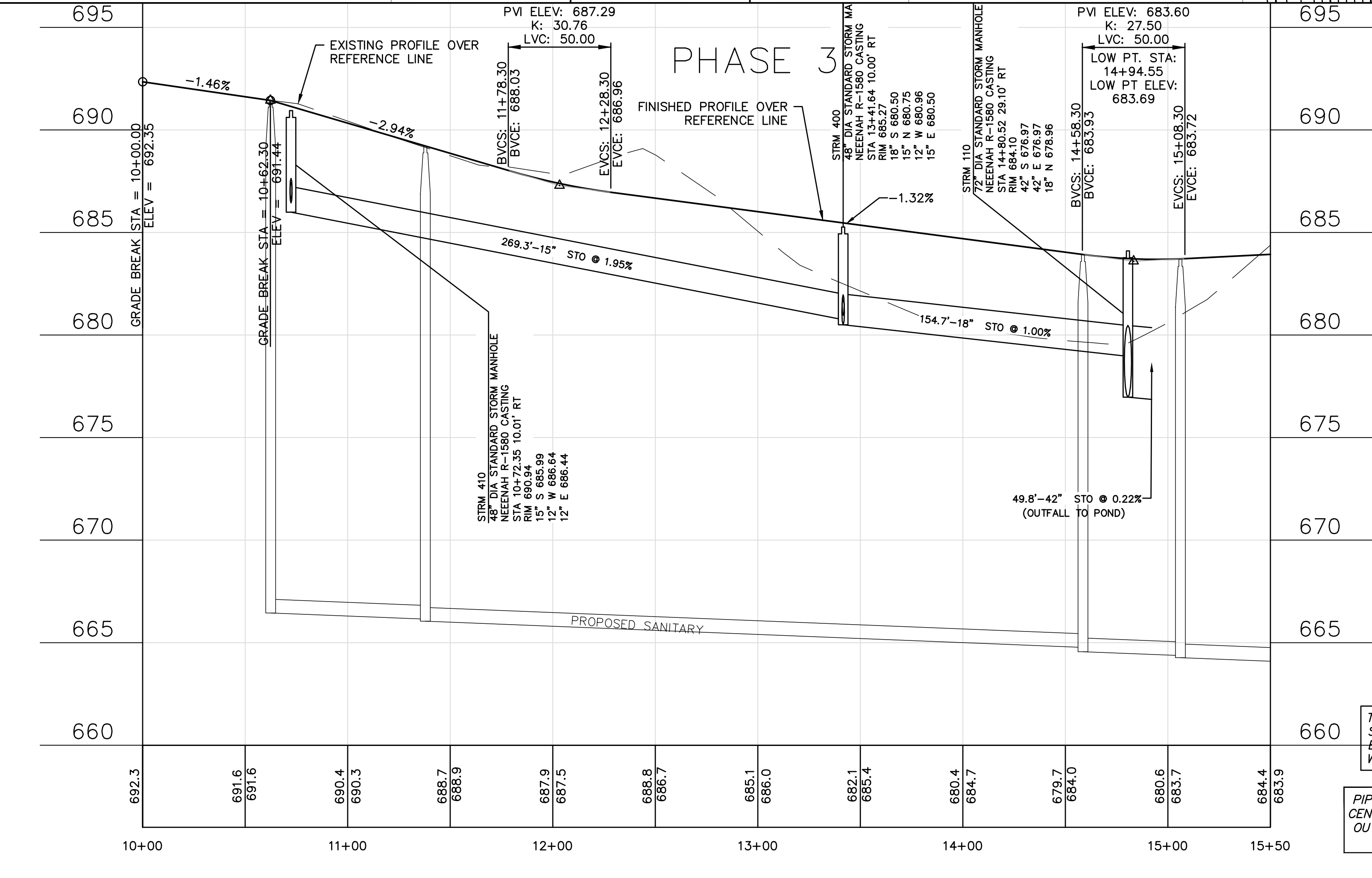
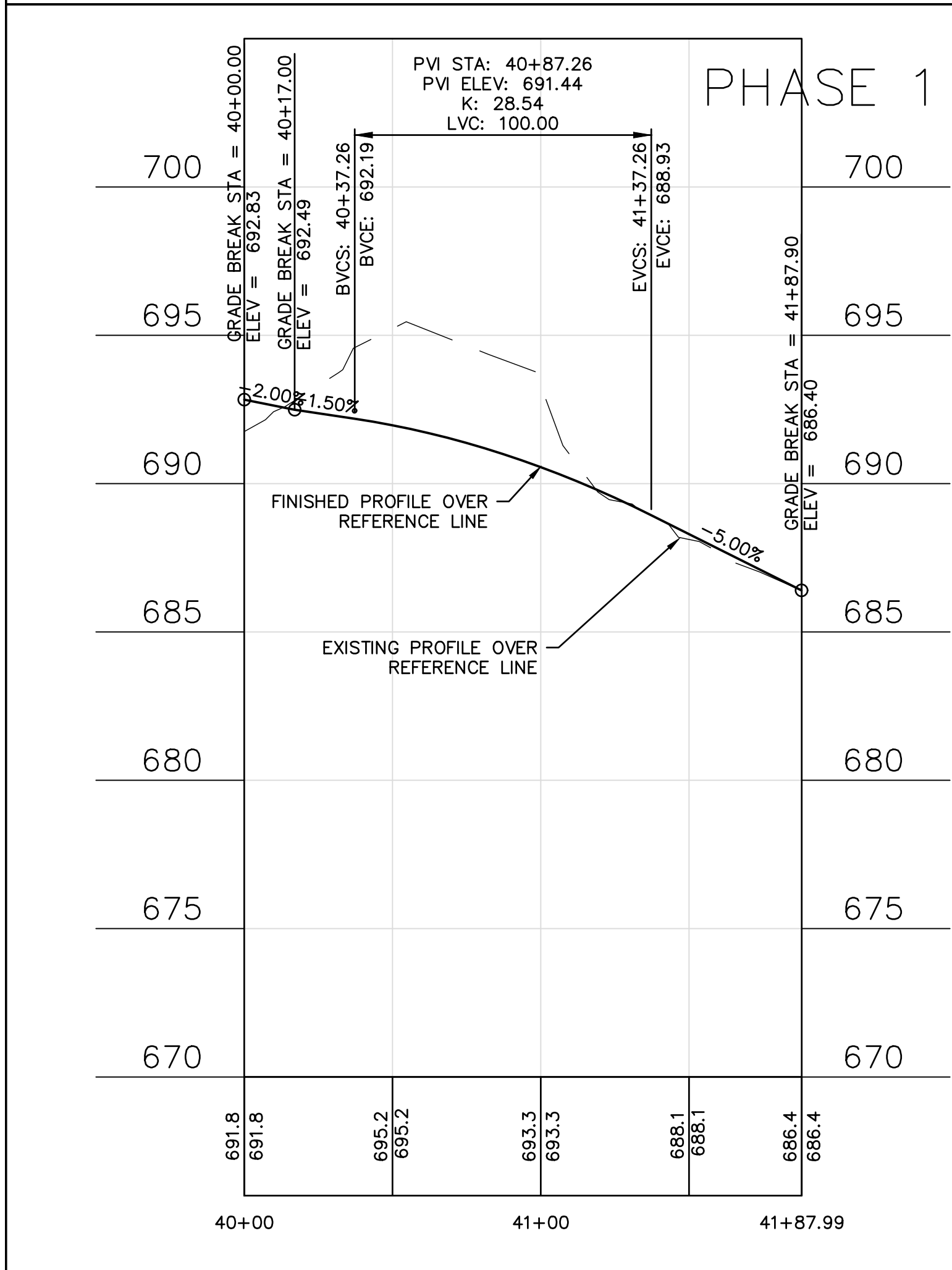
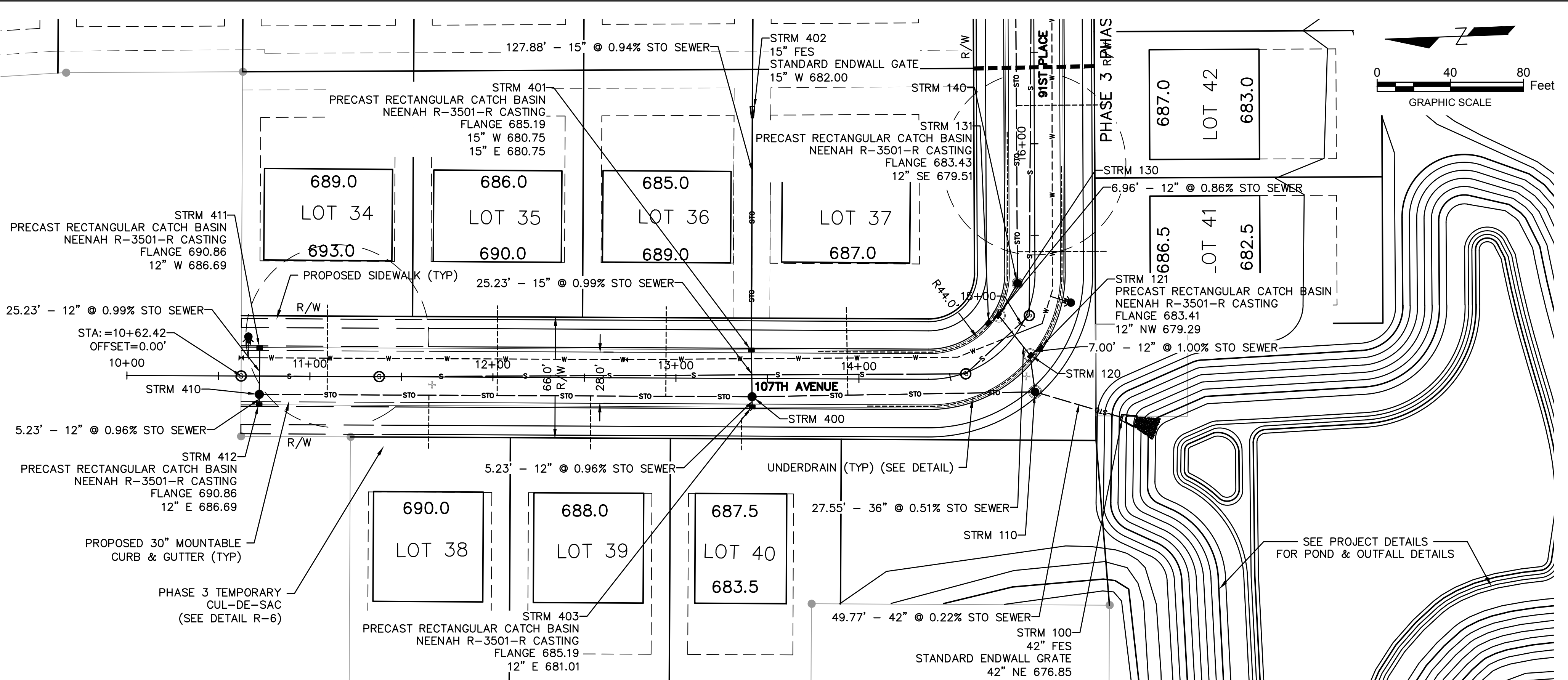
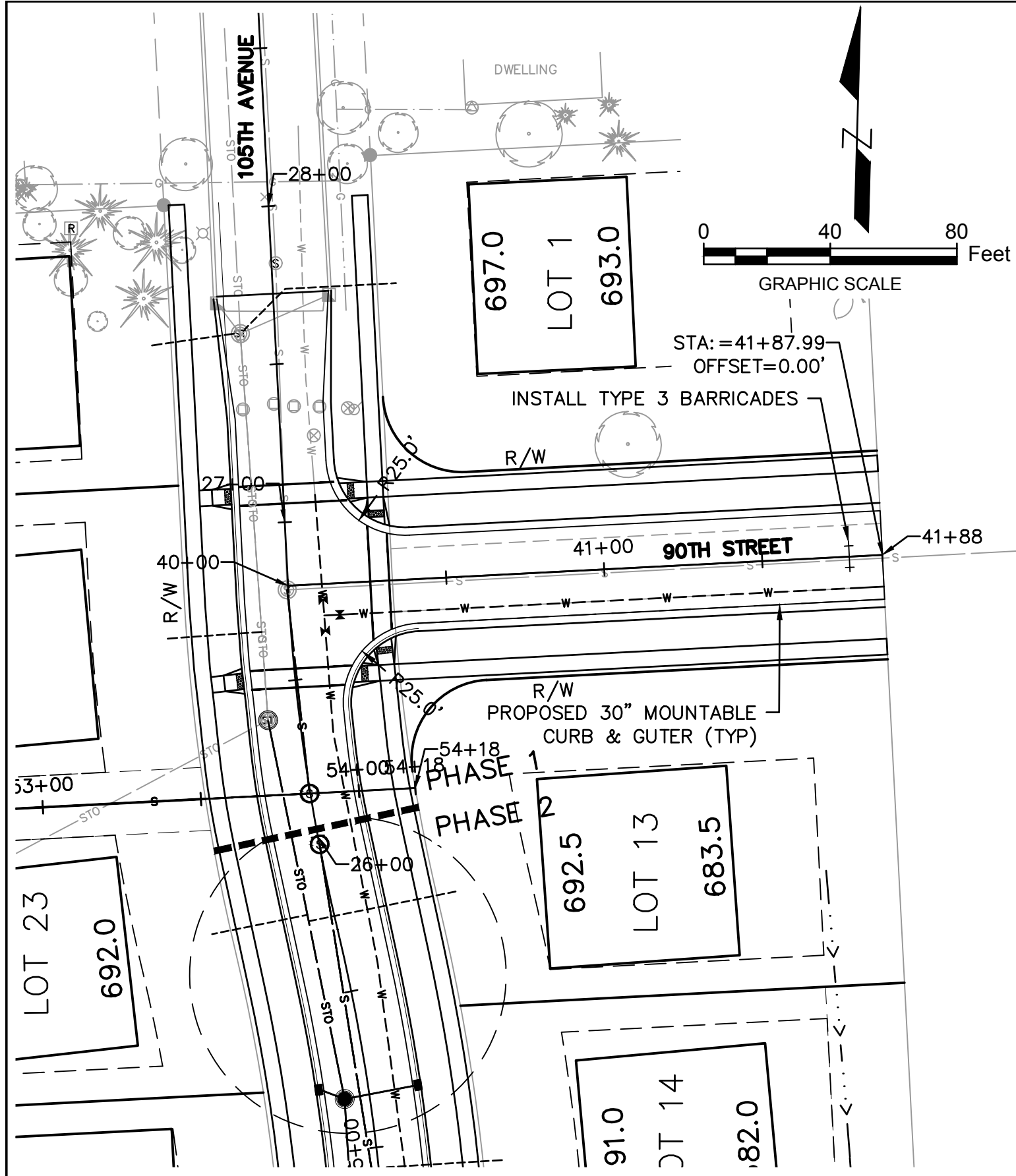
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DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 91ST PLACE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: MJG CHECKED BY: GER SHEET NUMBER 22	



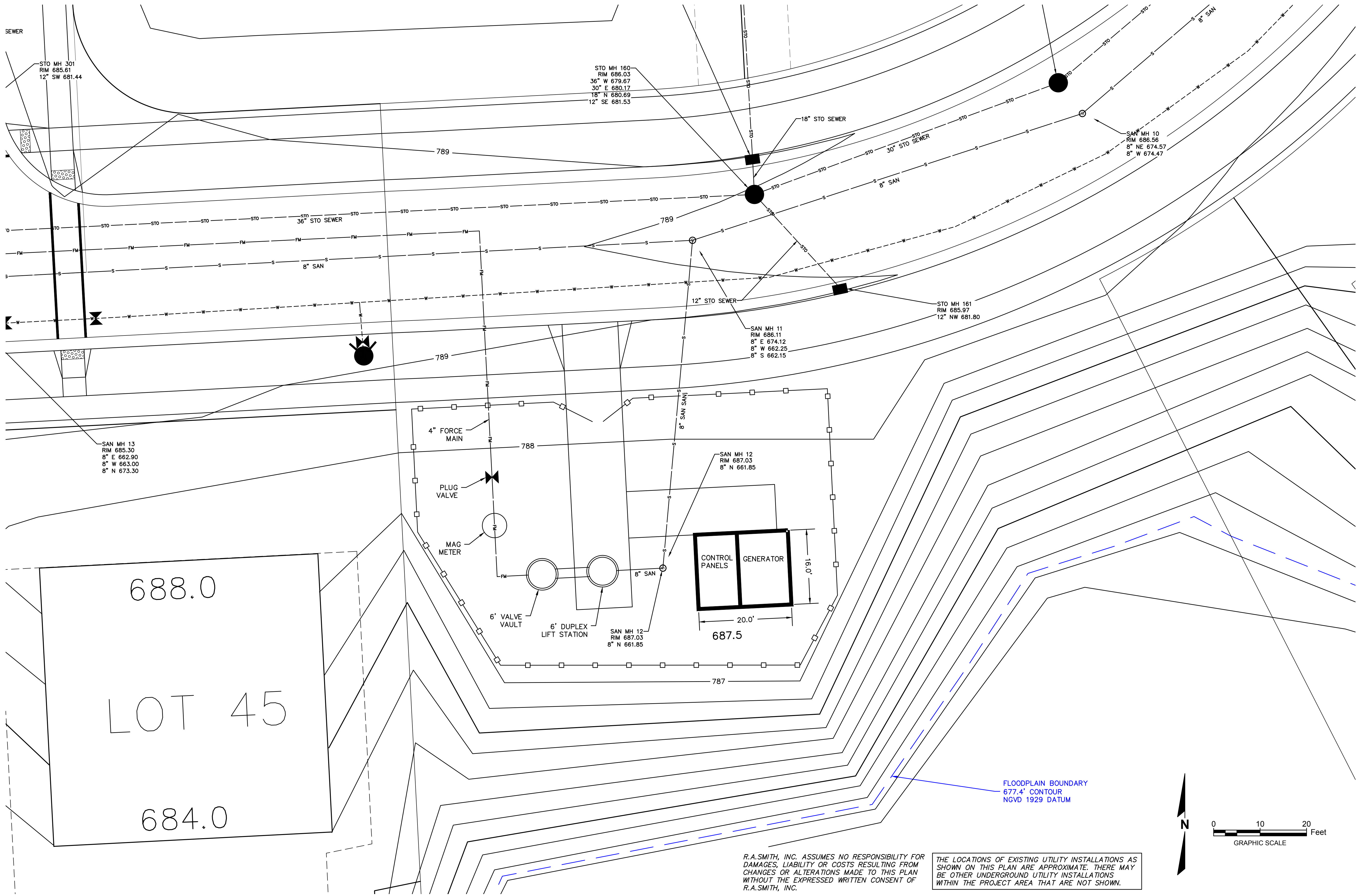
NOTES:
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3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.
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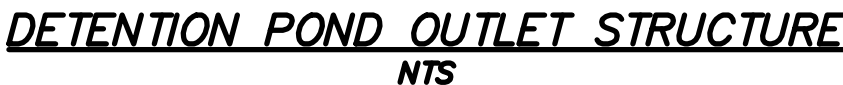
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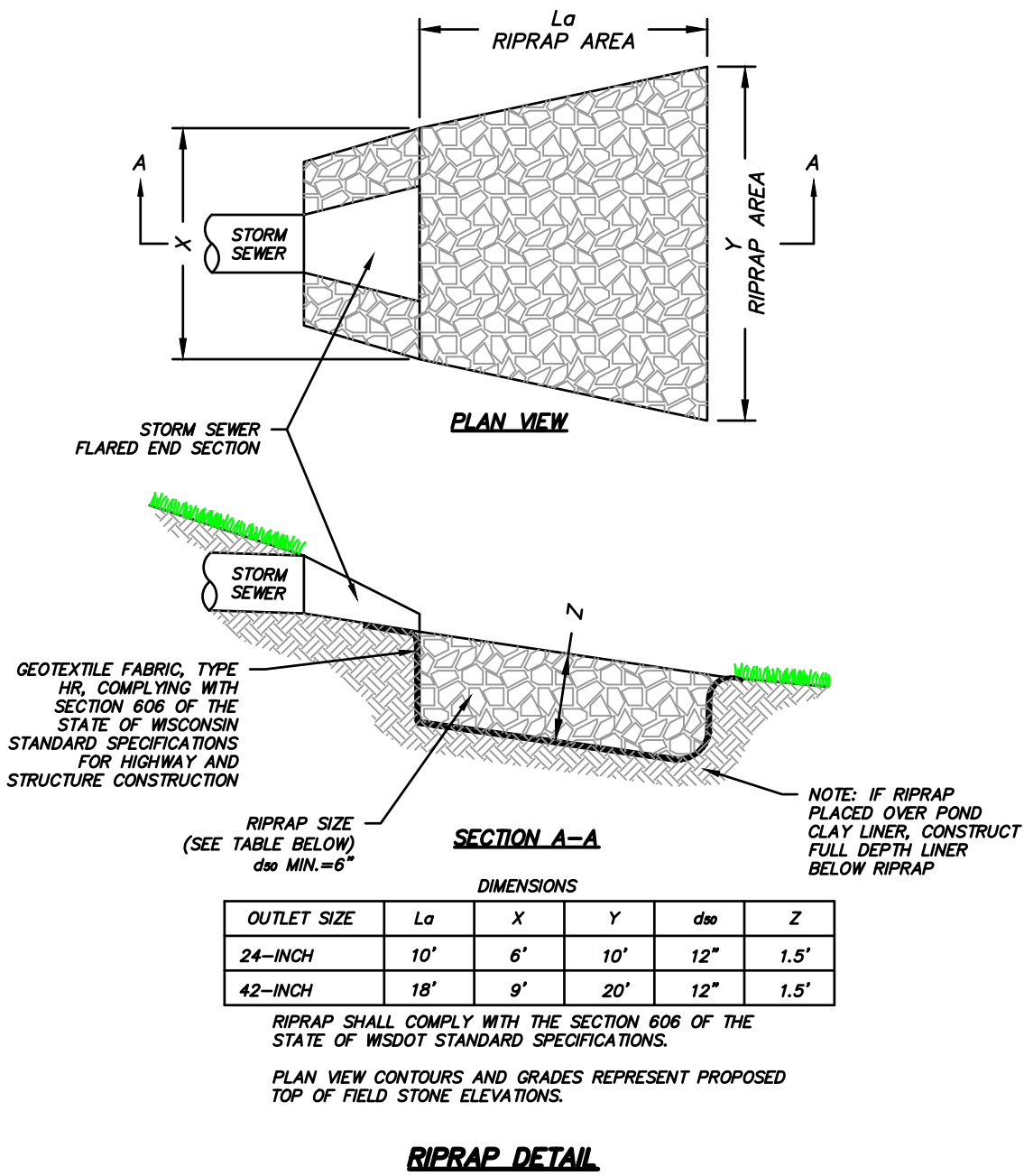
DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 90TH PLACE AND 107TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
23	

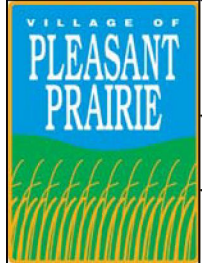


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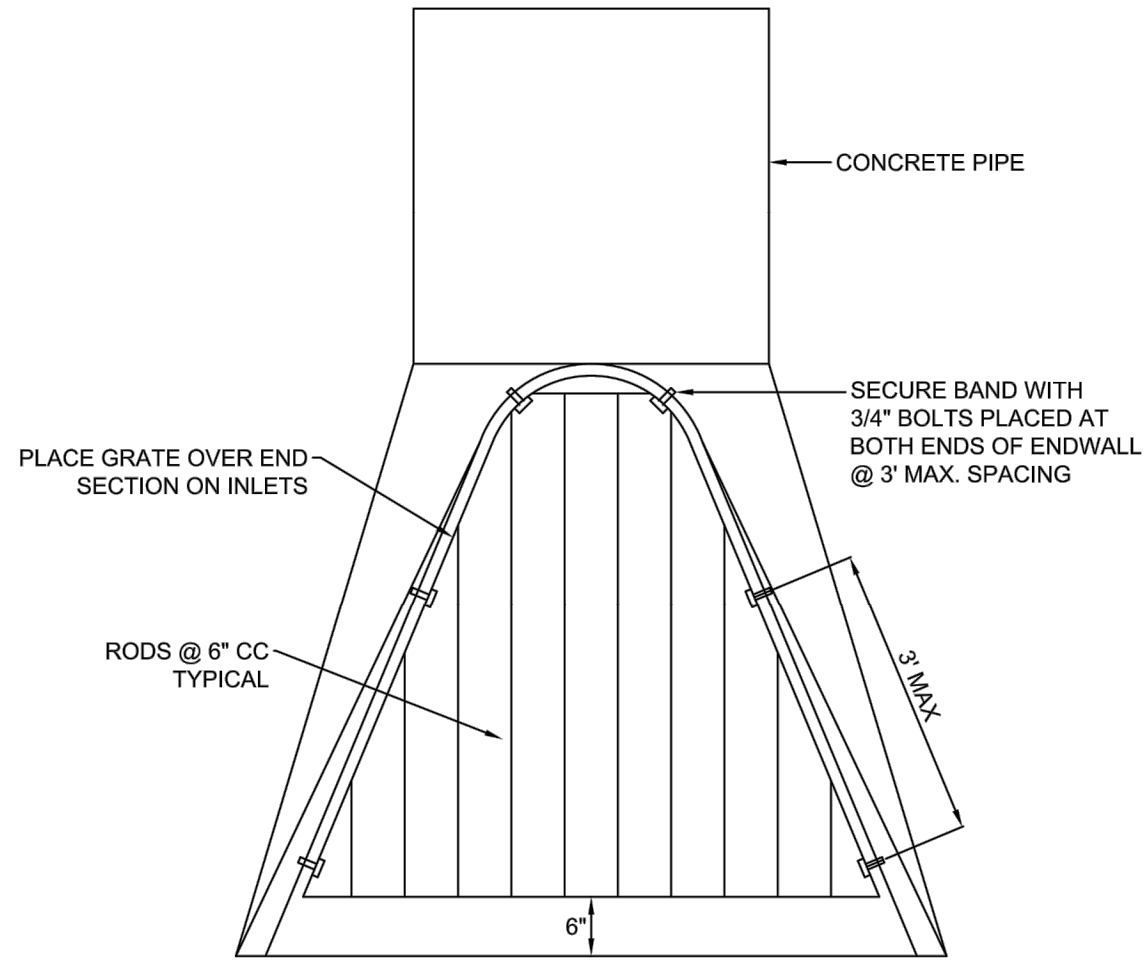
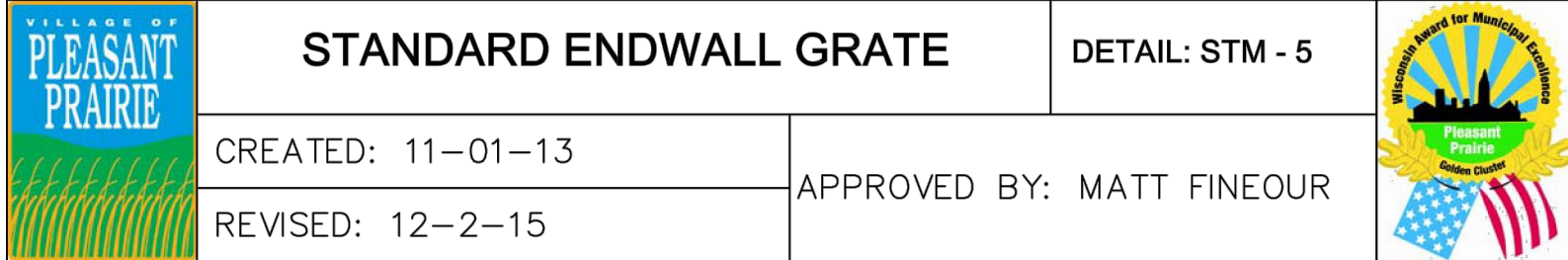


<div style="display: flex; justify-content: space-between;"> <div> <p>raSmith</p> <p>CREATIVITY BEYOND ENGINEERING</p> <p>rasmith.com</p> </div> <div> <p>RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE</p> <p>PROJECT DETAILS</p> <p>POND DETAIL</p> </div> </div>		DATE	DESCRIPTION
<div style="text-align: center;"> <p>PRELIMINARY NOT FOR CONSTRUCTION</p> </div>		© COPYRIGHT 2018 R.A. Smith, Inc.	
		DATE: 1/24/18	
		SCALE: NTS	
		JOB NO. 1160367	
		PROJECT MANAGER: GARY RAASCH, PE	
		DESIGNED BY: MJG	
		CHECKED BY: ----	
		SHEET NUMBER	
		25	

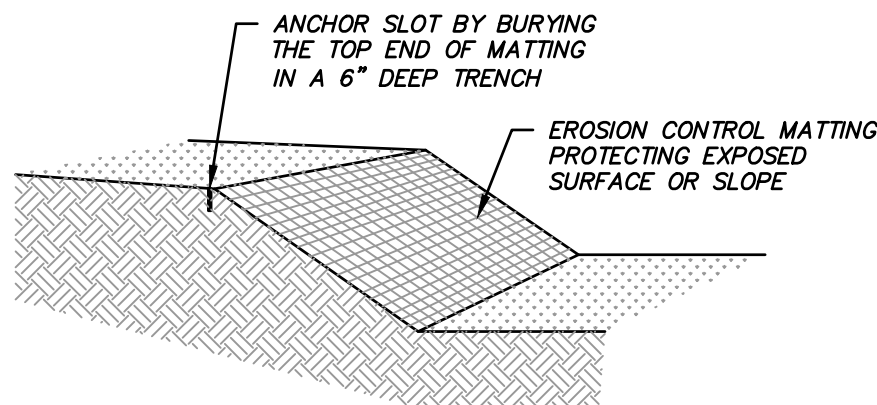


	STANDARD ENDWALL GRATE	DETAIL: STM - 5
CREATED: 11-01-13	APPROVED BY: MATT FINEOUR	
REVISED: 12-2-15		

SCALE: NTS

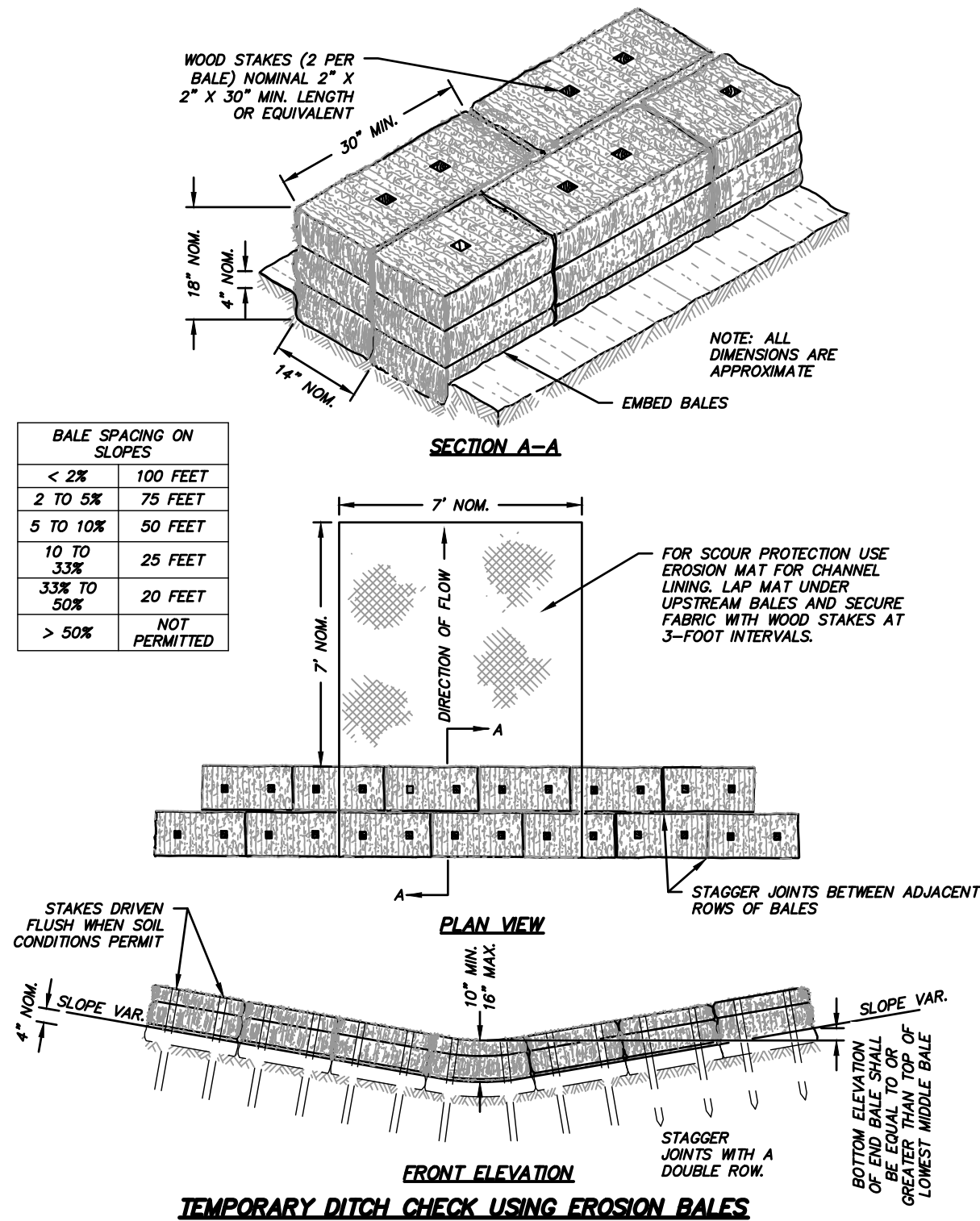


- NOTE:
- REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER.
 - SECURE THE LAST TWO PIPE SECTIONS, INCLUDING END SECTIONS, USING JOINT TIES.

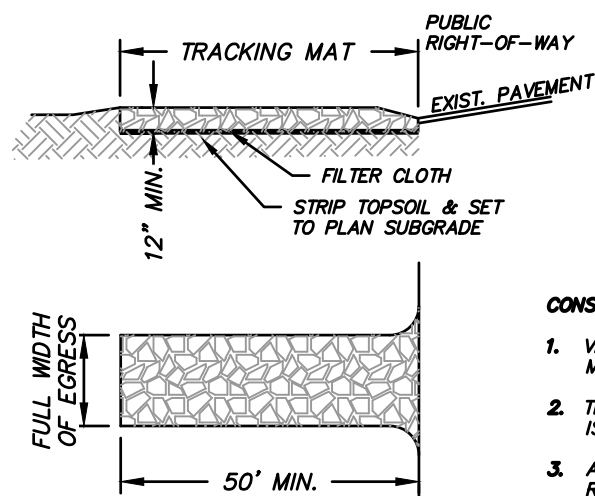


- NOTES:
- PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLODS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
 - EROSION CONTROL MATTING SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 628 OF THE WISCONSIN DOT STANDARD SPECIFICATIONS, DNR TECHNICAL STANDARD 1052 (NON CHANNEL APPLICATIONS), DNR TECHNICAL STANDARD 1053 (CHANNEL APPLICATIONS), AND LATEST MANUFACTURER SPECIFICATIONS, ESPECIALLY NOTING REQUIRED STAPLE PATTERNS AND ANCHOR TRENCH REQUIREMENTS.
 - INSTALLATION PROCEDURES MUST INSURE THAT THE MAT WILL REMAIN IN CONTACT WITH THE SOIL.
 - THE MATTING SHALL BE ANCHORED PER MANUFACTURER REQUIREMENTS.
 - THE MATTING SHALL BE ANCHORED TO THE GROUND PER MANUFACTURER REQUIREMENTS.
 - TEMPORARY EROSION CONTROL MATTING SHALL BE WISDOT PAL CLASS I, TYPE B AND PERMANENT EROSION CONTROL MATTING SHALL BE WISDOT PAL CLASS III, TYPE A.
 - MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
 - FOR CHANNEL APPLICATIONS, EXTEND MAT UPSLOPE ONE-FOOT MINIMUM VERTICALLY FROM DITCH BOTTOM OR SIX-INCHES HIGHER THAN DESIGN FLOW, WHICHEVER IS GREATER.

EROSION CONTROL MATTING DETAIL



- NOTES:
- DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION AND WDMR TECHNICAL STANDARD 1062.
 - TEMPORARY DITCH CHECKS OF A SINGLE ROW OF EROSION BALES ARE NOT PERMITTED.
 - SEDIMENT BALE BARRIERS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - DAMAGED OR DECOMPOSED SEDIMENT BALE BARRIERS, AND UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF THE SEDIMENT BALE BARRIERS SHALL BE REPAIRED.
 - SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT BALE BARRIER.
 - SEDIMENT BALE BARRIERS AND ANCHORING DEVICES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.
 - EFFECTIVENESS OF BALES IS LESS THAN 3 MONTHS.



- NOTES:
- TRACKING PAD:**
 - TRACKING PAD TO CONFORM TO WDMR CONSERVATION PRACTICE STANDARD 1057.
 - THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - THE AGGREGATE FOR TRACKING PADS SHALL BE 3"- 6" CLEAR OR WASHED STONE. ALL MATERIAL SHALL BE RETAINED ON A 3-INCH SIEVE.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
 - SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
 - MAINTENANCE**
 - ROCKS LODGED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
 - TRACKING PADS AND TIRE WASHING STATIONS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 - A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

STONE TRACKING PAD DETAIL

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

PROJECT DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG



CHECKED BY: ----



SHEET NUMBER



27

DESCRIPTION

DATE

	STANDARD SANITARY MANHOLE		DETAIL: SAN - 1	
	CREATED: 11-21-12	APPROVED BY: MATT FINEOUR		
	REVISED: 11-10-15			

	STANDARD STORM MANHOLE		DETAIL: STM - 1	
	CREATED: 11-21-12	APPROVED BY: MATT FINEOUR		
	REVISED: 12-1-15			

	STANDARD STORM MANHOLE WITH CURB INLET		DETAIL: STM - 2	
	CREATED: 9-23-04	APPROVED BY: MATT FINEOUR		
	REVISED: 12-1-15			

DATE _____

raSmith
CREATIVITY BEYOND ENGINEERING
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**RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE**

PROJECT DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

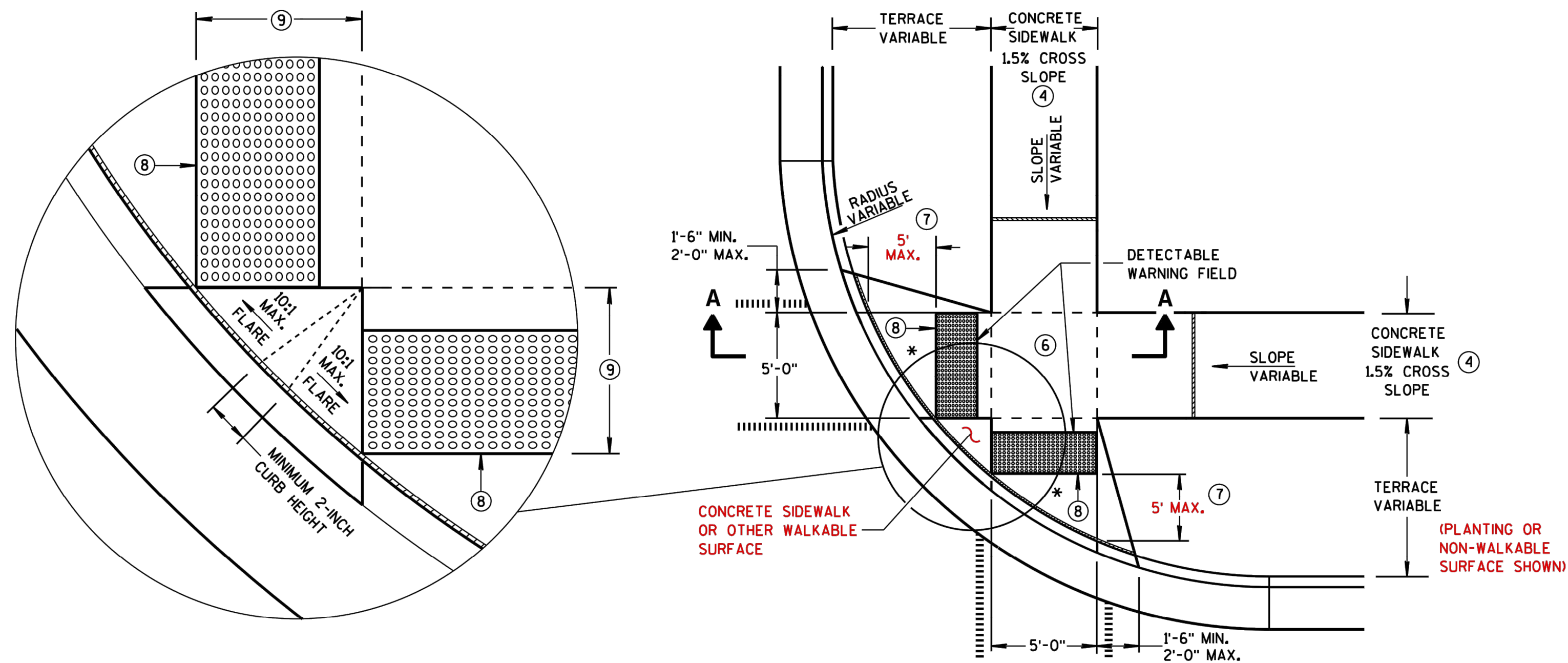
DESIGNED BY: MJG

CHECKED BY: ----

SHEET NUMBER

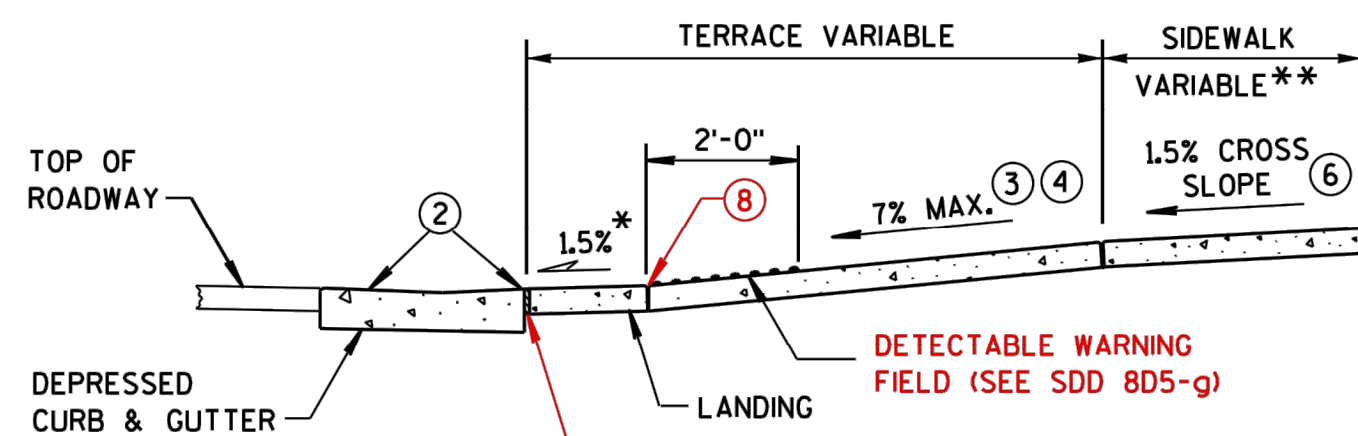
29

8D5 sheet b: Curb Ramps Types 2 and 3



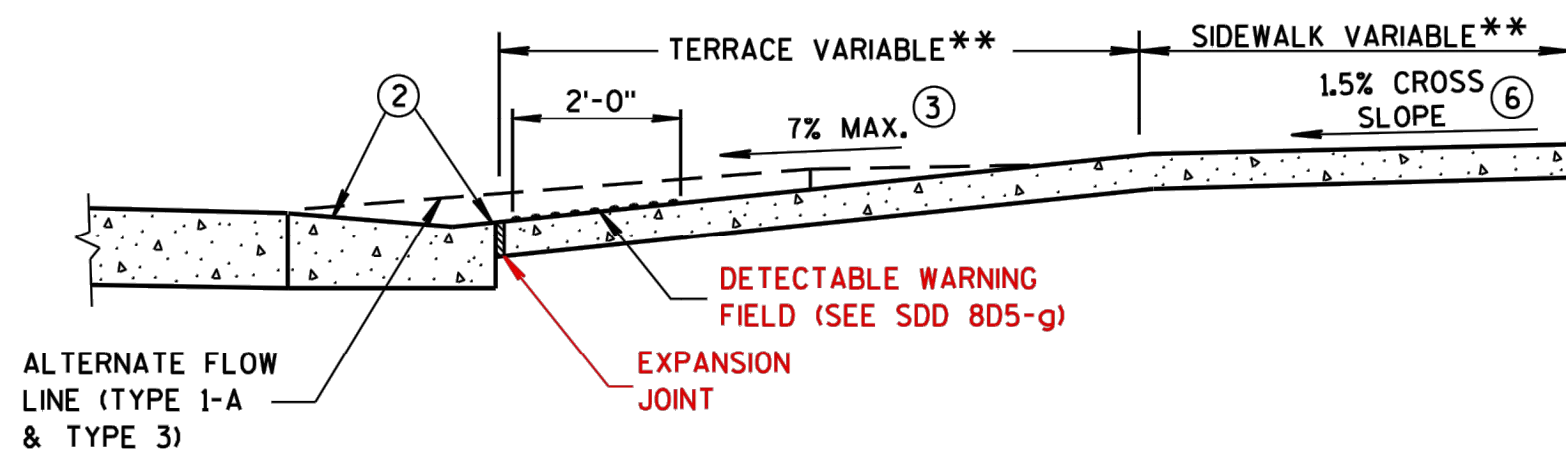
PLAN VIEW
TYPE 2 RAMP
(ON LINE WITH SIDEWALK)

* MAXIMUM 2.0% SLOPE
IN ALL DIRECTIONS IN
FRONT OF GRADE BREAK



SECTION A-A

** WIDTH SHOWN ELSEWHERE
IN THE PLANS



SECTION B-B

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR
DAMAGES, LIABILITY OR COSTS RESULTING FROM
CHANGES OR ALTERATIONS MADE TO THIS PLAN
WITHOUT THE EXPRESSED WRITTEN CONSENT OF
R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS
SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY
BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

GENERAL NOTES

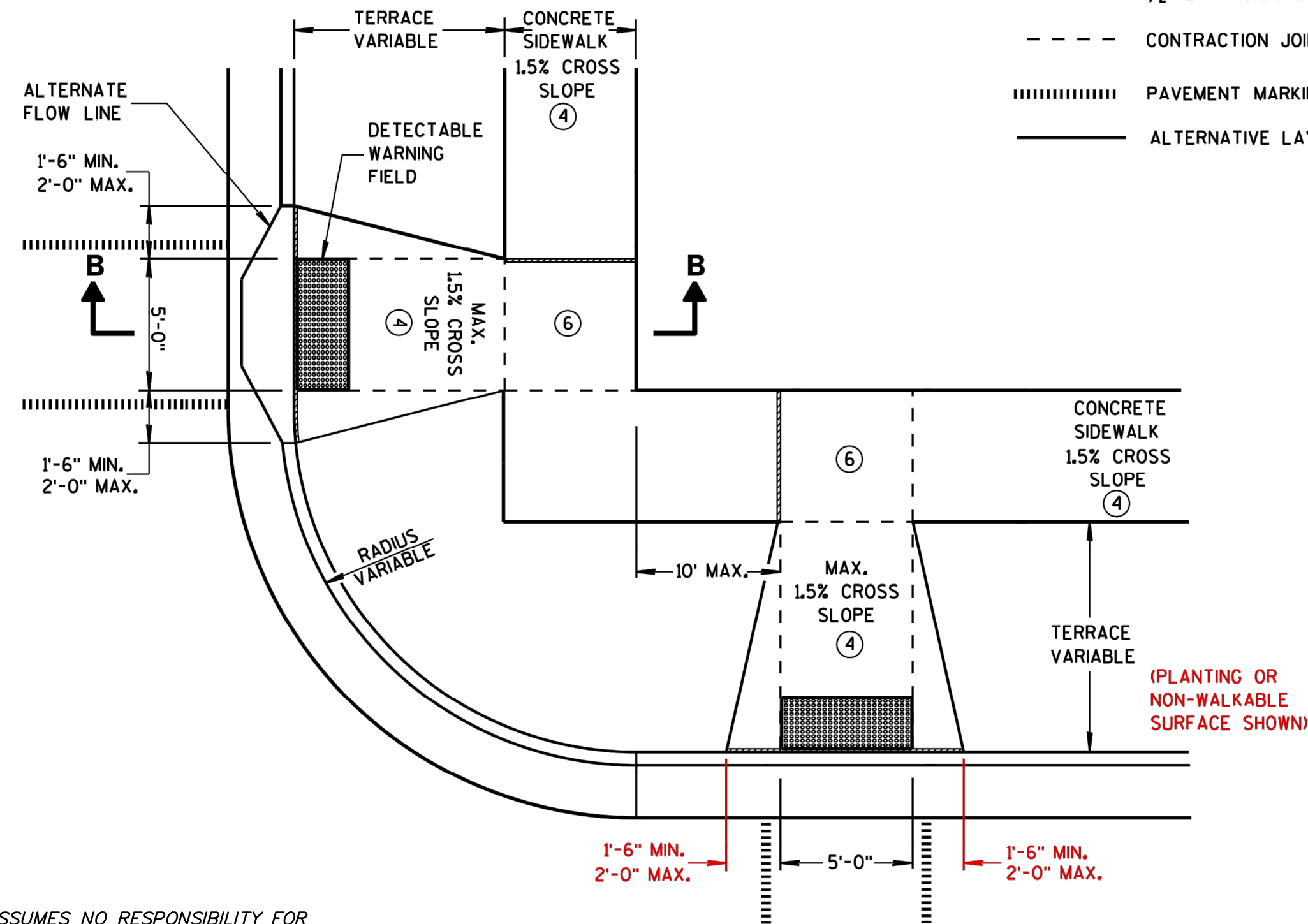
AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF
RAMP ACCESS AREAS.

DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL
BE FROM THE SAME MANUFACTURER.

- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED
11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND
AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE
ALLOWED. SLOPE OF CURB HEAD OPENING SHALL MATCH THE RAMP SLOPE, MINIMALLY 1.5% AND
NOT TO EXCEED 7%. WHEN ADJACENT TO 1.5% LANDING, CONSTRUCT CURB HEAD OPENING AT
1.5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- ABSOLUTE MAXIMUM 12H:1V (8.33%) CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG
SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
- ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT
EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD
LANDING SIZE IS 5 FEET X 5 FEET.
- WHEN THIS GRADE BREAK DISTANCE EXCEEDS 5 FEET, USE RADIAL DETECTABLE WARNING FIELD PER
SDD 8D5-f.
- PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.
- WHEN THIS DISTANCE IS LESS THAN 6'-0", IT MAY BE DIFFICULT TO ACHIEVE A 7% SLOPE OR FLATTER
ALONG THE RAMP. REDUCE CURB HEIGHT IN TRIANGLE AREA TO ACHIEVE 7% SLOPE OR FLATTER
ON RAMP. CONSTRUCT 2-INCH MINIMUM CURB HEIGHT BETWEEN 10:1 FLARES.

LEGEND

- 1/2" EXPANSION JOINT-SIDEWALK
- CONTRACTION JOINT FIELD LOCATED
- PAVEMENT MARKING CROSSWALK (WHITE)
- ALTERNATIVE LAYOUT



PLAN VIEW
TYPE 3 RAMP
(OUTSIDE OF CROSSWALK AREA)

CURB RAMPS
TYPES 2 AND 3

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

PROJECT DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: ----

SHEET NUMBER

31

LEGEND
(PROPOSED FEATURES)

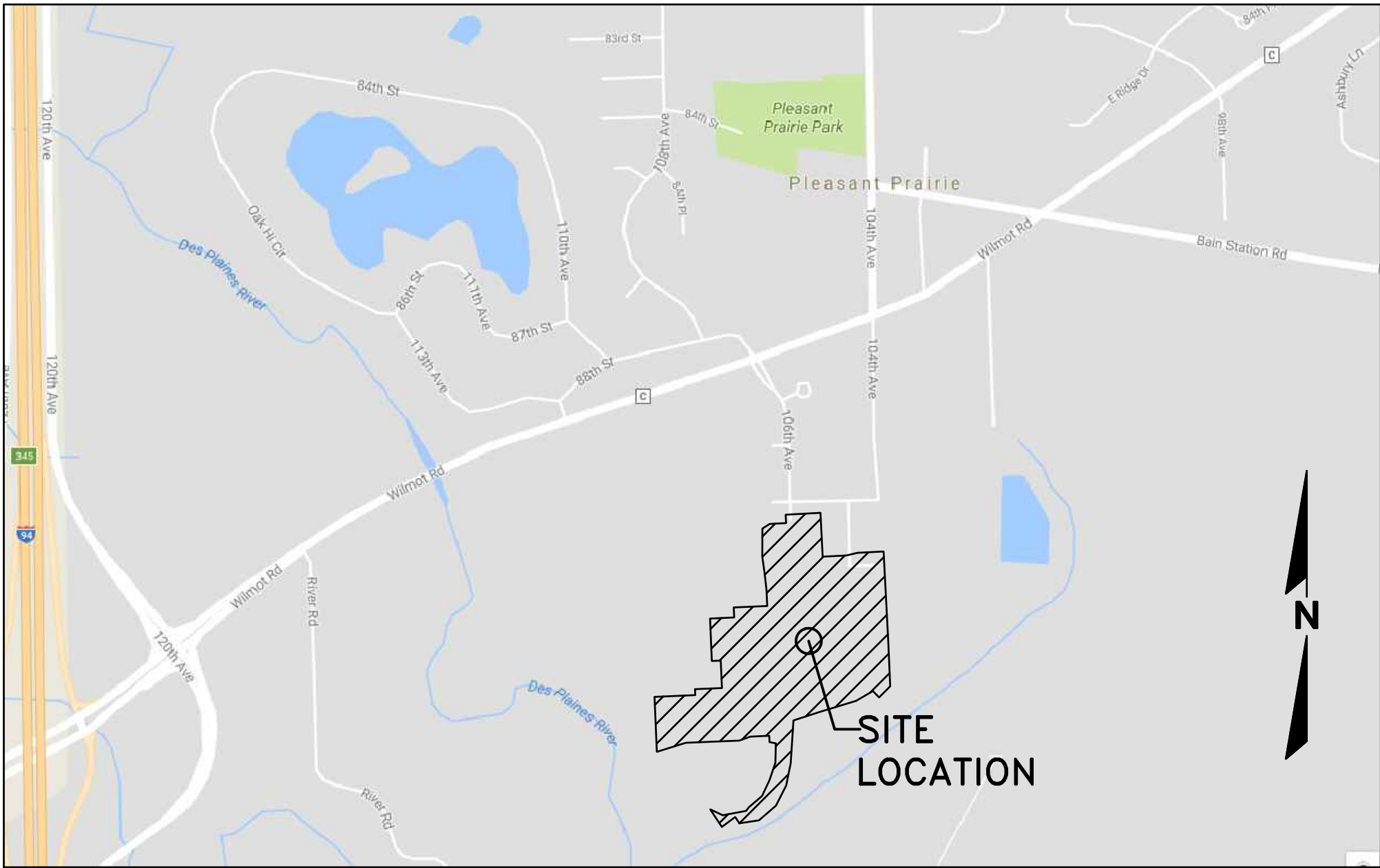
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, "LOG" DENOTES GROUND LEVEL FOR LOOK OUT.
	"WOC" DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
1"	DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
1"	DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
O	BOLLARD
+	SOIL BORING/MONITORING WELL
+	FLAGPOLE
+	MAILBOX
+	SIGN
+	BILLBOARD
A	AIR CONDITIONER
B	CONTROL BOX
T	TRAFFIC SIGNAL
X	RAILROAD CROSSING SIGNAL
C	CABLE PEDESTAL
P	POWER POLE
G	GUY POLE
G	GUY WIRE
L	LIGHT POLE
S	SPOT/YARD/PEDESTAL LIGHT
H	HANDICAPPED PARKING
E	ELECTRIC MANHOLE
E	ELECTRIC PEDESTAL
X	ELECTRIC METER
T	ELECTRIC TRANSFORMER
T	TELEPHONE MANHOLE
T	TELEPHONE PEDESTAL
F	MARKED FIBER OPTIC
G	GAS VALVE
G	GAS METER
G	GAS WARNING SIGN
S	STORM MANHOLE
R	ROUND INLET
S	SQUARE INLET
S	STORM SEWER END SECTION
S	SANITARY MANHOLE
S	SANITARY CLEANOUT OR SEPTIC VENT
S	SANITARY INTERCEPTOR MANHOLE
M	MISCELLANEOUS MANHOLE
V	WATER VALVE
H	HYDRANT
S	WATER SERVICE CURB STOP
W	WATER MANHOLE
W	WELL
W	WATER SURFACE
W	WETLANDS FLAG
M	MARSH
C	CONIFEROUS TREE
D	DECIDUOUS TREE
S	SHRUB
---	EDGE OF TREES
-S	-SANITARY SEWER
-S	-STORM SEWER
-W	-WATERMAIN
-G	-MARKED GAS MAIN
-E	-MARKED ELECTRIC
-OHW	-OVERHEAD WIRES
-B	-BUREAU ELEC. SERV.
-T	-MARKED TELEPHONE
-TV	-MARKED CABLE TV LINE
-FO	-MARKED FIBER OPTIC
-780	INDICATES EXISTING CONTOUR ELEVATION
-x 780.55	INDICATES EXISTING SPOT ELEVATION
---	-EXISTING PROPERTY LINE
---	-EXISTING EASEMENT LINE

LANDSCAPE PLANS FOR RIVER RUN AT HERITAGE VALLEY SUBDIVISION PLEASANT PRAIRIE, WI

VICINITY MAP



PLAN INDEX

SHEET NO.

DESCRIPTION

- 1
- 2
- 3
- 4

- TITLE SHEET
- OVERALL LANDSCAPE PLAN & DETAILS
- LANDSCAPE PLAN NORTH
- LANDSCAPE PLAN SOUTH

OWNER:

U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:

R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:

VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM DAMAGES, ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

1. NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
2. SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
3. SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

AT&T
JAY BULANEK
262-896-7669

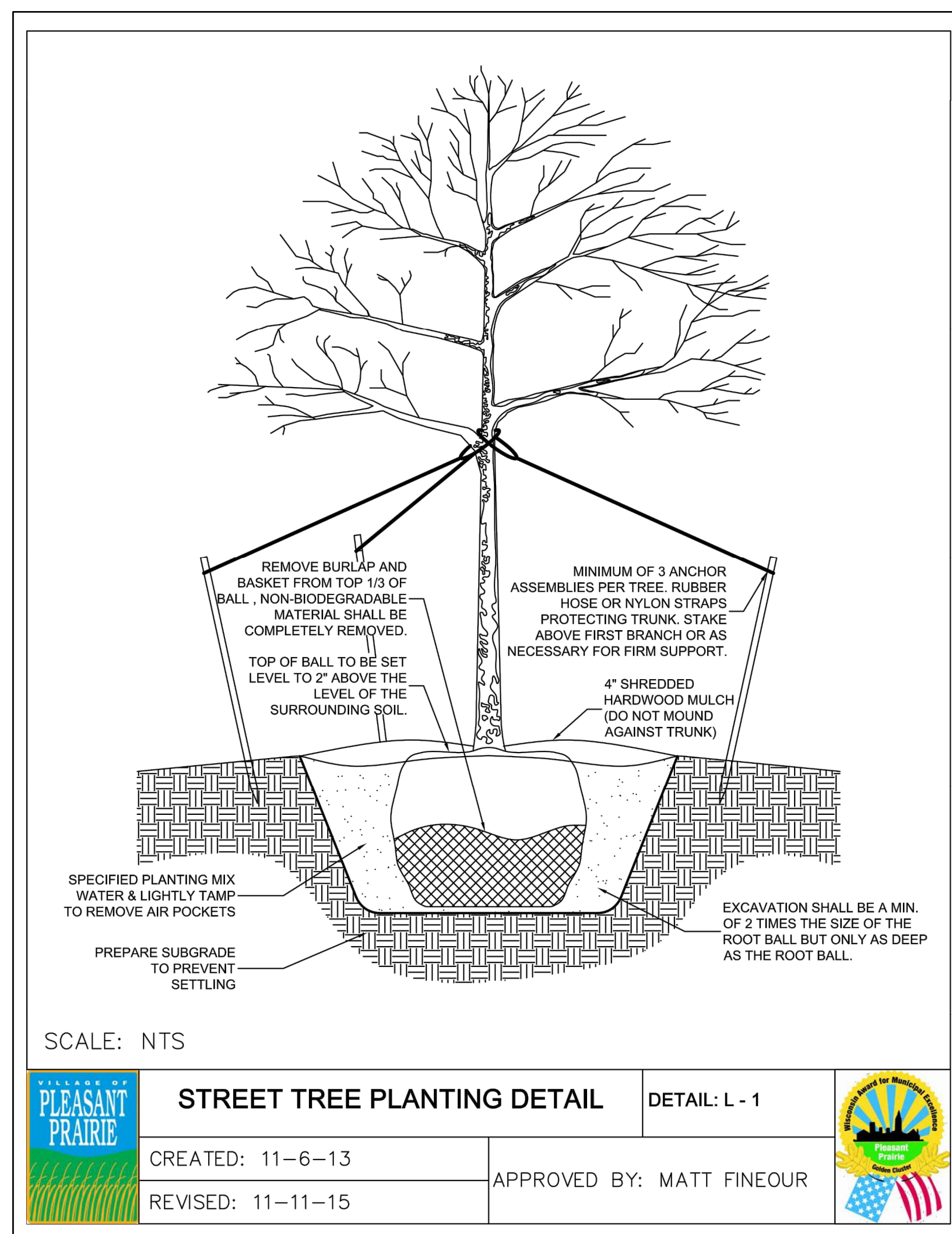
PLAN DATE: 1/24/18

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: NONE
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: LJH/NPW
CHECKED BY: GER
SHEET NUMBER
1



- NOTES:**
1. All street trees to be planted in accordance with planting details and specifications as listed in Pleasant Prairie Village Standard Construction Specifications VS-0700 Street Trees.
 2. Street tree locations are general. Actual locations will be staked by contractor based on field conditions for Village review and concurrence prior to installation.
 3. Street trees should generally be spaced 50-feet on center, 7-feet back of curb, 10-feet from any fire hydrant and 7-feet from any driveway.
 4. Street trees shall not be placed on the common lot line between two properties.
 5. Provide a 4" deep, 3 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree.

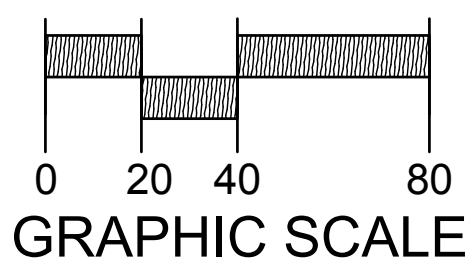
PRELIMINARY
NOT FOR
CONSTRUCTION

© COPYRIGHT 2018 R.A. Smith National, Inc.
DATE: 1/24/18
SCALE: 1" = 80'
JOB NO. 1160367
PROJECT MANAGER: GARY RAASCH, PE
DESIGNED BY: LJH/NPW
CHECKED BY: TTH
SHEET NUMBER
2



THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.



PLANT SCHEDULE SOUTH

STREET TREES	QTY	COMMON NAME	BOTANICAL NAME	MIN. PLANTING SIZE	MATURE SIZE	ROOT	REMARKS
ABM	10	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" CAL / 6' HT	40' HT x 40' SPD	B&B	Full, matching heads
SMM	10	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
SL	9	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
KCE	12	Espresso Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" CAL / 6' HT	50' HT x 50' SPD	B&B	Full, matching heads
SVL	15	Silver Linden	Tilia tomentosa	2" CAL / 6' HT	40' HT x 30' SPD	B&B	Full, matching heads
ACE	18	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	2" CAL / 6' HT	60' HT x 40' SPD	B&B	Full, matching heads

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

#####

PRELIMINARY
NOT FOR
CONSTRUCTION

© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG
CHECKED BY: TTH
SHEET NUMBER
##

If faxing, please provide the development name here: RIVER RUN AT HERITAGE VALLEY

Development information

Development Name: RIVER RUN AT HERITAGE VALLEY

This development will be served by: ☐ Septic ☒ Water ☒ Sewer and storm sewer ☐ Well ☐ Mound system

Typical road improvements to include: ☒ Curb and gutter ☒ Sidewalk ☐ Rural ditch section

Type of pavement: ☒ Asphalt ☐ Concrete ☐ Other

Type of road: ☒ Public ☐ Private ☐ Both

Known soil conditions that may affect your utility service: ☐ Woods ☐ Wetlands ☐ Steep slope ☐ Rock ☐ Other _____

Will this development be completed in phases?

☒ Yes A separate application will be needed for each future phase.
☐ No

Please provide information for all that apply:

Type of Development	Current Phase		Future Phase	
	No. Lots/Parcels	No. Units	No. Lots/Parcels	No. Units
<input checked="" type="checkbox"/> Single Family	<u>12</u>	<u>12</u>	<u>24</u>	<u>24</u>
<input type="checkbox"/> Multi-Family	_____	_____	_____	_____
<input type="checkbox"/> Condominiums	_____	_____	_____	_____
<input type="checkbox"/> Apartments	_____	_____	_____	_____
Size of lots: <input checked="" type="checkbox"/> 1.5 acres or less <input type="checkbox"/> More than 1.5 acres <input type="checkbox"/> Both				
Square footage of buildings in the development	Minimum <u>1600</u> ϕ	Maximum <u>5,000</u> ϕ		

If an electric service is required to any of the following, please check all that apply:

☐ *Pump ☒ *Lift Station ☐ *Entrance Sign Lighting ☒ Street Lighting ☐ Other

*A separate electric and/or natural gas application is required for these items.

Will you require other utilities to be installed to this development? Telephone: ☒ Yes ☐ No Cable TV: ☒ Yes ☐ No

Note: The developer is responsible for contacting the telephone and/or cable TV provider to apply for their installation. This information is used for our design purposes.

Are there any other special conditions or municipal/development requirements to be aware of for the installation of our facilities? Please describe here:

Authorization

I certify that I own or am the authorized representative of the person(s) who owns the property indicated in this application. I certify the information provided is accurate and will promptly inform We Energies of any plan revision. If installation requirements differ from what is submitted in this application, I understand these changes may result in delays and/or an increased cost to me.

Signature: [Signature] Date: 10 / 4 / 17

Printed Name: JOHN SORRISAN

We value you as a customer and look forward to working with you.

- B. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-05 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to correct and show the location of the field delineated wetlands within the in the Park, Recreation and other Open Space Lands with a staked wetland land use designation (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources); and to remove the Urban Reserve land use designation from the vacant property. In addition, to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.

Recommendation: Village staff recommends that the Plan Commission approve **Plan Commission Resolution #18-05** and send a favorable recommendation to the Village Board to approve the **Comprehensive Plan Amendments** subject to the comments and conditions of the Village Staff Report of February 26, 2018.

- C. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS AND AN AMENDMENT TO THE DIGITAL SECURITY IMAGING SYSTEM AND ASSOCIATED ACCESS EASEMENT** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.

Recommendation: Village staff recommends that the Plan Commission conditionally approve the **Conditional Use Permit Including Site and Operational Plans and an Amendment to the Digital Security Imaging System and Associated Access Easement** subject to the comments, corrections and conditions of the Village Staff Report of February 26, 2018.

- D. **PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND TEXT AMENDMENTS** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to rezone the field delineated wetlands (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources) into the C-1, Lowland Resource Conservancy District and to rezone the vacant property from the R-2, Urban Single Family Residential District into the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. In addition, to amend the Lynch Chevrolet of Pleasant Prairie Planned Unit Development to include the expansion area.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Text Amendments** subject to the comments and conditions of the Village Staff Report of February 26, 2018.

- E ~~F~~. Consider approval of a **Certified Survey Map** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions of the Village Staff Report of February 26, 2018.

VILLAGE STAFF REPORT OF FEBRUARY 26, 2018

CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-05 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to correct and show the location of the field delineated wetlands within the in the Park, Recreation and other Open Space Lands with a staked wetland land use designation (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources); and to remove the Urban Reserve land use designation from the vacant property. In addition, to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.

CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS AND AN AMENDMENT TO THE DIGITAL SECURITY IMAGING SYSTEM AND ASSOCIATED ACCESS EASEMENT for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.

CONSIDERATION OF A ZONING MAP AND TEXT AMENDMENT for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to rezone the field delineated wetlands (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources) into the C-1, Lowland Resource Conservancy District and to rezone the vacant property from the R-2, Urban Single Family Residential District into the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. In addition, to amend the Lynch Chevrolet of Pleasant Prairie Planned Unit Development to include the expansion area.

Consider approval of a **Certified Survey Map** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTIONS ARE REQUIRED

PUBLIC HEARING COMMENTS:

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting several approvals for the expansion of the Lynch Chevrolet Dealership located at 10901 75th Street. Lynch had recently purchased the 1.3 acres of property to the west and removed all of the structures from the property for the proposed expansion of the car lot display parking for an additional 136 cars for the dealership. The expansion plans also include the construction of an additional parking lot behind the building with approximately 116 parking spaces and to expand the on-site stormwater basin to handle the additional runoff from the paved surfaces.
2. The approvals being considered by the Plan Commission at this meeting include: a Conditional Use Permit, Site and Operational Plans, an amendment to the Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement, a Comprehensive Land Use Map Amendment, Zoning Map Amendment, Zoning Text Amendment (for an amendment to the Lynch Chevrolet of Pleasant Prairie Planned Unit Development (PUD)

CODE1801-002
CODE1801-003
DEV1801-003
DEV1801-004

Overlay Ordinance) and a Certified Survey Map. (See **Exhibit 1-4** for a copy of the applications and plans).

3. The properties are located in U.S. Public Land Survey Section 7, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Numbers 91-4-122-071-0027 and 91-4-122-071-0015.
4. In September of 2011 the Village Plan Commission approved Conditional Use Permit #11-16 (**Exhibit 5**) including Site and Operational Plans and a DSIS Agreement and DSIS Easement for Lynch Chevrolet to operate a sales center for new and used automobiles and an auto repair/maintenance facility, which included an approximate 31,000 square foot building and outdoor car display area.
5. **Site and Operational Plans and Conditional Use Permit Amendment:** The proposed expansion includes the construction of two (2) parking lots and the addition of storm water basin and drainage improvements.

The parking lot expansion to the west will be used to display cars for sale/lease and the existing storm water basin is being expanded to handle the additional run off. The existing driveway to STH 50 on the western vacant property is being removed and the right-of-way restored by Lynch. (A WI DOT permit is required for the driveway removal and restoration within the STH 50 right-of-way.)

The parking area to the rear of the building (south side) will be used by employees and car storage for cars to be processed prior to being placed off the sales lot or being removed from the sales lot. To the west of this parking lot is a second storm water basin facility to handle drainage from this parking lot and areas to the northwest that do not drain to the existing basin. The Village is concerned with the design of the proposed wet basin and a meeting was held last week to discuss with the applicant. There appears to be insufficient room to create a 5-foot deep pond. The current design shows a maximum 3 foot deep pond with a very small water pool surface. It is expected that this pond will have aquatic vegetation in a narrow area in the bottom of the basin and not be aesthetically pleasing and will create a nuisance condition. The pond shall be redesigned either as a dry basin or to provide a deeper pond.

Both new parking lot areas will be required to provide adequate lighting. The light standards shall be required that match (type of standard, color of light and height) the existing on-site parking lot lights on the site. All light standards shall be located within the required parking lot islands. Landscaped parking lot islands are required for the southern lot.

A revised Landscaping Plan shall be provided to add/include additional landscaping around the perimeter of the site, adjacent to STH 50 and adjacent to the basins.

6. **Amendment to the Digital Security Imaging System (DSIS) Agreement and Access Easement:** The facility currently has a DSIS System pursuant to Chapter 410 of the Village Municipal Ordinance and is proposed to be amended to include camera coverage of the expanded areas. The DSIS affords the opportunity for the public safety departments (e.g. the Village Police Department and Village Fire & Rescue Department) to visually examine the entire area of the commercial establishments' building/site entrances exits, parking lots and drive-thru areas and their sites and will provide emergency response personnel with a visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers.

The Amendment to the DSIS Agreement and amended DSIS Access Easement shall be finalized and executed by the owner prior to the issuance of any permits. DSIS camera system additions and an Access Easement modification to include the additional areas shall

CODE1801-002
CODE1801-003
DEV1801-003
DEV1801-004

be required to be prepared and approved to include the new parking lots and storm water basin areas and additional cameras and system updates as required by the Police Chief and IT Technical Services Manager to cover all of the new parking lots and driveway areas. Camera plans, specifications and contracts are required for this to be written. The additional cameras shall be installed by the owner, inspected and fully operational with live WIFI connection to the Village Police Department prior to completion of the expansion work. Following the owner's installation of the additional cameras, the Village will inspect the system and verify its accessibility. The amended DSIS Access Easement (with the new legal description) shall be provided to the Village for recording at the Kenosha County Register of Deeds Office prior to obtaining permits for the project.

7. **Certified Survey Map:** The proposed Certified Survey Map will combine the properties into one parcel and will dedicate additional stormwater easements over the expanded basin and the new basin.
8. **Wetlands:** The three (3) wetlands areas were field delineated by WI DNR Assured Biologist Ron Londre on May 17, 2017 (**See Exhibit 2 of Plan Commission Resolution #18-05**). Wetland #1 which is the existing stormwater basin that was constructed as part of the original development in 2012/13 is an artificial wetland and the petitioner is requesting a written exempt from the WI DNR and the ACOE wetland regulations so that the stormwater pond can be expanded.
9. **Comprehensive Plan Amendments (Plan Commission Resolution #18-05):** The Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 is proposed to be amended/corrected to show the location of the field delineated wetlands within the in the Park, Recreation and other Open Space Lands with a staked wetland land use designation (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources); and to remove the Urban Reserve land use designation from the vacant property (Tax Parcel Number 91-4-122-071-0015). In addition, to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.
10. **Zoning Map and Text Amendments:** The current facility property (92-4-122-071-0027) is zoned B-2 (PUD), Community Business District with a Planned Unit Development. The property that was purchased (currently zoned R-2) is being combined for the expansion of the dealership and is proposed to be rezoned into the B-2 (PUD). In addition, the field delineated wetlands (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources) are proposed to be rezoned into the C-1, Lowland Resource Conservancy District. In addition, the existing Lynch Chevrolet PUD Ordinance is being amended to include the additional parcel within the PUD.

RECOMMENDATIONS:

Village staff recommends that the Plan Commission approve **Plan Commission Resolution #18-05** and send a favorable recommendation to the Village Board to approve the **Comprehensive Plan Amendments.**

Village staff recommends that the Plan Commission conditionally approve the **Conditional Use Permit, Site and Operational Plans including the amended DSIS Agreement and DSIS Access Easement** subject to the above comments and the following conditions:

1. Continued compliance with Conditional Use Grant 11-16 (**Exhibit 5**) as recorded at the Kenosha County Register of Deeds Office and the 1st amendment as conditionally approved tonight. The 1st amendment to Conditional Use Grant 11-16 document will be prepared for the expansion of the dealership. This amendment shall be executed by all parties and recorded at the Kenosha County Register of Deeds Office at the owner's expense.

2. The Site and Operational Plans were reviewed for compliance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made and three (3) paper copies and a pdf copy of the revised Site and Operational Plans with a copy of this memorandum with notations in the margin identifying where and how the comments in condition #1 below were addressed shall be submitted for final staff review and approval.**
- a. Compliance with the **attached** memo dated January 26, 2018 from the Village Engineering Department.
 - b. Sanitary cleanouts that are under the curb are not allowed. The curb shall be adjusted.
 - c. The Village objects to the design of the proposed wet basin. There appears to be insufficient room to create a 5-foot deep pond. The current design shows a maximum 3 foot deep pond with a very small water pool surface. It is expected that this pond will have aquatic vegetation and not be aesthetically pleasing and will create a nuisance condition. The pond shall be redesigned either as a dry basin or to provide a deeper pond.
 - d. Redo the parking lot lighting plans. The parking lots will be required to provide adequate lighting. The light standards shall match the existing on-site parking lot lights (height, light color and light standard head and pole) on the site. All light standards shall be located within the required parking lot islands or grassy areas. Landscaped parking lot islands are required to be installed for the southern lot per the ordinance.
 - e. If the wetland exemption is obtained from the WI DNR and the ACOE for wetland area #1, submit the written approval from each agency and note on the plans. If wetland exemption is not obtained permits need to be obtained from the WI DNR and ACOE to expand the pond.
 - f. On Sheet C001 the title should be changed to read "Public Agency Contacts" not "Utility Contacts".
 - g. Parking lot islands shall be installed throughout southern lot per the ordinance requirements.
 - h. Redo the landscape plan – alter the spacing, add additional plantings. Minimum of 16 plantings along south side – evergreens/low growing bushes/group plantings. Additional landscaping and the height of the landscaping shall be increased shall be required within parking lots and around perimeter of site and along STH 50 to be discussed. 3-gallon minimum plantings and bushes shall be planted rather than flowers/grasses. Silver maple trees shall not be planted and a greater variety of materials shall be used. Evergreen bushes and shrubs shall be used.
3. Submit DSIS camera plan and executed contract documents for review and approval for the required amendment to the DSIS Agreement and Access Easement. The Police Chief is requiring additional cameras to cover the two parking lots and driveways and other common areas. Provide the current plan and updated coverage areas including the camera details and contract.

4. **Upon approval of the revised Site and Operational Plans and DSIS specifications and prior to the issuance of any permits and scheduling the required pre-construction meeting, the following shall be submitted (paper copies and pdf copies):**
- a. The 1st Amendment to Conditional Use Grant Document #11-16 shall be executed by all parties. After the Grant Document is finalized and executed by all parties, the Village will record the document at the Kenosha County Register of Deeds Office. The petitioner shall pay the required \$40 recording fees.
 - b. The CSM shall be approved, finalized, executed and recorded prior to issuance of any permits.
 - c. The DSIS Agreement and Easement shall be finalized and executed by all parties. In addition, the petitioner shall pay the required \$40 recording fee. After the Easement document is executed by all parties, the Village will record the document at the Kenosha County Register of Deeds Office.
 - d. A copy of the written approval shall be provided from the utility easement holder(s) for proposed grading, utility, and/or other work within easement limits.
 - e. A copy of the City of Kenosha Airport Height Overlay Permit approval, if applicable. Contact Brian Wilke, Development Coordinator with the City of Kenosha at 262-653-4049 to verify if approval is required for the proposed project.
 - f. An Erosion Control Permit Application, final approved plans. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village at the time of obtaining the Erosion Control. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]
 - g. A copy of the WI DOT permit for the work within the STH 50 right-of-way to remove the culvert and driveway on the vacant lot shall be provided.
 - h. Exterior plumbing permits for the underground storm water utilities shall be provided.
 - i. Commercial electrical permits shall be obtained for the new parking lot lighting and for the DSIS electrical low voltage extensions and modifications.
 - j. If a temporary development sign listing the project and contractors is proposed, then a sign permit application and related material shall be submitted. (No wind screen message signage is allowed and no plastic or material banners affixed to any site structures or trailers).
5. **Upon satisfaction of condition #'s 1-4 above and at least two weeks prior to work commencing on the site a pre-construction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications noted above are submitted). The Design Engineer/Architect of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting. At a minimum the GC and Utility Contractors shall attend the pre-construction meeting. The Design Engineer of Record shall prepare and distribute the following items to all attendees (owners, engineer, contractors, utilities, and Village staff) at the pre-construction meeting:**
- a. Pre-construction agenda (A sample agenda, if needed, will be provided by the Village to Design Engineer to modify for the meeting).

- b. Project construction schedule.
- c. List of all contractors.
- d. Emergency contact information for all – project superintendent, owner, architect, contractors, etc.

The Design Engineer/Architect of Record shall email and distribute the minutes to all attendees within 7 days of the pre-construction meeting.

Following the pre-construction meeting all necessary permits and fees shall be paid for and permits obtained from Village and then construction may commence. Permits are required to be issued within 180 days of Plan Commission approval.

6. **General Conditions/Comments:**

- a. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be allowed from Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
- b. There shall be no construction vehicle parking or equipment storage permitted on STH 50.
- c. The existing driveway on the vacant property to the west shall be blocked and not used during construction (unless permitted for temporary construction use by the WI DOT).
- d. All construction related signage and temporary construction fencing shall be approved and permitted by the Village.
- e. Upon completion of the project one (1) electronic copy of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required all impervious surfaces meet the minimum setbacks and that all landscaping and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- f. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- g. All Village fees incurred by the Village Community Development Department, the Engineering Department and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map and Text Amendments** as presented. The Ordinance cannot be finalized, executed and become effective until the CSM is approved, recorded and a recorded copy provided to the Village.

Village staff recommends approval of the **Certified Survey Map** subject to the above comments and the following conditions:

- 1. See **attached** changes/corrections to the CSM. In addition, all of the Dedication and Easement Provisions and Restrictive Covenant Language shall be included on this new CSM. (See previous CSM # 2697)
- 2. Location of the field delineated wetlands shall be shown and legally described on the CSM. Do not show or describe wetland #1 if DNR and ACOE exemption is obtained.

CODE1801-002
CODE1801-003
DEV1801-003
DEV1801-004

3. Correct the name of the Village Clerk on Sheet 5. The new Village Clerk is Jane C. Snell.
4. Any outstanding taxes or special assessments, along with Village fees and invoices shall be paid prior to recording the CSM. Pursuant to the Village Finance Department there are two Special Assessments due on Tax Parcel Number 91-4-122-071-0015 - \$4761.10 Sewer D Sanitary Fee and \$5114.02 Chateau Plaines Sewer Lift Station Assessment.
5. The CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office and a recorded copy of the CSM shall be provided to the Village within 30 days of Village Board's approval and prior to issuance of building permit.

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION
RESOLUTION #18-05
TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
2035 COMPREHENSIVE PLAN**

WHEREAS, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

WHEREAS, the 2035 Comprehensive Land Use Plan Map 9.9 sets forth that the generalized land use designations of the Village shall be consistent with other components of the Comprehensive Plan including Neighborhood Plans and the Village Zoning Map; and

WHEREAS, the following amendments to the Village 2035 Land Use Plan Map 9.9 on the property located at 10901 75th Street and the vacant property to the west and further identified as Tax Parcel Numbers 91-4-122-071-0027 and 91-4-122-071-0015 for the Lynch Chevrolet expansion project:

- 1) to place the field delineated wetlands shown and legally described on **Exhibit 1** (excluding the wetland that received an artificial exemption from the Wisconsin Department of Natural Resources and verification that the U.S. Army Corps of Engineers is not taking jurisdiction) in the Park, Recreation and other Open Space Lands with a staked wetland land use designation;
- 2) to remove the Urban Reserve land use designation from the vacant property (Tax Parcel Number 91-4-122-071-0015; and
- 3) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.

WHEREAS, a wetland staking was completed on May 17, 2017 by WI DNR Assured Biologist Ron Londre and three wetland areas were found as indicated in the wetland report (**Exhibit 2**); and

WHEREAS, wetland #1 serves as the existing stormwater retention facility constructed in the 2012-13 as part of the Lynch Chevrolet development and has been determined by the WI DNR as declared as an artificial wetland as indicated in the letter dated [REDACTED], 2018 (**Exhibit 3**) therefore exempt from any state wetland regulation; and

WHEREAS, on January 26, 2018 the required 30-day notice was published in the Kenosha News and notices were sent to property owners within 300 feet for the February 26, 2018 public hearing to be held by the Village Plan Commission; and

NOW THEREFORE, BE IT RESOLVED, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby recommends approval of the aforementioned amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan:

BE IT FURTHER RESOLVED that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting said amendments, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

Adopted this 26th day of February 2018.

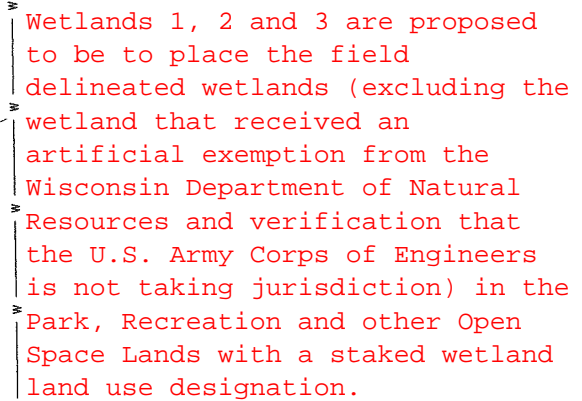
VILLAGE OF PLEASANT PRAIRIE

ATTEST:

Thomas W. Terwall
Plan Commission Chairman

James Bandura
Secretary

Date Posted: _____
5-Comp Plan Amend- LU amend-Wetland Lynch
CODE1801-002



LEGAL DESCRIPTION PARCEL # 91-4-122-071-0015:
561-D-2-3 PT NE1/4 SEC 7 T 1 R 22 BEG 2244 FT W
OF NE COR 1/4 S 484 FT E 132 FT N 484 FT W 132 FT
TO BEG EX FOR HY DOC #1452087 1.22 ACRE DOC
#1760939

WETLAND DELINEATION DATE: 5/17/17
ASSURED BIOLOGIST: RON. A. LONDRE, PWS

Said area contains 11,685 SF, or 0.268 acres, more or less.

Said area contains 53 SF, or 0.001 acres, more or less.

Said area contains 1,423 SF, or 0.033 acres, more or less.

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

[illegible]

X002



Wetland and Waterway Delineation Report

July 28, 2017

TRC Project No. 274855-0000-0000

Lynch Dealership

10901 75th St.
Kenosha, WI 53142

Prepared For:

Atty. Dennis Lynch
Lloyd Phenicie Lynch & Kelly, S.C.
432 Milwaukee Ave.
Burlington, WI 53105

Prepared By:

Ron A. Londré, PWS
WDNR Assured Wetland Delineator
TRC Environmental Corporation
150 N. Patrick Blvd., Suite 180
Brookfield, WI 53045

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APPENDICES

Appendix A:	Figures
Appendix B:	Aerial Imagery and FSA Crop Slide Review
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Appendix D:	Wetland Delineation Map
Appendix E:	Site Photographs
Appendix F:	Wetland Determination Data Forms
Appendix G:	Professional Opinion on Wetland Susceptibility

1.0 Introduction

On behalf of Lloyd, Phenicie, Lynch, & Kelly, S.C., Lynch & Associates Engineering Consultants, LLC, and the Lynch Dealership of Kenosha, TRC Environmental Corporation (TRC) conducted a wetland and waterway delineation within a designated Study Area at the Lynch Dealership located at 10901 75th Street Pleasant Prairie, WI. (Figure 1, Appendix A). The Study Area was approximately 8.2 acres and located in Section 07, Township 01 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, WI.

Landowner Information:

Lynch Ventures
2300 S. Browns Lake Dr.
Burlington, WI 53105

The purpose of this wetland and waterway delineation was to determine the current location and extent of wetlands and waterways located within a designated Study Area for proposed parking lot expansion. Our study is presented here in terms of methodology, results, and conclusions.

The wetland and waterway delineation field investigation was conducted by TRC scientist Ron Londré on May 9, 2017. Ron Londré was the lead investigator and is the author of this report.

1.1 Statement of Qualifications

TRC has extensive experience managing and conducting wetland delineations across the United States. TRC's biologists and ecologists have been trained to properly and consistently apply the methods set forth in the 1987 Corps of Engineers Wetland Delineation Manual and applicable regional supplements. They have direct experience identifying and documenting indicators of hydrophytic vegetation, wetland hydrology, and hydric soil and are experienced in dealing with naturally problematic and disturbed conditions.

Mr. Ron Londré, PWS, WDNR Assured Wetland Delineator, is a Senior Ecologist at TRC with over twelve years of professional experience in wetland ecology. He is certified by the Society of Wetland Scientists Professional Certification Program as a Professional Wetland Scientist (PWS # 2436) and is certified by the Ecological Society of America as an Ecologist. His academic studies, from which he earned M.S. and B.S. Degrees in Biological Science, focused on plant community ecology and restoration ecology. Mr. Londré has completed the following wetland delineation technical training workshops provided by UW-La Crosse: Advanced Wetland Delineation; Basic Wetland Delineation; Critical Methods in Wetland Delineation; Hydric Soils; and Grasses, Sedges, and Rushes. Additionally, he has completed the Regional Supplement Seminar and Field Practicum training provided by the Wetland Training Institute and the Wetland Delineation Training Workshop provided by the University of Wisconsin-Milwaukee. Mr. Londré is a part of the Wetland Delineation Professional Assurance Initiative of the Wisconsin Department of Natural Resources (WDNR). This means his work is assured for purposes of State of Wisconsin wetland delineations.

1.2 Agency Regulatory Authority

The wetlands and/or waterways identified in this report may be subject to federal regulation under the jurisdiction of the U.S. Army Corps of Engineers, state regulation under the jurisdiction of Wisconsin Department of Natural Resources (WDNR), and local jurisdiction under local, county, town, city, or village.

2.0 Methods

This wetland and waterway delineation was conducted in accordance with the guidelines of the 1987 Corps of Engineers Wetland Delineation Manual (Environmental Laboratory, 1987) and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (Version 2.0, 2010). National Wetland Indicator status and taxonomic nomenclature is referenced from The National Wetland Plant List (Lichvar, 2016). National Wetland Indicator status is based on the Midwest Region. Indicators of hydric soil are based on the Field Indicators of Hydric Soils in the United States guide Version 8.1 (Vasilas, L. M. et. al. 2016). This report has also been prepared in accordance with the guidelines set forth in the "Guidance for Submittal of Delineation Reports to the St. Paul District Corps of Engineers and the Wisconsin Department of Natural Resources" document issued March 4, 2015.

2.1 Off-Site Review

Prior to conducting fieldwork, several maps were reviewed including the United States Geological Survey (USGS) 7.5' Quadrangle maps, Natural Resource Conservation Service (NRCS) Soil Survey Map, Wisconsin Wetland Inventory (WWI) Map, and aerial photographs. These sources were used to identify areas likely to contain wetlands and waterways.

Precipitation data from approximately 90 days prior to the field investigation were obtained from a weather station near the Study Area and compared with 30-year average precipitation data obtained from a NRCS WETS Table for the County where the Study Area was located to determine if antecedent hydrologic conditions at the time of the site visit were normal, wetter, or drier than the normal range.

An aerial imagery and Farm Service Agency (FSA) crop slide review was conducted for agricultural areas having been farmed within recent years (typically the last 3-5 years). The review was conducted using the guidelines described in the Hydrology Tools for Wetland Determination, Engineering Field Handbook, Chapter 19 (USDA Natural Resources Conservation Service, 1997). Interpretation of the aerial imagery and labels for signatures is also based in part on the guidance provided in the "Guidance for Offsite Hydrology/Wetland Determinations)" U.S. Army Corps of Engineers and Minnesota Board of Water & Soil Resources July 1, 2016 guidance document.

2.2 On-Site Field Investigation

Areas having wetland indicators within the Study Area were evaluated in the field by TRC wetland scientist Ron Londré on May 9, 2017. Sample points were located in areas exhibiting wetland and upland characteristics to document the presence and/or absence of wetlands and to provide support for the delineated wetland boundaries. At each sample point, data were collected to document the vegetation and hydrophytic vegetation indicators, soil profile and hydric soil indicators, and wetland hydrology indicators.

Plant species were identified at each sample point and their wetland indicator status; obligate wetland (OBL), facultative wetland (FACW), facultative (FAC), facultative upland (FACU), or upland (UPL); was determined by referencing The National Wetland Plant List (Lichvar 2016). Soil pits were dug to the depth needed to document a hydric soil indicator or confirm the absence of indicators. Soil color was determined using a Munsell soil color chart. The sample point plots and soil pits were evaluated for presence of wetland hydrology indicators.

The wetland boundaries were delineated and staked using wire pin flags and when needed flagging tape. Wetland boundaries were generally determined by distinct to subtle differences in the abundance of hydrophytic vegetation and non-hydrophytic vegetation, presence versus absence of hydric soil indicators, and presence versus absence of wetland hydrology indicators.

3.0 Results

3.1 Off-Site Review

The County 2-Foot Contour Map (Appendix A, Figure 2) showed elevations ranging from 685 to 695 feet above sea level. Surface water flow would be from north to south.

According to the NRCS Soil Survey map (Appendix A, Figure 3) four mapped soil units are located within the Study Area. The soils mapped within the Study Area are listed on Table 1 below.

Table 1 Mapped Soils

Map Unit Symbol	Soil Series Name	Drainage Class	Hydric Rating	% of Study Area
AtA	Ashkum silty clay loam, 0 to 2 percent slopes	Poorly drained	97	14.25
EtB	Elliott silty clay loam, 2 to 6 percent slopes	Somewhat poorly drained	5	39.58
MeB	Markham silt loam, 2 to 6 percent slopes	Moderately well drained	0	18.46
VaB	Varna silt loam, 2 to 6 percent slopes	Well drained	0	27.73

The Wisconsin Wetland Inventory (WWI) map (Appendix A, Figure 4) shows no wetlands within the Study Area.

A review of aerial imagery from 2000, 2005, 2010, 2015, and 2017 (Appendix A, Figures 5-9) shows the Study Area as primarily developed (residential) with a small area in active agriculture. Between 2010 and 2013 several of the residences were removed and Lynch Dealership built in their place. The small area of active agriculture remained unchanged.

An aerial imagery and Farm Service Agency (FSA) crop slide review was conducted to evaluate areas within the Study Area that have recently been farmed. Aerial images and crop slides ranging from 1981-2016 were examined by Ron Londré on 4/16/17. All images and slides reviewed, and review forms are included in Appendix B. Based on a preliminary review, one area (Area A) was determined to have recurring wetness signatures. This area is located immediately along the southern Study Area boundary.

Area A displayed wetness signatures 50% (6 out of 12) of the years with normal climate conditions preceding the date of the imagery. Additionally, the wetness signature in this area is visible 36% of all of the years reviewed regardless of antecedent precipitation.

Prior to conducting the field visit, antecedent precipitation data were analyzed. Data were obtained from a nearby weather station (Kenosha (WI) USC00474174) and compared to data from a nearby WETS station (Kenosha, WI). The most recent rainfall event prior to the site visit was 0.02 inches, which occurred on May 2, 2017. Precipitation for the 14 days prior to the site visit was 2.96 inches. The precipitation data for the 90 day period prior to the field visit (Appendix C, Table 2) were entered into a WETS analysis worksheet (Appendix C, Table 3) to weight the information from each preceding month to analyze hydrologic conditions. Based on this analysis, the antecedent hydrologic conditions were considered to be above a normal range, suggesting that climatic/hydrologic conditions were wetter than normal for this time of year.

3.2 On-Site Field Investigation

3.2.1 Site Description

The Study Area was comprised of an automobile dealership surrounded by manicured lawns and landscape beds, a stormwater pond, and a field that looked to have been farmed in 2016 but had not been tilled or planted by the time of the field investigation. Naturally occurring vegetation was beginning to establish but was still sparsely vegetated as a result of prior years' farming activities.

Disturbed (atypical) conditions were encountered, which included the farm field and regularly mowed lawn areas. These were not considered to be normal circumstances.

3.2.2 Uplands

Upland plant communities observed in the Study Area included portions of the farmed field and the majority of the lawn. Sample points SP-1, SP-3, SP-5, SP-7, and SP-9 are located in upland areas and are paired with wetland sample points to document the delineated wetland boundaries.

3.2.3 Wetlands

Three wetlands (W-1 through W-3), including one stormwater pond, were delineated. The delineated wetland boundaries and sample points are shown on a map (Exhibit A) in Appendix D. Photographs were taken at sample points and other notable locations (Appendix E). Data were collected and recorded on Wetland Determination Data Forms at 10 sample points to document wetland and upland locations (Appendix F). Wetland sample point SP-2 was taken in a wetland that occurred only a couple feet outside the Study Area boundary. This is shown on Exhibit A to bring awareness to a wetland that exists in close proximity to the Study Area.

Wetland W-1 (Fresh "wet" Meadow / Shallow Marsh)

Wetland W-1 is approximately 0.04 acres within the Study Area. Wetland W-1 extended south beyond the Study Area. Two wetland sample points (SP-4 and SP-6) were taken within wetland W-1 and two

upland sample points (SP-3 and SP-5) were taken in adjacent upland areas. Note, SP-6 was taken slightly outside the Study Area but is within the wetland boundary.

Wetland W-1 consists of a Fresh “wet” Meadow and Shallow Marsh plant community. The dominant vegetation at the wetland sample points include *Typha X glauca* (hybrid cattail) and *Phalaris arundinacea* (reed canary grass). Hydrology appears to be sustained by runoff water from the surrounding landscape. Wetland hydrology indicators observed at the wetland sample points include High Water Table (A2), Saturation (A3), Geomorphic Position (D2), and a positive FAC-neutral Test (D5). Soil textures at the wetland sample points were generally loamy and clayey. Hydric soil indicators observed include Thick Dark Surface (A12) and Redox Dark Surface (F6).

The boundary of wetland W-1 was based on moderate topographic breaks and the boundary between hydrophytic vegetation, hydric soil, and wetland hydrology indicators. Hydrophytic vegetation indicators extended beyond the wetland boundary in some locations.

Wetland W-2 / Stormwater Pond (Shallow Marsh)

Wetland W-2 is located along the fringe of a stormwater pond. It is approximately 0.27 acres within the Study Area, which includes the open water portion of the pond. One wetland sample point (SP-8) was taken within wetland W-2 and one upland sample point (SP-7) was taken in an adjacent upland area.

Wetland W-2 consists of a Shallow Marsh plant community. The dominant vegetation at the wetland sample point includes *Typha X glauca*. Hydrology appears to be sustained by stormwater from the nearby impervious surfaces and the surrounding landscape. Wetland hydrology indicators observed at the wetland sample point include Surface Water (A1), High Water Table (A2), Saturation (A3), Geomorphic Position (D2), and a positive FAC-neutral Test (D5). Soil textures at the wetland sample point were generally loamy and clayey. Hydric soil indicators observed include Redox Dark Surface (F6).

The boundary of wetland W-2 was based on the distinct form of the stormwater pond and the boundary between hydrophytic vegetation, hydric soil, and wetland hydrology indicators.

Wetland W-3 (Fresh “wet” meadow)

Wetland W-3 is located within a roadside ditch. It is approximately 0.02 acres within the Study Area, and extends east beyond the Study Area. One wetland sample point (SP-10) was taken within wetland W-3 and one upland sample point (SP-9) was taken in an adjacent upland area.

Wetland W-3 consists of a Fresh “wet” meadow plant community. The dominant vegetation at the wetland sample point includes *Eleocharis palustris* (common spike-rush). Hydrology appears to be sustained by runoff water from the surrounding landscape. Wetland hydrology indicators observed at the wetland sample point include Saturation (A3), Sparsely Vegetated Concave Surface (B8), Geomorphic Position (D2), and a positive FAC-neutral Test (D5). Soil textures at the wetland sample point were generally loamy and clayey. Hydric soil indicators observed include Depleted Matrix (F3).

The boundary of wetland W-3 was based on the distinct form of the base of the ditch and the boundary between hydrophytic vegetation, hydric soil, and wetland hydrology indicators.

3.2.4 Other Aquatic Resources

A storm water pond, associated with wetland W-2, was observed within the Study Area and is shown on the wetland delineation map (Appendix D, Exhibit A).

3.2.5 Professional Opinion on Wetland Susceptibility Per NR 151

Table 4 in Appendix G lists a professional opinion on wetland susceptibility, based on a request by the WDNR, to do so per revised NR 151 guidance (Guidance #3800-2015-02). Please note that the final determination of wetland susceptibility rests with the WDNR.

4.0 Conclusions

Based on the wetland delineation completed by TRC, three wetlands (W-1, W-2, & W-3), including a stormwater pond, were delineated totaling 0.33 acres of wetlands within the 8.2 acre Study Area.

Wetlands and other aquatic resources delineated and identified in this report are a professional finding based on current regulatory guidelines published by the USACE and WDNR at the time the resources were delineated. Unknown and future conditions that affect observations of field indicators or change in interpretation of regulatory policy or methods may modify future findings.

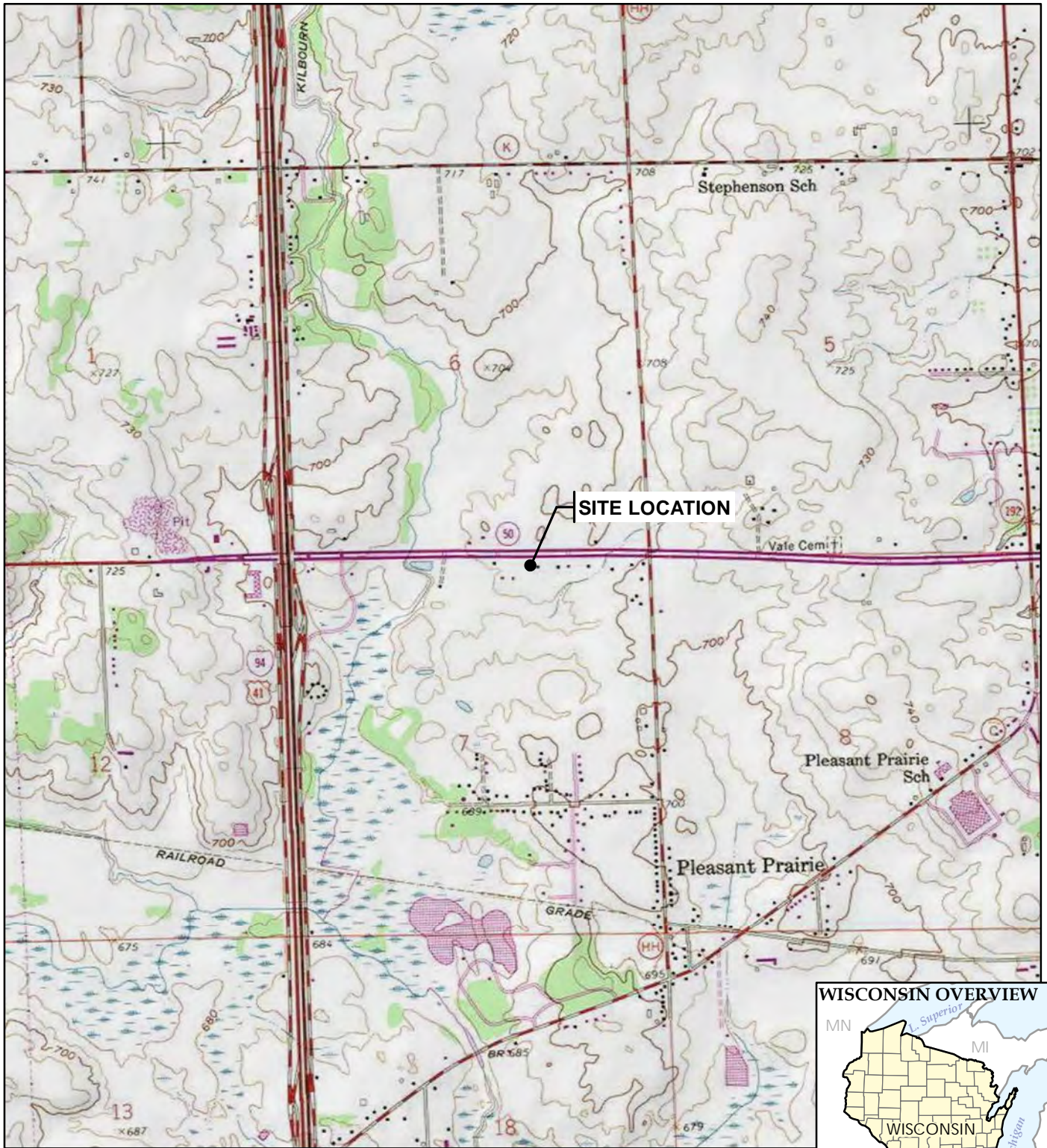
The ultimate authority to determine the location of the wetland boundary and jurisdictional authority over the wetlands and other aquatic resources identified in this report resides with the USACE and WDNR. Decisions made by staff of these regulatory agencies may result in modifications to the location of the wetland or other aquatic resource boundaries shown in this report. In addition, the USACE and WDNR have jurisdictional authority to determine which features are exempt from regulation or non-jurisdictional. If the client proposes to modify a potentially exempt or non-jurisdictional feature, a WDNR Artificial Determination Exemption and USACE Approved Jurisdictional Determination (AJD) would be needed. Furthermore, municipalities, townships and counties may have local zoning authority over certain areas or types of wetlands and waterways. The determination that a wetland or waterway is subject to regulatory jurisdiction is made independently by the agencies.

Any activity in a delineated wetland or below the Ordinary High Water Mark of other aquatic resources may require USACE and WDNR permits, and local government permits. If the Client proceeds to change, modify or utilize the property in question without obtaining authorization from the appropriate regulatory agency, it will be done at the Client's own risk and TRC Environmental Corporation shall not be responsible or liable for any resulting damages.

5.0 References

- Eggers, Steve D. and Donald M. Reed. 1997. Wetland Plants and Plant Communities of Minnesota and Wisconsin. 2nd Ed. U.S. Army Corps of Engineers, St. Paul District.
- Environmental Laboratory. 1987. Corps of Engineers Wetlands Delineation Manual. Technical Report Y-87-1, U.S. Army Engineer Waterways Experiment Station, Vicksburg, MS.
- Lichvar, R.W., M. Butterwick, N.C. Melvin, and W.N. Kirchner. 2016. The National Wetland Plant List: 2016 Update of Wetland Ratings. *Phytoneuron* 2014-41: 1-42.
- Midwestern Regional Climate Center cli-MATE Database (Web Address: <http://mrcc.isws.illinois.edu/CLIMATE/>)
- Minnesota Board of Water & Soil Resources (BWSR) and U.S. Army Corps of Engineers, Technical Guidance. July 1, 2016. "Guidance for Offsite Hydrology/Wetland Determinations."
- "Munsell color." *Macbeth Division of Kollmorgen Instruments Corporation, New Windsor, NY* 12553
- U.S. Army Corps of Engineers. 2010. *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region (Version 2.0)*, ed. J. S. Wakeley, R. W. Lichvar, and C. V. Noble. ERDC/EL TR-10-16. Vicksburg, MS: U.S. Army Engineer Research and Development Center.
- U.S. Army Corps of Engineers. 2015. St. Paul District Regulatory. Special Public Notice. Issued: March 4, 2015. Guidance for Submittal of Delineation Reports to the St. Paul District Army Corps of Engineers and the Wisconsin Department of Natural Resources.
- USDA Natural Resources Conservation Service Web Soil Survey (Web Address: <http://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>)
- USDA NRCS Climate Analysis by County Web Site (WETS). (Web Address: <http://www.wcc.nrcs.usda.gov/climate/wetlands.html>)
- Vasilas, L. M., G. W. Hurt, and C. V. Noble. 2016. "Field indicators of hydric soils in the United States." US Dep. Agric., NRCS, in cooperation with the National Technical Committee for Hydric Soils. Version 8.1.
- Wisconsin Department of Natural Resources, 2016. Surface Water Data Viewer: <http://dnrmaps.wi.gov/sl/?Viewer=SWDV>.
- Woodward, D.E. 1997. Hydrology Tools for Wetland Determination, Chapter 19. In: Engineering Field Handbook, U.S. Department of Agriculture, Natural Resources Conservation Service, Fort Worth, TX.

Attachment A: Figures



BASE MAP FROM USGS 7.5 MINUTE TOPOGRAPHIC QUADRANGLE SERIES.



150 North Patrick Blvd., Suite 180
Brookfield, WI 53045
Phone: 262.879.1212
www.trcsolutions.com

TRC - GIS

PROJECT: **LYNCH DEALERSHIP-WETLAND DELINEATION**
10901 75TH STREET
KENOSHA, KENOSHA COUNTY, WISCONSIN 53142


TITLE: **SITE LOCATION MAP**


DRAWN BY:	B DEEGAN
CHECKED BY:	R LONDRE
APPROVED BY:	R LONDRE
DATE:	JULY 2017
PROJ. NO.:	274855
FILE:	274855-001SLM.mxd

FIGURE 1



LEGEND


 STUDY AREA

 1' CONTOUR INTERVAL

NOTES

1. BASE MAP IMAGERY FROM GOOGLE EARTH PRO & PARTNERS, APRIL 2017.


2. CONTOURS DERIVED FROM USGS, NATIONAL ELEVATION DATASET, 1/3RD ARCSECOND RESOLUTION.



0100200
Feet

1" = 100'
1:1,200

PROJECT: LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142		
TITLE: CONTOUR MAP		
DRAWN BY:	B DEEGAN	PROJ. NO.: 274855
CHECKED BY:	R LONDRE	FIGURE 2
APPROVED BY:	R LONDRE	
DATE:	JULY 2017	



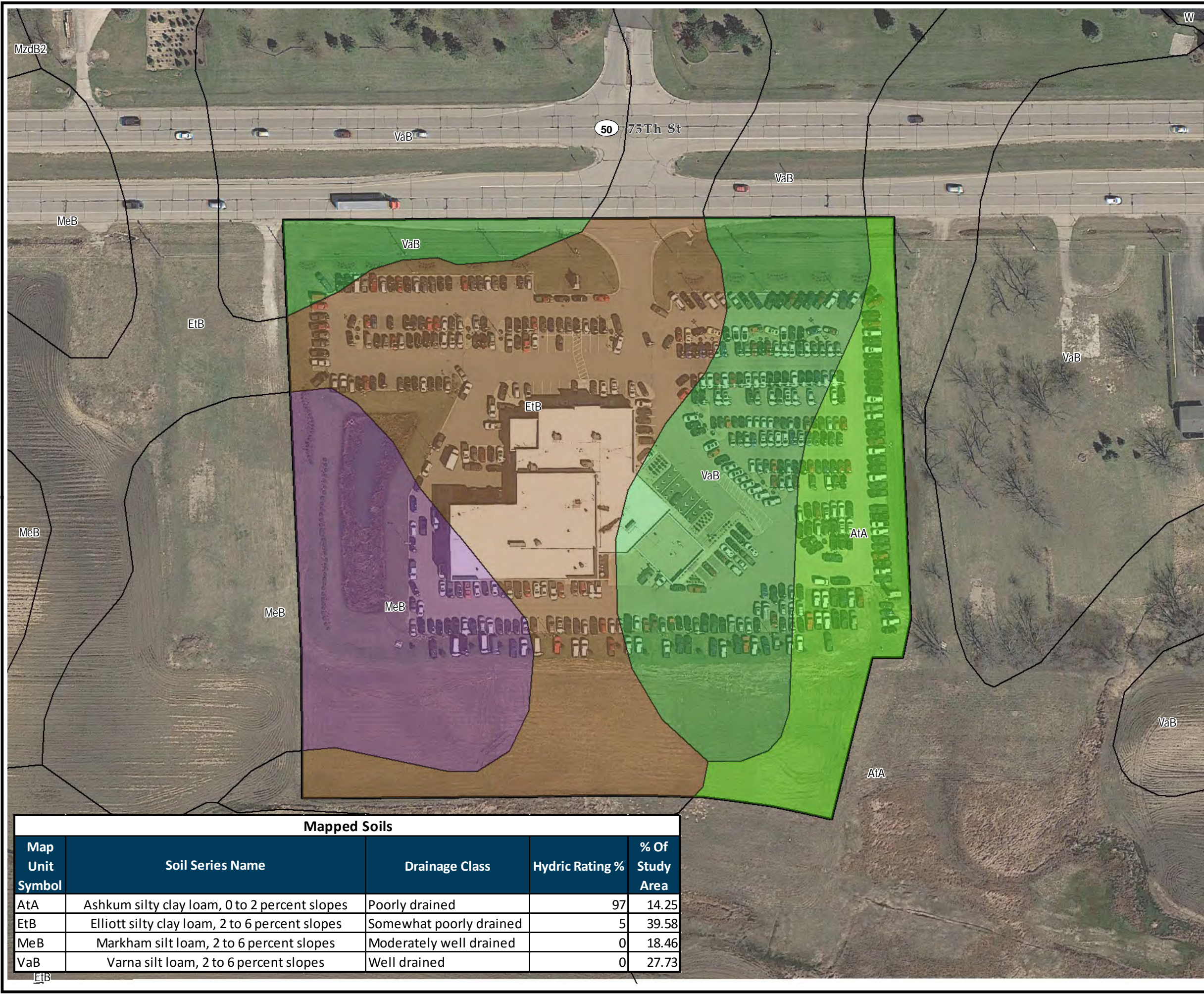
150 North Patrick Blvd., Suite 180
Brookfield, WI 53045
Phone: 262.879.1212
www.trcsolutions.com

FILE NO.: 274855-002.mxd

TRC - GIS

Coordinate System: NAD 1983 StatePlane Wisconsin South FIPS 4803 Feet (Foot US)
Map Rotation: 0

Plot Date: 7/18/2017, 08:11:20 AM by BDEEGAN -- LAYOUT: ANS1B(11"x17")
Path: E:\Wetland\General\Lloyd\Pheniel\lyndh\Kelly_SC2017_274855\274855-003.mxd



LEGEND

STUDY AREA

SOIL CLASSIFICATION

ASHKUM SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES

ELLIOTT SILTY CLAY LOAM, 2 TO 6 PERCENT SLOPES

MARKHAM SILT LOAM, 2 TO 6 PERCENT SLOPES

VARNA SILT LOAM, 2 TO 6 PERCENT SLOPES

NOTES

1. BASE MAP IMAGERY FROM GOOGLE EARTH PRO & PARTNERS, APRIL 2017.

2. SOILS DATA ACQUIRED FROM USDA/NRCS SSURGO SOILS DATABASE.

0100200
Feet
1" = 100'
1:1,200

PROJECT:

LYNCH DEALERSHIP-WETLAND DELINEATION
10901 75TH STREET
KENOSHA, KENOSHA COUNTY, WISCONSIN 53142

TITLE:

NRCS SOILS MAP

DRAWN BY:

B DEEGAN

CHECKED BY:

R LONDRE

APPROVED BY:

R LONDRE

DATE:

JULY 2017

PROJ. NO.:

274855

FIGURE 3



150 North Patrick Blvd., Suite 180
Brookfield, WI 53045
Phone: 262.879.1212
www.trcsolutions.com

FILE NO.:

274855-003.mxd



LEGEND

-  STUDY AREA
-  WETLAND CLASS AREAS


NOTES

1. BASE MAP IMAGERY FROM GOOGLE EARTH PRO & PARTNERS, APRIL 2017.
2. WWI WETLANDS FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES.



0 100 200
Feet

1" = 100'
1:1,200

PROJECT: LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142			
TITLE: WISCONSIN WETLAND INVENTORY MAP			
DRAWN BY:	B DEEGAN	PROJ. NO.:	274855
CHECKED BY:	R LONDRE	FIGURE 4	
APPROVED BY:	R LONDRE		
DATE:	JULY 2017		
		150 North Patrick Blvd., Suite 180 Brookfield, WI 53045 Phone: 262.879.1212 www.trcsolutions.com	
FILE NO.:		274855-004.mxd	

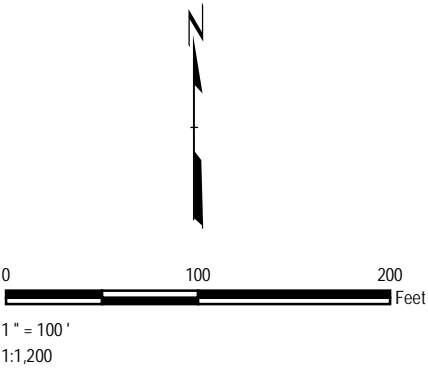



LEGEND

 STUDY AREA

NOTES

1. BASE MAP IMAGERY FROM KENOSHA COUNTY, 2000 .



PROJECT: LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142			
TITLE: 2000 AERIAL			
DRAWN BY:	B DEEGAN	PROJ. NO.:	274855
CHECKED BY:	R LONDRE	FIGURE 5	
APPROVED BY:	R LONDRE		
DATE:	JULY 2017		
		150 North Patrick Blvd., Suite 180 Brookfield, WI 53045 Phone: 262.879.1212 www.trcsolutions.com	
FILE NO.:		274855-005.mxd	



LEGEND

 STUDY AREA


NOTES

1. BASE MAP IMAGERY FROM KENOSHA COUNTY, 2005 .




0 100 200
Feet

1" = 100'
1:1,200

PROJECT: LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142			
TITLE: 2005 AERIAL			
DRAWN BY:	B DEEGAN	PROJ. NO.:	274855
CHECKED BY:	R LONDRE	FIGURE 6	
APPROVED BY:	R LONDRE		
DATE:	JULY 2017		
		150 North Patrick Blvd., Suite 180 Brookfield, WI 53045 Phone: 262.879.1212 www.trcsolutions.com	
FILE NO.:		274855-006.mxd	



LEGEND

 STUDY AREA


NOTES

1. BASE MAP IMAGERY FROM KENOSHA COUNTY, 2010 .




0 100 200
Feet

1" = 100'
1:1,200

PROJECT: LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142			
TITLE: 2010 AERIAL			
DRAWN BY:	B DEEGAN	PROJ. NO.:	274855
CHECKED BY:	R LONDRE	FIGURE 7	
APPROVED BY:	R LONDRE		
DATE:	JULY 2017		
		150 North Patrick Blvd., Suite 180 Brookfield, WI 53045 Phone: 262.879.1212 www.trcsolutions.com	
FILE NO.:		274855-007.mxd	



LEGEND

 STUDY AREA


NOTES

1. BASE MAP IMAGERY FROM KENOSHA COUNTY, 2015.




0 100 200
Feet

1" = 100'
1:1,200

PROJECT: LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142			
TITLE: 2015 AERIAL			
DRAWN BY:	B DEEGAN	PROJ. NO.:	274855
CHECKED BY:	R LONDRE	FIGURE 8	
APPROVED BY:	R LONDRE		
DATE:	JULY 2017		
		150 North Patrick Blvd., Suite 180 Brookfield, WI 53045 Phone: 262.879.1212 www.trcsolutions.com	
FILE NO.:		274855-008.mxd	

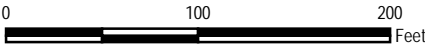


LEGEND


 STUDY AREA

NOTES

1. BASE MAP IMAGERY FROM GOOGLE EARTH PRO & PARTNERS, 2017.



1" = 100'
1:1,200

PROJECT: LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142			
TITLE: 2017 AERIAL			
DRAWN BY:	B DEEGAN	PROJ. NO.:	274855
CHECKED BY:	R LONDRE	FIGURE 9	
APPROVED BY:	R LONDRE		
DATE:	JULY 2017		
		150 North Patrick Blvd., Suite 180 Brookfield, WI 53045 Phone: 262.879.1212 www.trcsolutions.com	
FILE NO.:		274855-009.mxd	

Attachment B:
Aerial Imagery and FSA Crop Slide Review

Hydrology Assessment with Aerial Imagery - Recording Form

Project Name: Lynch Dealership	Date: 4/16/17	County: Kenosha
Investigator: Ron Londré	Legal Description: Sec 07 T1N R22E	

Month / Year	Image Source	Climate Condition (wet, dry, normal)	Image Interpretation (s)			
			Area <u> A </u>	Area <u> </u>	Area <u> </u>	Area <u> </u>
06/2016	Google Earth	N	VV			
06/2015	Google Earth	N	VV			
04/2013	Google Earth	W	VV			
05/2010	Google Earth	N	VV			
06/2008	Google Earth	N	AP			
10/2007	Google Earth	N	SS			
08/2005	Google Earth	D	SS			
07/2002	USDA FSA	W	NV			
06/2001	USDA FSA	N	NV			
06/2000	USDA FSA	W	NV			
06/1999	USDA FSA	W	NV			
06/1998	USDA FSA	W	CS			
07/1997	USDA FSA	W	NV			
08/1996	USDA FSA	W	NSS			
07/1995	USDA FSA	N	NV			
07/1994	USDA FSA	D	NV			
07/1993	USDA FSA	N	NV			
10/1992	USDA FSA	N	NV			
06/1991	USDA FSA	W	NV			
06/1990	USDA FSA	N	NV			
07/1989	USDA FSA	D	NV			
07/1988	USDA FSA	D	NV			
07/1987	USDA FSA	N	NV			
07/1986	USDA FSA	W	CS			
07/1985	USDA FSA	D	NV			
07/1984	USDA FSA	N	AP			
08/1982	USDA FSA	W	NV			
08/1981	USDA FSA	W	NV			

Summary Table	Area <u> A </u>	Area <u> </u>	Area <u> </u>	Area <u> </u>
# Normal Years	12			
# Normal Years with wet signatures	6			
% Normal Years with wet signatures	50%			
% All Years with wet signatures	36%			

Use key below to label photo interpretations. It is imperative that the reviewer read and understand the guidance associated with the use of these labels. If alternate labels are used indicate in the box below

WS - wetland signature	AP - altered pattern	Comments:
NC - not cropped	SW - standing water	
DO - drowned out	CS - crop stress	
SS - soil wetness signature	NV - normal healthy crop	
NSS - no soil wetness signature	VV - volunteer vegetation (not planted, naturally establishing, e.g. smartweeds, cattail, wild millet)	



Year: 2016 (normal year)



Year: 2015 (normal year)



Year: 2013 (wet year)



Year: 2010 (normal year)



Year: 2008 (normal year)



Year: 2007 (normal year)



Year: 2005 (dry year)



Year: 2002 (wet year)



Year: 2001 (normal year)



Year: 2000 (wet year)



Year: 1999 (wet year)



Year: 1998 (wet year)



Year: 1997 (wet year)



Year: 1996 (wet year)



Year: 1995 (normal year)



Year: 1994 (dry year)



Year: 1993 (normal year)



Year: 1992 (normal year)



Year: 1991 (wet year)



Year: 1990 (normal year)



Year: 1989 (dry year)



Year: 1988 (dry year)



Year: 1987 (normal year)



Year: 1986 (wet year)



Year: 1985 (dry year)



Year: 1984 (normal year)



Year: 1982 (wet year)



Year: 1981 (wet year)



Attachment C:
Antecedent Precipitation Data / WETS Analysis

Table 2. Antecedent Precipitation Data					
February 8th, 2017- May 8th, 2017					
Precipitation Data Source Location					
Kenosha (WI) USC00474174					
3rd Month Prior		2nd Month Prior		1st Month Prior	
Date	PPT	Date	PPT	Date	PPT
2/8/2017	0.00	3/10/2017	0.00	4/9/2017	0.00
2/9/2017	0.00	3/11/2017	0.00	4/10/2017	0.78
2/10/2017	0.00	3/12/2017	0.12	4/11/2017	0.00
2/11/2017	0.00	3/13/2017	0.45	4/12/2017	0.00
2/12/2017	0.01	3/14/2017	0.15	4/13/2017	0.23
2/13/2017	0.00	3/15/2017	0.00	4/14/2017	0.12
2/14/2017	0.00	3/16/2017	0.00	4/15/2017	0.13
2/15/2017	0.00	3/17/2017	0.18	4/16/2017	0.71
2/16/2017	0.00	3/18/2017	0.04	4/17/2017	0.00
2/17/2017	0.00	3/19/2017	0.00	4/18/2017	0.00
2/18/2017	0.00	3/20/2017	0.00	4/19/2017	0.07
2/19/2017	0.00	3/21/2017	0.00	4/20/2017	0.04
2/20/2017	0.00	3/22/2017	0.00	4/21/2017	0.00
2/21/2017	0.03	3/23/2017	0.02	4/22/2017	0.00
2/22/2017	0.00	3/24/2017	0.03	4/23/2017	0.00
2/23/2017	0.34	3/25/2017	0.56	4/24/2017	0.00
2/24/2017	0.45	3/26/2017	0.96	4/25/2017	0.00
2/25/2017	0.00	3/27/2017	T	4/26/2017	0.15
2/26/2017	0.00	3/28/2017	T	4/27/2017	0.33
2/27/2017	0.00	3/29/2017	0.10	4/28/2017	0.00
2/28/2017	1.19	3/30/2017	1.86	4/29/2017	0.85
3/1/2017	0.11	3/31/2017	0.09	4/30/2017	1.07
3/2/2017	0.00	4/1/2017	0.00	5/1/2017	0.54
3/3/2017	0.00	4/2/2017	0.07	5/2/2017	0.02
3/4/2017	0.02	4/3/2017	0.53	5/3/2017	0.00
3/5/2017	0.00	4/4/2017	0.17	5/4/2017	0.00
3/6/2017	0.00	4/5/2017	0.56	5/5/2017	0.00
3/7/2017	0.27	4/6/2017	0.12	5/6/2017	0.00
3/8/2017	0.00	4/7/2017	0.00	5/7/2017	0.00
3/9/2017	0.03	4/8/2017	0.00	5/8/2017	0.00
Total = 2.45		Total = 6.01		Total = 5.04	

PPT - Precipitation in inches

T - Trace

M - Missing



Table 3. WETS Analysis

Project Site: Lynch Dealership
 Period of interest: February- April, 2017
 County: Kenosha County

Long-term rainfall records (from WETS table)

	Month	3 years in 10 less than	Normal	3 years in 10 greater than
1st month prior:	April	2.81	3.87	4.56
2nd month prior:	March	1.58	2.49	3.00
3rd month prior:	Feb	0.87	1.58	1.93
Sum =		7.94		

Site determination

Site Rainfall (in)	Condition Dry/Normal*/Wet	Condition** Value	Month Weight	Product
5.04	Wet	3	3	9
6.01	Wet	3	2	6
2.45	Wet	3	1	3
Sum =	13.50		Sum*** =	18

*Normal precipitation with 30% to 70% probability of occurrence

Determination

X Wet
 Dry
 Normal

**Condition value:

***If sum is:

Dry = 1.00
 Normal = 2.00
 Wet = 3.00

6 to 9 then period has been drier than normal
 10 to 14 then period has been normal
 15 to 18 then period has been wetter than normal

Precipitation data source: Kenosha (WI) USC00474174

WETS Station: Kenosha, WI

Reference: Donald E. Woodward, ed. 1997. *Hydrology Tools for Wetland Determination*, Chapter 19. Engineering Field Handbook. U.S. Department of Agriculture, Natural Resources Conservation Service, Fort Worth, TX.



Attachment D:
Wetland Delineation Map



LEGEND

- STUDY AREA
- TRC DELINEATED WETLANDS
- WETLANDS OUTSIDE STUDY AREA
- UPLAND SAMPLE POINT
- WETLAND SAMPLE POINT

NOTES

1. BASE MAP IMAGERY FROM GOOGLE EARTH PRO & PARTNERS, APRIL 2017.

1" = 100'
1:1,200

PROJECT:		LYNCH DEALERSHIP-WETLAND DELINEATION 10901 75TH STREET KENOSHA, KENOSHA COUNTY, WISCONSIN 53142	
TITLE:			
WETLAND DELINEATION			
DRAWN BY:	B DEEGAN	PROJ. NO.:	274855
CHECKED BY:	R LONDRE	EXHIBIT A	
APPROVED BY:	R LONDRE		
DATE:	JULY 2017		

150 North Patrick Blvd., Suite 180
Brookfield, WI 53045
Phone: 262.879.1212
www.trcsolutions.com

FILE NO.: 274855-010.mxd

Attachment E:
Site Photographs

Site Photographs



Project Name		Site Location	Project No.
Lynch Dealership		Pleasant Prairie, Kenosha County, WI	274855
Photo No.	Date		
1	5/9/2017		
Description			
Upland sample point SP-1 facing northwest.			

Photo No.	Date	
2	5/9/2017	
Description		
<p>Wetland sample point SP-2 facing southeast. Wetland located a few feet southeast of the Study Area boundary.</p>		

Site Photographs

Project Name		Site Location	Project No.
Lynch Dealership		Pleasant Prairie, Kenosha County, WI	274855
Photo No.	Date		
3	5/9/2017		
Description			
Upland sample point SP-3 facing north.			

Photo No.	Date	
4	5/9/2017	
Description		
Wetland W-1 sample point SP-4 facing south.		

Site Photographs


Project Name		Site Location	Project No.
Lynch Dealership		Pleasant Prairie, Kenosha County, WI	274855
Photo No.	Date		
5	5/9/2017		
Description			
Upland sample point SP-5 facing northeast.			

Photo No.	Date	
6	5/9/2017	
Description		
Wetland W-1 sample point SP-6 facing south.		

Site Photographs


Project Name		Site Location	Project No.
Lynch Dealership		Pleasant Prairie, Kenosha County, WI	274855
Photo No.	Date		
7	5/9/2017		
Description			
Upland sample point SP-7 facing south			

Photo No.	Date		
8	5/9/2017		
Description			
Wetland W-2 / storm-water pond sample point SP-8 facing northeast.			

Site Photographs

Project Name		Site Location	Project No.
Lynch Dealership		Pleasant Prairie, Kenosha County, WI	274855
Photo No.	Date		
9	5/9/2017		
Description			
Upland sample point (right) SP-9 and wetland W-3 sample point SP-10 (center) facing west.			

Photo No.	Date	
10	5/9/2017	
Description		
Front lawn area of dealership.		

Site Photographs

Project Name		Site Location	Project No.
Lynch Dealership		Pleasant Prairie, Kenosha County, WI	274855
Photo No.	Date		
11	5/9/2017		
Description			
West side of dealership.			
View of lawn area.			

Photo No.	Date	
12	5/9/2017	
Description		
View of stormwater pond facing southeast.		

Attachment F:
Wetland Determination Data Forms

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: SP-1
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Backslope Local relief (concave, convex, none): convex
 Slope: 8.0% 4.6 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Ashkum silty clay loam, 0 to 2 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☒ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☐ No ☒
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Is the Sampled Area within a Wetland? Yes <input type="radio"/> No <input checked="" type="radio"/>
Hydric Soil Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Wetland Hydrology Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Remarks: Point taken in an agricultural field, which has not been tilled or planted this year and is assumed to be fallow. Circumstances not normal due to recent agriculture and natural vegetation being sparse. Based on the absence of all three parameters, this point is in an upland.		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status	
Tree Stratum (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		Dominance Test worksheet: Number of Dominant Species That are OBL, FACW, or FAC: <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of dominant Species That Are OBL, FACW, or FAC: <u>33.3%</u> (A/B)
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		Prevalence Index worksheet: Total % Cover of: Multiply by: OBL species <u>0</u> x 1 = <u>0</u> FACW species <u>15</u> x 2 = <u>30</u> FAC species <u>0</u> x 3 = <u>0</u> FACU species <u>45</u> x 4 = <u>180</u> UPL species <u>10</u> x 5 = <u>50</u> Column Totals: <u>70</u> (A) <u>260</u> (B) Prevalence Index = B/A = <u>3.714</u>
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Herb Stratum (Plot size: <u>5' r</u>)				
1. <u>Erigeron annuus</u>	20	<input checked="" type="checkbox"/> 28.6%	FACU	Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is > 50% <input type="checkbox"/> 3 - Prevalence Index is ≤3.0¹ <input type="checkbox"/> 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
2. <u>Agrostis gigantea</u>	15	<input checked="" type="checkbox"/> 21.4%	FACW	
3. <u>Trifolium hybridum</u>	15	<input checked="" type="checkbox"/> 21.4%	FACU	
4. <u>Daucus carota</u>	10	<input type="checkbox"/> 14.3%	UPL	
5. <u>Solidago canadensis</u>	10	<input type="checkbox"/> 14.3%	FACU	
6. <u>Sonchus arvensis</u>	0	<input type="checkbox"/> 0.0%	FACU	
7. _____	0	<input type="checkbox"/> 0.0%		
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	70	= Total Cover		
Woody Vine Stratu (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		Hydrophytic Vegetation Present? Yes <input type="radio"/> No <input checked="" type="radio"/>
2. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		

Remarks: (Include photo numbers here or on a separate sheet.)

The criterion for hydrophytic vegetation is not met. Vegetation disturbed due to recent farming (2016).

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-1**

[illegible]

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		
Field Observations:			
Surface Water Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Depth (inches): _____	Wetland Hydrology Present? Yes <input type="radio"/> No <input checked="" type="radio"/>
Water Table Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Depth (inches): _____	
Saturation Present? (includes capillary fringe)	Yes <input type="radio"/> No <input checked="" type="radio"/>	Depth (inches): _____	
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:			
Topo maps, WWI map, soils map, aerial imagery, FSA crop slides			
Remarks:			
Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is not met.			

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: SP-2
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Toeslope Local relief (concave, convex, none): convex
 Slope: 0.0% 0.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Ashkum silty clay loam, 0 to 2 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☒ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☐ No ☒
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="radio"/> No <input type="radio"/>
Hydric Soil Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Wetland Hydrology Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Remarks: Point taken in an agricultural field, which has not been tilled or planted this year and is assumed to be fallow. Circumstances not normal due to recent agriculture and natural vegetation being sparse. Point and wetland located a few feet outside Study Area.		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status	
Tree Stratum (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Herb Stratum (Plot size: <u>5' r</u>)				
1. Solidago gigantea	20	<input checked="" type="checkbox"/> 41.7%	FACW	
2. Typha X glauca	15	<input checked="" type="checkbox"/> 31.3%	OBL	
3. Setaria pumila	5	<input type="checkbox"/> 10.4%	FAC	
4. Taraxacum officinale	5	<input type="checkbox"/> 10.4%	FACU	
5. Plantago major	3	<input type="checkbox"/> 6.3%	FAC	
6. _____	0	<input type="checkbox"/> 0.0%		
7. _____	0	<input type="checkbox"/> 0.0%		
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	48	= Total Cover		
Woody Vine Stratu (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 2 (A)
 Total Number of Dominant Species Across All Strata: 2 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 100.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>15</u>	x 1 = <u>15</u>
FACW species <u>20</u>	x 2 = <u>40</u>
FAC species <u>8</u>	x 3 = <u>24</u>
FACU species <u>5</u>	x 4 = <u>20</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>48</u>	(A) <u>99</u> (B)

 Prevalence Index = B/A = 2.063

Hydrophytic Vegetation Indicators:
☒ **1 - Rapid Test for Hydrophytic Vegetation**
☒ **2 - Dominance Test is > 50%**
☒ **3 - Prevalence Index is ≤ 3.0¹**
☐ **4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)**
☐ **Problematic Hydrophytic Vegetation¹ (Explain)**
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☒ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)
 The criterion for hydrophytic vegetation is met. Farmed edge of shallow marsh plant community. Vegetation disturbed from recent farming (2016).

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-2**

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)										
Depth (inches)	Matrix		%	Redox Features				Texture	Remarks	
	Color (moist)			Color (moist)	%	Type ¹	Loc ²			
0-4	10YR	3/2	80	10YR	5/6	10	C	M	Clay Loam	
				10YR	5/2	10	D	M		
4-18	10YR	4/2	95	7.5YR	4/4	5	C	M	Loam	
18-24	10YR	4/1	90	7.5YR	5/6	10	C	M	Clay	

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:			Indicators for Problematic Hydric Soils ³ :		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Coast Prairie Redox (A16)			
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Dark Surface (S7)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Iron Manganese Masses (F12)			
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)			
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> 2 cm Muck (A10)	<input checked="" type="checkbox"/> Depleted Matrix (F3)				
<input checked="" type="checkbox"/> Depleted Below Dark Surface (A11)	<input checked="" type="checkbox"/> Redox Dark Surface (F6)				
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)				
<input type="checkbox"/> Sandy Muck Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)				
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)					

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):	Hydric Soil Present?
Type: <u>None</u>	Yes <input checked="" type="radio"/> No <input type="radio"/>
Depth (inches): <u>NA</u>	

Remarks:

The criterion for hydric soil is met. Soil does not appear to have been recently tilled and is not considered to be significantly disturbed.

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input checked="" type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		

Field Observations:			
Surface Water Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Depth (inches): <u> </u>	Wetland Hydrology Present? Yes <input checked="" type="radio"/> No <input type="radio"/>
Water Table Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Depth (inches): <u>6</u>	
Saturation Present? (includes capillary fringe)	Yes <input checked="" type="radio"/> No <input type="radio"/>	Depth (inches): <u>0</u>	

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:

Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is met.

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: SP-3
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Backslope Local relief (concave, convex, none): convex
 Slope: 10.0% 5.7 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Elliott silty clay loam, 2 to 6 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☒ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☐ No ☒
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Is the Sampled Area within a Wetland? Yes <input type="radio"/> No <input checked="" type="radio"/>
Hydric Soil Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Wetland Hydrology Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Remarks: Point taken in an agricultural field, which has not been tilled or planted this year and is assumed to be fallow. Circumstances not normal due to recent agriculture and natural vegetation being sparse. Based on the absence of all three parameters, this point is in an upland.		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status	
Tree Stratum (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Herb Stratum (Plot size: <u>5' r</u>)				
1. <u>Agrostis gigantea</u>	25	<input checked="" type="checkbox"/> 33.3%	FACW	
2. <u>Trifolium hybridum</u>	20	<input checked="" type="checkbox"/> 26.7%	FACU	
3. <u>Daucus carota</u>	10	<input type="checkbox"/> 13.3%	UPL	
4. <u>Cirsium arvense</u>	5	<input type="checkbox"/> 6.7%	FACU	
5. <u>Plantago major</u>	5	<input type="checkbox"/> 6.7%	FAC	
6. <u>Poa pratensis</u>	5	<input type="checkbox"/> 6.7%	FAC	
7. <u>Rumex crispus</u>	5	<input type="checkbox"/> 6.7%	FAC	
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	75	= Total Cover		
Woody Vine Stratu (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
				Dominance Test worksheet: Number of Dominant Species That are OBL, FACW, or FAC: <u>1</u> (A) Total Number of Dominant Species Across All Strata: <u>2</u> (B) Percent of dominant Species That Are OBL, FACW, or FAC: <u>50.0%</u> (A/B)
				Prevalence Index worksheet: Total % Cover of: Multiply by: OBL species <u>0</u> x 1 = <u>0</u> FACW species <u>25</u> x 2 = <u>50</u> FAC species <u>15</u> x 3 = <u>45</u> FACU species <u>25</u> x 4 = <u>100</u> UPL species <u>10</u> x 5 = <u>50</u> Column Totals: <u>75</u> (A) <u>245</u> (B) Prevalence Index = B/A = <u>3.267</u>
				Hydrophytic Vegetation Indicators: <input type="checkbox"/> 1 - Rapid Test for Hydrophytic Vegetation <input type="checkbox"/> 2 - Dominance Test is > 50% <input type="checkbox"/> 3 - Prevalence Index is ≤ 3.0 ¹ <input type="checkbox"/> 4 - Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain) ¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.
				Hydrophytic Vegetation Present? Yes <input type="radio"/> No <input checked="" type="radio"/>

Remarks: (Include photo numbers here or on a separate sheet.)

The criterion for hydrophytic vegetation is not met. Vegetation disturbed from recent farming (2016).

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: SP-3

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)										
Depth (inches)	Matrix			Redox Features					Texture	Remarks
	Color (moist)		%	Color (moist)	%	Type ¹	Loc ²			
0-14	10YR	3/2	60						Sandy Clay	Mixed matrix, potential fill or illuvium
	10YR	5/4	40							
14-25	10YR	2/1	90	7.5YR	4/4	10	C	M	Silty Clay Loam	Native soil layer

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:		Indicators for Problematic Hydric Soils ³ :	
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Coast Prairie Redox (A16)	
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Dark Surface (S7)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Iron Manganese Masses (F12)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)	
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)	
<input type="checkbox"/> 2 cm Muck (A10)	<input type="checkbox"/> Depleted Matrix (F3)		
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)		
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)		
<input type="checkbox"/> Sandy Muck Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)		
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)			

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):	Hydric Soil Present?
Type: <u>None</u>	Yes <input type="radio"/> No <input checked="" type="radio"/>
Depth (inches): <u>NA</u>	

Remarks:

The criterion for hydric soil is not met.

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		

Field Observations:		Wetland Hydrology Present?
Surface Water Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Water Table Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Saturation Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	

(includes capillary fringe)

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:

Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is not met.

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: SP-4
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Toeslope Local relief (concave, convex, none): concave
 Slope: 0.0% 0.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Elliott silt loam, 1 to 3 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☒ No ☐
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="radio"/> No <input type="radio"/>
Hydric Soil Present? Yes <input checked="" type="radio"/> No <input type="radio"/>	
Wetland Hydrology Present? Yes <input checked="" type="radio"/> No <input type="radio"/>	
Remarks: Based on the presence of all three parameters, this point is located in a wetland. Wetland ID W-3.	

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status
Tree Stratum (Plot size: <u>30' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
3. _____	0	<input type="checkbox"/> 0.0%	_____
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
3. _____	0	<input type="checkbox"/> 0.0%	_____
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	
Herb Stratum (Plot size: <u>5' r</u>)			
1. <u>Typha X glauca</u>	80	<input checked="" type="checkbox"/> 84.2%	OBL
2. <u>Phalaris arundinacea</u>	15	<input type="checkbox"/> 15.8%	FACW
3. _____	0	<input type="checkbox"/> 0.0%	_____
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
6. _____	0	<input type="checkbox"/> 0.0%	_____
7. _____	0	<input type="checkbox"/> 0.0%	_____
8. _____	0	<input type="checkbox"/> 0.0%	_____
9. _____	0	<input type="checkbox"/> 0.0%	_____
10. _____	0	<input type="checkbox"/> 0.0%	_____
	95	= Total Cover	
Woody Vine Stratu (Plot size: <u>30' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 100.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>80</u>	x 1 = <u>80</u>
FACW species <u>15</u>	x 2 = <u>30</u>
FAC species <u>0</u>	x 3 = <u>0</u>
FACU species <u>0</u>	x 4 = <u>0</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>95</u>	(A) <u>110</u> (B)

 Prevalence Index = B/A = 1.158

Hydrophytic Vegetation Indicators:
☒ **1 - Rapid Test for Hydrophytic Vegetation**
☒ **2 - Dominance Test is > 50%**
☒ **3 - Prevalence Index is ≤ 3.0¹**
☐ **4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)**
☐ **Problematic Hydrophytic Vegetation¹ (Explain)**
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☒ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)
 The criterion for hydrophytic vegetation is met. Shallow marsh plant community.

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-4**

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)									
Depth (inches)	Matrix		Redox Features					Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²			
0-17	10YR	2/1	100					Clay Loam	
17-24	10YR	3/1	85	10YR	5/2	10	D	M	Clay
				10YR	5/6	5	C	M	
24-30	10YR	4/1	80	10YR	5/6	20	C	M	Sandy Clay

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:	Indicators for Problematic Hydric Soils ³ :
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Coast Prairie Redox (A16)
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Dark Surface (S7)
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Iron Manganese Masses (F12)
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Other (Explain in Remarks)
<input type="checkbox"/> 2 cm Muck (A10)	
<input type="checkbox"/> Depleted Below Dark Surface (A11)	
<input checked="" type="checkbox"/> Thick Dark Surface (A12)	
<input type="checkbox"/> Sandy Muck Mineral (S1)	
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)	
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	
<input type="checkbox"/> Sandy Redox (S5)	
<input type="checkbox"/> Stripped Matrix (S6)	
<input type="checkbox"/> Loamy Mucky Mineral (F1)	
<input type="checkbox"/> Loamy Gleyed Matrix (F2)	
<input type="checkbox"/> Depleted Matrix (F3)	
<input type="checkbox"/> Redox Dark Surface (F6)	
<input type="checkbox"/> Depleted Dark Surface (F7)	
<input type="checkbox"/> Redox Depressions (F8)	

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):	Hydric Soil Present?
Type: <u>None</u>	Yes <input checked="" type="radio"/> No <input type="radio"/>
Depth (inches): <u>NA</u>	

Remarks:
The criterion for hydric soil is met.

HYDROLOGY

Wetland Hydrology Indicators:	
Primary Indicators (minimum of one is required; check all that apply)	Secondary Indicators (minimum of two required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Surface Soil Cracks (B6)
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Drainage Patterns (B10)
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Dry Season Water Table (C2)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Crayfish Burrows (C8)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Stunted or Stressed Plants (D1)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input checked="" type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Iron Deposits (B5)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	
<input type="checkbox"/> Water-Stained Leaves (B9)	
<input type="checkbox"/> Aquatic Fauna (B13)	
<input type="checkbox"/> True Aquatic Plants (B14)	
<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	
<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	
<input type="checkbox"/> Presence of Reduced Iron (C4)	
<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	
<input type="checkbox"/> Thin Muck Surface (C7)	
<input type="checkbox"/> Gauge or Well Data (D9)	
<input type="checkbox"/> Other (Explain in Remarks)	

Field Observations:	Wetland Hydrology Present?
Surface Water Present? Yes <input type="radio"/> No <input checked="" type="radio"/> Depth (inches): <u> </u>	Yes <input checked="" type="radio"/> No <input type="radio"/>
Water Table Present? Yes <input checked="" type="radio"/> No <input type="radio"/> Depth (inches): <u>2</u>	
Saturation Present? (includes capillary fringe) Yes <input checked="" type="radio"/> No <input type="radio"/> Depth (inches): <u>0</u>	

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:
Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:
Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is met.

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: **SP-5**
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Backslope Local relief (concave, convex, none): convex
 Slope: 10.0% 5.7 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Ashkum silty clay loam, 0 to 2 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☒ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☐ No ☒
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input type="radio"/> No <input checked="" type="radio"/>
Hydric Soil Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Wetland Hydrology Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Remarks: Vegetation appears to have been mowed and area possibly planted with crops in 2016, thus circumstances are not normal. Based on the absence of two of three parameters, this point is located in an upland.		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status
Tree Stratum (Plot size: <u>30' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
3. _____	0	<input type="checkbox"/> 0.0%	_____
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
3. _____	0	<input type="checkbox"/> 0.0%	_____
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	
Herb Stratum (Plot size: <u>5' r</u>)			
1. <u>Agrostis gigantea</u>	75	<input checked="" type="checkbox"/> 51.7%	FACW
2. <u>Trifolium hybridum</u>	25	<input type="checkbox"/> 17.2%	FACU
3. <u>Daucus carota</u>	15	<input type="checkbox"/> 10.3%	UPL
4. <u>Erigeron annuus</u>	15	<input type="checkbox"/> 10.3%	FACU
5. <u>Cirsium arvense</u>	5	<input type="checkbox"/> 3.4%	FACU
6. <u>Poa pratensis</u>	5	<input type="checkbox"/> 3.4%	FAC
7. <u>Taraxacum officinale</u>	5	<input type="checkbox"/> 3.4%	FACU
8. _____	0	<input type="checkbox"/> 0.0%	_____
9. _____	0	<input type="checkbox"/> 0.0%	_____
10. _____	0	<input type="checkbox"/> 0.0%	_____
	145	= Total Cover	
Woody Vine Stratu (Plot size: <u>30' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 100.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>0</u>	x 1 = <u>0</u>
FACW species <u>75</u>	x 2 = <u>150</u>
FAC species <u>5</u>	x 3 = <u>15</u>
FACU species <u>50</u>	x 4 = <u>200</u>
UPL species <u>15</u>	x 5 = <u>75</u>
Column Totals: <u>145</u>	(A) <u>440</u> (B)
Prevalence Index = B/A = <u>3.034</u>	

Hydrophytic Vegetation Indicators:
☒ **1 - Rapid Test for Hydrophytic Vegetation**
☒ **2 - Dominance Test is > 50%**
☐ **3 - Prevalence Index is ≤ 3.0**¹
☐ **4 - Morphological Adaptations**¹ (Provide supporting data in Remarks or on a separate sheet)
☐ **Problematic Hydrophytic Vegetation**¹ (Explain)
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☒ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)

The criterion for hydrophytic vegetation is met. Fallow meadow dominated by exotic plants. Vegetation disturbed by mowing and recent (2016) farming practices.

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: SP-5

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-12	10YR	3/2	100				Clay Loam	
12-22	7.5YR	5/4	100				Sandy Clay	

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:		Indicators for Problematic Hydric Soils ³ :	
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Coast Prairie Redox (A16)	
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Dark Surface (S7)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Iron Manganese Masses (F12)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)	
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)	
<input type="checkbox"/> 2 cm Muck (A10)	<input type="checkbox"/> Depleted Matrix (F3)		
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)		
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)		
<input type="checkbox"/> Sandy Muck Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)		
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)			

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):	Hydric Soil Present?
Type: <u>None</u>	Yes <input type="radio"/> No <input checked="" type="radio"/>
Depth (inches): <u>NA</u>	

Remarks:

The criterion for hydric soil is not met.

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		

Field Observations:		Wetland Hydrology Present?
Surface Water Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Water Table Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Saturation Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	

(includes capillary fringe)

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:

Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is not met.

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: SP-6
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Toeslope Local relief (concave, convex, none): concave
 Slope: 0.0% 0.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Ashkum silty clay loam, 0 to 2 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☒ No ☐
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="radio"/> No <input type="radio"/>
Hydric Soil Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Wetland Hydrology Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Remarks: Based on the presence of all three parameters, this point is located in a wetland. Wetland ID W-3.		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status	
Tree Stratum (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Herb Stratum (Plot size: <u>5' r</u>)				
1. <u>Phalaris arundinacea</u>	75	<input checked="" type="checkbox"/> 55.6%	FACW	
2. <u>Solidago gigantea</u>	20	<input type="checkbox"/> 14.8%	FACW	
3. <u>Agrostis gigantea</u>	15	<input type="checkbox"/> 11.1%	FACW	
4. <u>Typha X glauca</u>	15	<input type="checkbox"/> 11.1%	OBL	
5. <u>Sonchus arvensis</u>	5	<input type="checkbox"/> 3.7%	FACU	
6. <u>Taraxacum officinale</u>	5	<input type="checkbox"/> 3.7%	FACU	
7. _____	0	<input type="checkbox"/> 0.0%		
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	135	= Total Cover		
Woody Vine Stratu (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 100.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>15</u>	x 1 = <u>15</u>
FACW species <u>110</u>	x 2 = <u>220</u>
FAC species <u>0</u>	x 3 = <u>0</u>
FACU species <u>10</u>	x 4 = <u>40</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>135</u>	(A) <u>275</u> (B)

 Prevalence Index = B/A = 2.037

Hydrophytic Vegetation Indicators:
☒ **1 - Rapid Test for Hydrophytic Vegetation**
☒ **2 - Dominance Test is > 50%**
☒ **3 - Prevalence Index is ≤ 3.0¹**
☐ **4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)**
☐ **Problematic Hydrophytic Vegetation¹ (Explain)**
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☒ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)
 The criterion for hydrophytic vegetation is met. Fresh "wet" meadow plant community.

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-6**

[illegible]

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input checked="" type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		
Field Observations: Surface Water Present? Yes <input type="radio"/> No <input checked="" type="radio"/> Depth (inches): _____ Water Table Present? Yes <input checked="" type="radio"/> No <input type="radio"/> Depth (inches): 4 Saturation Present? Yes <input checked="" type="radio"/> No <input type="radio"/> Depth (inches): 0 (includes capillary fringe)		Wetland Hydrology Present? Yes <input checked="" type="radio"/> No <input type="radio"/>	
Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:			
Topo maps, WWI map, soils map, aerial imagery, FSA crop slides			
Remarks:			
Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is met.			

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: SP-7
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Backslope Local relief (concave, convex, none): convex
 Slope: 25.0% 14.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Markham Silt Loam, 6 to 12 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☒ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☐ No ☒
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input type="radio"/> No <input checked="" type="radio"/>
Hydric Soil Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Wetland Hydrology Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Remarks: Circumstances not normal because this location is subject to frequent mowing. Based on the absence of two of three parameters, this point is located in an upland.		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status	
Tree Stratum (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Herb Stratum (Plot size: <u>5' r</u>)				
1. <u>Poa pratensis</u>	75	<input checked="" type="checkbox"/> 65.2%	FAC	
2. <u>Festuca rubra</u>	15	<input type="checkbox"/> 13.0%	FACU	
3. <u>Taraxacum officinale</u>	10	<input type="checkbox"/> 8.7%	FACU	
4. <u>Plantago lanceolata</u>	5	<input type="checkbox"/> 4.3%	FACU	
5. <u>Plantago major</u>	5	<input type="checkbox"/> 4.3%	FAC	
6. <u>Trifolium hybridum</u>	5	<input type="checkbox"/> 4.3%	FACU	
7. _____	0	<input type="checkbox"/> 0.0%		
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	115	= Total Cover		
Woody Vine Stratu (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 100.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>0</u>	x 1 = <u>0</u>
FACW species <u>0</u>	x 2 = <u>0</u>
FAC species <u>80</u>	x 3 = <u>240</u>
FACU species <u>35</u>	x 4 = <u>140</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>115</u>	(A) <u>380</u> (B)

 Prevalence Index = B/A = 3.304

Hydrophytic Vegetation Indicators:
☐ 1 - Rapid Test for Hydrophytic Vegetation
☒ 2 - Dominance Test is > 50%
☐ 3 - Prevalence Index is ≤ 3.0¹
☐ 4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)
☐ Problematic Hydrophytic Vegetation¹ (Explain)
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☒ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)

The criterion for hydrophytic vegetation is met. Planted lawn grasses with common lawn weeds. Vegetation is disturbed due to planted and regularly mowed vegetation.

¹Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-7**

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)									
Depth (inches)	Matrix			Redox Features			Texture	Remarks	
	Color (moist)		%	Color (moist)	%	Type ¹			Loc ²
0-8	10YR	3/2	100					Sandy Clay Loam	
8-20	10YR	3/2	60					Sandy Clay	Mixed matrix
	10YR	5/4	40						

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:		Indicators for Problematic Hydric Soils ³ :	
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Coast Prairie Redox (A16)	
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Dark Surface (S7)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Iron Manganese Masses (F12)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)	
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)	
<input type="checkbox"/> 2 cm Muck (A10)	<input type="checkbox"/> Depleted Matrix (F3)		
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)		
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)		
<input type="checkbox"/> Sandy Muck Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)		
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)			

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):		Hydric Soil Present? Yes <input type="radio"/> No <input checked="" type="radio"/>
Type: <u>None</u>	Depth (inches): <u>NA</u>	

Remarks:
The criterion for hydric soil is not met.

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		

Field Observations:			
Surface Water Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Depth (inches): _____	Wetland Hydrology Present? Yes <input type="radio"/> No <input checked="" type="radio"/>
Water Table Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	Depth (inches): _____	
Saturation Present? (includes capillary fringe)	Yes <input type="radio"/> No <input checked="" type="radio"/>	Depth (inches): _____	

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:
Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:
Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is not met.

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: **SP-8**
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Toeslope Local relief (concave, convex, none): concave
 Slope: 0.0% 0.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Markham Silt Loam, 6 to 12 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☒ No ☐
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="radio"/> No <input type="radio"/>
Hydric Soil Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Wetland Hydrology Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Remarks: Point taken on the fringe of a stormwater pond. Based on the presence of all three parameters, this point is located in a wetland. Wetland ID: W-2		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status	
Tree Stratum (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Herb Stratum (Plot size: <u>5' r</u>)				
1. <u>Typha X glauca</u>	80	<input checked="" type="checkbox"/> 88.9%	OBL	
2. <u>Phalaris arundinacea</u>	10	<input type="checkbox"/> 11.1%	FACW	
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
6. _____	0	<input type="checkbox"/> 0.0%		
7. _____	0	<input type="checkbox"/> 0.0%		
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	90	= Total Cover		
Woody Vine Stratu (Plot size: <u>30' r</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 100.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>80</u>	x 1 = <u>80</u>
FACW species <u>10</u>	x 2 = <u>20</u>
FAC species <u>0</u>	x 3 = <u>0</u>
FACU species <u>0</u>	x 4 = <u>0</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>90</u>	(A) <u>100</u> (B)

 Prevalence Index = B/A = 1.111

Hydrophytic Vegetation Indicators:
☒ **1 - Rapid Test for Hydrophytic Vegetation**
☒ **2 - Dominance Test is > 50%**
☒ **3 - Prevalence Index is ≤3.0¹**
☐ **4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)**
☐ **Problematic Hydrophytic Vegetation¹ (Explain)**
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☒ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)
 The criterion for hydrophytic vegetation is met. Shallow marsh plant community.

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-8**

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)										
Depth (inches)	Matrix			Redox Features					Texture	Remarks
	Color (moist)		%	Color (moist)	%	Type ¹	Loc ²			
0-8	10YR	3/2	85	10YR	5/6	10	C	M	Sandy Clay Loam	
				10YR	5/2	5	D	M		
8-20	10YR	5/4	95	10YR	5/6	5	C	M	Sandy Clay	

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:			Indicators for Problematic Hydric Soils ³ :		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Coast Prairie Redox (A16)			
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Dark Surface (S7)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Iron Manganese Masses (F12)			
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)			
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> 2 cm Muck (A10)	<input type="checkbox"/> Depleted Matrix (F3)				
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input checked="" type="checkbox"/> Redox Dark Surface (F6)				
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)				
<input type="checkbox"/> Sandy Muck Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)				
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)					

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):	Hydric Soil Present?
Type: <u>none</u>	Yes <input checked="" type="radio"/> No <input type="radio"/>
Depth (inches): <u>NA</u>	

Remarks:
The criterion for hydric soil is met.

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input checked="" type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input checked="" type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input checked="" type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		

Field Observations:			
Surface Water Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Depth (inches): <u>6</u>	Wetland Hydrology Present? Yes <input checked="" type="radio"/> No <input type="radio"/>
Water Table Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Depth (inches): <u>0</u>	
Saturation Present? (includes capillary fringe)	Yes <input checked="" type="radio"/> No <input type="radio"/>	Depth (inches): <u>0</u>	

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:
Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:
Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is met. This point is ~ 4' lower in elevation than SP-7.

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: SP-9
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Backslope Local relief (concave, convex, none): convex
 Slope: 25.0% 14.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Varna silt loam, 2 to 6 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☒ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☐ No ☒
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present? Yes <input type="radio"/> No <input checked="" type="radio"/>	Is the Sampled Area within a Wetland? Yes <input type="radio"/> No <input checked="" type="radio"/>
Hydric Soil Present? Yes <input type="radio"/> No <input checked="" type="radio"/>	
Wetland Hydrology Present? Yes <input type="radio"/> No <input checked="" type="radio"/>	
Remarks: Circumstances not normal because this location is subject to frequent mowing. Based on the absence of all three parameters, this point is located in an upland.	

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status
Tree Stratum (Plot size: <u>30' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
3. _____	0	<input type="checkbox"/> 0.0%	_____
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	
Sapling/Shrub Stratum (Plot size: <u>15' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
3. _____	0	<input type="checkbox"/> 0.0%	_____
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	
Herb Stratum (Plot size: <u>5' r</u>)			
1. <u>Festuca rubra</u>	75	<input checked="" type="checkbox"/> 65.2%	FACU
2. <u>Poa pratensis</u>	30	<input checked="" type="checkbox"/> 26.1%	FAC
3. <u>Taraxacum officinale</u>	10	<input type="checkbox"/> 8.7%	FACU
4. _____	0	<input type="checkbox"/> 0.0%	_____
5. _____	0	<input type="checkbox"/> 0.0%	_____
6. _____	0	<input type="checkbox"/> 0.0%	_____
7. _____	0	<input type="checkbox"/> 0.0%	_____
8. _____	0	<input type="checkbox"/> 0.0%	_____
9. _____	0	<input type="checkbox"/> 0.0%	_____
10. _____	0	<input type="checkbox"/> 0.0%	_____
	115	= Total Cover	
Woody Vine Stratu (Plot size: <u>30' r</u>)			
1. _____	0	<input type="checkbox"/> 0.0%	_____
2. _____	0	<input type="checkbox"/> 0.0%	_____
	0	= Total Cover	

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 2 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 50.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:
OBL species <u>0</u>	x 1 = <u>0</u>
FACW species <u>0</u>	x 2 = <u>0</u>
FAC species <u>30</u>	x 3 = <u>90</u>
FACU species <u>85</u>	x 4 = <u>340</u>
UPL species <u>0</u>	x 5 = <u>0</u>
Column Totals: <u>115</u> (A)	<u>430</u> (B)

 Prevalence Index = B/A = 3.739

Hydrophytic Vegetation Indicators:
☐ **1 - Rapid Test for Hydrophytic Vegetation**
☐ **2 - Dominance Test is > 50%**
☐ **3 - Prevalence Index is ≤3.0¹**
☐ **4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)**
☐ **Problematic Hydrophytic Vegetation¹ (Explain)**
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☐ No ☒

Remarks: (Include photo numbers here or on a separate sheet.)

Vegetation disturbed due to planted lawn grasses and frequent mowing. The criterion for hydrophytic vegetation is not met.

*Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-9**

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
0-9	10YR	3/2	90				Sandy Clay Loam	
	10YR	5/3	10					
9-20	10YR	4/3	100				Sandy Clay	10% gravel

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:		Indicators for Problematic Hydric Soils ³ :	
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Coast Prairie Redox (A16)	
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Dark Surface (S7)	
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Iron Manganese Masses (F12)	
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1)	<input type="checkbox"/> Very Shallow Dark Surface (TF12)	
<input type="checkbox"/> Stratified Layers (A5)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)	
<input type="checkbox"/> 2 cm Muck (A10)	<input type="checkbox"/> Depleted Matrix (F3)		
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Redox Dark Surface (F6)		
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Depleted Dark Surface (F7)		
<input type="checkbox"/> Sandy Muck Mineral (S1)	<input type="checkbox"/> Redox Depressions (F8)		
<input type="checkbox"/> 5 cm Mucky Peat or Peat (S3)			

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):	Hydric Soil Present?
Type: <u>None</u>	Yes <input type="radio"/> No <input checked="" type="radio"/>
Depth (inches): <u>NA</u>	

Remarks:

The criterion for hydric soil is not met.

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry Season Water Table (C2)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		

Field Observations:		Wetland Hydrology Present?
Surface Water Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Water Table Present?	Yes <input type="radio"/> No <input checked="" type="radio"/>	
Saturation Present? (includes capillary fringe)	Yes <input type="radio"/> No <input checked="" type="radio"/>	

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:

Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is not met.

WETLAND DETERMINATION DATA FORM - Midwest Region

Project/Site: Lynch Dealership City/County: Pleasant Prairie / Kenosha Sampling Date: 09-May-17
 Applicant/Owner: Lynch Ventures / Lynch Dealership State: WI Sampling Point: **SP-10**
 Investigator(s): Ron Londré Section, Township, Range: S 7 T 1N R 22E
 Landform (hillslope, terrace, etc.): Toeslope/ditch Local relief (concave, convex, none): concave
 Slope: 0.0% 0.0 ° Lat.: _____ Long.: _____ Datum: _____
 Soil Map Unit Name: Varna silt loam, 2 to 6 percent slopes NWI classification: None

Are climatic/hydrologic conditions on the site typical for this time of year? Yes ☐ No ☒ (If no, explain in Remarks.)
 Are Vegetation ☒ , Soil ☐ , or Hydrology ☐ significantly disturbed? Are "Normal Circumstances" present? Yes ☐ No ☒
 Are Vegetation ☐ , Soil ☐ , or Hydrology ☐ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS - Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	Is the Sampled Area within a Wetland? Yes <input checked="" type="radio"/> No <input type="radio"/>
Hydric Soil Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Wetland Hydrology Present?	Yes <input checked="" type="radio"/> No <input type="radio"/>	
Remarks: Circumstances not normal because this location is subject to mowing. This point is taken in a roadside ditch. Based on the presence of all three parameters, this point is located in a wetland. Wetland ID: W-1		

VEGETATION - Use scientific names of plants.

	Absolute % Cover	Dominant Species? Rel.Strat. Cover	Indicator Status	
Tree Stratum (Plot size: <u>10' x 200'</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Sapling/Shrub Stratum (Plot size: <u>10' x 70'</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
3. _____	0	<input type="checkbox"/> 0.0%		
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		
Herb Stratum (Plot size: <u>5' r</u>)				
1. <u>Eleocharis palustris</u>	60	<input checked="" type="checkbox"/> 80.0%	OBL	
2. <u>Festuca rubra</u>	10	<input type="checkbox"/> 13.3%	FACU	
3. <u>Agrostis gigantea</u>	5	<input type="checkbox"/> 6.7%	FACW	
4. _____	0	<input type="checkbox"/> 0.0%		
5. _____	0	<input type="checkbox"/> 0.0%		
6. _____	0	<input type="checkbox"/> 0.0%		
7. _____	0	<input type="checkbox"/> 0.0%		
8. _____	0	<input type="checkbox"/> 0.0%		
9. _____	0	<input type="checkbox"/> 0.0%		
10. _____	0	<input type="checkbox"/> 0.0%		
	75	= Total Cover		
Woody Vine Stratu (Plot size: <u>10' x 200'</u>)				
1. _____	0	<input type="checkbox"/> 0.0%		
2. _____	0	<input type="checkbox"/> 0.0%		
	0	= Total Cover		

Dominance Test worksheet:
 Number of Dominant Species That are OBL, FACW, or FAC: 1 (A)
 Total Number of Dominant Species Across All Strata: 1 (B)
 Percent of dominant Species That Are OBL, FACW, or FAC: 100.0% (A/B)

Prevalence Index worksheet:

Total % Cover of:	Multiply by:	
OBL species <u>60</u>	x 1 =	<u>60</u>
FACW species <u>5</u>	x 2 =	<u>10</u>
FAC species <u>0</u>	x 3 =	<u>0</u>
FACU species <u>10</u>	x 4 =	<u>40</u>
UPL species <u>0</u>	x 5 =	<u>0</u>
Column Totals: <u>75</u>	(A)	<u>110</u> (B)

 Prevalence Index = B/A = 1.467

Hydrophytic Vegetation Indicators:
☒ **1 - Rapid Test for Hydrophytic Vegetation**
☒ **2 - Dominance Test is > 50%**
☒ **3 - Prevalence Index is ≤ 3.0¹**
☐ **4 - Morphological Adaptations¹ (Provide supporting data in Remarks or on a separate sheet)**
☐ **Problematic Hydrophytic Vegetation¹ (Explain)**
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.

Hydrophytic Vegetation Present? Yes ☒ No ☐

Remarks: (Include photo numbers here or on a separate sheet.)

Vegetation disturbed due to mowing. Plot size based on the narrow shape of the wetland. Fresh "wet" meadow plant community.

¹Indicator suffix = National status or professional decision assigned because Regional status not defined by FWS.

SOIL

Sampling Point: **SP-10****Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)**

Depth (inches)	Matrix			Redox Features					Texture	Remarks
	Color (moist)		%	Color (moist)		%	Type ¹	Loc ²		
0-11	10YR	4/2	75	10YR	5/6	5	C	M	Sandy Clay Loam	
	10YR	5/3	10							
	10YR	2/1	10							
11-20	10YR	5/3	70	10YR	5/6	20	C	M	Sandy Clay	
				10YR	6/2	10	D	M		

¹ Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains.² Location: PL=Pore Lining, M=Matrix.**Hydric Soil Indicators:**

- ☐ Histosol (A1)
☐ Histic Epipedon (A2)
☐ Black Histic (A3)
☐ Hydrogen Sulfide (A4)
☐ Stratified Layers (A5)
☐ 2 cm Muck (A10)
☐ Depleted Below Dark Surface (A11)
☐ Thick Dark Surface (A12)
☐ Sandy Muck Mineral (S1)
☐ 5 cm Mucky Peat or Peat (S3)

- ☐ Sandy Gleyed Matrix (S4)
☐ Sandy Redox (S5)
☐ Stripped Matrix (S6)
☐ Loamy Mucky Mineral (F1)
☐ Loamy Gleyed Matrix (F2)
☒ Depleted Matrix (F3)
☐ Redox Dark Surface (F6)
☐ Depleted Dark Surface (F7)
☐ Redox Depressions (F8)

Indicators for Problematic Hydric Soils³:

- ☐ Coast Prairie Redox (A16)
☐ Dark Surface (S7)
☐ Iron Manganese Masses (F12)
☐ Very Shallow Dark Surface (TF12)
☐ Other (Explain in Remarks)

³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):Type: NoneDepth (inches): NA**Hydric Soil Present?** Yes ☒ No ☐

Remarks:

The criterion for hydric soil is met.

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one is required; check all that apply)

- ☐ Surface Water (A1)
☐ High Water Table (A2)
☒ Saturation (A3)
☐ Water Marks (B1)
☐ Sediment Deposits (B2)
☐ Drift Deposits (B3)
☐ Algal Mat or Crust (B4)
☐ Iron Deposits (B5)
☐ Inundation Visible on Aerial Imagery (B7)
☒ Sparsely Vegetated Concave Surface (B8)
☐ Water-Stained Leaves (B9)
☐ Aquatic Fauna (B13)
☐ True Aquatic Plants (B14)
☐ Hydrogen Sulfide Odor (C1)
☐ Oxidized Rhizospheres on Living Roots (C3)
☐ Presence of Reduced Iron (C4)
☐ Recent Iron Reduction in Tilled Soils (C6)
☐ Thin Muck Surface (C7)
☐ Gauge or Well Data (D9)
☐ Other (Explain in Remarks)

Secondary Indicators (minimum of two required)

- ☐ Surface Soil Cracks (B6)
☐ Drainage Patterns (B10)
☐ Dry Season Water Table (C2)
☐ Crayfish Burrows (C8)
☐ Saturation Visible on Aerial Imagery (C9)
☐ Stunted or Stressed Plants (D1)
☒ Geomorphic Position (D2)
☒ FAC-Neutral Test (D5)

Field Observations:

Surface Water Present? Yes ☐ No ☒ Depth (inches): _____
Water Table Present? Yes ☒ No ☐ Depth (inches): 17
Saturation Present? Yes ☒ No ☐ Depth (inches): 0
(includes capillary fringe)

Wetland Hydrology Present? Yes ☒ No ☐

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Topo maps, WWI map, soils map, aerial imagery, FSA crop slides

Remarks:

Based on a WETS analysis, antecedent precipitation was wetter than normal for this time of year. The criterion for wetland hydrology is met. This point is ~ 3' lower in elevation than SP-9.

Attachment G:
Professional Opinion on Wetland Susceptibility

Table 4: Opinion of Susceptibility for NR 151 Setback Purposes

Note: Final authority on NR 151 protective areas rests with WDNR, but the following is TRC's opinion of each wetland's NR 151 protective area category.

<u>Wetland #</u>	<u>Least Susceptible</u>	<u>Moderately Susceptible</u>	<u>Highly Susceptible</u>
W-1	X		
W-2	X		
W-3	X		

Definitions of Susceptibility Per WDNR Administrative Code:

Least Susceptible: Degraded wetlands dominated by invasive species ($\geq 90\%$) such as reed canary grass. Protective area = 10% of avg wetland width, but no less than 10' or more than 30'.

Moderately Susceptible: Fens, sedge meadows, bogs, low prairies, conifer swamps, shrub swamps, other forested wetlands, fresh wet meadows, shallow marshes, deep marshes and seasonally flooded basins. Protective area = 50'.

Highly Susceptible: Outstanding/exceptional resource waters, wetlands in areas of special natural resource interest as specified in s. NR 103.04. Protective area = 75'.

ORDINANCE # 18-

ORDINANCE TO AMEND THE LYNCH CHEVROLET OF PLEASANT PRAIRIE PLANNED UNIT DEVELOPMENT PURSUANT TO SECTION 420-137 OF THE VILLAGE ZONING ORDINANCE IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that the following Planned Unit Development (PUD) Ordinance is hereby amended pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

30. Lynch Chevrolet of Pleasant Prairie Planned Unit Development

- a. It is the intent that the Lynch Chevrolet of Pleasant Prairie Development, on the properties as legally described below is in conformity with the Village of Pleasant Prairie (Village) adopted Comprehensive Land Use Plan; that the development will not be contrary to the general health, safety, welfare and economic prosperity of the community; and that the architectural, building and site design, landscaping, grading and drainage, lighting and general site development is an attractive and harmonious commercial development of sustained desirability and economic stability and will not have an adverse effect on the property values of the surrounding neighborhood.
- b. Legal Description: ~~The properties included are collectively known as~~ Lot 1 of CSM [REDACTED] ~~2697~~ as recorded at the Kenosha County Register of Deeds Office on [REDACTED] ~~April 12, 2012~~ as Document No. [REDACTED] ~~1669236~~ and is located in U.S. Public Land Survey Section 7, Township 1 North, Range 22 East of the Fourth Principal meridian lying and being in the Village of Pleasant Prairie and herein after referred to as the "DEVELOPMENT".
- c. Requirements within the DEVELOPMENT:
 - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village ordinances and regulations except as expressly modified in subsection (d) below.
 - (ii) [REDACTED] The DEVELOPMENT shall be in compliance with the Site and Operational Plans conditionally approved on January 9, 2012 for the construction of Lynch Chevrolet of Pleasant Prairie to serve as their sales center for new and used automobiles and an auto repair and maintenance facility, and all other uses and operations as described on the Site and Operational Plans conditionally approved by the Village and the Site and Operational Plans as conditionally approved by the Plan Commission on February 26, 2018 for the parking lot expansion.
 - (iii) The DEVELOPMENT shall be in compliance Conditional Use Permit #11-16 and the 1st Amendment to said Conditional Use Permit as recorded at the Kenosha County Register of Deeds Office and any other future Conditional Use Permits that may be approved or amended by the Village for this site.
 - (iv) The DEVELOPMENT shall be in compliance with the Wisconsin Department of Transportation (WI DOT) Memorandum of Understanding executed in July 2011 and is on file with the Village related to the temporary commercial access to STH 50. Pursuant to the Agreement, when the 109th Avenue access roadway is constructed by the WI DOT in accordance with said Agreement then the temporary commercial access to STH 50 will be removed by the WI DOT.
 - (v) After 77th Street is constructed a secondary gated emergency access driveway shall be installed by the owner of the DEVELOPMENT for access to the development site.

- (vi) The DEVELOPMENT, including but not limited to, the Digital Security Imaging System, interior and exterior of the building, signs, storm water management basin, landscaping, parking lots, exterior site lighting, etc., and the site as a whole, shall be maintained in a clean, neat, presentable, aesthetically pleasing, well-maintained, structurally sound and non-hazardous condition.
- (vii) All building and site modifications (excluding general building and site maintenance) within the DEVELOPMENT shall be completed in accordance with the applicable Village Ordinance and Codes at the time the modification is proposed.
- (viii) The building, structures and all exterior additions, remodeling or alterations to the existing building, structures or to any future buildings and structures within the DEVELOPMENT shall be constructed of the same or complimentary exterior materials, colors and architectural style to ensure a unified commercial development, including signage, lighting, outdoor furniture, etc. as approved by the Village Zoning Administrator. No material alterations or modification to these colors or materials shall be made without written approval of the Village.
- (ix) The owners of the DEVELOPMENT shall be in compliance with the Digital Security Imaging System Agreement and Access Easement as approved by the Village Board on January 16, 2012 and as amended by the Plan Commission on February 26, 2018 by the Plan Commission for the development expansion.
- (x) The DEVELOPMENT shall comply with the designated business hours of operation and hours of delivery times for the B-2 District at all times during the year, even during the holiday seasons. Special hours of operation may be granted by the Village upon the owners/tenants entering into a separate Agreement with the Village for the provision of additional police officers and any related fees for additional security as determined necessary by the Village Police Chief.
- (xi) No land divisions shall be allowed within the DEVELOPMENT unless previously approved by the Village.
- (xii) All vehicles for sale/lease within the DEVELOPMENT shall be parked in designated areas of the site and depicted on the Site and Operational Plans. No vehicles shall be parked on the grass, in the landscaping, in the right-of-way, throat or driveway entrances, maneuvering lands or fire lanes. In addition, vehicles shall not be elevated with ramps or placed on platforms or the roof of the building.
- (xiii) All signs shall comply with Article X of Chapter 420 of the Village Municipal Code. As notes in said Ordinance the following types of signs are prohibited:
 - (1) Any sign with flashing or pulsating lights.
 - (2) Any inflatable sign or inflatable characters, including but not limited to tethered balloon signs or other gas-filled figures.
 - (3) Any temporary, spring-action metal advertising sign.
 - (4) Any spotlights used as visual attention-getters.
 - (5) A string of lights, tinsel, pennants, pinwheels or other similar devices hanging between two points or attached to light poles, cars, antennas, buildings or other structures on the property.
 - (6) Any sign place within an open hood of a vehicle for sale.
- (xiv) The DEVELOPMENT shall comply with all applicable performance standards set forth in § 420-38 of the Village Zoning Ordinance.

- (xv) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
- (xvi) The DEVELOPMENT shall not be used for any outside parking (neither overnight nor during the day) of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations.

d. Specific Modifications to the Village Ordinance and Regulations and Specific Requirements for the DEVELOPMENT:

- (i) Section 420-119 I related to dimensional standards shall be amended to read as follows:
 - I. Dimensional standards. Except as otherwise specifically provided in this chapter, and without limitation, all uses, sites, buildings and structures in the B-2 District shall comply with the following dimensional standards to the extent applicable:
 - (1) Lot size: two acres minimum.
 - (2) Lot frontage on a public street: 150 feet minimum.
 - (3) Open space: 30% minimum.
 - (4) Principal building standards:
 - (a) Gross floor area: 25,000 square feet minimum and 50,000 square feet maximum.
 - (b) Height: 35 feet maximum.
 - (c) Setbacks:
 - [1] Street setback: minimum of 65 feet from STH 50 and a minimum of 40 feet from 109th Avenue and 77th Street.
 - [2] Side and rear setback: 30 feet minimum.
 - [3] Wetland setback: 25 feet minimum.
 - (5) Detached accessory building/trash enclosure standards: detached accessory buildings or trash enclosures are prohibited.
- (ii) Section 420-48 C related to minimum number of off-street parking spaces shall be amended to read as follows:
 - C. Minimum number of off-street parking spaces. Minimum number of off-street parking spaces for the DEVELOPMENT shall be 46 parking spaces for employees and 49 parking spaces for customers. No designated customer or employee parking space shall be used for inventory parking and if customer and employee parking becomes an issue as determined by the Village Police Chief, additional parking spaces shall be added on the recently acquired land south of the building and adjacent to 77th Street. All employee and customer parking spaces shall be striped and the centerline of the all double row inventory parking areas shall be striped to ensure that all cars are parked appropriately on the site. No off-street parking shall be allowed on STH 50, 109th Avenue or 77th Street.

- (iii) Section 420-57 H (2) (g) related to exterior walls materials shall be amended to read:

(g) Exterior walls of all principal or accessory buildings shall be constructed of the following materials as shown on the Village approved Site and Operational Plans:

[1] Facing materials shall consist of the following materials:

[a] Architectural pre-cast panels with inset brick (light sandstone, smooth and tan integral throughout the panel).

[b] Bright aluminum metallic panels will be used within a portion of the architectural tower elements along the front of the building.

[c] Chevrolet blue aluminum panels at the main entrance of the building.

- (iv) Section 420-76 T (7) related to the setback for the primary monument sign to the right-of-way shall be amended to read as follows:

(7) Minimum street setback distance: 8 feet from the street right-of-way line of STH 50 and 15 feet from the street right-of-way of 109th Avenue and 77th Street.

- (v) Section 420-78 (K) (1) related to the total aggregate permitted background commercial advertising sign area shall be amended to read as:

(1) Except as is otherwise specifically provided in this article, the aggregate permitted background commercial advertising sign area allowed within the DEVELOPMENT not to exceed a maximum of 330 square feet.

e. Amendments:

- (i) The PUD regulations for said DEVELOPMENT may be amended pursuant to Section 420-13 of the Village Zoning Ordinance.
- (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and/or Village Board of Trustees review and approval.

Adopted this ____ day of _____ 2018.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

Lynch PUD Amendment
CODE1801-003



MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Lynch Chevrolet – Parking Expansion

DATE: January 26, 2018

Peggy,

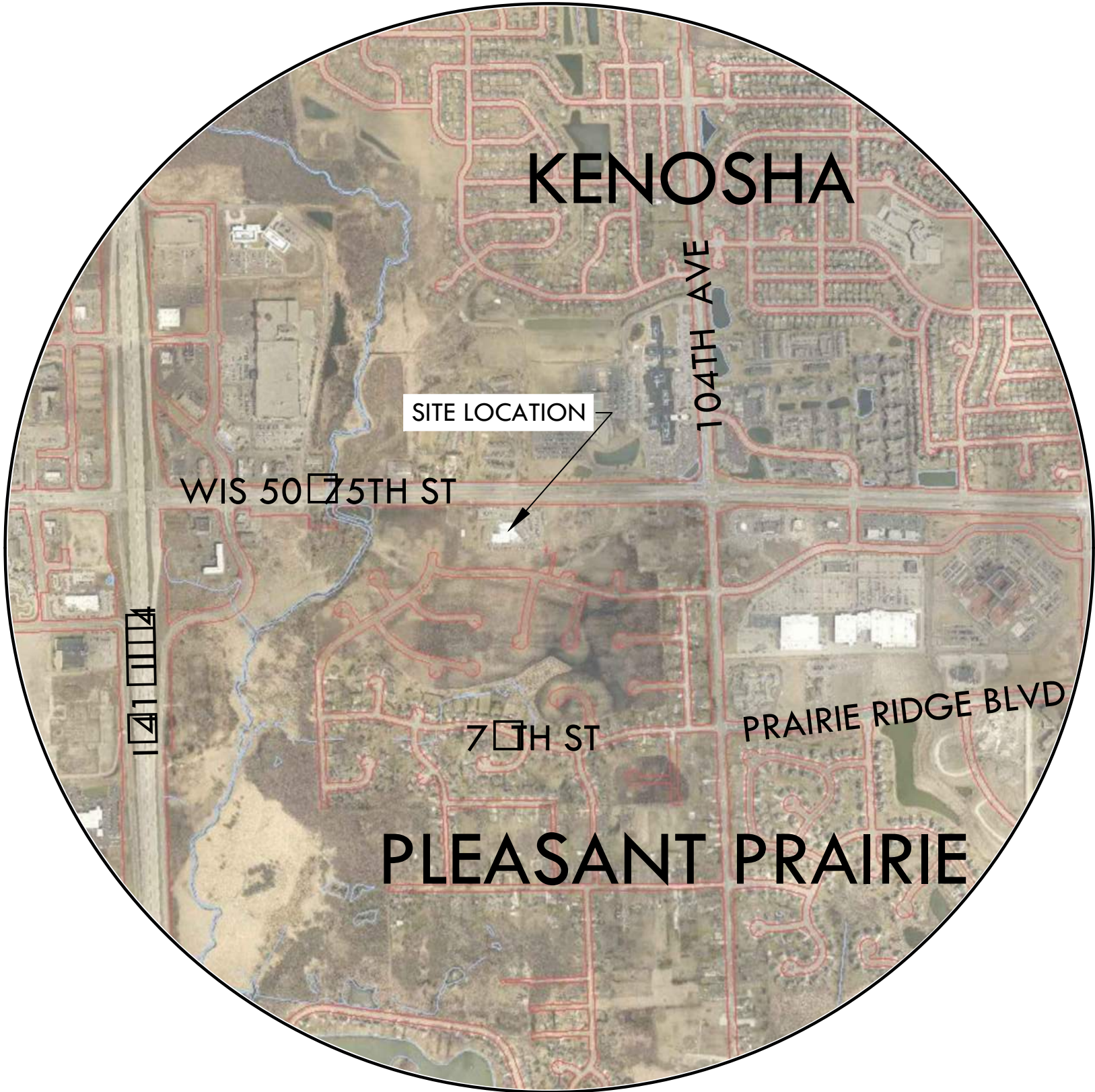
The Engineering Department has reviewed the submitted plans for the above referenced project. Based on our review, we have the following comments listed below and as noted on the attached plan mark-up sheets. Refer to both this memo and the plan mark-up sheets for all engineering comments.

1. See comments on attached mark-up plan sheets.
 - a. Only plan sheets with comments are included.
 - b. Comments that apply to multiple locations are not repeated for every occurrence.
2. The following storm water items need to be addressed for the existing pond modification:
 - a. The existing pond modification design does not function adequately as the water elevations surcharge inlet #4 and overtop the curb. Modifications to the design are required.
 - b. The existing pond 100-year water elevation is above the emergency spillway elevation. The design shall be modified so the pond elevation for the 100-year storm is kept below the emergency spillway.
 - c. The existing pond outlet structure detail does not match what was used in the storm water modeling. Rectify modeling and construction plans.
3. The following storm water items need to be addressed for the proposed pond:
 - a. The pond outlet pipe size is inconsistent (6-inch or 12-inch?). Consider using a 12-inch outfall pipe with a 6-inch orifice plate. Correct plans accordingly.
 - b. There appears to be insufficient room to create a 5-foot deep pond. The current design shows a maximum 3-foot deep pond with a very small water pool surface. It is expected that this pond will have aquatic vegetation and not be aesthetically pleasing. The design engineer shall evaluate the design. Also, the Community Development Department / Plan Commission may have concerns and further comments regarding the pond aesthetics.

- c. Provide an anti-seep collar for the pond outfall pipe.
- 4. The existing sanitary sewer clean outs shall be maintained. Provide information if the cleanouts are in conflict with the curb and / or modifications required for each clean out access.
- 5. Provide a copy of the WDOT permit for the construction access off of STH 50 and removal of the existing residential access drive.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date.

Attachments: Plan-Mark Up



VICINITY MAP

PARKING LOT EXPANSION
FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

SHEET INDEX

C000	TITLE SHEET & VICINITY MAP
C001	GENERAL NOTES
C002	
C100	TYPICAL SECTIONS
C110	EXISTING CONDITIONS
C200	EROSION CONTROL PLAN
C300	GEOMETRY PLAN
C400	PAVING PLAN
C500	CONSTRUCTION DETAILS
C600	LANDSCAPE PLAN
C700	PAVEMENT MARKING PLAN
C800	LIGHTING PLAN

VOPP ENG REVIEW
PLAN MARK UP
1-26-18

PRE-CONSTRUCTION NOTE: PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD.

HORIZONTAL COORDINATE SYSTEM: KENOSHA COUNTY COORDINATE SYSTEM
VERTICAL DATUM: NAVD88

BENCHMARKS

SEC. MONUMENT	EL. 686.42	N 27784.8470	E 33332.1870
SEC. MONUMENT	EL. 686.22	N 27784.6580	E 333780.220

CONTACT INFORMATION

COMPANY NAME	ADDRESS	CONTACT	PHONE	EMAIL
LYNCH & ASSOCIATES	5482 S. WESTRIDGE DR. NEW BERLIN, WI 53151	TIM LYNCH, P.E.	262.402.5040	tim@lynchassociates.com

REVISIONS

NO.	REVISION	DATE
1		00.00.00

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

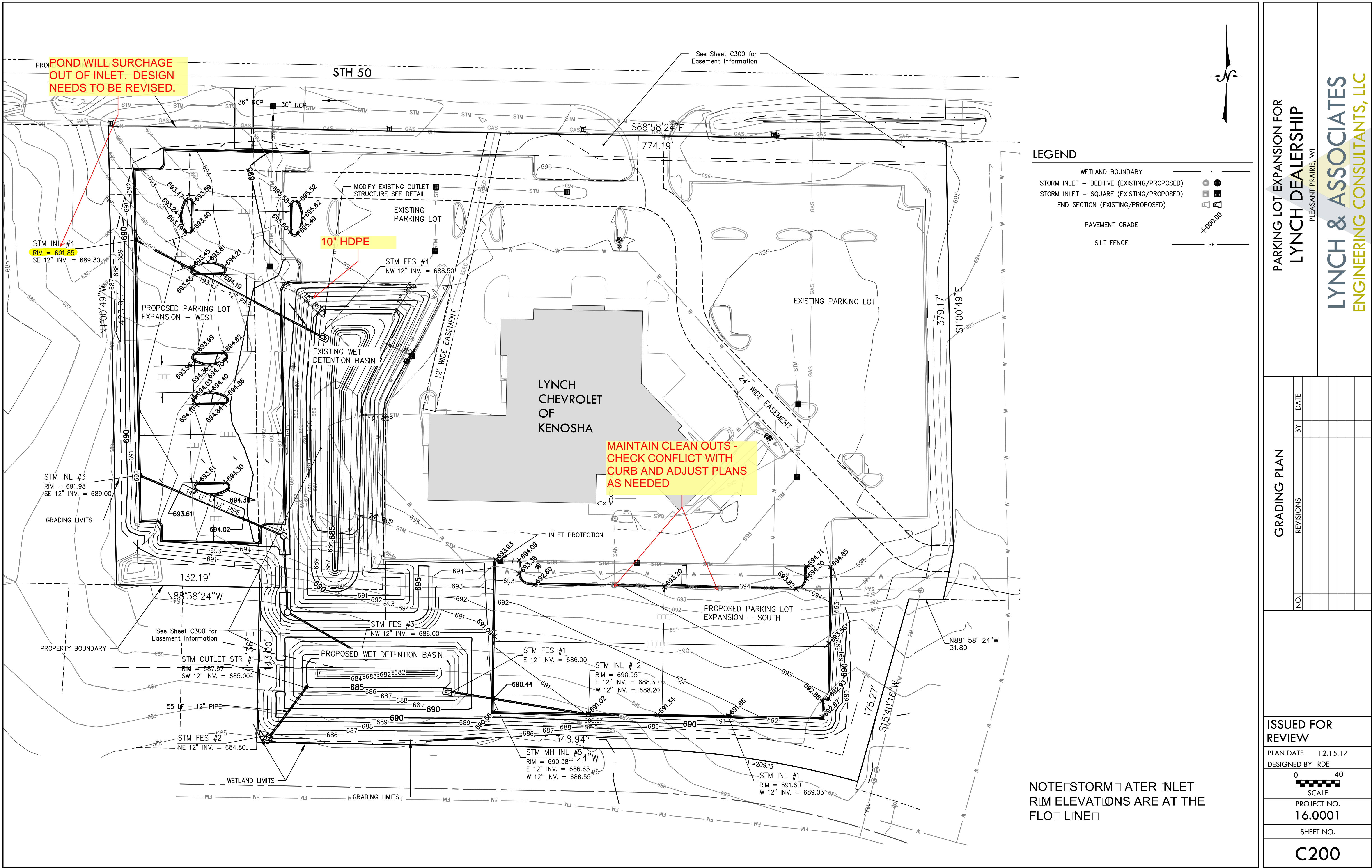
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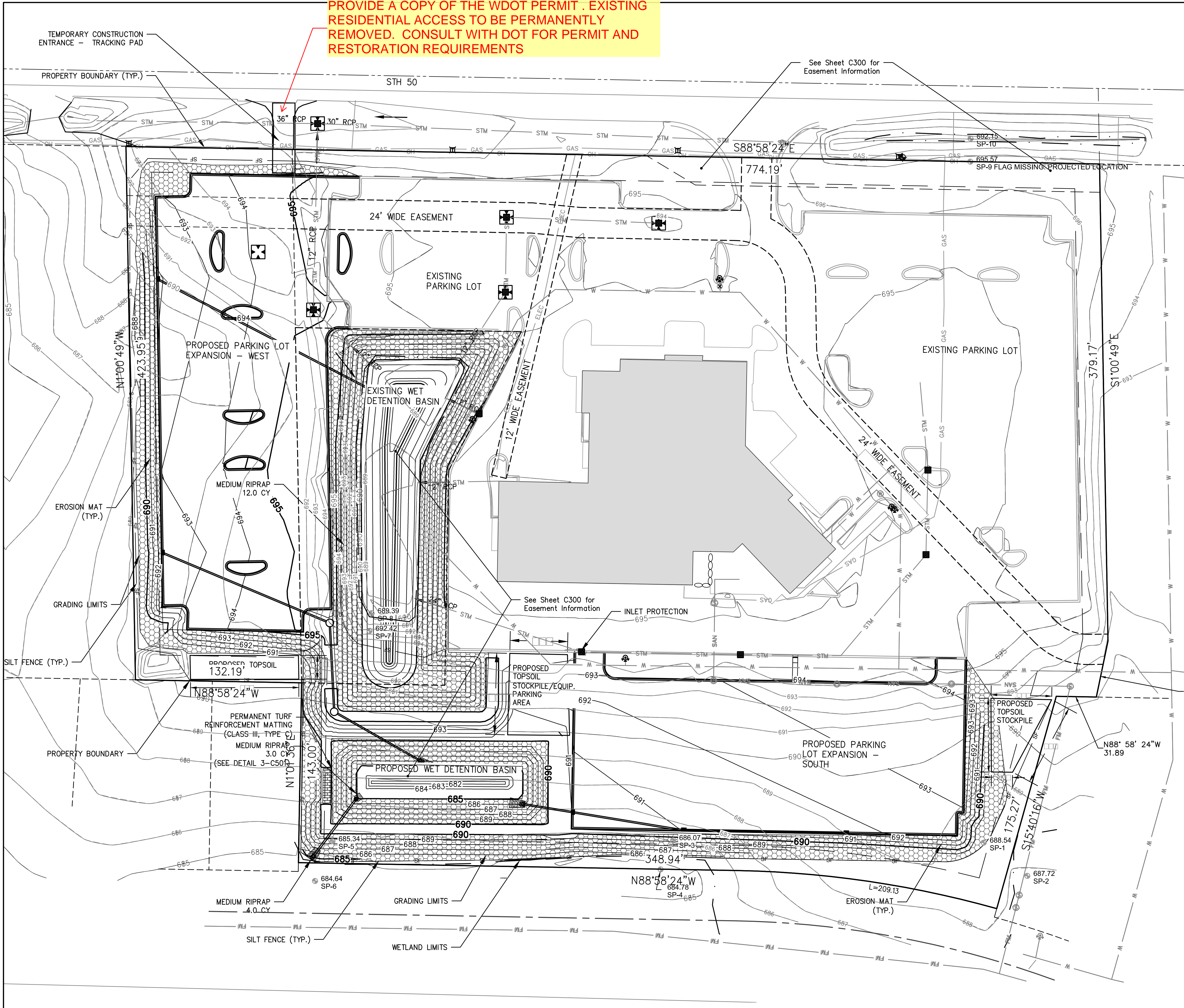
PLAN DATE 12.15.17

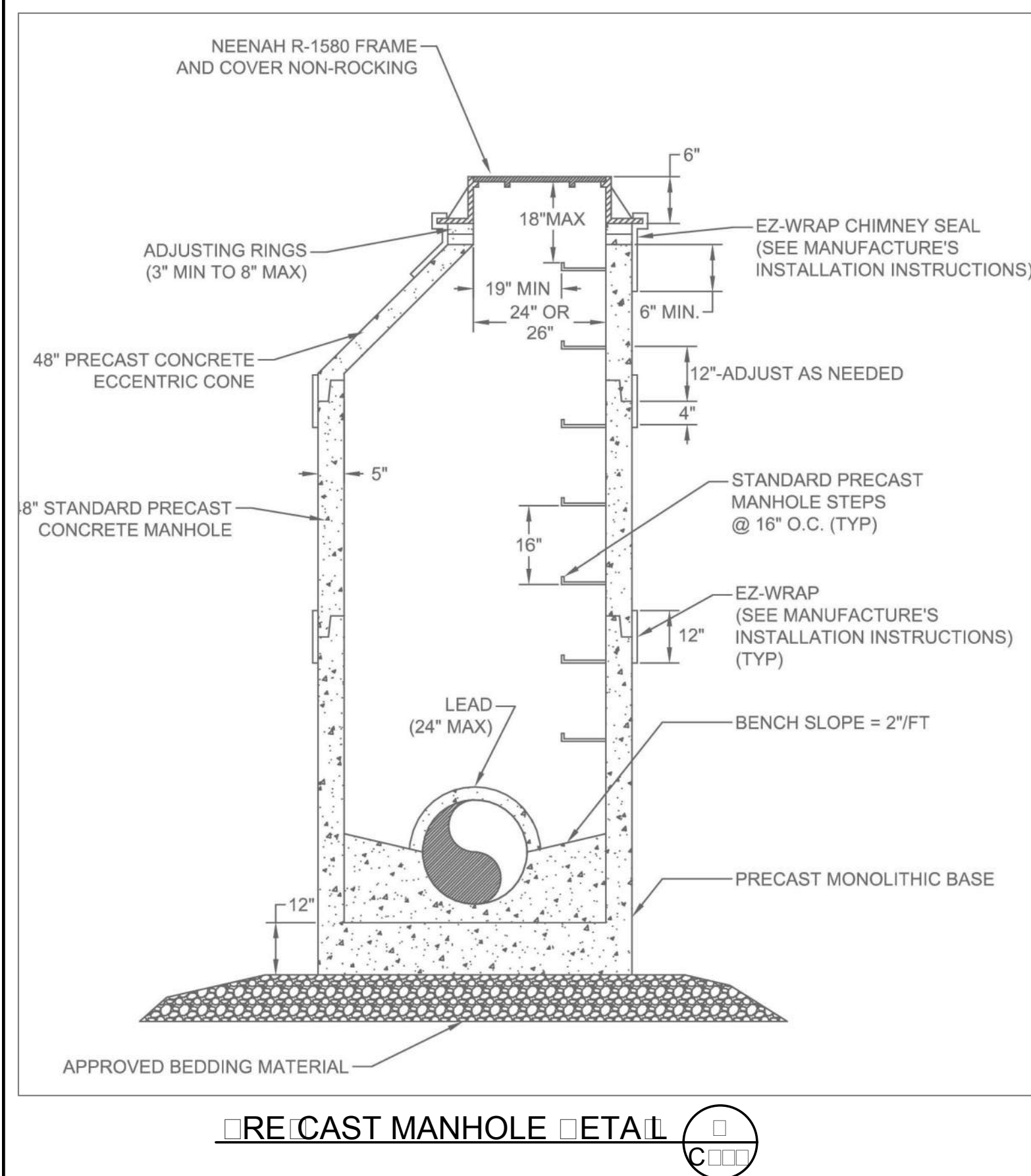
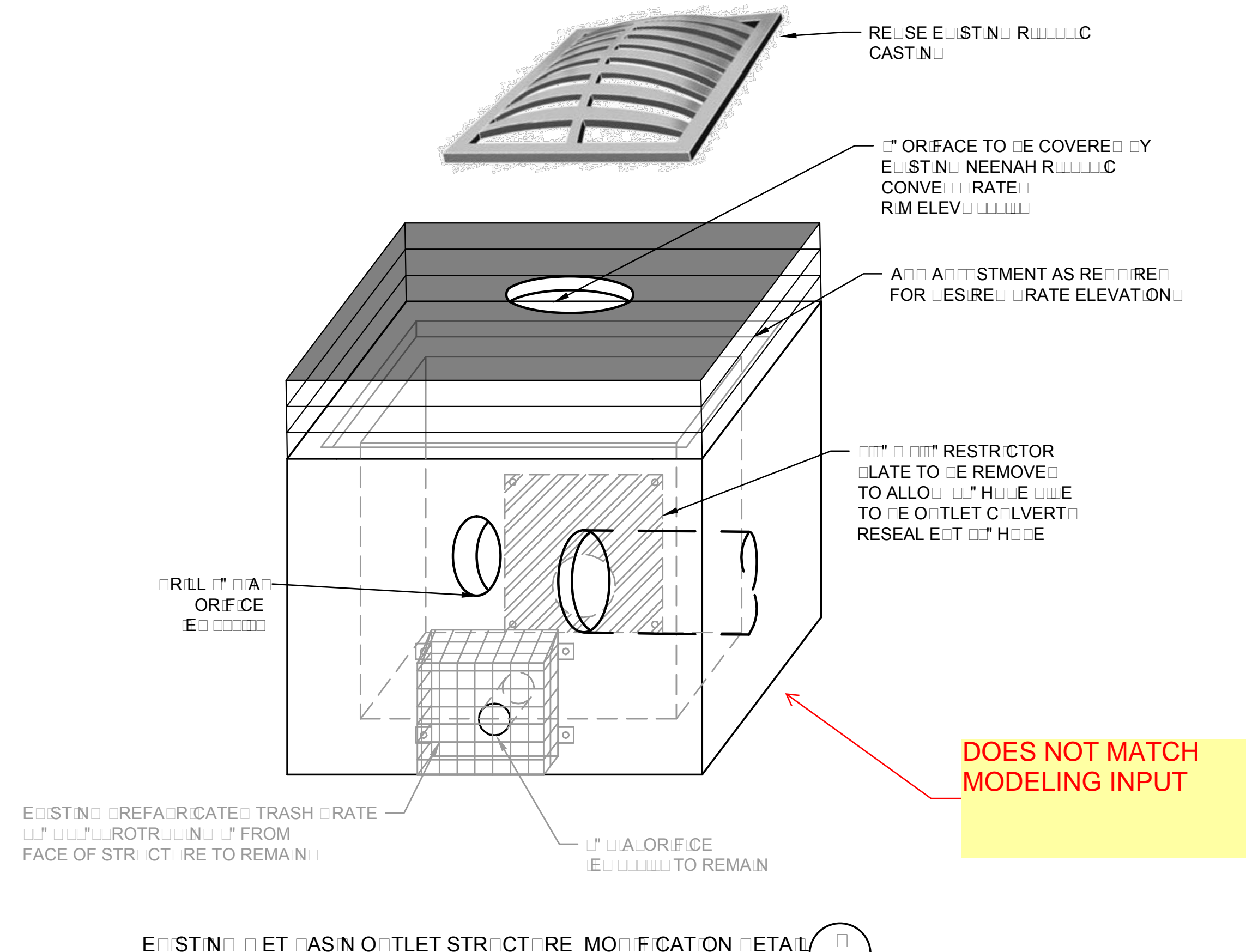
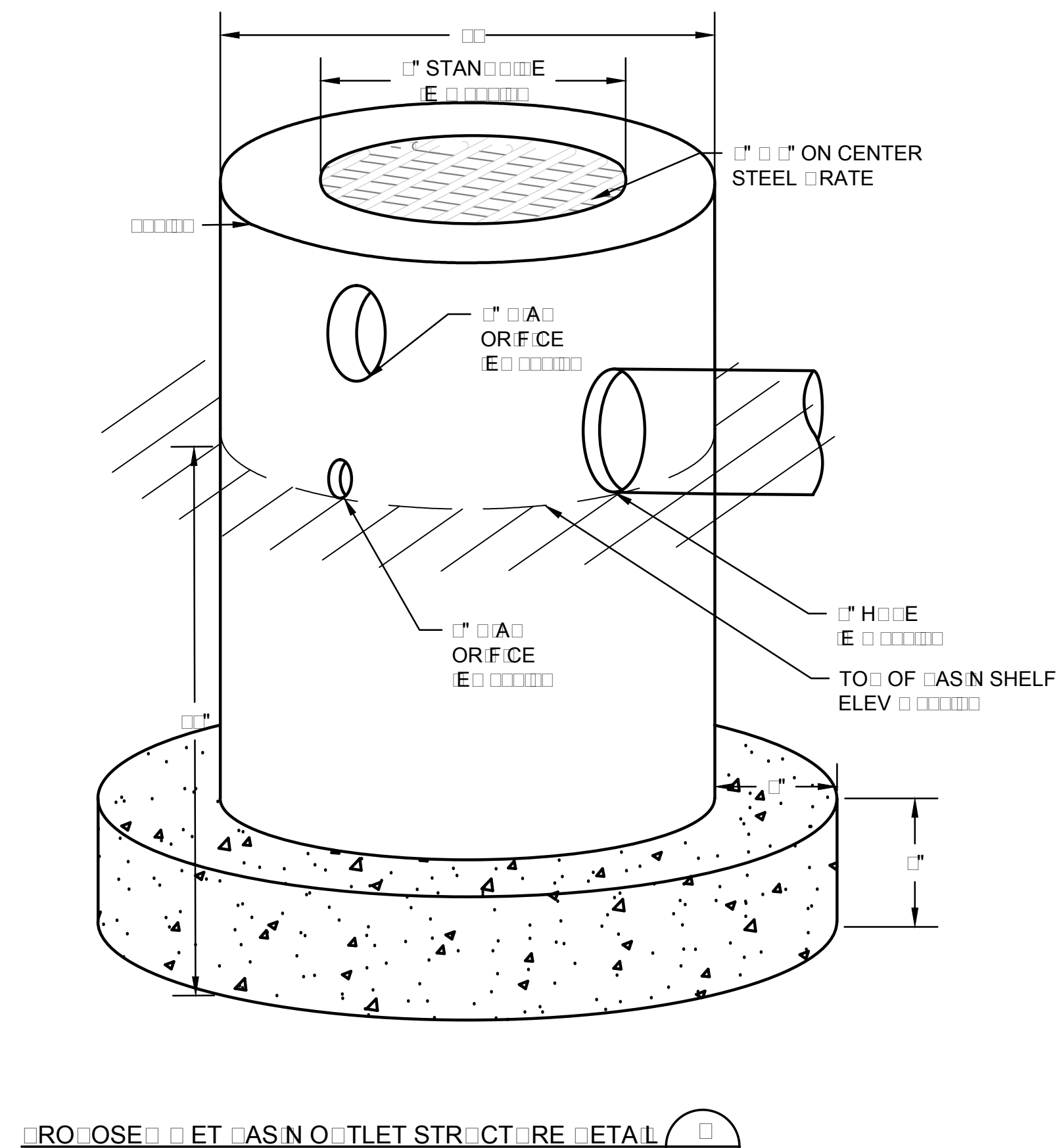
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NOTES ☐

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PLACE FILTER CLOTH ON BOTTOM AND SIDES OF REAR FOUNDATION. JOINTS TO OVERLAP A MINIMUM OF ONE FOOT.

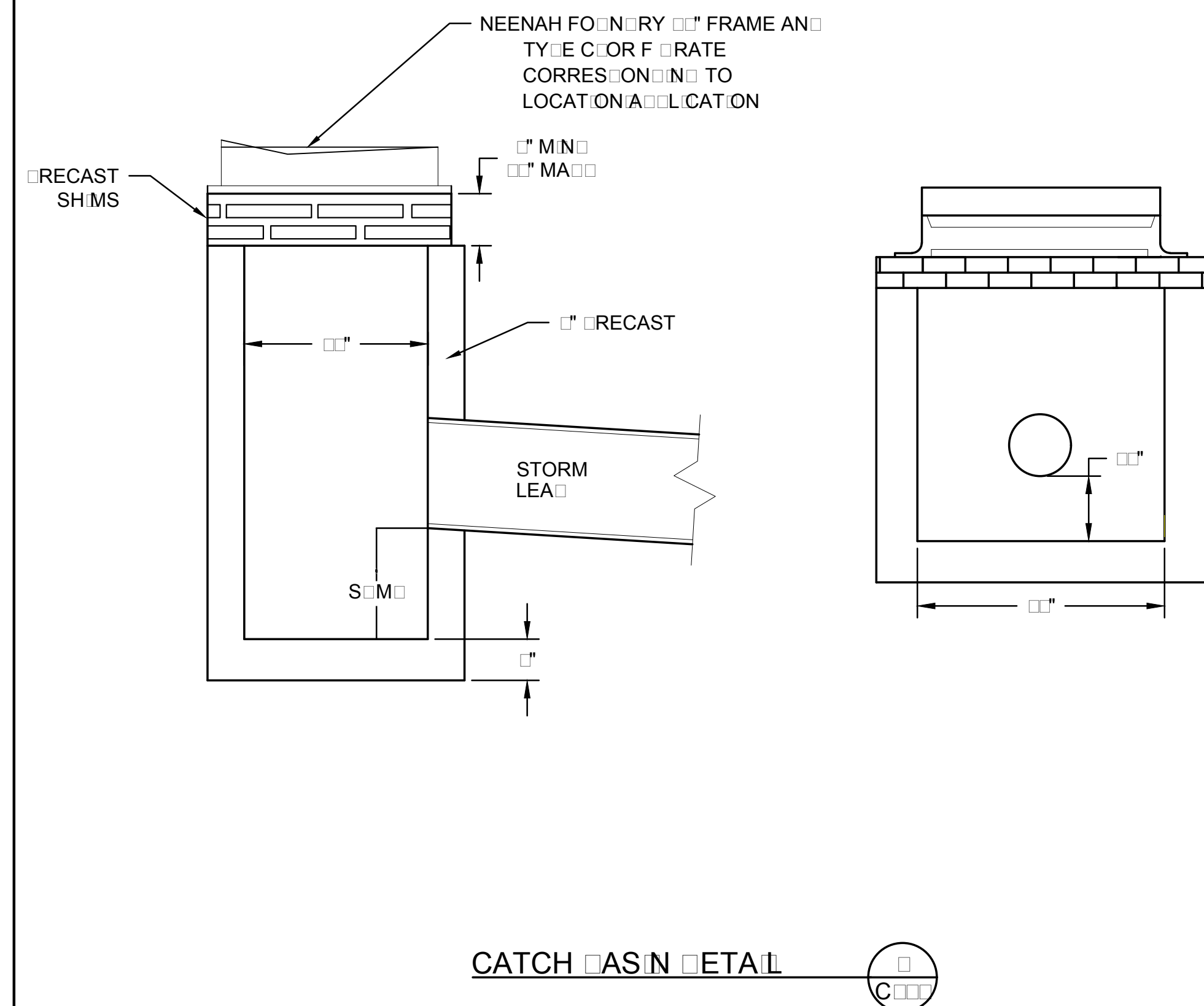
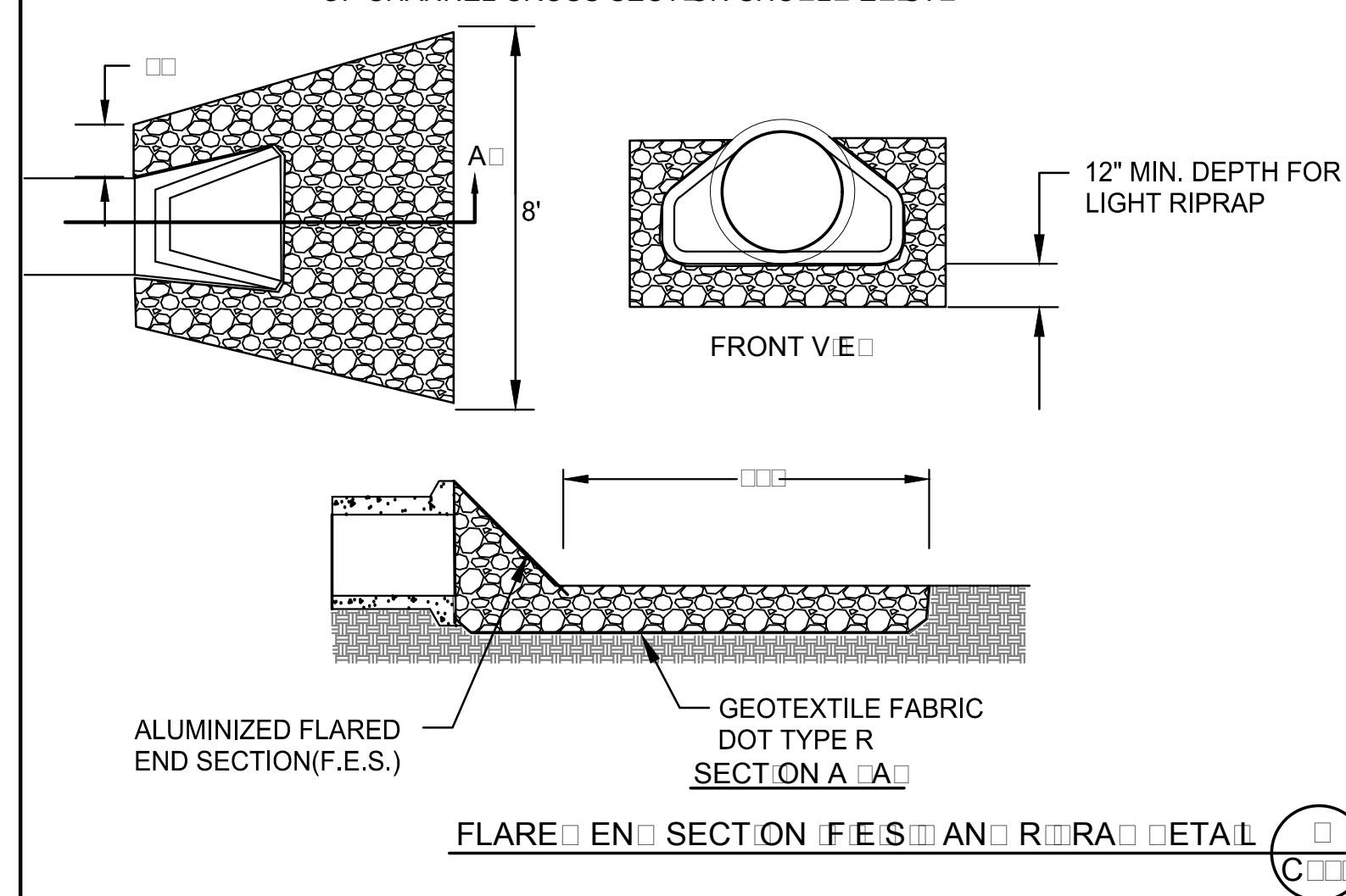
EXERCISE CARE IN REPLACEMENT TO AVOID DAMAGE TO FILTER FAIRLY

PLACE RIBBON ON ZERO SCALE TO OF RIBBON TO THE LEVEL OF THE ROSE OUTLET
NO OVERFALL AT ENDS

THE ROADS AND TRANSPORTS ACT, 1988

IMMEDIATELY AFTER CONSTRUCTION SHALL LEAVE ALL STORED AREAS WITH VEGETATION

□□ LINE CHANNEL TO TO□ OF □ANKS FOR A □STANCE OF □□□O□ NSTREAM□ NO RESTR CTION
OF CHANNEL CROSS SECTION SHO L□ E□ST□



**PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP**

PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

CONSTRUCTION DETAILS

NO.	REVISIONS	BY	DATE

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REVIEW

PLAN DATE	12.15.17
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DESIGNED BY RDE

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SCALE

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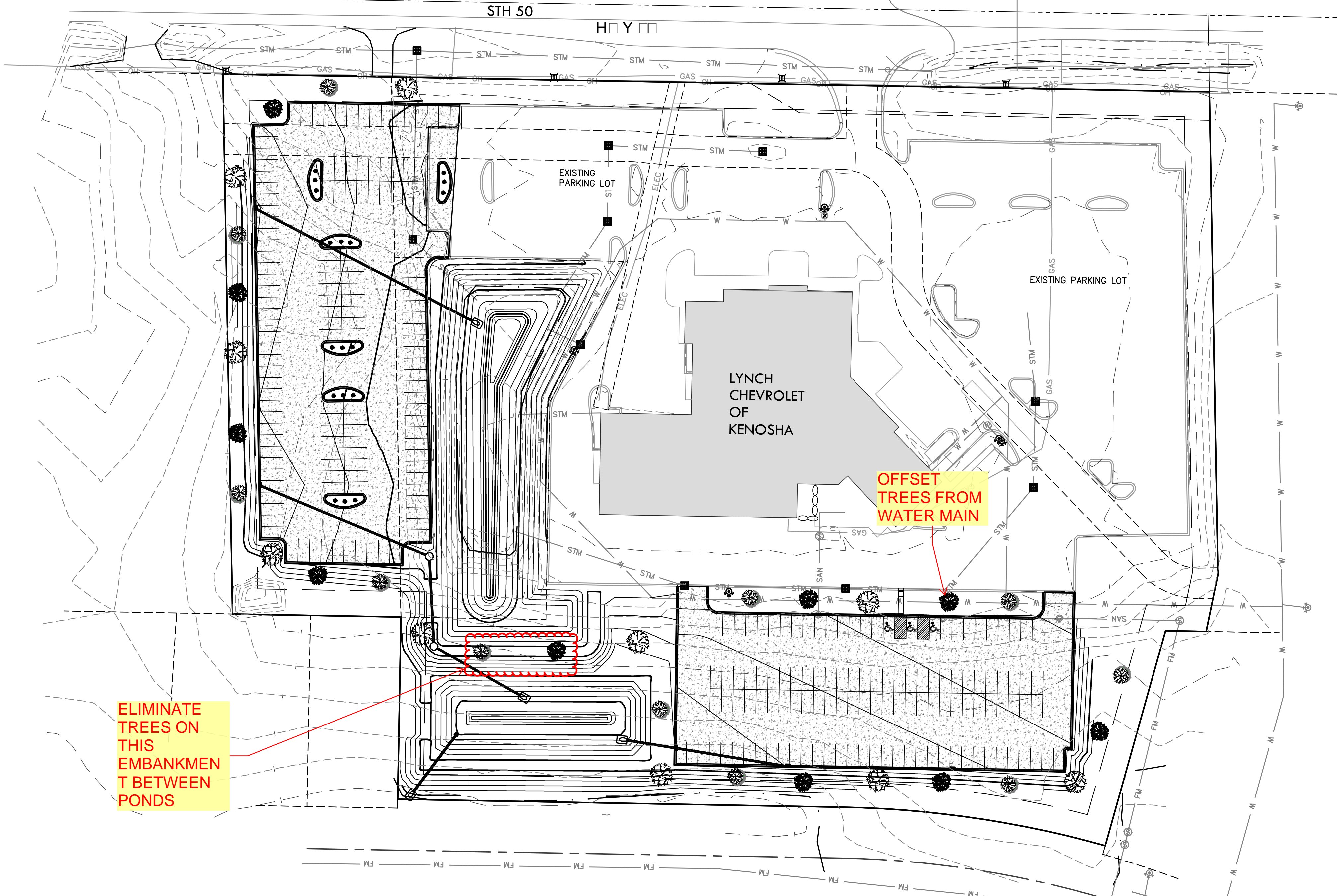
C502

SITE DATA CHART	
LOT AREA	ACRES
GREEN SPACE REQUIRED OF LOT AREA	ACRES
TOTAL GREEN SPACE PROVIDED	ACRES
NET PARKING LOT AREA	ACRES
TOTAL PARKING LOT AREA	ACRES
TOTAL IMPERVIOUS AREA	ACRES OF LOT AREA
PARKING LOT GREEN SPACE REQUIRED OF PARKING LOT AREA	ACRES
LANDSCAPE AREA WITHIN PARKING LOT	ACRES
TOTAL ADDITIONAL PARKING SPACES	

STREET TREE CALCULATIONS PER ORDINANCE	
HIGHWAY ADDITIONAL FRONTAGE FEET	
TREE PER FEET OF FRONTAGE	TREES
ROOSE STREET TREES AS SHOWN	
HONEY LOCUST	
ATLANTIC WHITE OAK	
SILVER MAPLE	
TOTAL TREES ROOSE	

LEGEND	
	EXISTING SEWER LINE
	EXISTING BEAM DRAIN
	EXISTING TREE LINE
	EXISTING WATER VALVE HYDRANT
	EXISTING WATER MAIN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY SEWER
	EXISTING STORM MANHOLE INLET
	EXISTING STORM SEWER
	EXISTING TELEPHONE PEDestal
	EXISTING TREE
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM INLET END SECTION
	PROPOSED HYDRANT WATER VALVE
	EXISTING RETAINING WALL

LEGEND		SIZE	QTY
	ATLANTIC WHITE OAK FREEMAN MAPLE (AF) ACER FREEMAN ATLANTIC WHITE OAK	12" CALIBER	10
	SILVER MAPLE (AC) ACER SACCHARINUM	12" CALIBER	10
	THORNLESS HONEY LOCUST (HT) LEBETHIA TRICANTHOS (NORMIS)	12" CALIBER	10
	COMPACT CORNUS SHI EPHONYMUS ALATIS (COMACTIS)	12" CALIBER	10



PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

LANDSCAPE PLAN

NO. BY DATE

REVISIONS

ISSUED FOR
REVIEW

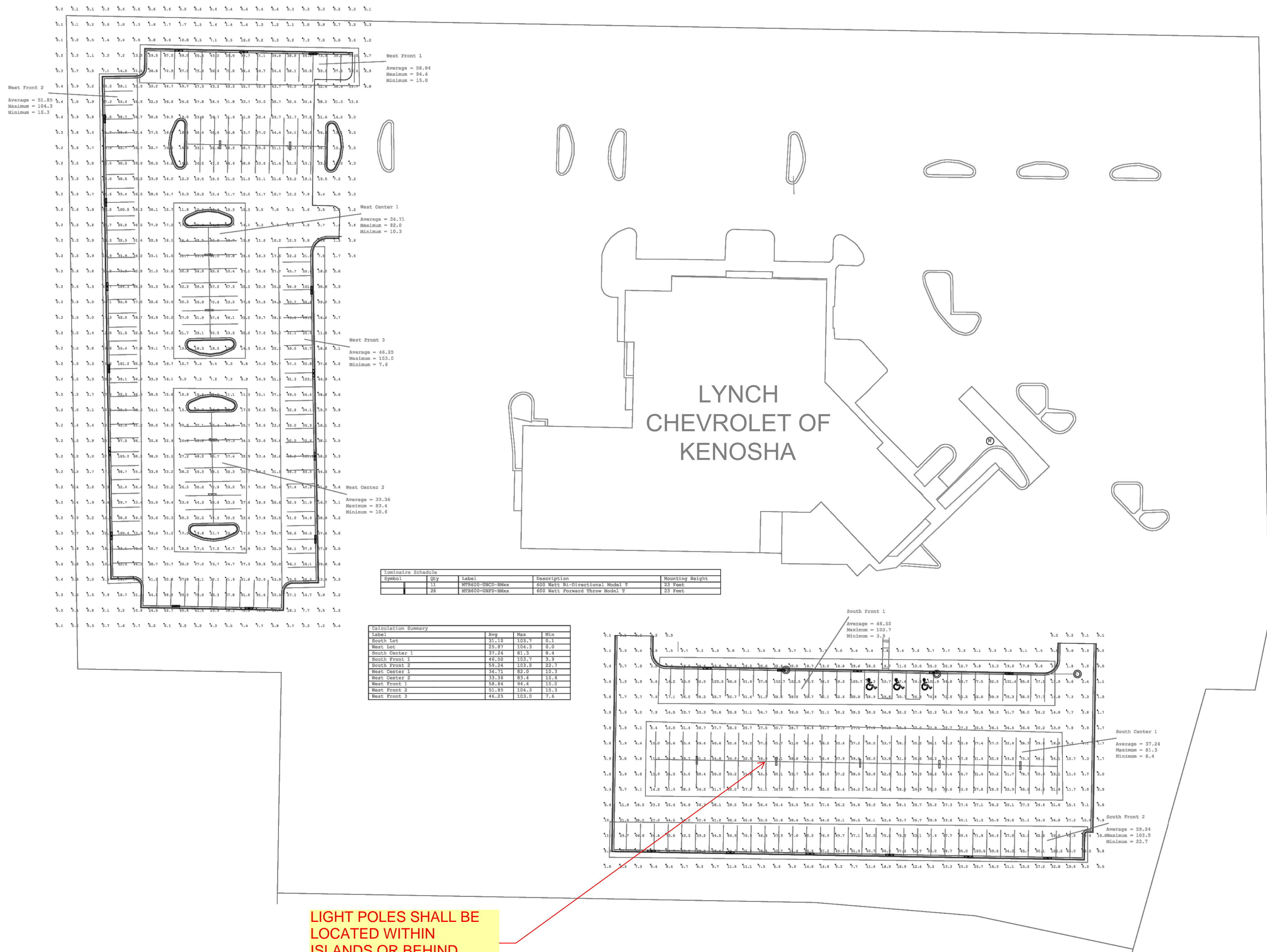
PLAN DATE 12.15.17
DESIGNED BY RDE

0 50'
SCALE

PROJECT NO.
16.0001

SHEET NO.

C600



Luminaire Schedule				
Symbol	Qty	Label	Description	Mounting Height
10	10	WFS000-0MCD-0M00	000 Watt 81-Directional Model 7	25 Feet
20	20	WFS000-0MCD-0M00	000 Watt Forward Throw Model 7	25 Feet

Calculation Summary			
Label	Avg	Max	Min
South Lot	31.12	103.7	0.1
West Lot	25.87	104.3	0.0
South Center 1	37.24	81.3	0.4
South Front 1	46.50	103.7	0.9
South Front 2	33.24	103.9	22.7
West Center 1	34.71	82.0	10.3
West Center 2	33.36	83.4	10.6
West Front 1	50.84	94.4	15.0
West Front 2	51.85	104.3	15.3
West Front 3	46.25	103.0	7.6

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

LIGHTING PLAN

REVISIONS

BY

DATE

NO.

ISSUED FOR
REVIEW

PLAN DATE 12.15.17

DESIGNED BY RDE

0 40'
SCALE

PROJECT NO.
16.0001

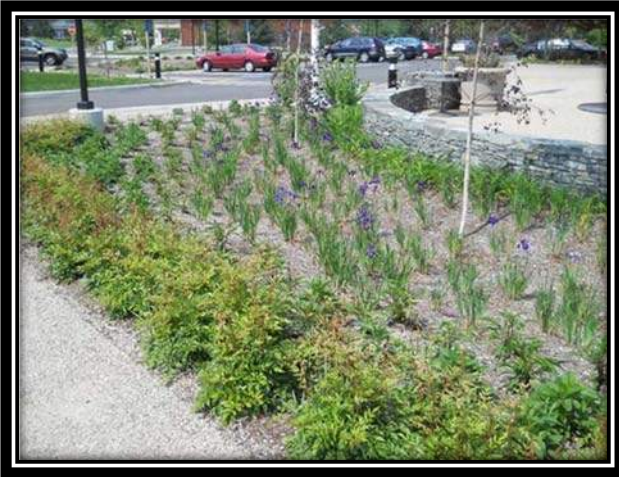
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C800

STORM WATER MANAGEMENT PLAN



LYNCH CHEVROLET of KENOSHA Pleasant Prairie, Wisconsin



Project Number: 16.0001

December 28th, 2017



5482 S. WESTRIDGE DRIVE
NEW BERLIN, WI 53151

POST-DEVELOPMENT CONDITIONS

The proposed parking lot expansion consists of two separate parking lot additions: Proposed Parking Lot Expansion-West and Proposed Parking Lot Expansion-South. The western parking lot expansion is a total of 1.2 acres, of which 0.80 acres drains to the existing wet basin designed by JSD Professional Services and 0.39 acres drains to the proposed wet basin. A combination of storm sewer & swales will direct runoff to the wet basin to provide peak flow and water quality control for the site. The southern parking lot will outfall to an existing wetland at the southern property line. The western parking lot will maintain its original outlet location to the existing storm sewer on HWY 50.

Hydrologic Analysis of Proposed Conditions

Drainage Area	Area (Acres)	Runoff Curve Number	Time of Conc. (Min.)	Peak Flow Rate (cfs)				
				1-year	2-year	10-year	25-year	100-year
Existing Wet Basin	6.25	94	6	0.05	0.05	0.28	0.53	1.66
Proposed Wet Basin	2.32	95	6	0.04	0.04	0.09	0.34	0.67

Existing Wet Detention Basin Data							
Wet Basin (Node)	Peak Outflow 2-Year (cfs)	Peak Outflow 100-Year (cfs)	Normal Water Elevation (ft.)	Peak W.S. Elev. 2-Year	Peak W.S. Elev. 100-Year	Spillway Elev.	Top of Berm Elev.
1P	0.05	1.66	688.50	691.81	694.32	694.00	695.00

Proposed Wet Detention Basin Data							
Wet Basin (Node)	Peak Outflow 2-Year (cfs)	Peak Outflow 100-Year (cfs)	Normal Water Elevation (ft.)	Peak W.S. Elev. 2-Year	Peak W.S. Elev. 100-Year	Spillway Elev.	Top of Berm Elev.
2P	0.04	0.67	685.00	687.21	688.97	689.00	690.00

**SPILLWAY ELEVATION
MUST BE ABOVE
100-YEAR W.S.**

16-0001 EXT POND

MSE 24-hr 3 1-Year Rainfall=2.40"

Prepared by {enter your company name here}

Printed 11/29/2017

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Page 8

Summary for Pond 1P: Existing Wet Basin

Inflow Area = 7.050 ac, 79.13% Impervious, Inflow Depth > 1.59" for 1-Year event
 Inflow = 20.06 cfs @ 12.13 hrs, Volume= 0.936 af
 Outflow = 0.05 cfs @ 20.00 hrs, Volume= 0.031 af, Atten= 100%, Lag= 472.2 min
 Primary = 0.05 cfs @ 20.00 hrs, Volume= 0.031 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 691.44' @ 20.00 hrs Surf.Area= 0.409 ac Storage= 0.905 af

Plug-Flow detention time= 367.5 min calculated for 0.031 af (3% of inflow)
 Center-of-Mass det. time= 170.1 min (937.6 - 767.6)

Volume	Invert	Avail.Storage	Storage Description
#1	688.50'	2.825 af	Custom Stage Data (Irregular) Listed below (Recalc)

Elevation (feet)	Surf.Area (acres)	Pond Depth (feet)	10-INCH HDPE (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acre)
688.50	0.227	483.0	0.000	0.000	0.227
690.00	0.299	625.0	0.393	0.393	0.515
691.00	0.380	772.0	0.339	0.732	0.891
695.00	0.681	885.0	2.093	2.825	1.241

Device	Routing	Invert	Outlet Devices
#1	Primary	688.50'	9.0" Round Culvert L= 50.0' RCP, sq.cut end projecting, Ke= 0.500 Inlet / Outlet Invert= 688.50' / 688.25' S= 0.0050 ' / Cc= 0.900 n= 0.011 Concrete pipe, straight & clean, Flow Area= 0.44 sf
#2	Device 1	688.50'	1.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads
#3	Device 1	693.40'	7.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads
#4	Device 1	691.80'	3.0" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.05 cfs @ 20.00 hrs HW=691.44' (Free Discharge)

1=Culvert (Passes 0.05 cfs of 3.12 cfs potential flow)
 2=Orifice/Grate (Orifice Controls 0.05 cfs @ 8.25 fps)
 3=Orifice/Grate (Controls 0.00 cfs)
 4=Orifice/Grate (Controls 0.00 cfs)

VERTICAL**DETAIL
SHOWS
8-INCH**

**DOES NOT MATCH OUTLET
STRUCTURE DETAIL**

16-0001 POST TKM

Type II 24-hr 1-yr Rainfall=2.18"

Prepared by {enter your company name here}

Printed 11/29/2017

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Page 8

Summary for Pond 2P: Proposed Wet Basin

Inflow Area = 2.328 ac, 81.96% Impervious, Inflow Depth > 1.53" for 1-yr event
 Inflow = 6.14 cfs @ 11.96 hrs, Volume= 0.297 af
 Outflow = 0.04 cfs @ 20.00 hrs, Volume= 0.026 af, Atten= 99%, Lag= 482.1 min
 Primary = 0.04 cfs @ 20.00 hrs, Volume= 0.026 af

Routing by Stor-Ind method, Time Span= 1.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 686.85' @ 20.00 hrs Surf.Area= 0.174 ac Storage= 0.271 af

Plug-Flow detention time= 398.6 min calculated for 0.026 af (9% of inflow)
 Center-of-Mass det. time= 163.1 min (917.2 - 754.0)

Volume	Invert	Avail.Storage	Storage Description
#1	685.00'	0.962 af	Wet Detention (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)
685.00	0.120	0.000	0.000
690.00	0.265	0.962	0.962

Device	Routing	Invert	Outlet Devices
#1	Primary	685.00'	6.0" Round Culvert L= 47.0' RCP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 685.00' / 684.80' S= 0.0043 '/' Cc= 0.900 n= 0.011 Concrete pipe, straight & clean, Flow Area= 0.20 sf
#2	Device 1	685.00'	1.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	687.50'	4.0" Vert. Orifice/Grate C= 0.600
#4	Device 1	688.90'	8.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=0.04 cfs @ 20.00 hrs HW=686.85' (Free Discharge)

1=Culvert (Passes 0.04 cfs of 0.96 cfs potential flow)
 2=Orifice/Grate (Orifice Controls 0.04 cfs @ 6.47 fps)
 3=Orifice/Grate (Controls 0.00 cfs)
 4=Orifice/Grate (Controls 0.00 cfs)



HDPE

Scenario: Base
Lynch Chevrolet Kenosha
Inlet Report 100 Year Storm

Label	Inlet	Bypass Target	Inlet Area (acres)	Inlet C	Inlet CA (acres)	Total Flow To Inlet (cfs)	Intercepted Rational Flow (cfs)	Bypassed Rational Flow (cfs)	Capture Efficiency (%)	Longitudinal Slope (ft/ft)	Road Cross Slope (ft/ft)	Gutter Ditch Depth (ft)	Gutter Ditch Spread (ft)
IN 1	Grate Neenah R-3501-R	IN 2	0.17	0.70	0.12	0.90	0.64	0.26	71.7	0.0200	0.020	0.11	5.46
IN 2	Grate Neenah R-3501-R	IN 5	0.41	0.70	0.29	2.91	1.53	1.38	52.7	0.0200	0.020	0.17	8.48
IN 5	Grate Neenah R-3501-R		0.43	0.70	0.30	4.11	4.11	0.00	100.0		0.020	0.40	19.83
IN 3	Grate Neenah R-3501-R		0.38	0.70	0.27	2.01	2.01	0.00	100.0		0.020	0.26	12.81
IN 4	Grate Neenah R-3501-R		0.74	0.70	0.52	3.92	3.92	0.00	100.0		0.020	0.39	19.25

**DOES NOT APPEAR TO BE
100-YEAR FLOW AMOUNTS;
ENSURE ANY FLOW
OVERTOPPING CURB IS
THEN ROUTED TO POND**

ORD. # 18-

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby
amended as follows:**

The property located 10901 75th Street known as Lot 1 of CSM located in U.S. Public Land Survey Section 7, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 91-4-122-071- is hereby rezoned as follows: the wetland area as shown and legally described on **Exhibit 1** are hereby rezoned into the C-1, Lowland Resource Conservancy District, the portion of the property that is zoned R-2, Urban Single Family Residential District is hereby rezoned into the B-2, Community Business District and the entire property is being rezoned into the PUD, Planned Unit Development Overlay District.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendment.

Adopted this ____ day of _____, 2018.

VILLAGE BOARD OF TRUSTEES

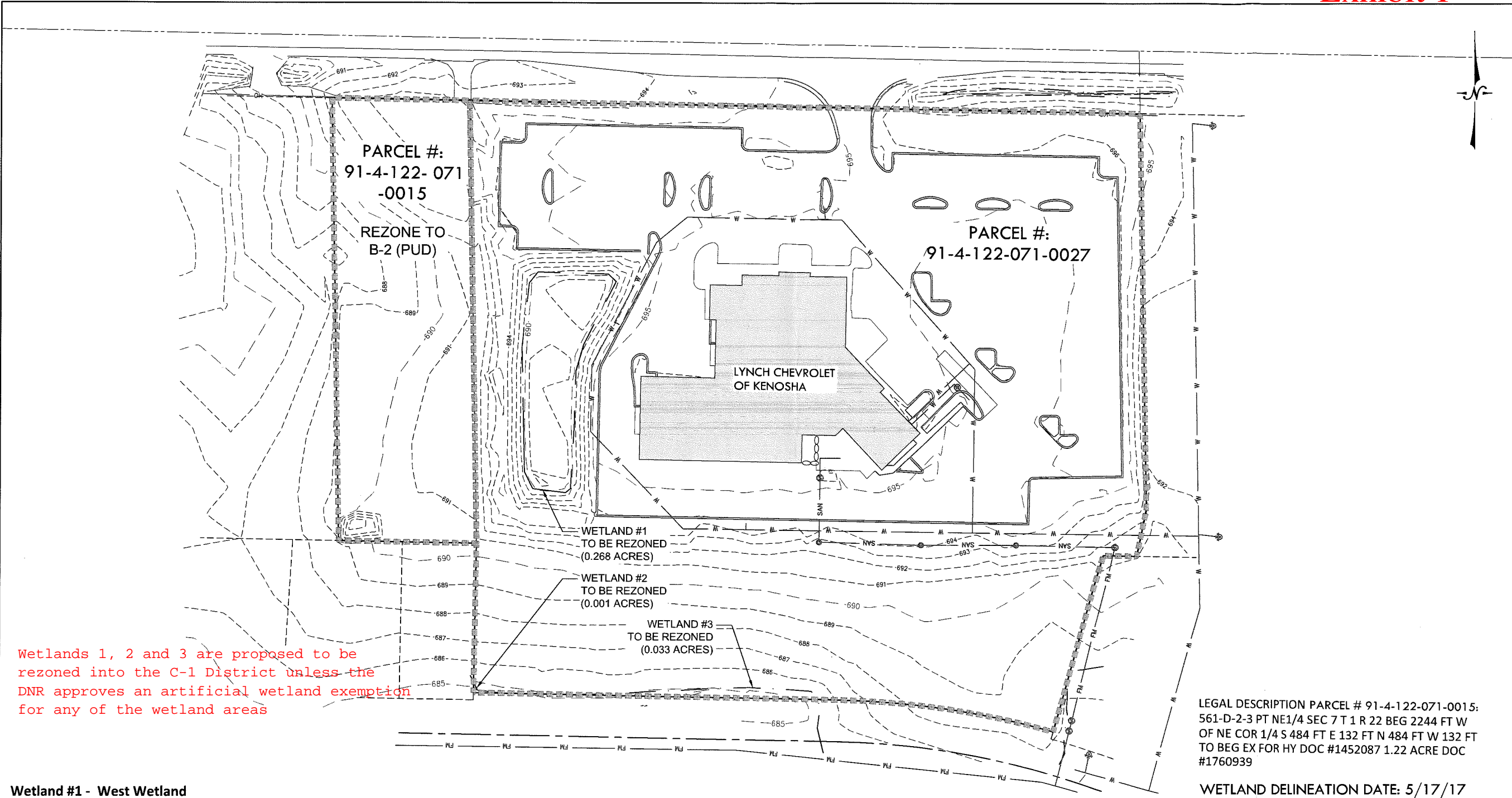
John P. Steinbrink
Village President

ATTEST:

Jane M. Romanowski
Village Clerk

Posted:_____

_____-Lynch Wetland
CODE1801-003



Wetland #1 - West Wetland

Commencing at the Northwest corner of Lot 1 of CSM 2697, Doc 1669236 NE ¼ Sec 7 T1 R22; thence South 18° 16' 51" East, 183.59 feet to the **Point of Beginning**.

Thence, continuing North 39° 30' 46" East, 13.45 feet; thence South 88° 24' 19" East, 67.02 feet; thence South 46° 12' 25" East, 10.34 feet; thence South 27° 06' 09" West, 67.60 feet; thence, South 16° 18' 26" West, 26.29 feet; thence South 1° 42' 22" West, 51.32 feet; thence South 3° 02' 38" West, 61.77 feet; thence South 49° 35' 02" West, 6.08 feet; thence North 82° 59' 39" West, 31.93 feet; thence North 26° 41' 13" West, 18.08 feet; thence North 1° 06' 22" West, 46.41 feet; thence North 1° 13' 22" West, 73.43 feet; thence North 6° 24' 58" East, 61.49 feet to the **Point of Beginning**.

Said area contains 11,685 SF, or 0.268 acres, more or less.

Wetland #2 - Southwest Wetland

Commencing at the Southwest corner of Lot 1 of CSM 2697, Doc 1669236 NE ¼ Sec 7 T1 R22; thence North 1° 01' 36" East, 9.89 feet to the **Point of Beginning**.

Thence, continuing South 26° 06' 46" East, 8.14 feet; thence, continuing South 82° 12' 17" East, 22.42 feet; thence, continuing North 88° 58' 24" West, 25.98 feet; thence, continuing North 1° 01' 36" East, 9.89 feet to the **Point of Beginning**.

Said area contains 53 SF, or 0.001 acres, more or less.

Wetland #3 - Southeast Wetland

Commencing at the Southwest corner of Lot 1 of CSM 2697, Doc 1669236 NE ¼ Sec 7 T1 R22; thence South 88° 58' 24" East, 76.14' to the **Point of Beginning**.

Thence, continuing North 88° 53' 04" East, 31.64 feet; Thence, continuing North 87° 24' 16" East, 30.54 feet; Thence, continuing North 86° 38' 59" East, 35.42 feet; Thence, continuing North 88° 53' 32" East, 34.04 feet; Thence, continuing South 87° 15' 53" East, 33.51 feet; Thence, continuing South 86° 07' 05" East, 25.35 feet; thence, continuing South 31° 21' 15" East, 9.28 feet; thence, continuing North 88° 58' 24" West, 251.91' to the **Point of Beginning**.

Said area contains 1,423 SF, or 0.033 acres, more or less.

LEGAL DESCRIPTION PARCEL # 91-4-122-071-0015:
561-D-2-3 PT NE1/4 SEC 7 T 1 R 22 BEG 2244 FT W
OF NE COR 1/4 S 484 FT E 132 FT N 484 FT W 132 FT
TO BEG EX FOR HY DOC #1452087 1.22 ACRE DOC
#1760939

WETLAND DELINEATION DATE: 5/17/17
ASSURED BIOLOGIST: RON. A. LONDRE, PWS

PARKING LOT EXPANSION FOR LYNCH DEALERSHIP PLEASANT PRAIRIE, WI	
LYNCH & ASSOCIATES ENGINEERING CONSULTANTS, LLC	
ZONING MAP CHANGES EXHIBIT	NO.
	REVISIONS
ISSUED FOR REVIEW	BY DATE
	SCALE
PROJECT NO. 16.0001	
SHEET NO. X002	

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER / DEVELOPER:
LYNCH VENTURES, LLC.
2300 S BROWNS LAKE DR
BURLINGTON, WI 53105

SURVEYOR'S CERTIFICATE:

I, JACOB S. JENSEN, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

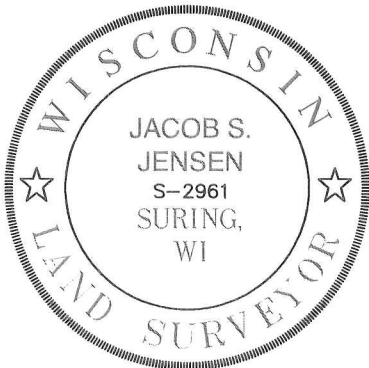
BEGINNING AT A CONCRETE MONUMENT WITH BRASS CAP FOUND MARKING THE NORTHEAST CORNER OF SAID NORTHEAST 1/4 SECTION; THENCE N88°58'24"W, ALONG THE NORTH LINE OF SAID 1/4 SECTION, 1,470.00'; THENCE S1°00'49"E, 60.04', TO AN IRON PIPE FOUND MARKING THE NORTHEAST CORNER OF SAID LOT 1; THENCE CONTINUING S1°00'49"E, ALONG THE EAST LINE OF SAID LOT 1, 379.17' TO AN IRON PIPE FOUND; THENCE S11°39'46"W, CONTINUING ALONG SAID EAST LINE, 45.54', TO AN IRON PIPE FOUND; THENCE N88°58'24"W, CONTINUING ALONG SAID EAST LINE, 31.89', TO AN IRON BAR SET; THENCE S15°40'16"W, CONTINUING ALONG SAID EAST LINE, 175.27', TO AN IRON PIPE FOUND MARKING THE SOUTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE SOUTH LINE OF SAID LOT 1 AND A CURVE TO THE LEFT 209.13', SAID CURVE HAVING A RADIUS OF 818.23' AND A CHORD BEARING N81°39'05"W, 208.56', TO AN IRON PIPE FOUND; THENCE N88°58'24"W, CONTINUING ALONG SAID SOUTH LINE, 348.94', TO AN IRON PIPE FOUND MARKING THE SOUTHWEST CORNER OF SAID LOT 1; THENCE N1°01'36"E, ALONG THE WEST LINE OF SAID LOT 1, 143.00', TO AN IRON PIPE FOUND MARKING THE SOUTHEAST CORNER OF THE LANDS DESCRIBED IN THE AFOREMENTIONED TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939; THENCE N88°58'24"W, ALONG THE SOUTH LINE OF SAID LANDS, 132.19' TO AN IRON PIPE FOUND MARKING THE SOUTHWEST CORNER THEREOF; THENCE N1°00'49"W, ALONG THE WEST LINE OF SAID LANDS, 423.95', TO AN IRON PIPE FOUND ON THE SOUTHERLY RIGHT OF WAY LINE OF S.T.H. "50"; THENCE S88°58'24"E, ALONG SAID RIGHT OF WAY LINE, 774.19' TO THE PLACE OF BEGINNING; SAID PARCEL CONTAINS 9.48 ACRES MORE OR LESS.

I FURTHER CERTIFY THAT I HAVE MADE SAID LAND DIVISION BY THE DIRECTION OF LYNCH VENTURES, LLC., OWNER(S) OF SAID LAND. THAT SUCH LAND DIVISION IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE VILLAGE OF WATERFORD IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 12TH DAY OF DECEMBER , 2017.


JACOB S. JENSEN
PROFESSIONAL LAND SURVEYOR



SURVEYOR:

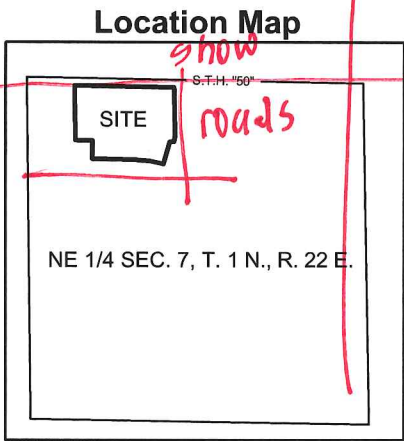


LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC
5482 S. WESTRIDGE DRIVE
NEW BERLIN, WI 53151
440 MILWAUKEE AVENUE,
BURLINGTON, WI 53105
(262) 402-5040

NOTES:

- 1. SEE SHEET 2 AND 3 FOR MAPPING.
- 2. SEE SHEETS 4-5 FOR ADDITIONAL CERTIFICATES.

INSTRUMENT DRAFTED BY JACOB S. JENSEN, P.L.S. #2961




add north arrow

DATE 12/12/2017
SHEET 1 OF 5
JOB#16-0001

CERTIFIED SURVEY MAP NO.

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

NOTES:

1. SEE SHEET 3 FOR MAPPING OF EXISTING SITE FEATURES.
2. SEE SHEETS 4-5 FOR ADDITIONAL CERTIFICATES.

North 1/4 Corner,
Sec. 7, T1N, R22E
(Conc. mon. w/
brass cap found)
N: 127784.66
E: 596780.33

North line of the NE 1/4
of Sect. 7, T1N, R22E

S.T.H. "50"

1142.24'

200' wide Public
Right-Of-Way

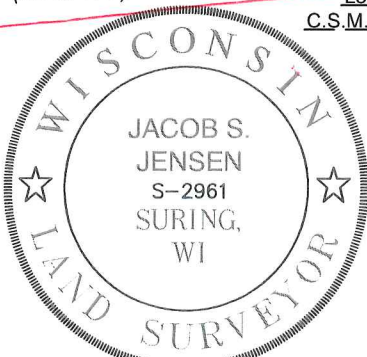
N88° 58' 24" W 2612.24' MON. TO MON.
AK/A 75th Street

(N89° 35' 11" E)

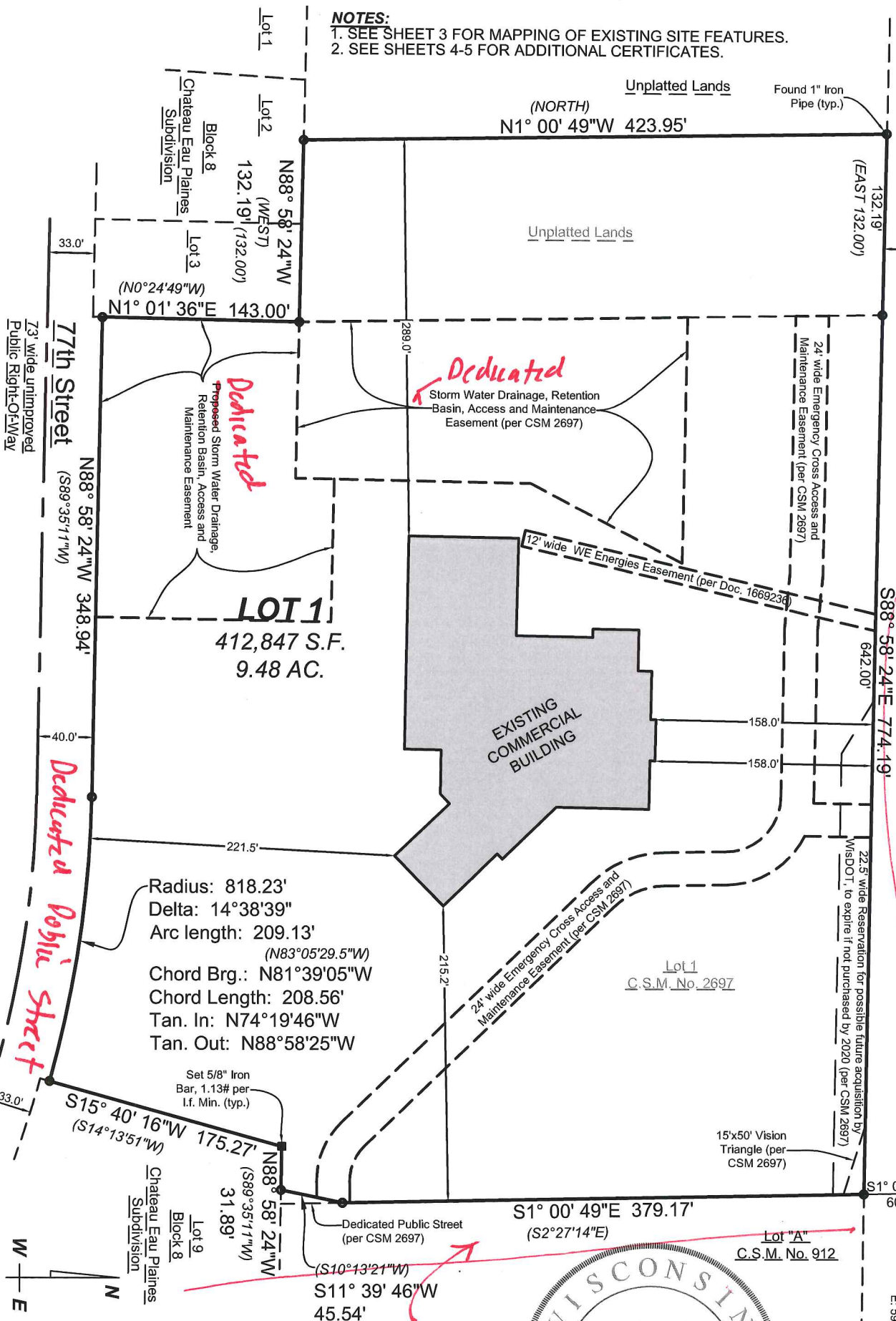
S88° 58' 24" E 774.19'

North East Corner,
Sec. 7, T1N, R22E
(Conc. mon. w/
brass cap found)
N: 127737.85
E: 59392.19

DATE 12/12/2017
SHEET 2 OF 5
JOB#16-0001



INSTRUMENT DRAFTED BY JACOB S. JENSEN, P.L.S. #2961



BEARINGS HEREON RELATE TO THE
WISCONSIN COUNTY COORDINATE SYSTEM,
KENOSHA COUNTY ZONE. THE NORTH LINE OF
THE NE 1/4 OF SEC. 7, T. 1 N., R. 22 E. WAS
TAKEN TO BEAR N88°58'24"W.

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

North 1/4 Corner
Sec. 7, T1N, R22E
(Conc. mon. w.
brass cap-found)
N: 127784.66
E: 596780.33

North line of the NE 1/4
of Sect. 7, T1N, R22E

S.T.H. "50"

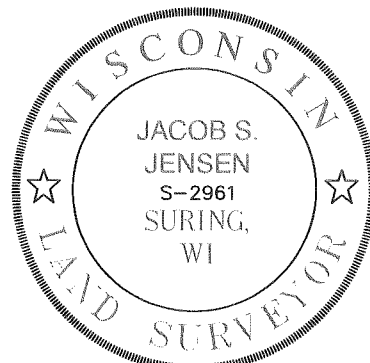
Telecommunications
Pedestal (typ.)
A

200' wide Public
Right-Of-Way

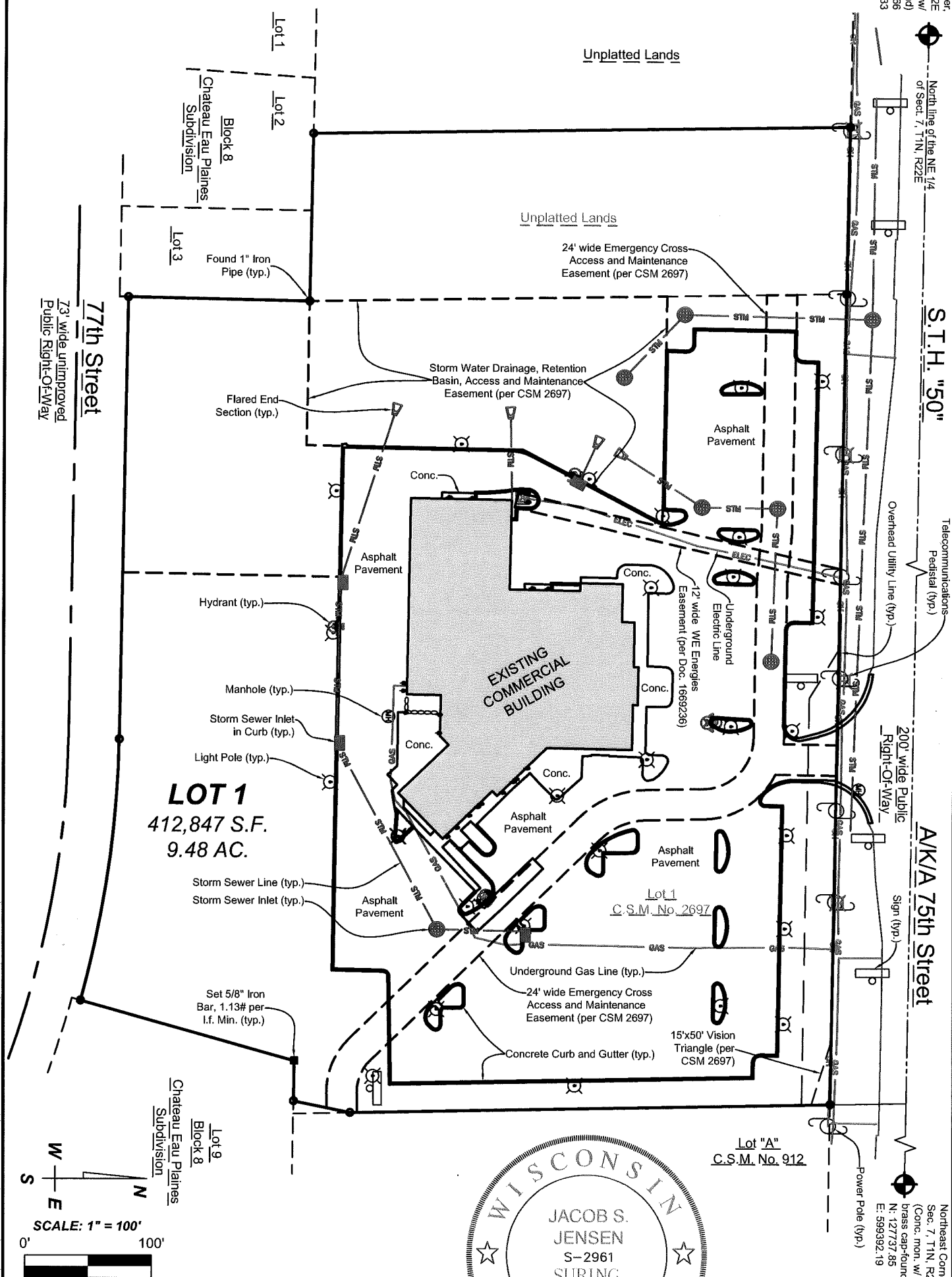
A/K/A 75th Street

Northeast Corner
 Sec. 7, T1N, R22
 (Conc. mon. w/
 brass cap-found)
 N: 127737.85
 E: 599392.19

DATE 12/12/2017
SHEET 3 OF 5
JOB#16-0001



INSTRUMENT DRAFTED BY JACOB S. JENSEN, P.L.S. #2961



Z:\Shared\1 - Projects\2016\16.0001 Lynch Dealership, V of Pleasant Prairie\Desktop CSM DWG\16.0001 CSM.dwg

add all dedication and
easement provisions
&
restrictive
covenant
language
to this
CSM.

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

LYNCH VENTURES, LLC, a Limited Liability Company duly organized and existing under the virtue of the Laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of John P. Konopacki, to be surveyed, divided, dedicated and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance.

LYNCH VENTURES, LLC

DATED THIS _____ DAY OF _____, 2017.

KURT PETRIE
President

STATE OF WISCONSIN) ss
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017

THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CONSENT OF CORPORATE MORTGAGEE

_____, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND

BY VIRTUE OF THE LAWS OF THE STATE OF _____, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, AND MAPPING OF THE LAND DESCRIBED ON THIS MAP, AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE OF WATERFORD LAND INVESTORS, LLC., OWNERS.

IN WITNESS WHEREOF, THE SAID _____ HAS CAUSED THESE PRESENTS TO BE SIGNED AND IT'S CORPORATE SEAL TO BE HEREUNTO AFFIXED

THIS _____ DAY OF _____, 2017.

NAME: _____ NAME: _____
TITLE: _____ TITLE: _____

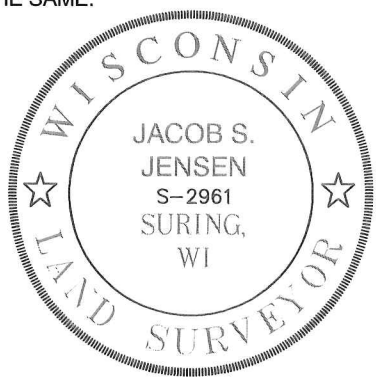
STATE OF _____) ss
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017

THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



CERTIFIED SURVEY MAP NO. _____

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CERTIFICATE OF VILLAGE BOARD APPROVAL:

I CERTIFY THAT THIS CERTIFIED SURVEY MAP HAS BEEN FILED FOR APPROVAL AND IS HEREBY APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE BOARD OF TRUSTEES, AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES.

I HEREBY CERTIFY THAT ALL CONDITIONS OF APPROVAL HAVE BEEN MET AS OF

THIS _____ DAY OF _____, 2017.

JOHN P. STEINBRINK
Village President

~~JANE M. ROMANOWSKI~~
Village Clerk

Jane C. Snell

CERTIFICATE OF PLAN COMMISSION APPROVAL:

I CERTIFY THAT THIS CERTIFIED SURVEY MAP HAS BEEN FILED FOR APPROVAL AND IS HEREBY APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION, AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES.

I HEREBY CERTIFY THAT ALL CONDITIONS OF APPROVAL HAVE BEEN MET AS OF

THIS _____ DAY OF _____, 2017.

THOMAS W. TERWALL
Chairman of Village Plan Commission

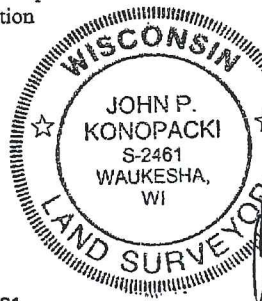


CERTIFIED SURVEY MAP No. 2497

BEING A REDIVISION OF ALL OF LOT B AND LOT C OF CERTIFIED SURVEY MAP NO. 912, THE EAST 33.94 FEET OF LOT 3 AND ALL OF LOTS 4, 5, 6, 7 AND 8, BLOCK 8 OF CHATEAU EAU PLAINES AND ADDITIONAL LANDS ALL BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATION AND EASEMENT PROVISIONS

- Add all language to CSM*
1. The fee interest in the 224 square feet (0.0051 acres) area shown as a Dedicated Public Street on this Certified Survey Map (CSM) located at the southeastern corner of Lot 1 is hereby dedicated, given, granted and conveyed by Lynch Ventures LLC, (the "Owner") to the Village of Pleasant Prairie, its successors and assigns (the "Village") for the construction, installation, repair, alteration, replacement, planting and maintenance of public street improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, sidewalk or bike lane, if required by the Village, street signs, street lights, street trees, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, utility and communications facilities, street tree landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: a nonexclusive easement hereby reserved by the current Owner or the future Owner(s) of Lot 1 shown on this CSM which is adjacent to the Dedicated Public Street for the required planting, mowing, watering and maintenance of grass within the grassy terrace area, for the maintenance and replanting of street trees and the clearance, maintenance, repair and replacement of the sidewalk or bike lane, if required by the Village, in the areas in between the roadway and the Lot. In the event of any conflict between the rights of the Village, its fee interest in the Dedicated Public Street area shown on this CSM and the rights of the Owner or of the future Owner(s) of the Lot pursuant to the dedication retained herein, the rights of the Village shall be deemed to be superior.
 2. The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street rights-of-way and private roadway easement areas with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas and public roadway areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the public roadway areas to a vegetatively stabilized condition while providing current or future services benefiting the Owner's property, the Developer shall be ultimately responsible for the costs of such restoration and may pursue its remedies against the respective utility company(ies). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of the public or private roadways after the crushed aggregate base course is installed without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.
 3. *IN* A nonexclusive easement *5* coextensive with the area shown as a *5* Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement on this CSM is hereby dedicated, given, granted and conveyed by the Owner to the Village for private storm water drainage and retention basin system improvements, storm water storage and conveyance, uses and purposes, and for construction, installation, repair, alteration, replacement and maintenance activities and all related ingress and egress over and across the Owner's property. *These areas* This dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement shall be exclusive, except for: (1) the Owner's obligation to use and maintain the private storm water drainage and retention basin system improvements, storm water storage and conveyance, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities including the planting and irrigating, care and maintenance of the Easement area on Lot 1 as it will not interfere with any of the improvements, uses and purposes of the Village and (2) such other Easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof as dedicated and shown on Lot 1 of this CSM. In the event of any conflicts between the rights of the Village pursuant to this Easement and the rights of any other persons or entities with respect to the Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement, the Village's rights under this Easement shall be deemed to be superior. *These* This easement shall be vacated by the Village Board upon the completion, inspection and easement dedication of the Chateau Plaines regional storm water basin to the Village, which is intended to serve the Lot 1 property.



DATED THIS 6TH DAY OF FEBRUARY, 2012
THIS INSTRUMENT WAS DRAFTED BY JOHN P. KONOPACKI, S-2461

SHEET 5 OF 8

F:\SD Projects\114588 Lynch Chevrolet - Pleasant Prairie\dwg\114588 CSM.dwg

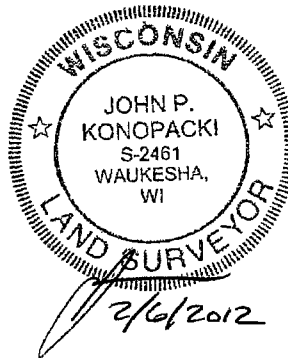
CERTIFIED SURVEY MAP No. 2697

BEING A REDIVISION OF ALL OF LOT B AND LOT C OF CERTIFIED SURVEY MAP NO. 912, THE EAST 33.94 FEET OF LOT 3 AND ALL OF LOTS 4, 5, 6, 7 AND 8, BLOCK 8 OF CHATEAU EAU PLAINES AND ADDITIONAL LANDS ALL BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

(Continued)

Unless the Village exercises the rights granted to it hereunder with respect to the Easement area, the Village shall have no obligation to do anything pursuant to its rights under this Easement. The Owner of Lot 1 shall be responsible for all costs associated with the construction and maintenance of the private storm water drainage and retention basin improvements contained within this nonexclusive easement area.

4. A perpetual nonexclusive easement coextensive with the area shown as a Dedicated 15' X 50' Vision Triangle Easement shown on this CSM is hereby dedicated, given, granted and conveyed by the Owner to the Village and Wisconsin Department of Transportation (WI DOT) in order to maintain a clear sight line of vision at the State Trunk Highway 50 and future 109th Avenue intersection. There shall be no obstructions, such as but not limited to buildings, signage, fences, vehicular parking, vegetation, or shelters permitted within the Dedicated Vision Triangle Easement between the heights of two (2) feet and 10 feet, unless approved by the Village and WI DOT. This restriction is for the benefit of the traveling public and shall be enforceable by the Village, Kenosha County or the WI DOT.
5. A nonexclusive easement coextensive with the areas shown as a Dedicated Emergency Cross Access and Maintenance Easement shown on this CSM hereby places restrictions on Lot 1 wherein a cross access easement is given, granted and conveyed by the Owner to the Village for public access, driveway, pedestrian and cross access purposes improvements, uses and purposes, and for all related and incidental ingress and egress, construction, installation, repair, alteration, replacements, and maintenance activities to serve this Development and the abutting land owners in the event of an emergency. This Dedicated Emergency Cross Access and Maintenance Easement shall be vacated by the Village Board upon the completion and inspection of a Village approved 77th Street gated emergency access and a 109th Avenue access to the property.
6. A Restriction Area is shown on this CSM extending 22.50 feet south along the northeastern property boundary of the property for the future construction, installation, repair, alteration, replacement, planting and maintenance of public street improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, sidewalk or bike lane, if required by the WI DOT, street signs, street lights, sanitary sewerage system improvements, water system improvements, storm sewer and drainage system improvements, utility and communications facilities, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such restriction is subject to the WI DOT acquisition and compensation of the land area for the future widening of the State Trunk Highway 50 right-of-way. This restriction shall expire if not purchased by the WI DOT for the reconstruction of Highway 50 or the year 2020, whichever comes first.
7. The Dedicated Emergency Cross Access and Maintenance Easement shall be vacated by the Village Board when the property between Eau Plaines Parkway and this CSM are served by two Village approved accesses.

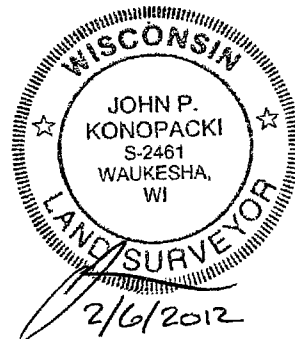


CERTIFIED SURVEY MAP No. 2697

BEING A REDIVISION OF ALL OF LOT B AND LOT C OF CERTIFIED SURVEY MAP NO. 912, THE EAST 33.94 FEET OF LOT 3 AND ALL OF LOTS 4, 5, 6, 7 AND 8, BLOCK 8 OF CHATEAU EAU PLAINES AND ADDITIONAL LANDS ALL BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

RESTRICTIVE COVENANTS

1. The Owner hereby covenants that the Dedicated Storm Water, Drainage, Retention Basin, Access and Maintenance Easement shown on the CSM hereby places restrictions on the use of the referenced land because of the location of this Dedicated Storm Water and Retention Basin Easement, which was given, granted and conveyed by the Owner to the Village for private storm water collection purposes and system improvements, uses and purposes, and for all related and incidental ingress and egress, construction, installation, repair, alteration, replacements, plantings and maintenance activities and for all related and incidental ingress and egress over and across the owner's property to serve the Development as referenced in the Dedication and Easement Provisions on this CSM. The Owner further covenants that there shall be no buildings, fences, gates, signs, berming or altering of the grade of the land within the Easement area without prior written approval of the Village. In the event that the Owner fails to maintain the retention basin and Village exercises its rights to maintain, repair or replace said private retention basin or related storm water facilities, the Owner of the affected property, not the Village, shall be responsible for any and all costs associated with the removal, restoration and or replacement of the retention basin or related storm water facilities. This covenant shall run with the land, shall be binding upon the Owner, its successors, assigns and successors-in-title of the land, in their capacity as the Owner of this land, and shall benefit and be enforceable by the Village. This Easement shall be vacated by the Village Board upon the completion, inspection and easement dedication of the Chateau Eau Plaines regional storm water basin to the Village, which is intended to serve the Lot 1 property.
2. The Owner hereby covenants that the Dedicated Vision Triangle Easement shown on this CSM hereby places restrictions on Lot 1 because of the location of this Easement which was given, granted and conveyed by the Owner in order to maintain a clear sight line of vision at the State Trunk Highway 50 and 109th Avenue intersection. There shall be no obstructions, such as but not limited to structures, signage, fences, vehicular parking, trees, plantings, or bus shelters that are permitted within the Dedicated Vision Triangle Easement between the heights of two (2) feet and 10 feet unless approved by the Village and WI DOT. This restriction is for the benefit of the traveling public and shall be enforceable by the Village, Kenosha County or the WI DOT.
3. The Owner hereby covenants that the Dedicated Emergency Cross Access and Maintenance Easement shown on this CSM hereby places restrictions on Lot 1 wherein an Emergency Cross Access Easement was given, granted and conveyed by the Owner to the Village for public access, driveway, pedestrian and cross access purposes improvements, uses and purposes, and for all related and incidental ingress and egress, construction, installation, repair, alteration, replacements, and maintenance activities. The Owner further understands that the Village has required an emergency access route extending from the land to the west of the Development, through the Development and extending to future 109th Avenue within the Easement area per the Development's Village approved Site and Operational Plan. This Easement is for the benefit of the Village, traveling public and adjacent land owners in the event of an emergency and shall be enforceable by the Village. This Easement shall be vacated by the Village Board upon the completion and inspection of a Village approved 77th Street gated emergency access and a 109th Avenue access to the property.
4. The Owner hereby covenants that the 22.50' Wide Restriction Area shown on this CSM on the north side of the Lot 1 property located along the south side of STH 50 is hereby restricted for future acquisition and compensation by the WI DOT for the future reconstructing and widening of the STH 50 street right-of-way. The Owner shall not place any obstructions, such as but not limited to structures, parking lots, signage, fences, vehicular parking, trees, plantings, or bus shelters within the Restriction Area. This restriction shall expire if not purchased by the WI DOT for the reconstruction of Highway 50 or the year 2020, whichever comes first.
5. An Emergency Access Road/Drive shall be extended into the site from 77th Street upon completion of the 77th Street construction. This Access Road shall be properly maintained and snow plowed for emergency access. A locked entrance gate accessible by emergency services will be permitted by the Village. The Dedicated Emergency Cross Access and Maintenance Easement noted in note 3 above and shown on Sheet 3 of this CSM shall be vacated by the Village Board upon completion, inspection and acceptance of a Village approved 77th Street gated emergency access.



DATED THIS 6TH DAY OF FEBRUARY, 2012
THIS INSTRUMENT WAS DRAFTED BY JOHN P. KONOPACKI, S-2461

SHEET 7 OF 8

J:\SD Projects\1104598 Lynch Chevrolet - Pleasant Prairie\dwg\1104598 CSM.dwg

2497

BEING A REDIVISION OF ALL OF LOT B AND LOT C OF CERTIFIED SURVEY MAP NO. 912, THE EAST 33.94 FEET OF LOT 3 AND ALL OF LOTS 4, 5, 6, 7 AND 8, BLOCK 8 OF CHATEAU EAU PLAINES AND ADDITIONAL LANDS ALL BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

LYNCH VENTURES LLC, a Limited Liability Company duly organized and existing under the virtue of the Laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of John P. Konopacki, to be surveyed, divided, dedicated and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance.

LYNCH VENTURES LLC

KURT PETRIE
President

State of Wisconsin)
County of Racine) SS

Personally came before me this 14 day of February, 2012, the above named Kurt Petrie, President, of the above named company, to me known to be such President of said company, and acknowledge that he executed the foregoing instrument as such President, as the deed of said company, by it's authority.

Nancy E Strolow
Notary Public, Racine County, Wisconsin
My Commission Expires 12-22-13

VILLAGE PLAN COMMISSION APPROVAL

This Certified Survey Map is hereby approved by the Plan Commission of the Village of Pleasant Prairie, on this 9th day of January, 2012.

THOMAS W. TERWALL
Chairman of Village Plan Commission

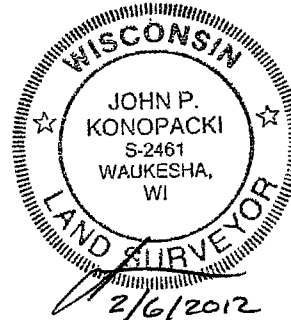
VILLAGE BOARD APPROVAL

Resolved that this Certified Survey Map, being a redivision of all of Lot B and Lot C of Certified Survey Map No. 912, the east 33.94 feet of Lot 3 and all of Lots, 4, 5, 6, 7 and 8, Block 8 of Chateau Eau Plaines and additional lands all being a part of the Northwest 1/4 of the Northeast 1/4 of Section 7, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved and accepted by the Village Board of Trustees of the Village of Pleasant Prairie, on this 6th day of February, 2012.

JOHN P. STEINBRINK
Village President

ATTEST:

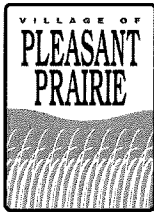
 JANE M. ROMANOWSKI
 Village Clerk



DATED THIS 6TH DAY OF FEBRUARY, 2012
THIS INSTRUMENT WAS DRAFTED BY JOHN P. KONOPACKI, S-2461

SHEET 8 OF 8

F:\JSD Projects\11C4598 Lynch Chevrolet - Pleasant Prairie\dwg\11C4598 CSM.dwg



SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT

For all applications that require Village Plan Commission Approval

APPROVAL REQUESTED	TYPE OF WORK
<input type="checkbox"/> Final Site and Operational Plan <input checked="" type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit <input type="checkbox"/> Preliminary Site and Operational Plan <input type="checkbox"/> Preliminary Site and Operational Plan/ Conditional Use Permit <input checked="" type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement)	<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Building Alteration <input type="checkbox"/> New Tenant

Name of Business: Lynch Ventures LLC

Site Address: 10901 75th St., Pleasant Prairie, WI 53138 Suite #: _____

Tax Parcel Number: 91-4-122-071-0015; 91-4-122-071-0027

Zoning District(s): B-2

Name of Development: Lynch Dealership - Parking Lot Expansion

Estimated Date of Occupancy: _____

Detailed Description of the Proposed Project and Use:

Project includes the parking lot expansion of the existing Lynch Dealership car dealership. The parking lot will be expanded on the west side of the existing lot, and a parking lot will be constructed on the south side of the existing building. A new wet detention basin will be added to the SW corner of the existing building. A driveway and culvert will be removed from the STH 50 right of way to eliminate access from STH 50 to the parcel the west parking lot expansion will occupy.

Detailed Description of Company:

This location is home of Lynch Dealership, which is a car dealership. The business is open 6 days a week, and offers Chevy Sales, service, parts, etc.

Select One Option

- ☐ Relocation of Business from _____
☐ New Location for Business in Pleasant Prairie
☒ Expansion/Change to Existing Business in Pleasant Prairie
☐ New Start Up Business

DEV1801-004

SITE AND BUILDING INFORMATION

Lot Area: 412,949 sq. ft. Lot Area: 9.48 ac.
Building Area: 31,000 sq. ft. Building Height: 19.0 - 30.5 ft.
Tenant Area: _____ sq.ft.
Addition Area: _____ sq. ft. Addition Height: _____ ft.
Total Impervious Surface Area: 276,243 sq. ft.
Total Landscape Area: 141,570 sq.ft. Site % of Open Space 34.3 %

ON-SITE PARKING/TRAFFIC INFORMATION

Total # of parking spaces (on-site): 100*
Total # of regular parking spaces (on-site): 95*
Total # of handicapped accessible spaces (on-site): 5*
Total # of truck parking spaces (on-site): _____
Total # of dock doors: _____
Anticipated automobile trips to and from the site (excluding trucks):
Number of daily average trips: _____ Maximum number of daily trips: _____
Anticipated truck trips to and from the site:
Number of daily average trips: _____ Maximum number of daily trips: _____

OPERATIONAL INFORMATION

Hours (Open to the public): 7 am - 9 pm M-R, 7 am - 6 pm F, and 8 am - 5 pm Sat.
Delivery hours: _____

EMPLOYMENT INFORMATION

Proposed total number of full-time employees: 50
Proposed total number of part-time employees: 12
Number of shifts: 1
Total of number of employees per shift: 1st 50, 2nd _____, 3rd _____
Largest number of employees on site at any one time: 52

PUBLIC FACILITIES INFORMATION

Check all that apply:

- ☒ The property is serviced by Public Sanitary Sewer
- ☒ The property is serviced by Public Water
- ☒ The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: _____

If property is zoned M-1, M-2 or M-5 then the following shall be completed:

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- ☐ Factory Group F-1 (Moderate-hazard) _____ sq. ft.
- ☐ Factory Group F-2 (Low-hazard) _____ sq. ft.
- ☐ Storage Group S-1 (Moderate-hazard) _____ sq. ft.
- ☐ Storage Group S-2 (Low-hazard) _____ sq. ft.
- ☐ Business Group B _____ sq. ft.
- ☐ High-Hazard Group H _____ sq. ft.
- ☐ Other _____ sq. ft.

Types and quantities of goods and materials to be made, used or stored on site:

Automobiles and automotive parts are stored and sold on-site. There are a total of 241 inventory parking spaces added with the parking lot expansion. * (Based on design plan drawing, 249 space added and losing 8 spaces)

Types of equipment or machinery to be used on site:

Nothing outside; standard automotive equipment inside.

Types and quantities of solid or liquid waste material which require disposal:

Automotive waste (used motor oils and antifreeze, quantities unknown)

Method of handling, storing and disposing of solid or liquid waste materials:

Methods of providing site and building security other than the Village Police Department:

Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

Comprehensive Plan Amendment, Zoning Map Amendment, Zoning Text Amendment, Lot Combination Form, Erosion Control Permit Application, Notice of Intent, Connection to STH 50 Permit (to remove access), and executed easements.

PLANS AND OTHER ATTACHMENTS

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- ☒ Title Sheet
- ☒ Survey
- ☒ Site Plan
- ☒ Grading and Drainage Plan
- ☐ Building and Fire Protection Plans
- ☒ Lighting Plan (including photometric plan)
- ☒ Landscape and Open Space Plan
- ☐ Signage Plan
- ☐ Industrial Waste Survey
- ☐ Required Application Fee and Pre-Development Agreement


The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.

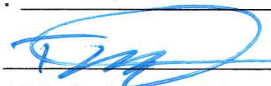
I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

PROPERTY OWNER:

Print Name: Kurt Petrie
Signature: 
Address: 180 Industrial Drive
Burlington WI 53105
(City) (State) (Zip)
Phone: 414-514-4000
Fax: _____
Email: kurt@lynchtruckcenter.com
Date: ~~11/13/17~~ 1-11-18

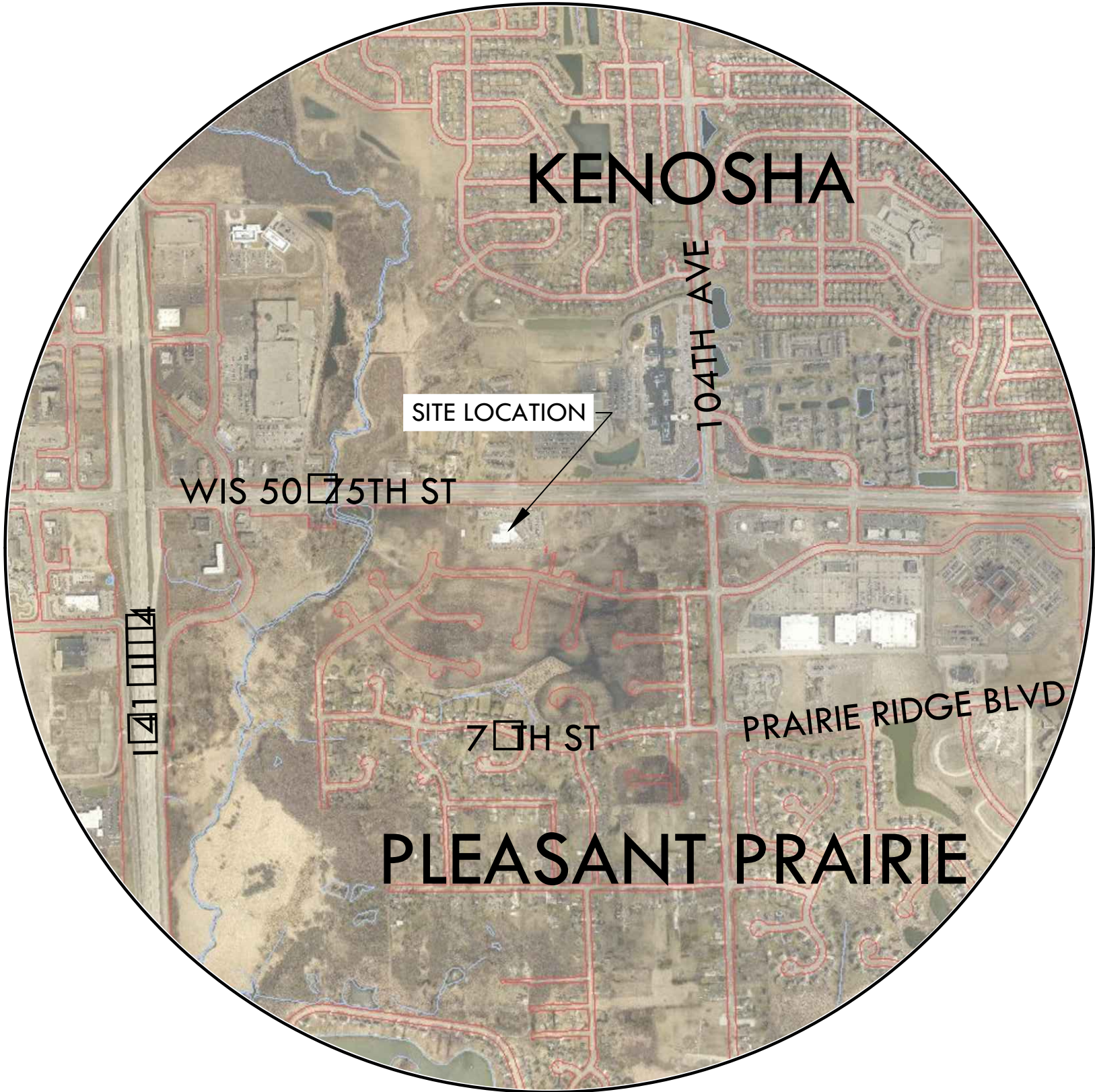
APPLICANT/AGENT:

Print Name: Tim Lynch
Signature: 
Address: 5482 S. Westridge Drive
New Berlin WI 53151
(City) (State) (Zip)
Phone: 262.402.5034
Fax: _____
Email: tlynch@lynch-engineering.com
Date: ~~11/13/17~~ 1-11-18

TENANT CONTACT:

Print Name: N/A
Signature: _____
Address: _____

(City) (State) (Zip)
Phone: _____
Fax: _____
Email: _____
Date: _____



VICINITY MAP

PARKING LOT EXPANSION
FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

PRECONSTRUCTION NOTE PRIOR TO CONSTRUCTION, A PRECONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD.

HORIZONTAL COORDINATE SYSTEM KENOSHA COUNTY
COORDINATE SYSTEM
VERTICAL DATUM NAVD88

BENCHMARKS

SEC. MONUMENT	EL. 642	N 2777.8470	E 32.1870
SEC. MONUMENT	EL. 686.22	N 27784.6580	E 3780.20

CONTACT INFORMATION

COMPANY NAME	ADDRESS	CONTACT	PHONE	EMAIL
LYNCH & ASSOCIATES	5482 S. WESTRIDGE DR. NEW BERLIN, WI 5351	TIM LYNCH, P.E.	262.402.5040	

REVISIONS

NO.	REVISION	DATE
1		00.00.00

SHEET INDEX

C000	TITLE SHEET & VICINITY MAP
C001	GENERAL NOTES
C002	
C100	TYPICAL SECTIONS
C110	EXISTING CONDITIONS
C200	EROSION CONTROL PLAN
C300	GEOMETRY PLAN
C400	PAVING PLAN
C500	CONSTRUCTION DETAILS
C502	
C600	LANDSCAPE PLAN
C700	PAVEMENT MARKING PLAN
C800	LIGHTING PLAN

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

ISSUED FOR
REVIEW

PLAN DATE 12.15.17

PROJECT NO.
16.0001

SHEET NO.

C000

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL PIPE LENGTHS ARE MEASURED TO CENTER OF STRUCTURE AND MEASURED HORIZONTALLY. THE CONTRACTOR IS RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS FOR SLOPES AND STRUCTURES.
3. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARDS.
4. WHEN POSSIBLE, THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE WITH ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
5. CONTRACTOR SHALL CHECK ALL EROSION CONTROL MEASURES EVERY SEVEN DAYS OR WITHIN 24 HOURS AFTER EACH 0.5 INCH RAINFALL AND PROVIDE ANY MAINTENANCE REQUIRED FOR CONFORMANCE WITH THIS PLAN. CONTRACTOR SHALL MAINTAIN LOG OF INSPECTIONS WHICH SHALL BE KEPT ON-SITE.
6. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED ON AREAS TO BE VEGETATED.
7. SEEDING SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
8. SEEDING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 630 OF WISDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. A NO. 40 MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1000 S.F.
9. PLACE MULCH AND TACKIFIER ON THE SEEDED AREAS.
10. DISTURBED AREAS LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH, OR WISDOT-APPROVED POLYMER.
11. TEMPORARY SEEDING: ANNUAL RYE GRASS AT 25 lbs/ACRE
LATE SEASON TEMPORARY SEEDING (SEPT. 15 TO OCT. 15): WINTER WHEAT AT 2 BUSHEL/ACRE
DORMANT SEEDING (AFTER NOV. 1): 10 MIXTURE AT 4 POUNDS PER 1000 S.F.
10. POLYMER MUST BE APPLIED TO ALL DISTURBED AREAS IF SEEDING IS NOT COMPLETED BY OCTOBER 15.
11. IF DEWATERING IS NECESSARY, DIRECT DISCHARGE INTO THE SEDIMENT BASIN. THE MAXIMUM PUMPING RATE INTO THE POND IS 200 GPM. ALTERNATE DEWATERING OPERATIONS MUST BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 "DEWATERING".
12. TOPSOIL PILES LEFT IN PLACE FOR LONGER THAN 14 DAYS MUST BE STABILIZED WITH TEMPORARY SEEDING.
13. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
14. RECYCLE OR PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS IN A TIMELY MANNER. CONTROL RUNOFF FROM WASTE MATERIALS UNTIL THEY ARE REMOVED OR REUSED.
15. BY THE END OF EACH WORKDAY, CLEAN UP ALL OFF-SITE SEDIMENT DEPOSITS OR TRACKED SOIL THAT ORIGINATED FROM THE PERMITTED SITE. FLUSHING SHALL NOT BE ALLOWED UNLESS RUNOFF IS TREATED BEFORE DISCHARGE FROM THE SITE.
16. WETLANDS EXISTING IN THE PROJECT AREA. THE CONTRACTOR SHALL NOT DISTURB OUTSIDE OF THE SLOPE INTERCEPTS IN THOSE AREAS.
17. DO NOT APPLY FERTILIZER WITHIN 20 FEET OF A WATER BODY OR WETLAND.

1. CONSTRUCT STONE TRACKING PAD AT THE PROPOSED ENTRANCE.
2. INSTALL SILT FENCE AT THE LOCATIONS NOTED ON THE PLANS. THIS MUST BE DONE BEFORE ANY GRADING ACTIVITIES TAKE PLACE.
3. INSTALL INLET PROTECTION FOR EXISTING INLETS.
4. TOPSOIL IS TO BE STRIPPED AND STOCKPILED. THE STOCKPILE IS TO BE PROTECTED WITH SILT FENCE WITHIN 7 DAYS AND SEEDED WITHIN 30 DAYS OF LAYUP.
5. CONSTRUCT WET DETENTION BASIN.
6. ROUGH GRADING MAY TAKE PLACE AFTER TOPSOIL STRIPPING.
7. UTILITY INSTALLATION WILL TAKE PLACE DURING ROUGH GRADING. ALL CATCH BASINS AND INLETS ARE TO BE PROTECTED IMMEDIATELY AFTER INSTALLATION IN ACCORDANCE WITH THE DETAIL IN THESE PLANS.
8. PERMANENT SEEDING TO BE COMPLETED BY OCTOBER 15TH OF THE YEAR GRADING WORK IS COMPLETED OR BY JUNE 1ST OF THE FOLLOWING YEAR.



COMPANY NAME	ADDRESS	CONTACT	PHONE	EMAIL
COMMUNITY DEVELOPMENT DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	JEAN WERBIE HARRIS, DIRECTOR OF PLANNER & ZONING	262.225.6718	jean.werbie@cityofwaukesha.com
COMMUNITY DEVELOPMENT DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	PEGGY HERRICK, ASSISTANT PLANNER & ZONING	262.225.6716	peggy.herrick@cityofwaukesha.com
COMMUNITY DEVELOPMENT DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	KRISTINA TRANEL, DEPUTY PLANNER & ZONING	262.225.6711	kristina.tranel@cityofwaukesha.com
ENGINEERING DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	MATT FINEOUR, VILLAGE ENGINEER	262.225.6778	matt.fineour@cityofwaukesha.com
ENGINEERING DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	KURT DAVIDSEN, ASSISTANT VILLAGE ENGINEER	262.225.6728	kurt.davidson@cityofwaukesha.com
PUBLIC WORKS DEPARTMENT	8600 GREEN BAY ROAD PLEASANT PRAIRIE, WI 53158	JOHN STEINBRINK, JR., SUPERINTENDENT	262.225.6768	john.steinbrink@cityofwaukesha.com
PUBLIC WORKS DEPARTMENT	8600 GREEN BAY ROAD PLEASANT PRAIRIE, WI 53158	RICK MURPHY, CONSTRUCTION MANAGER	262.228.8136	rick.murphy@cityofwaukesha.com
PUBLIC WORKS DEPARTMENT	8600 GREEN BAY ROAD PLEASANT PRAIRIE, WI 53158	STEVE WLAHOVICH, ENGINEERING TECHNICIAN	262.225.6767	steve.wlahovich@cityofwaukesha.com
BUILDING INSPECTION DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	SANDRO PEREIRA BUILDING INSPECTION SUPERINTENDENT	262.225.6722	sandro.pereira@cityofwaukesha.com
BUILDING INSPECTION DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	DONALD KOEHNE, BUILDING INSPECTOR	262.228.1104	donald.koehne@cityofwaukesha.com
BUILDING INSPECTION DEPARTMENT	115 5 11TH STREET PLEASANT PRAIRIE, WI 53158	MICHAEL KAPRELIAN, BUILDING INSPECTOR	262.228.1104	michael.kaprelian@cityofwaukesha.com
FIRE & RESCUE DEPARTMENT	8044 88TH AVENUE PLEASANT PRAIRIE, WI 53158	CRAIG ROEPKE, CHIEF OF FIRE AND RESCUE	262.228.18027	craig.roepke@cityofwaukesha.com
FIRE & RESCUE DEPARTMENT	8044 88TH AVENUE PLEASANT PRAIRIE, WI 53158	AARON LONGRIE, ASSISTANT FIRE CHIEF	262.228.18027	aaron.longrie@cityofwaukesha.com
FIRE & RESCUE DEPARTMENT	8044 88TH AVENUE PLEASANT PRAIRIE, WI 53158	THOMAS CLARK, LIEUTENANT	262.228.18027	thomas.clark@cityofwaukesha.com
WI DNR	141 NW BARSTOW ST, ROOM 180 WAUKESHA, WI 53188	ELAINE JOHNSON, WATER RESOURCE SPECIALIST	262.384.2116	elaine.johnson@dnr.wisconsin.gov
WI DNR	141 NW BARSTOW ST, ROOM 180 WAUKESHA, WI 53188	PETER WOOD, WATER RESOURCE ENGINEER	262.384.2160	peter.wood@dnr.wisconsin.gov
AMERICAN TRANSMISSION COMPANY	W212 N2000 RIDGEVIEW PKWY CT, WAUKESHA, WI 53188	BRIAN MCGEE EMERGENCY	262.306.3813 800.272.521	brian.mcgee@atco.com
WISDOT	141 NW BARSTOW ST, WAUKESHA, WI 53188	KEVIN KOEHNKE, PERMITS COORDINATOR	262.348.1381	kevin.koehnke@wisconsin.gov
AT&T	1300 76TH ST SUITE 104, PLEASANT PRAIRIE, WI 53158	MIKE TOYEK	262.348.1381	mike.toyek@att.net
TDS TELECOM			877.481.7142	
TIME WARNER CABLE	1120 N. MARTIN LUTHER KING JR. DR., MILWAUKEE, WI 53212	STEVE CRAMER, UTILITY COORDINATOR	414.277.4045 800.227.2288	steve.cramer@twcable.com
WE Energies		ALLIE MILLER	262.352.2227 NATURAL GAS EMERGENCY 800.261.5225 ELECTRICAL EMERGENCY 800.262.2727	allie.miller@weenergies.com

EXISTING		PROPOSED
	CITY-VILLAGE LIMITS	
	BENCHMARK	
	CHISELED CROSS	
	CONTROL POINT	
	FOUND 5/8" IRON BAR	
	FOUND 1" IRON PIPE	
	MONUMENT - CONCRETE W/ BRASS CAP	
	PK NAIL - FOUND SPIKE	
	RECORD AS	
	SET 5/8"x18" IRON 1.13#/L.F.	
	SET IRON PIPE	
	WITNESS MONUMENT	
	TREELINE	
	BUSH	
	TREE - CONIFEROUS	
	TREE - DECIDUOUS	
	TREE- GENERAL	
	FLOODPLAIN LINE	
	WETLAND BOUNDARY	
	WETLAND SYMBOL	
	SOIL BORING	
	TEST PIT	
	ROAD CENTER LINE	
	DITCH CENTER LINE	
	FENCE - BARBED WIRE	
	FENCE - CHAIN LINK	
	GUARDRAIL	
	RETAINING WALL	
	BOLLARD	
	DETECTABLE WARNING FIELD	
	HANDICAP SYMBOL	
	FLAG POLE	
	MAILBOX	
	SIGN	
	STORM SEWER	
	MANHOLE - STORM	
	STORM INLET - CURB	
	STORM INLET - BEEHIVE	
	STORM INLET - SQUARE	
	END SECTION	
	SANITARY	
	SANITARY FORCE MAIN	
	MANHOLE - SANITARY	
	CLEAN OUT	
	SEPTIC TANK COVER	
	SEPTIC VENT	
	WATER MAIN	
	MANHOLE - WATER MAIN	
	CURB STOP	
	HYDRANT	
	WATER MAIN VALVE	
	WELL	
	WATER MAIN BACK FLOW PREVENTER	
	GAS LINE	
	MANHOLE - GAS	
	GAS VALVE	
	GAS LINE MARKER	
	ELECTRIC	
	MANHOLE - ELECTRIC	
	ELECTRICAL TRANSFORMER	
	POWER POLE	
	GUY WIRE	
	LIGHT POLE	
	PULL BOX	
	OVERHEAD UTILITY	
	UTILITY PEDESTAL	

PLEASANT PRAIRIE. WI.

GENERAL NOTES

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PLAN DATE	7.14.17
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A. PAVING

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
3. AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE 1–1/4 INCH DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
4. HOT MIX ASPHALT PAVEMENT (HMA) SHALL CONFORM TO SECTION 460 OF THE WISDOT STANDARD SPECIFICATIONS.
5. HMA PAVEMENT FOR THE BINDER COURSE SHALL BE WISDOT DESIGNATION 3 LT 58–28 S. HMA PAVEMENT FOR THE SURFACE COURSE SHALL BE WISDOT DESIGNATION 4 LT 58–28 S.
6. TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.05 GAL/SY.
7. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON–FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP–FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
8. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT, SECTION 601 FOR CONCRETE CURB AND GUTTER, AND SECTION 602 FOR CONCRETE SIDEWALKS.
9. ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
10. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:

PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
ADA SYMBOLS: BLUE OR PER LOCAL CODE
FIRE LANES: PER LOCAL CODE
EXTERIOR SIDEWALK CURBED, LIGHTPOLE BASES, AND GUARD POSTS: YELLOW

B. GRADING

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AN ON–SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
6. NO FILL SHALL BE PLACED ON WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF–ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE AND MATERIAL IS PLACED.
7. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

C. EROSION CONTROL

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE). CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
3. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
4. WHEN POSSIBLE, THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE WITH ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
6. ALL DISTURBED GROUND LEFT INACTIVE FOR THIRTY DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
7. TOPSOIL PILES LEFT IN PLACE FOR LONGER THAN 14 DAYS MUST BE STABILIZED WITH TEMPORARY SEEDING.
8. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
9. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
10. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
11. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
12. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
14. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THESE PLANS.
15. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO THESE PLANS TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
16. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE PLACED ON AREAS TO BE VEGETATED.
17. SEEDING SHALL BEGIN WITHIN 7 DAYS AFTER FINAL GRADING IS COMPLETED.
18. SEEDING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 630 OF WISDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. A NO. 40 MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1000 S.F.
19. PLACE MULCH AND TACKIFIER ON THE SEEDED AREAS.
20. RECYCLE OR PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS IN A TIMELY MANNER. CONTROL RUNOFF FROM WASTE MATERIALS UNTIL THEY ARE REMOVED OR REUSED.
21. BY THE END OF EACH WORKDAY, CLEAN UP ALL OFF–SITE SEDIMENT DEPOSITS OR TRACKED SOIL THAT ORIGINATED FROM THE PERMITTED SITE. FLUSHING SHALL NOT BE ALLOWED UNLESS RUNOFF IS TREATED BEFORE DISCHARGE FROM THE SITE.

D. PUBLIC UTILITIES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION (HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS") , AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN OF THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
3. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
4. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS:

STORM SEWER PIPE SHALL BE REINFORCED CONCRETE, ASTM C–76, CLASS III OR GREATER, WITH RUBBER GASKETS CONFORMING TO THE STANDARD SPECIFICATIONS SECTION 8.41.2.

TRENCH SECTION SHALL BE CLASS "C" FOR CONCRETE AND CLASS "B" FOR ALL OTHER MATERIALS.

INLETS SHALL BE SOLID CONCRETE BLOCK OR PRE CAST REINFORCED CONCRETE, ASTM–478., IN ACCORDANCE WITH CHAPTER 3.6.1 AND FILE NO. 25 OR 26 OF THE STANDARD SPECIFICATIONS
5. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED–UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

GENERAL NOTES	NO.	REVISIONS	BY	DATE															

ISSUED FOR REVIEW

PLAN DATE 12.15.17
DESIGNED BY RDE

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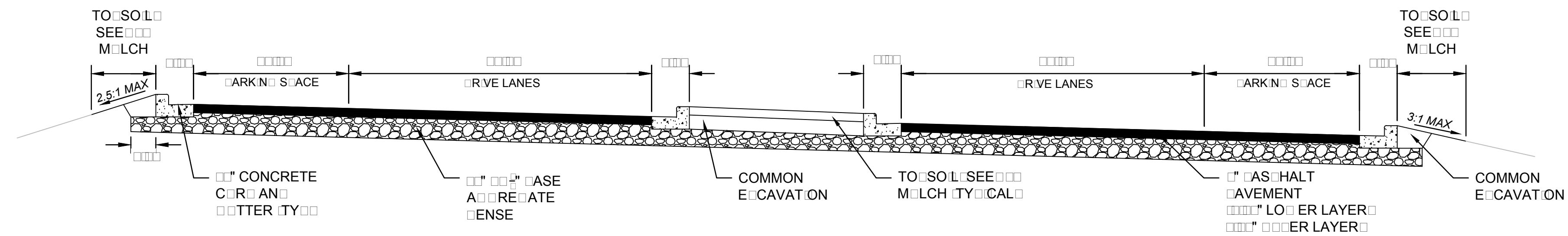
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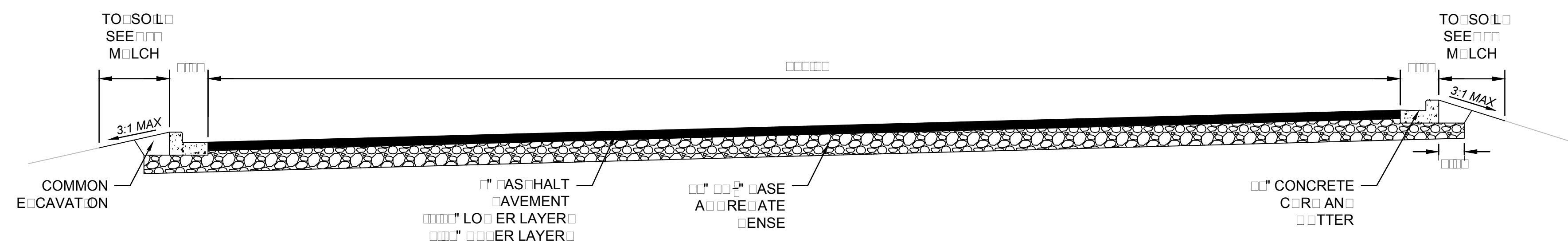
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ROOSE TYCAL EST LOT EANS ON



ROOSE TYCAL SOUTH LOT EANS ON

**PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP**
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

TYPICAL SECTIONS

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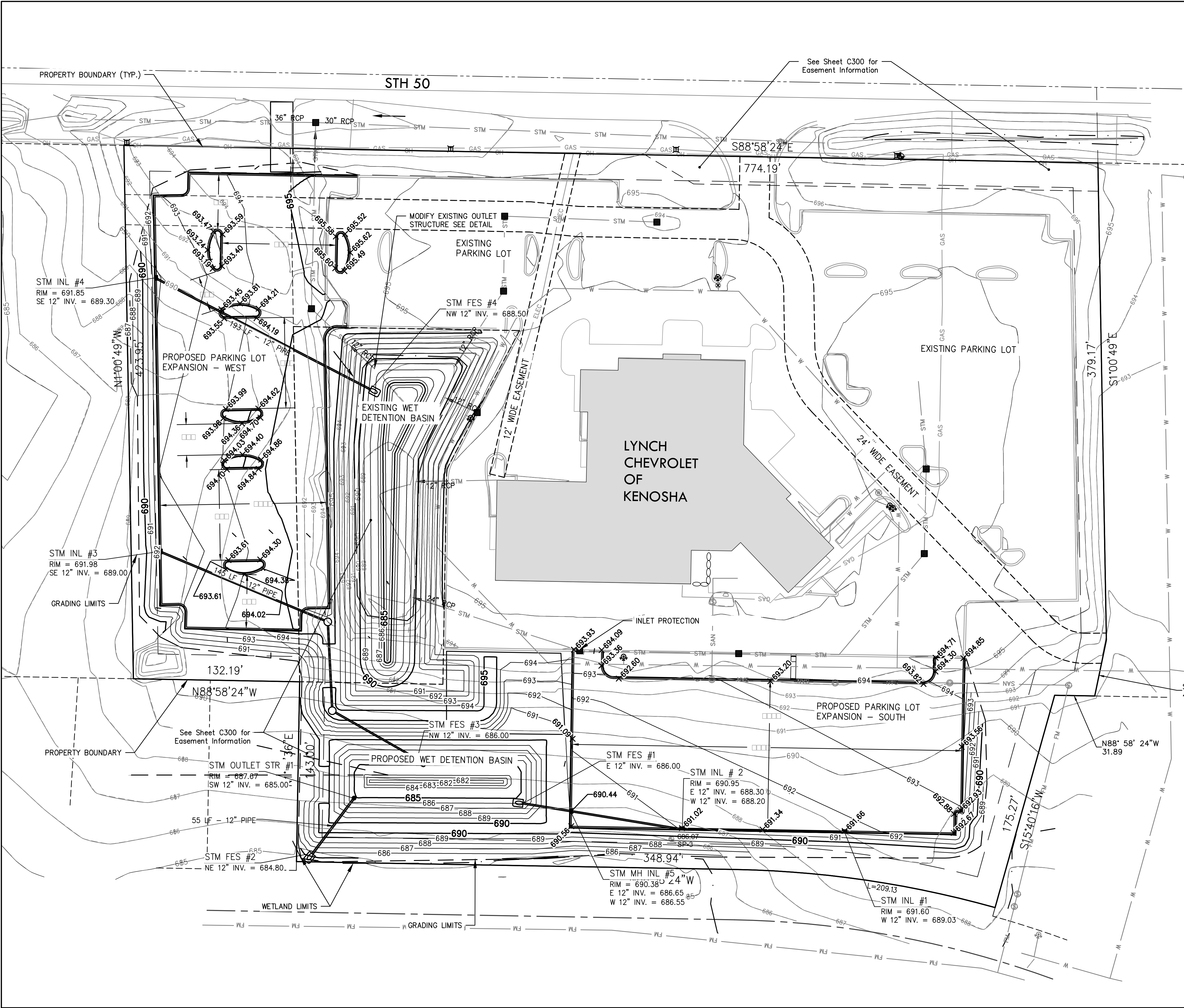


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LEGEND

- WETLAND BOUNDARY
- STORM INLET - BEEHIVE (EXISTING/PROPOSED)
- STORM INLET - SQUARE (EXISTING/PROPOSED)
- END SECTION (EXISTING/PROPOSED)
- PAVEMENT GRADE
- SILT FENCE

NOTE: STORM WATER INLET
RIM ELEVATIONS ARE AT THE
FLOW LINE

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

GRADING PLAN

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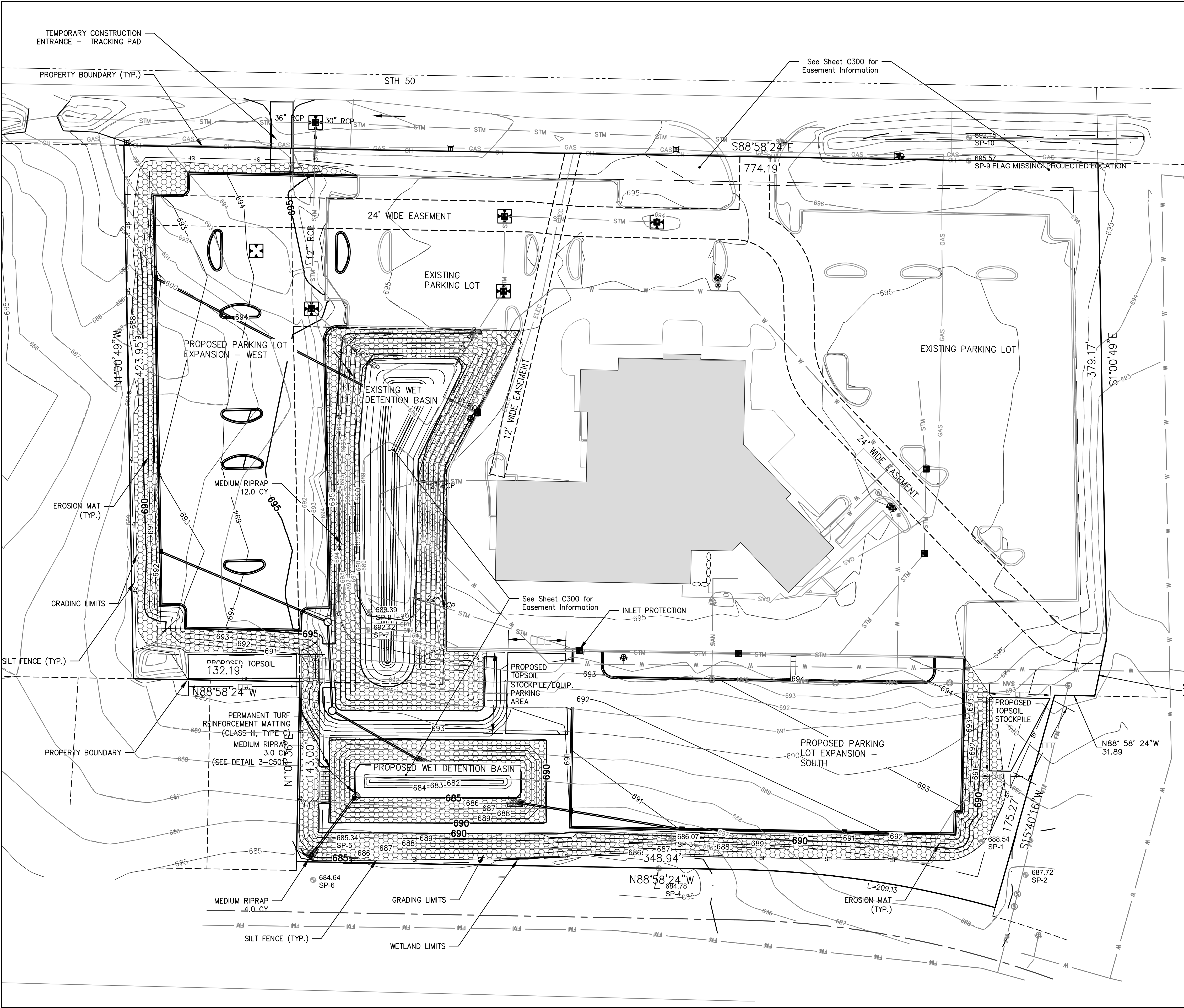
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LEGEND

- WETLAND BOUNDARY
- SOIL BORING
- STORM INLET - BEEHIVE (EXISTING/PROPOSED)
- STORM INLET - SQUARE (EXISTING/PROPOSED)
- END SECTION (EXISTING/PROPOSED)
- INLET PROTECTION
- SILT FENCE
- PROPOSED RIPRAP
- EROSION MAT

LAND OWNER ☐
LYNCH VENTURES LLC
KURT PETRIE
180 INDUSTRIAL DRIVE
BURLINGTON, WI 53105
262.514.0000
KURT@LYNCHTRUCKCENTER.COM

TOTAL DISTURBED AREA ☐ ACRES

PREDOMINANT SOIL TYPES ☐ ASHKUM
SILTY CLAY LOAM, ELLIOT SILTY CLAY
LOAM, MARKHAM SILT LOAM, VARNA
SILT LOAM

HYDROLOGIC SOIL GROUP ☐

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

EROSION CONTROL PLAN	NO.	REVISIONS	BY	DATE

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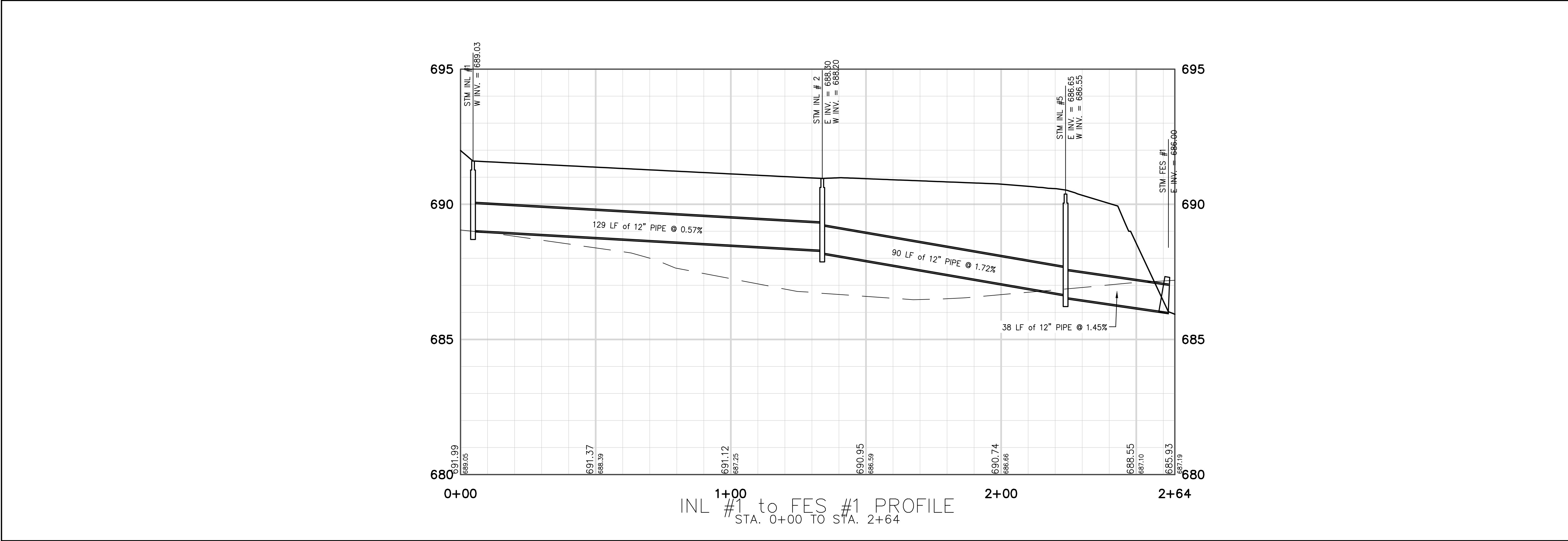
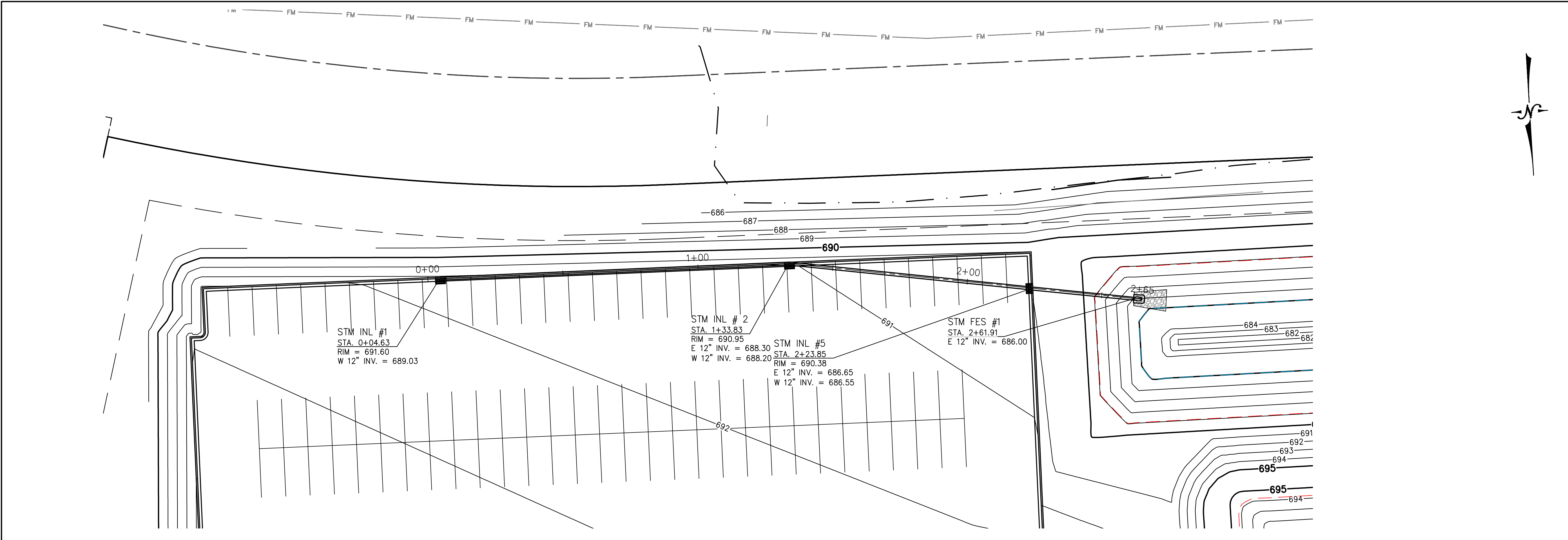
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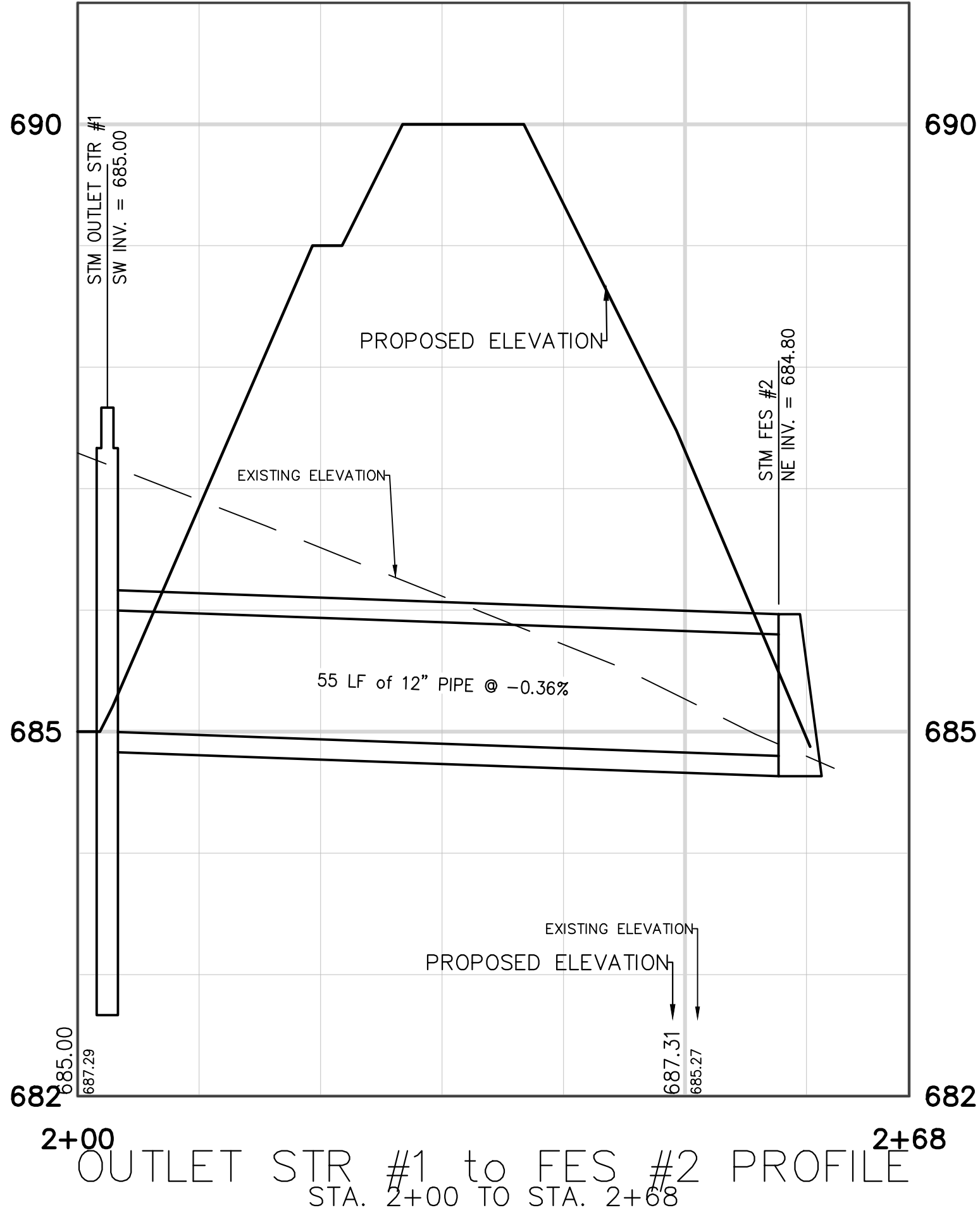
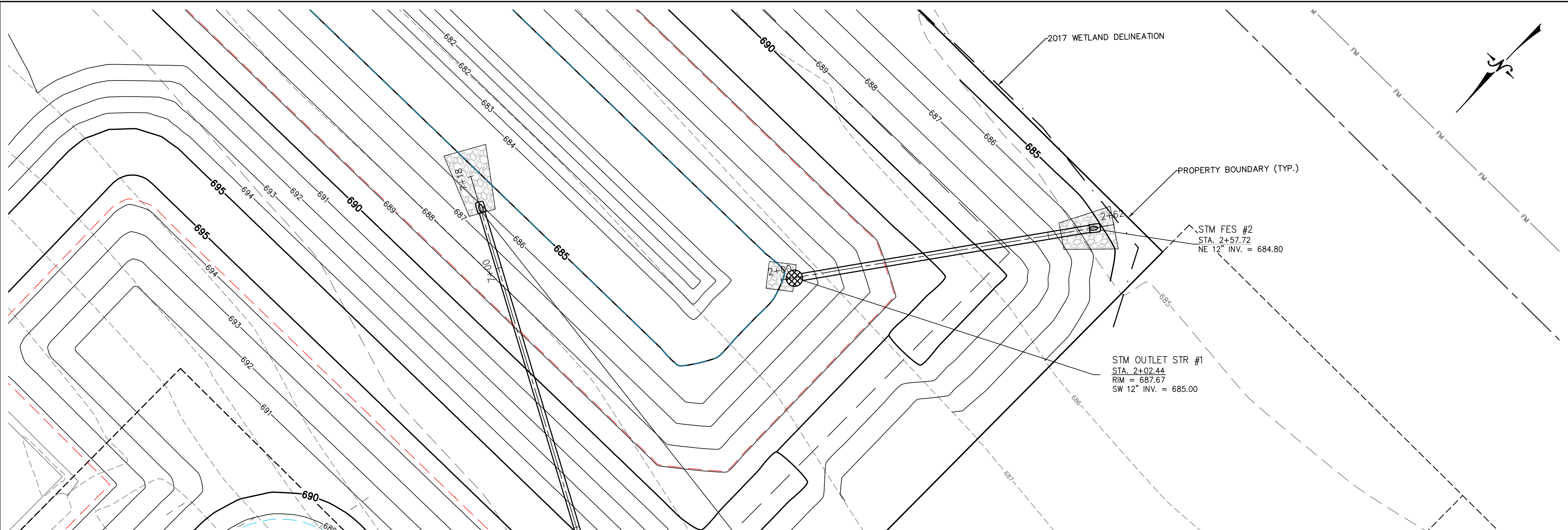
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SHEET NO.

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PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

STORM SEWER PLAN & PROFILE			
NO.	REVISIONS		DATE
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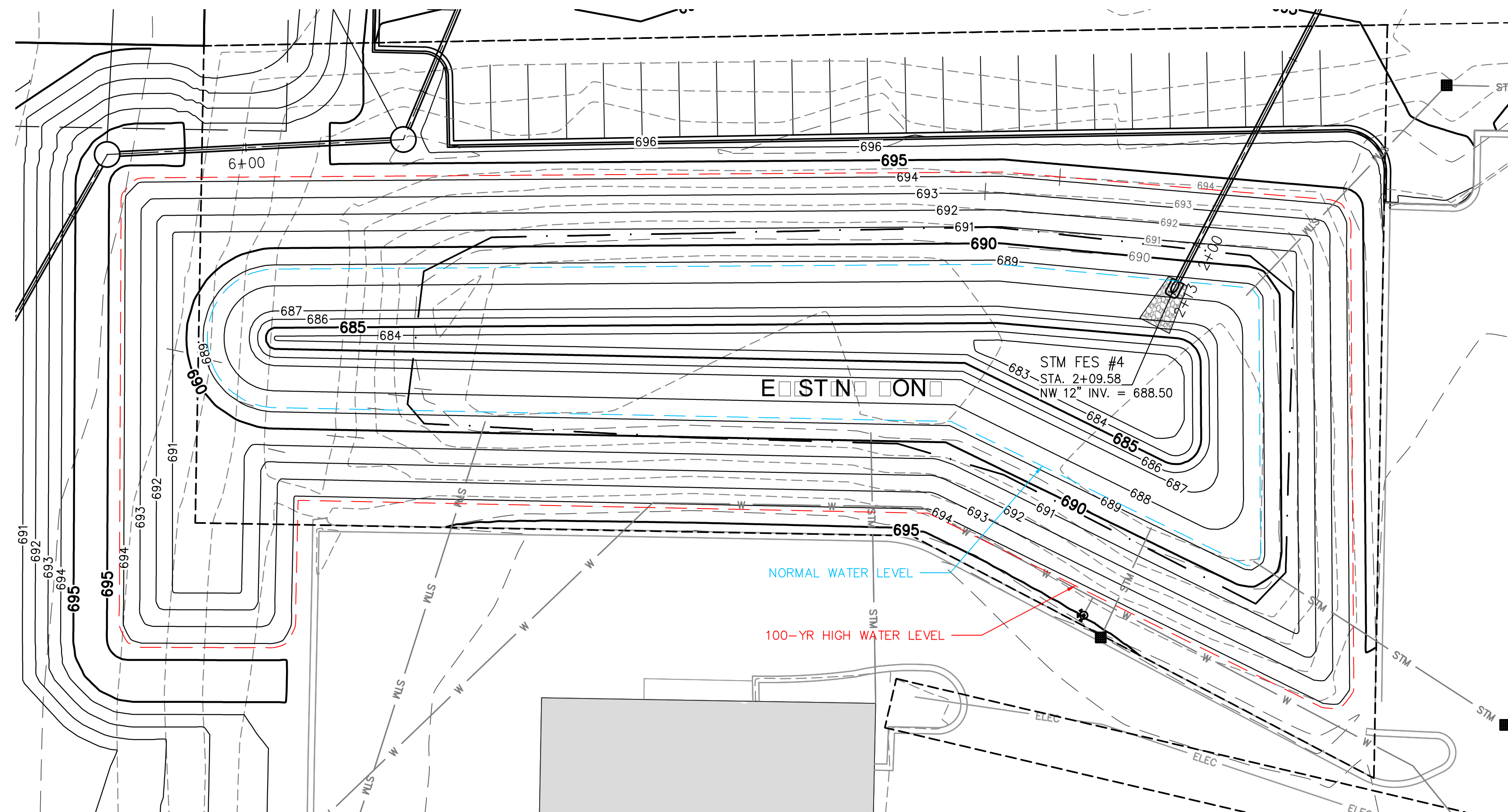
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**PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP**
PLEASANT PRAIRIE, WI

PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES

ENGINEERING CONSULTANTS, LLC

POND DETAIL

NO.	REVISIONS	BY	DATE

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PLAN DATE	12.15.17
DESIGNED BY	RDE

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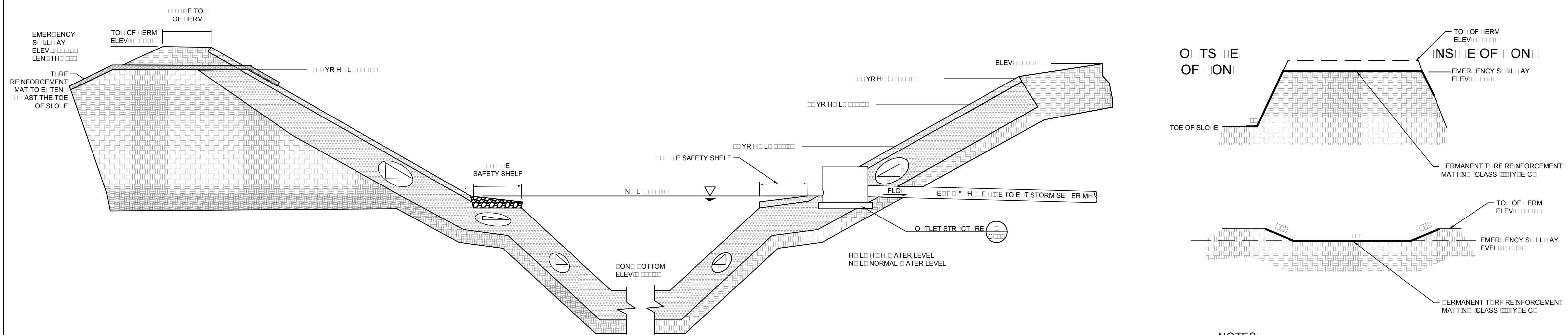


SCALE

PROJECT NO.
16.0001

SHEET NO.

C□ 5

NOTES ☐

THE ELEVATION OF THE YEAR HILL ON
THE INSIDE OF THE CONCRETE

10 TEN MATTING TO BEYOND THE TOE OF SLOPE ON THE OUTSIDE
OF THE CONCRETE

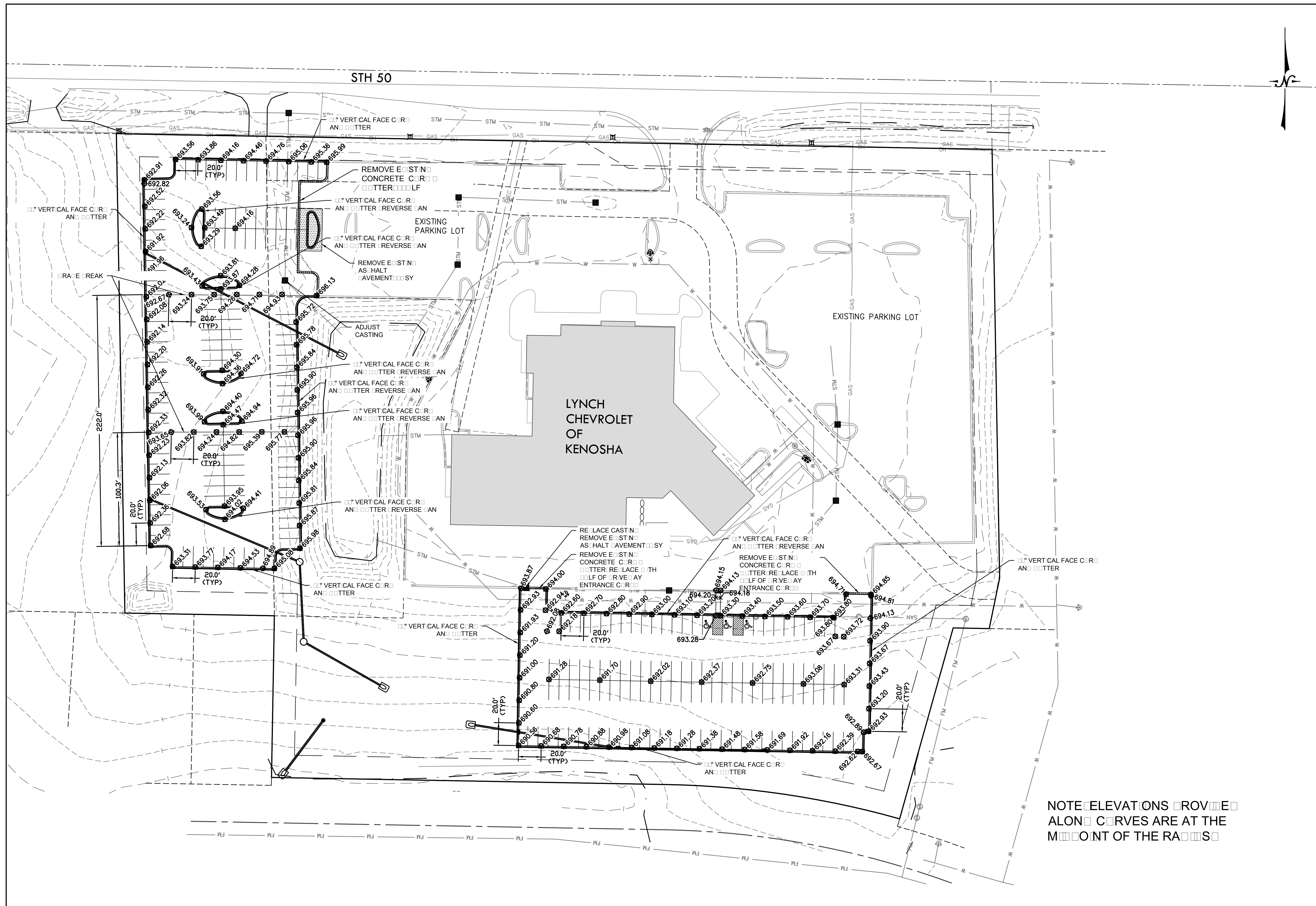
MATTIN SHALL BE INSTALLED IN ACCORDANCE WITH THE
TECHNICAL STANDARD

SEE SHEET C FOR EASEMENT INFORMATION

ON EMERGENCY SLL AY ETAL
NTS

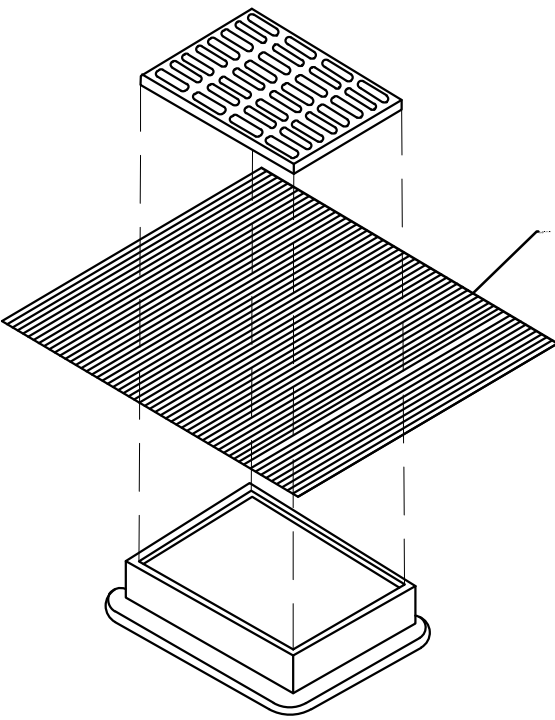
NTS

ESTIMATION OF TRANSVERSE CROSS SECTION



EROSION CONTROL NOTES

- DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE DISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS
- CONSTRUCT SILT FENCE IN ACCORDANCE WITH ENR TECHNICAL STANDARDS
- CONTRACTOR SHALL CHECK ALL EROSION CONTROL MEASURES EVERY SEVEN DAYS OR AFTER EACH INCH RAINFALL WHICHEVER IS SOONER AND PROVIDE ANY MAINTENANCE REQUIRED FOR CONFORMANCE WITH THIS PLAN
- A MINIMUM OF INCHES OF TOPSOIL SHALL BE PLACED ON AREAS TO BE VEGETATED
- SEEDING SHALL BEIN WITHIN DAYS AFTER FINAL DRAINING IS COMPLETE
- SEEDING SHALL CONFORM TO THE REQUIREMENTS OF SECTION 100 OF THE DISTRICT STANDARD SPECIFICATIONS. A NO MORE SHALL BE ADDED AT A RATE OF POUNDS PER SIF
- PLACE MULCH ON ALL SLOPES OF 10% OR GREATER IN ACCORDANCE WITH SECTION 100 METHOD A OF DISTRICT STANDARD SPECIFICATIONS
- TOPSOIL PILES ARE TO BE SEED WITHIN SEVEN DAYS OF LAYING
- ANY DISTURBED AREAS LEFT OPEN FOR MORE THAN DAYS WILL REQUIRE TEMPORARY STABILIZATION. REFER TO ENR STANDARD SECTION 100 "CONDITIONS WHERE PRACTICE APPLIES"
- TEMPORARY SEEDING ANNUAL RYEGRASS AT 100 LBS/ACRE LATE SEASON TEMPORARY SEEDING (SEED TO OCTOBER) INTERSEED AT 10 LBS/ACRE PERMANENT SEEDING (AFTER NOVEMBER) NO MORE AT 10 POUNDS SIF



INSTALLATION NOTES

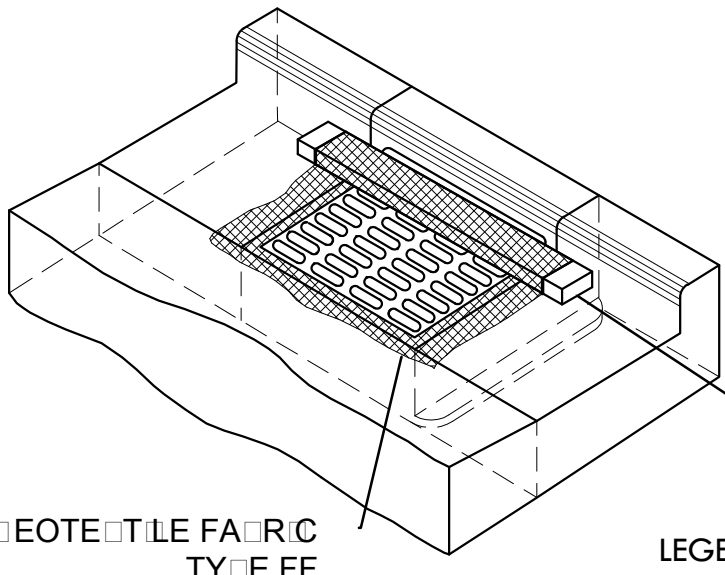
FINISHED SEEDING IN PLACE SOCKETS HERE REQUIRED SHALL BEIN A MINIMUM OF 1" AROUND THE PERMETER TO FACILITATE MAINTENANCE OR REMOVAL

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE SINCE A SEEDING FLANKING HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET

INLET PROTECTION SHALL BE INSPECTED AT A MINIMUM WEEKLY AND WITHIN HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES INCHES OR IN A HOUR PERIOD. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN ACCUMULATION TOTALS BEETWEEN 1/2 AND 1 THE DEPTH OF THE DEVICE OR WHEN THE DEVICE IS NOT FUNCTIONING AS DESIGNED

URING REMOVAL OF INLET PROTECTION ENSURE SEDIMENT DOES NOT FALL INTO THE INLET. ANY MATERIAL WHICH FALLS INTO THE INLET SHALL BE REMOVED

INLET PROTECTION TYPE C



INSTALLATION NOTES

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 1" OF THE RATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE SINCE A SEEDING FLANKING HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET

DO NOT EXCEEDS 1" BEYOND RATE WITH ON BOTH SIDES. LENGTH VARIES SECURE TO RATE WITH WIRE OR PLASTIC TIES

LEGEND

GENERAL NOTES

FINISHED SEEDING IN PLACE SOCKETS HERE REQUIRED SHALL BEIN A MINIMUM OF 1" AROUND THE PERMETER TO FACILITATE MAINTENANCE OR REMOVAL

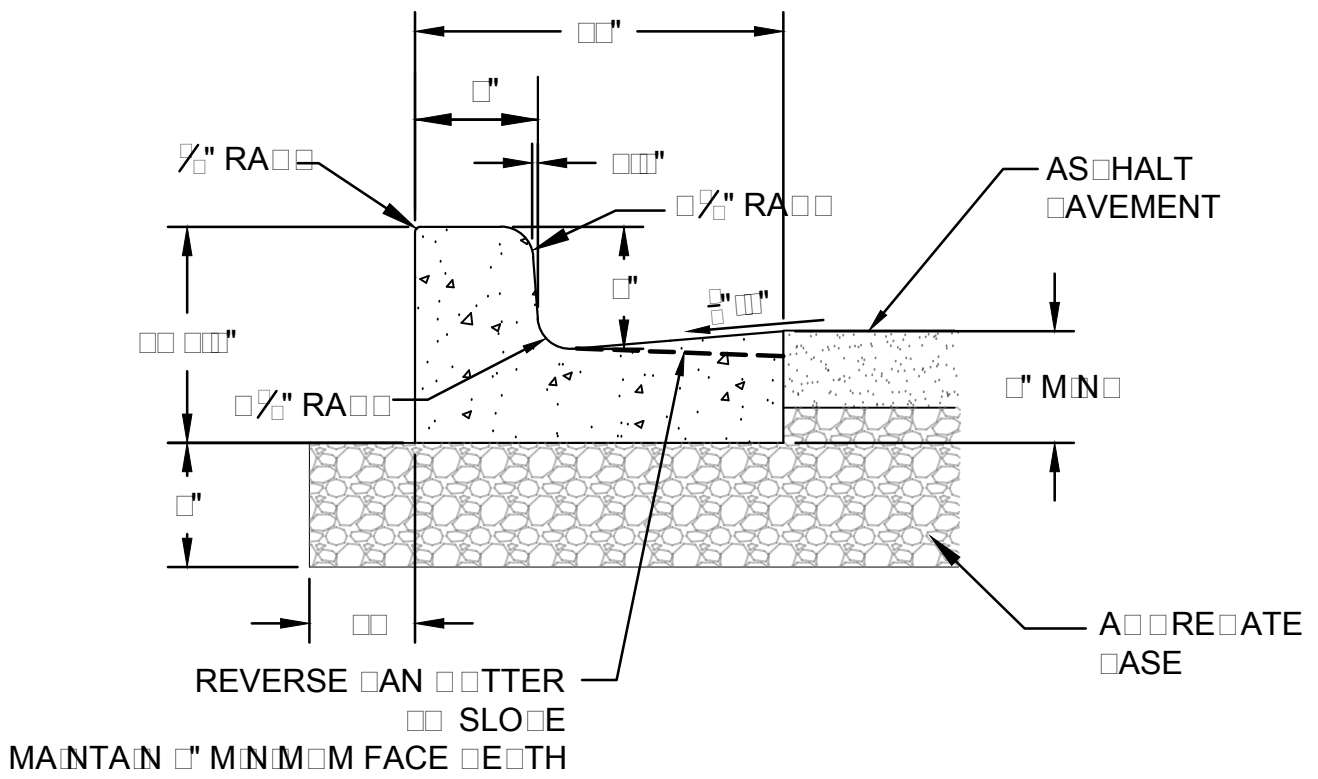
FOR INLET PROTECTION TYPE C WITH CURB COORDINATE AN ADDITIONAL 1" OF FABRIC IS REQUIRED AROUND THE CURB AND SECURED WITH STAPLES. THE CURB SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB COORDINATE

INSTALLATION NOTES

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 1" OF THE RATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE SINCE A SEEDING FLANKING HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET

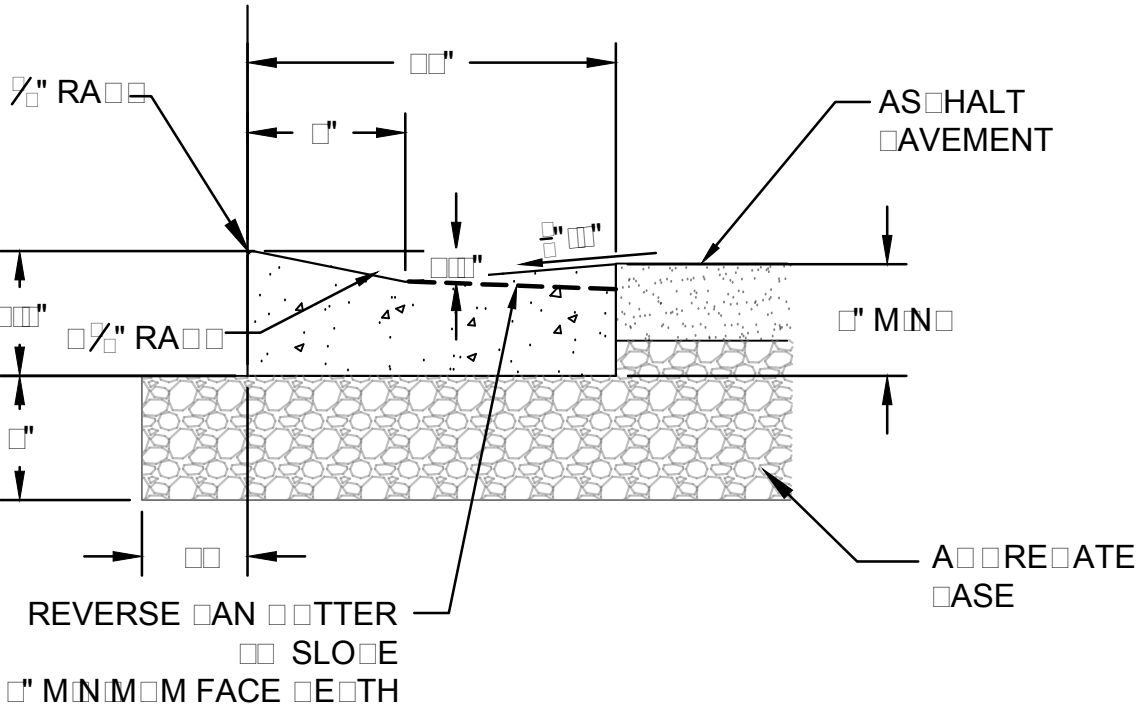
INLET PROTECTION SHALL BE INSPECTED AT A MINIMUM WEEKLY AND WITHIN HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES INCHES OR IN A HOUR PERIOD. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN ACCUMULATION TOTALS BEETWEEN 1/2 AND 1 THE DEPTH OF THE DEVICE OR WHEN THE DEVICE IS NOT FUNCTIONING AS DESIGNED. URING REMOVAL OF INLET PROTECTION ENSURE SEDIMENT DOES NOT FALL INTO THE INLET. ANY MATERIAL WHICH FALLS INTO THE INLET SHALL BE REMOVED

INLET PROTECTION TYPE C

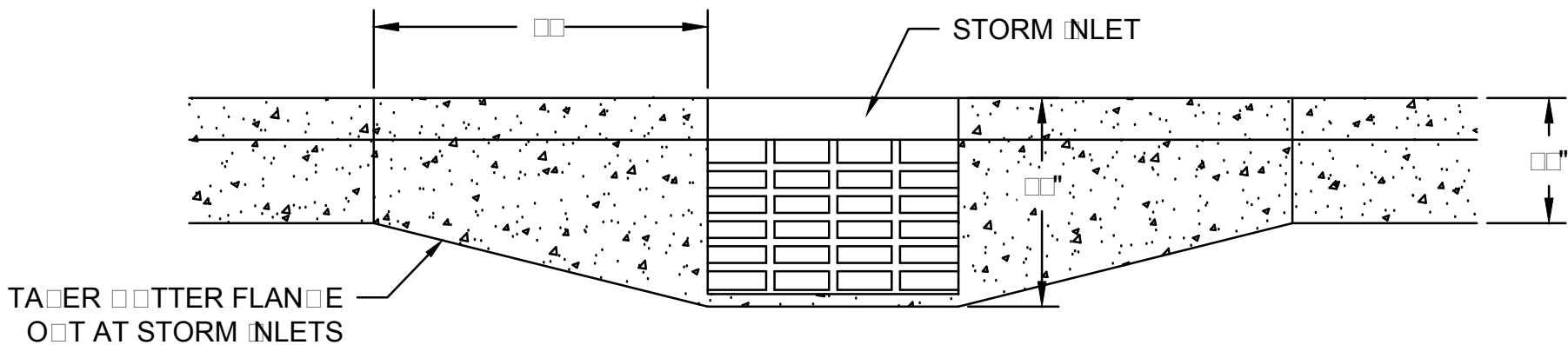


TYICAL 12" VERTICAL FACE CURB

TRANSITION FROM 12" VERTICAL FACE CURB TO DRIVEWAY ENTRANCE SHALL BEIN 10'



DRIVEWAY ENTRANCE CURB OPENING CURB



FLANGE TAPER AT INLET

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP

PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

CONSTRUCTION DETAILS

NO. BY DATE

REVISIONS

ISSUED FOR REVIEW

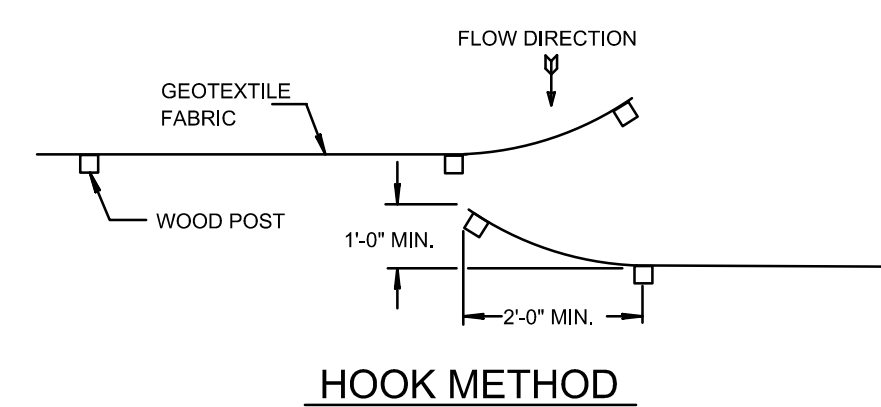
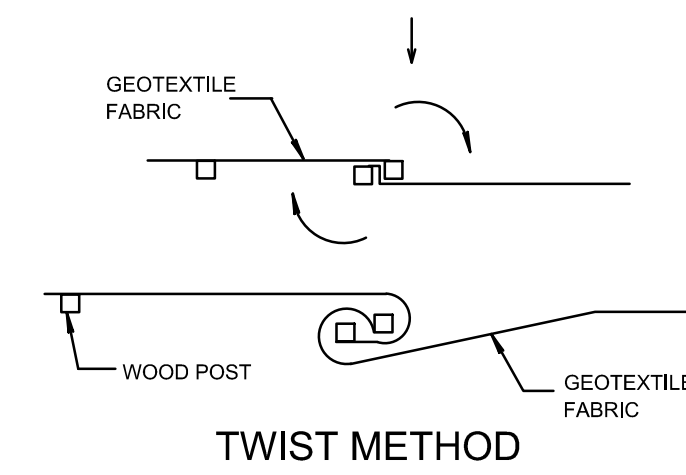
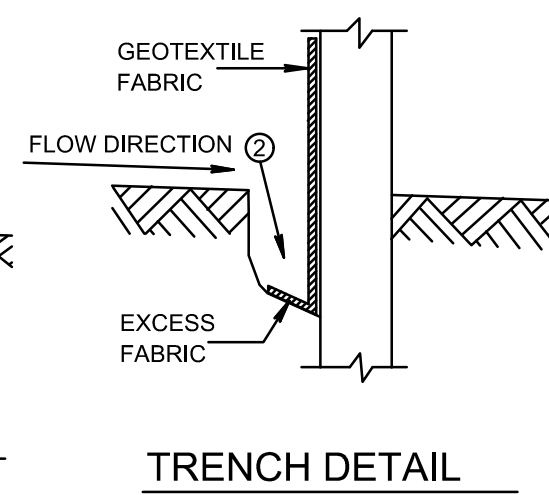
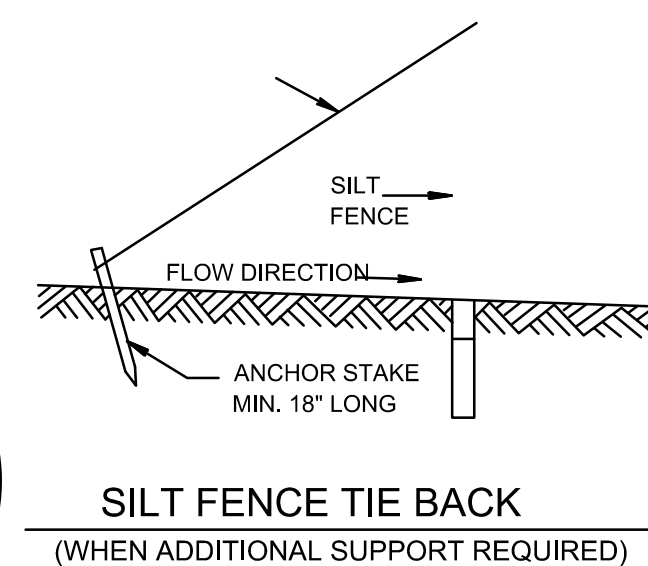
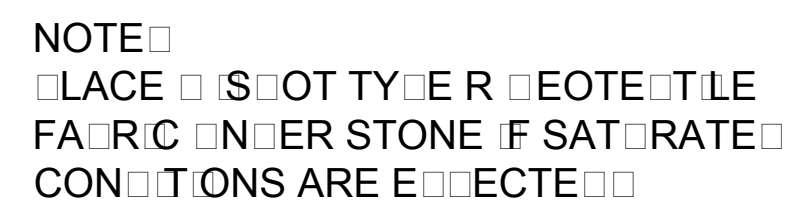
PLAN DATE 12.15.17
DESIGNED BY RDE

0 NTS
SCALE

PROJECT NO.
16.0001

SHEET NO.

C500



JOINING TWO LENGTHS OF SILT FENCE

- ## GENERAL NOTES:
1. HORIZONTAL BRACE REQUIRED WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 2. TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE FASTENED FABRIC TO SOLID MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1-1/8" x 1-1/8" OF OAK OR HICKORY.
 4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180°
 - B) HOOK THE END OF EACH SILT FENCE LENGTH.
 6. SILT FENCE SHALL BE INSTALLED USING CURRENT WisDOT STANDARDS AT THE TIME OF CONSTRUCTION.

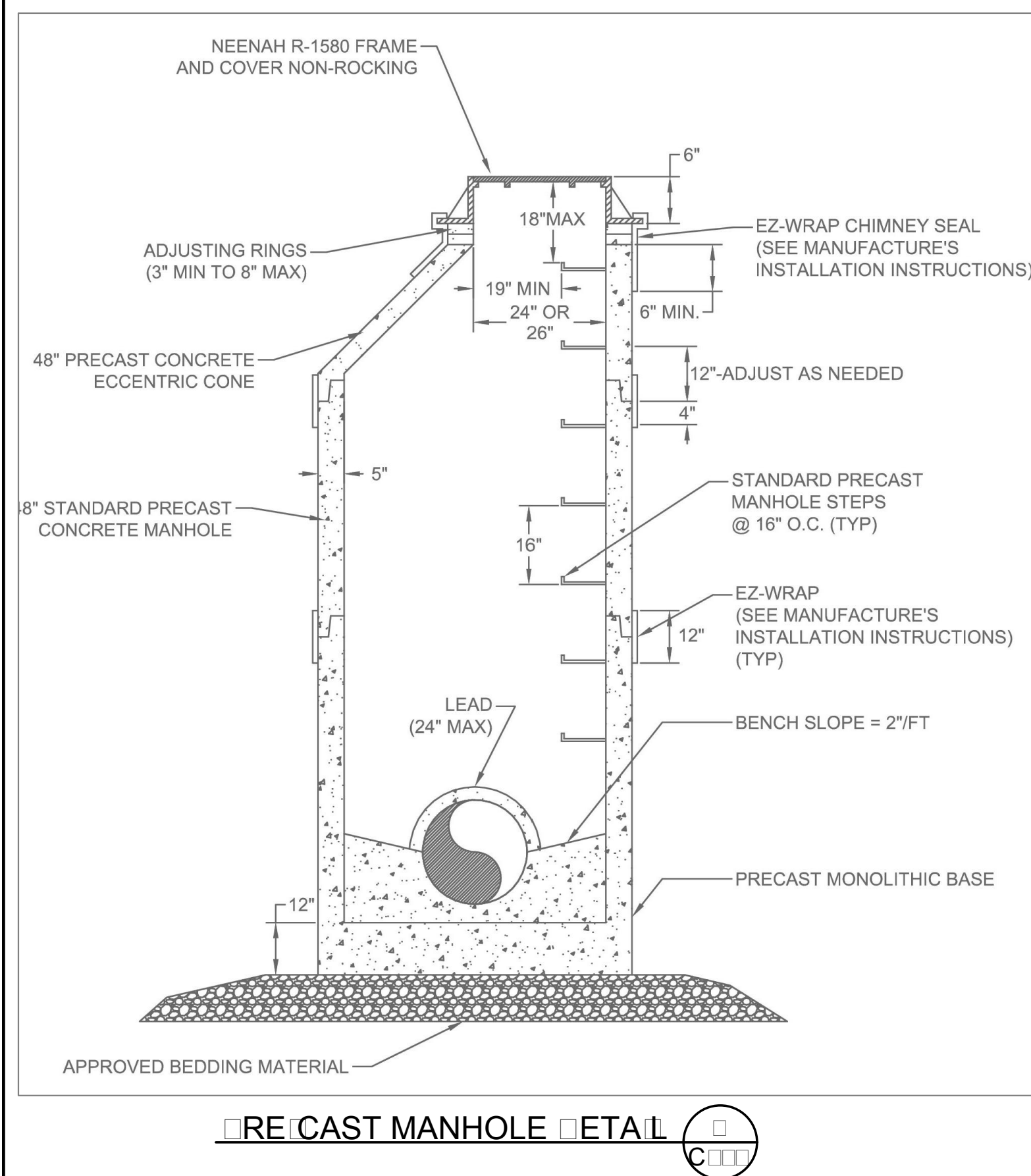
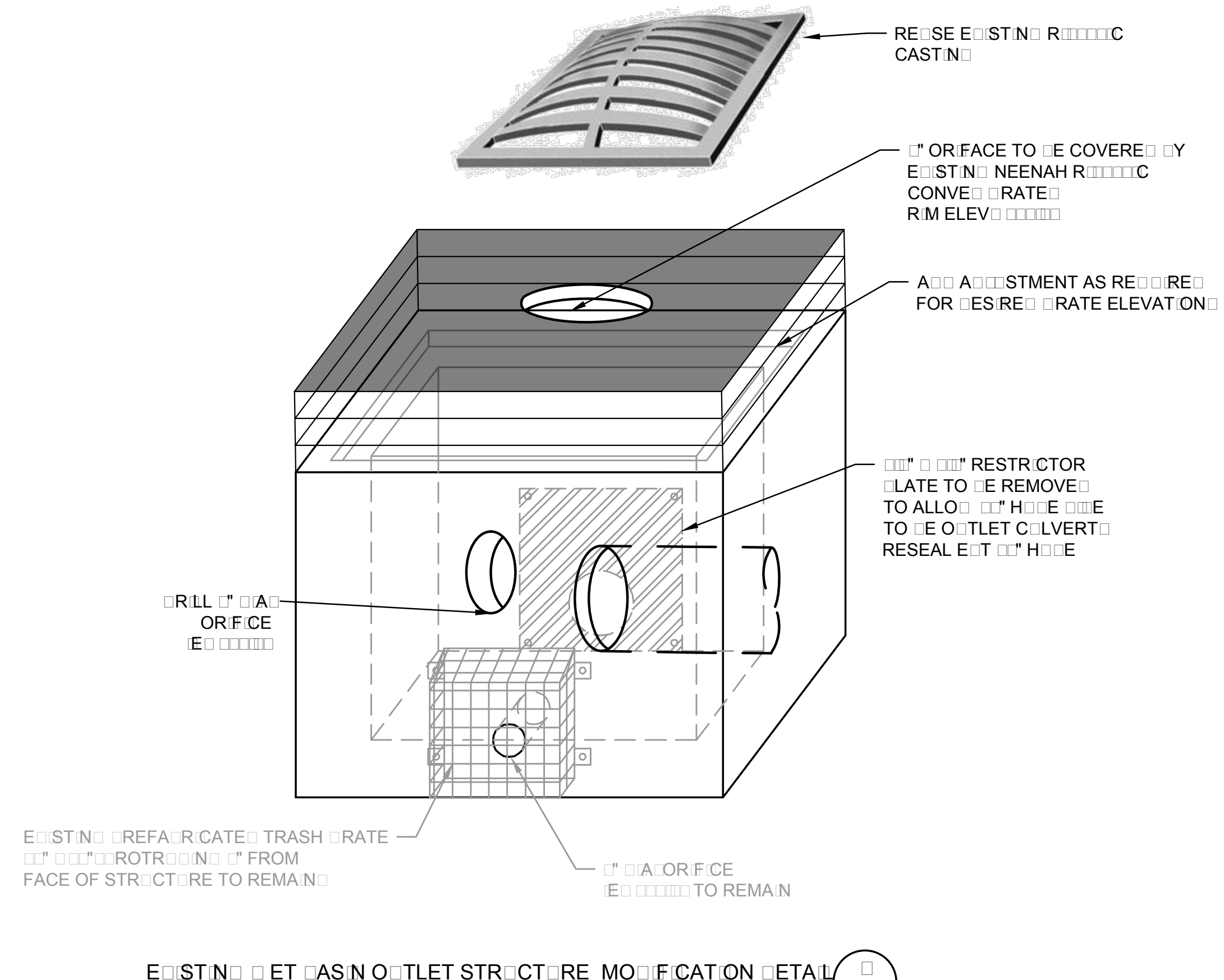
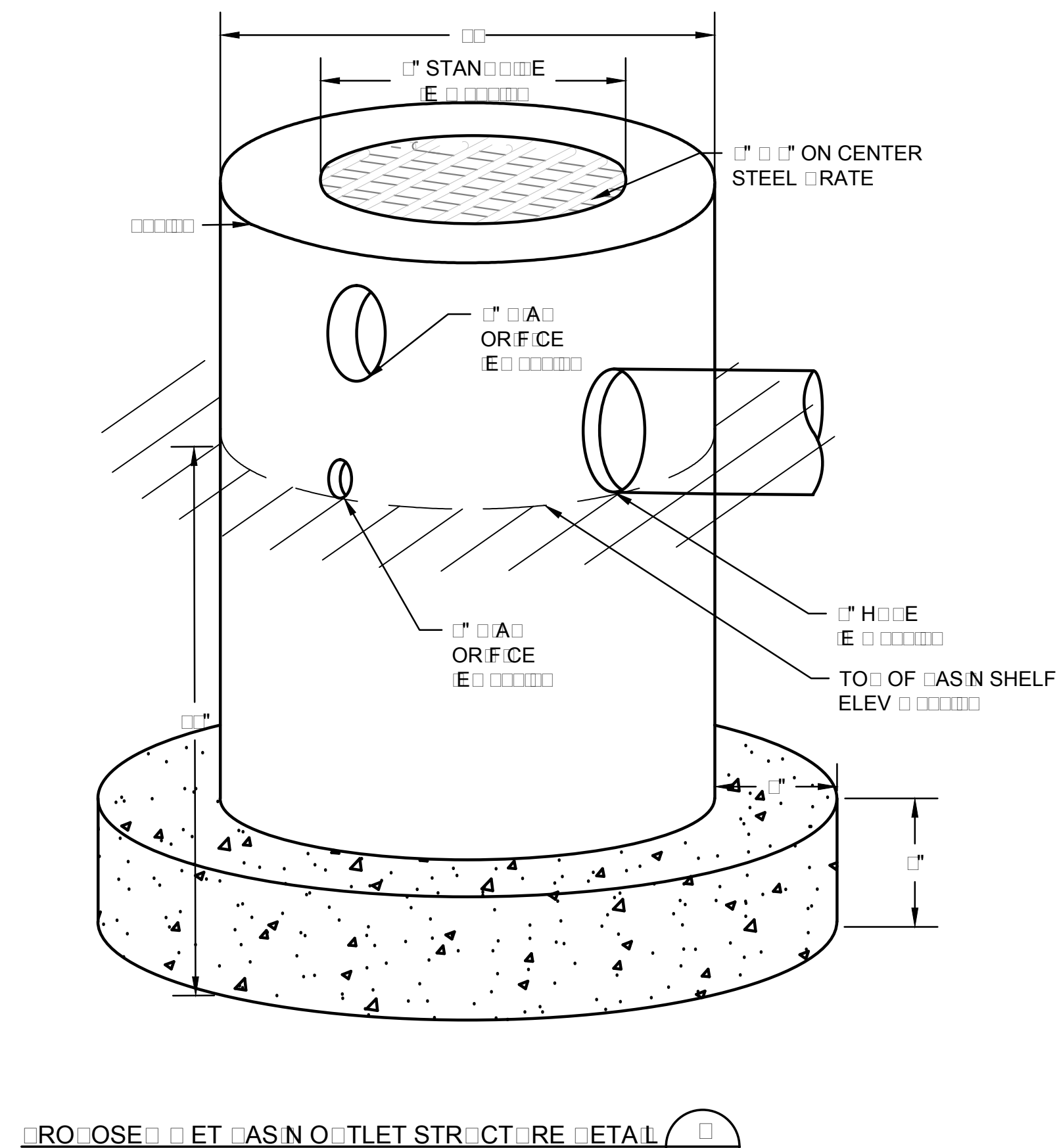


LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

CONSTRUCTION DETAILS

[illegible]

C501

NOTES ☐

□□□ CAVATE TO ONE FOOT □ELO □□□E O□TLET AN □ □□EN CHANNEL TO THE RE□□RE □RA□
THICKNESS FOR EACH A□RON□FO□N□ATION TO □E C□T TO □ERO □RA□E AN□ SMOOTH□□

PLACE FILTER CLOTH ON BOTTOM AND SIDES OF REAR FOUNDATION. JOINTS TO OVERLAP A MINIMUM OF ONE FOOT.

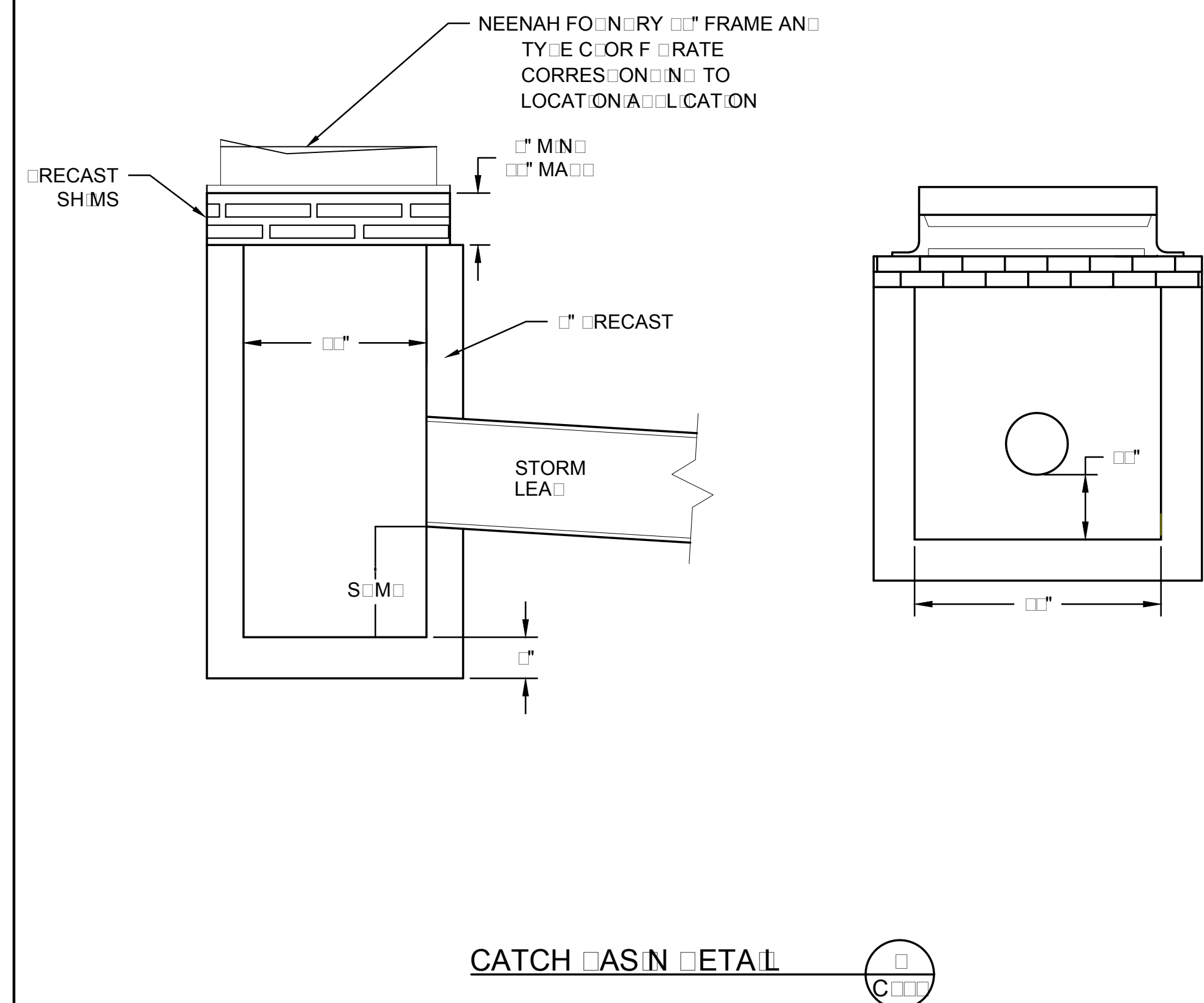
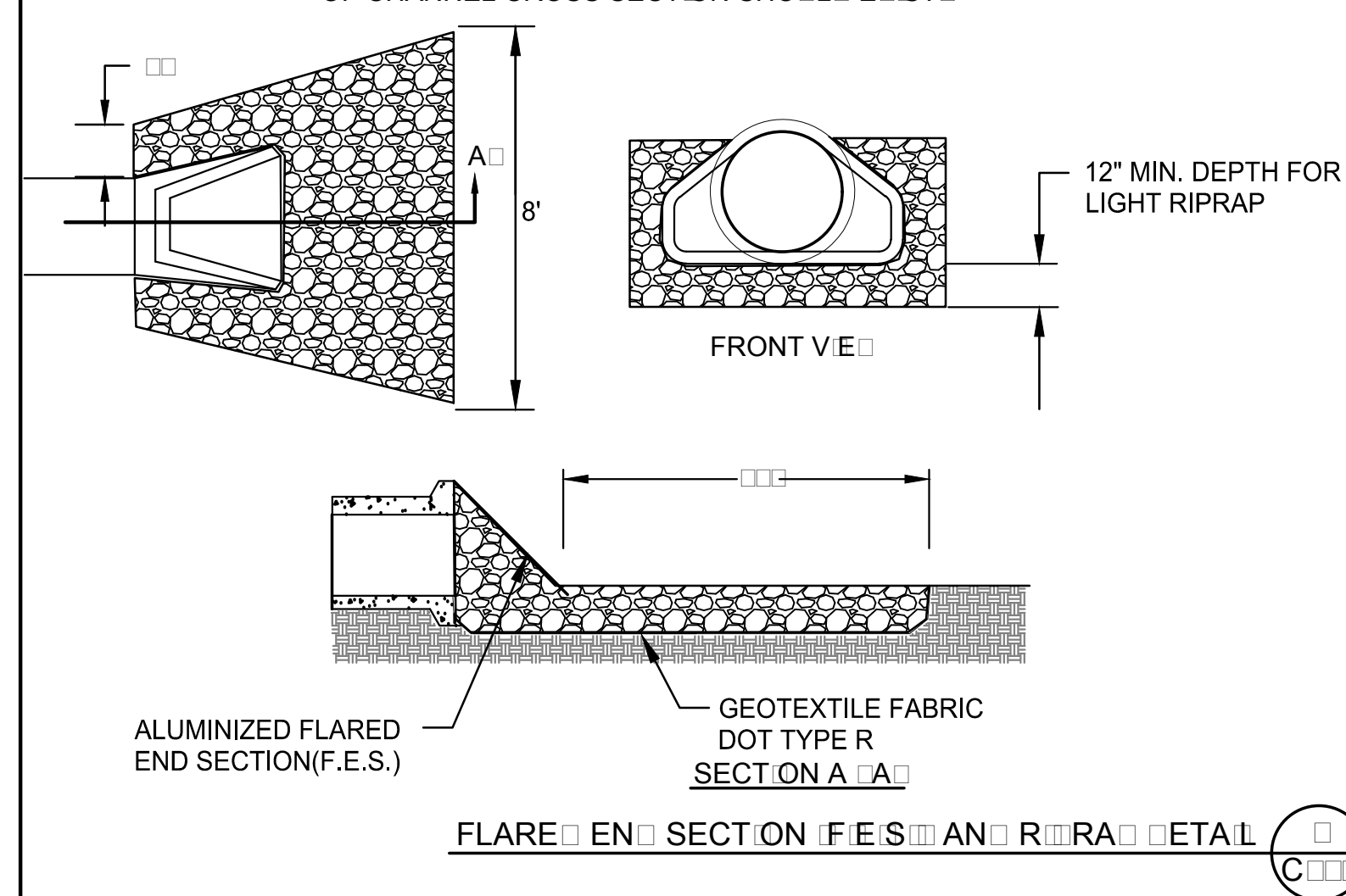
EXERCISE CARE IN REPLACEMENT TO AVOID DAMAGE TO FILTER FAIRLY

PLACE RIBBON ON ZERO SCALE TO OF RIBBON TO THE LEVEL OF THE ROSE OUTLET
NO OVERFALL AT ENDS

THE ROADS AND TRANSPORTS ACT, 1988

IMMEDIATELY AFTER CONSTRUCTION SHALL LEAVE ALL STORED AREAS WITH VEGETATION

□□ LINE CHANNEL TO TO□ OF □ANKS FOR A □STANCE OF □□□O□ NSTREAM□ NO RESTR CTION
OF CHANNEL CROSS SECTION SHO L□ E□ST□



**PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP**
PLEASANT PRAIRIE, WI

ILLEGITIMATE INKING, VI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

CONSTRUCTION DETAILS

NO.	REVISIONS	BY	DATE

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ISSUED FOR
REVIEW

PLAN DATE	12.15.17
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DESIGNED BY RDE

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SCALE

SCALE

PROJECT NO.

PROJECT NO.
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SHEET NO. _____

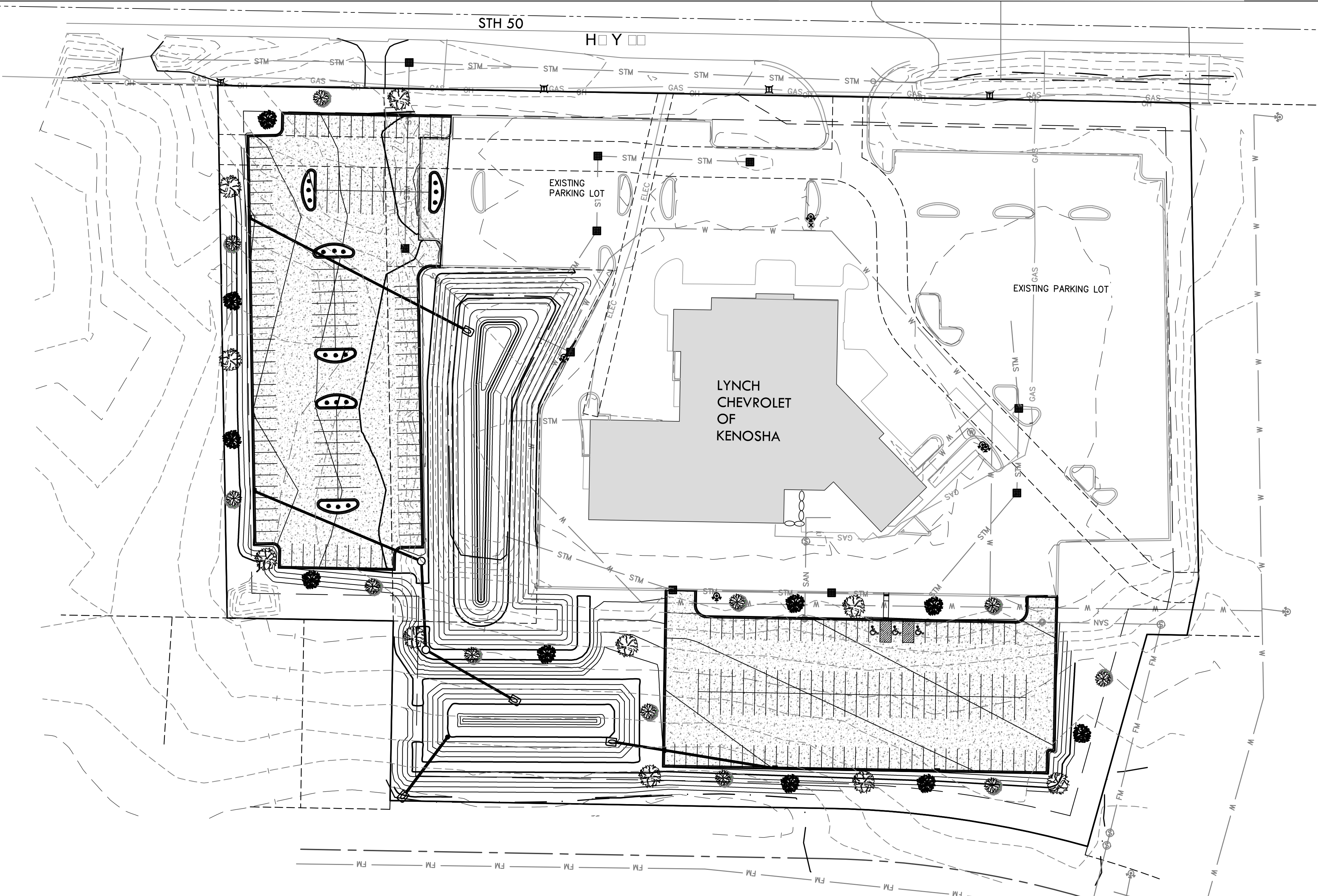
SITE DATA CHART

LOT AREA 0.0000 ACRES
GREEN SPACE REQUIRED 0.0000 OF LOT AREA 0.0000 ACRES
TOTAL GREEN SPACE PROVIDED 0.0000 ACRES
NET PARKING LOT AREA 0.0000 ACRES
TOTAL PARKING LOT AREA 0.0000 ACRES
TOTAL IMPERVIOUS AREA 0.0000 ACRES 0.0000 OF LOT AREA
PARKING LOT GREEN SPACE REQUIRED 0.0000 OF PARKING LOT AREA 0.0000 ACRES
LANDSCAPE AREA WITHIN PARKING LOT 0.0000 ACRES
TOTAL ADDITIONAL PARKING SPACES 0.0000

STREET TREE CALCULATIONS PER ORDINANCE
HONEY LOCUST 0
TREE PER FEET OF FRONTAGE 0 TREES
ROOSE STREET TREES AS SHOWN
HONEY LOCUST 0
ATLANTIC LAUREL MALE 0
SILVER MALE 0
TOTAL TREES ROOSE 0

- LEGEND
- EXISTING POWER POLE
 - EXISTING TEAM CATCH
 - EXISTING TREE LINE
 - EXISTING WATER VALVE HYDRANT
 - EXISTING WATER MAIN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY SEWER
 - EXISTING STORM MANHOLE INLET
 - EXISTING STORM SEWER
 - EXISTING TELEPHONE CESTAL
 - EXISTING TREE
 - ROOSE SANITARY MANHOLE
 - ROOSE STORM INLET END SECTION
 - ROOSE HYDRANT WATER VALVE
 - EXISTING RETAINING WALL

- LEGEND
- SIZE
- TYPE
- ATLANTIC LAUREL FREEMAN MALE (AF) 0.0000" CALIBER
 - ACER FREEMAN ATLANTIC LAUREL
 - SILVER MALE (AC) 0.0000" CALIBER
 - ACER SACCHARINUM
 - THORNLESS HONEY LOCUST (T) 0.0000" CALIBER
 - LENTIS ATRACANTHOS INERMIS
 - CONTACT CORN (C) 0.0000" SH
 - ONYMIS ALATIS (O) 0.0000" CONTACTS



PARKING LOT EXPANSION FOR

LYNCH DEALERSHIP

PLEASANT PRAIRIE, WI

LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

LANDSCAPE PLAN

NO. BY DATE

REVISIONS

ISSUED FOR REVIEW

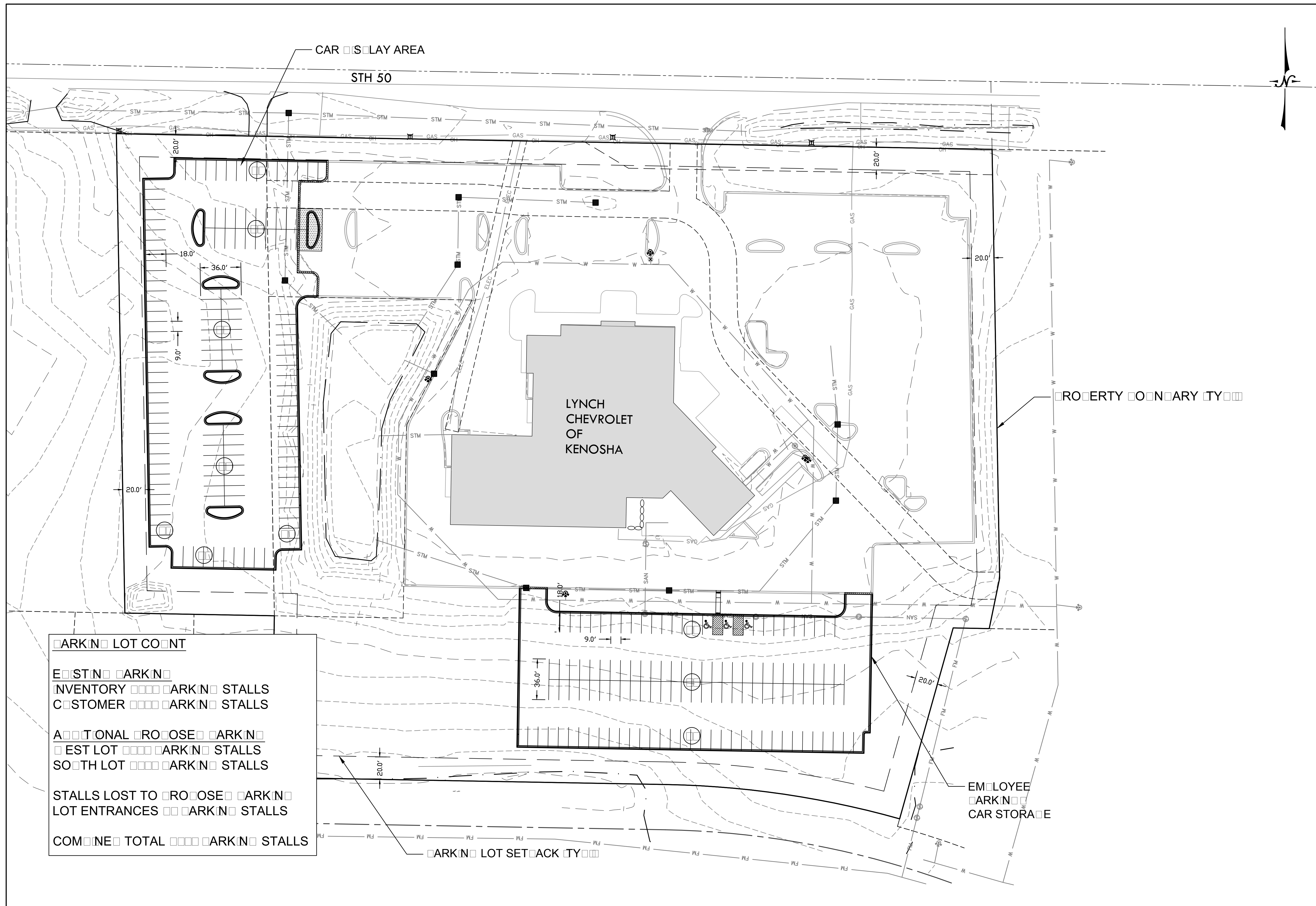
PLAN DATE 12.15.17
DESIGNED BY RDE

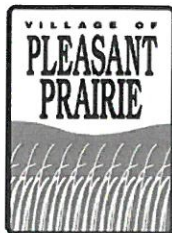
0 50'
SCALE

PROJECT NO.
16.0001

SHEET NO.

C600





CERTIFIED SURVEY MAP APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to subdivide the property with a Certified Survey Map (CSM) as hereinafter requested:

Property Location: 10901 75th St., Pleasant Prairie, WI 53138

Legal Description: See Attached

Tax Parcel Number(s): 91-4-122-071-0015; 91-4-122-071-0027

Existing Zoning District(s): B2 PUD and Urban Reserve

Select all that apply:

- ☒ The property abuts or adjoins State Trunk Highway STH 50
- ☐ The property abuts or adjoins County Trunk Highway _____
- ☒ Municipal Sanitary Sewer is available to service said property
- ☒ Municipal Water is available to service said property

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Kurt Petrie

Signature: [Signature]

Address: 180 Industrial Drive

Burlington WI 53105

(City) (State) (Zip)

Phone: 262-763-0147

Fax: _____

Email: Kurt@lynchtruckcenter.com

Date: 1-15-18

APPLICANT/AGENT:

Print Name: Tim Lynch

Signature: [Signature]

Address: 4582 W. Westridge Drive

New Berlin WI 53151

(City) (State) (Zip)

Phone: 262-402-5040

Fax: _____

Email: tlynch@lynch-engineering.com

Date: 1/15/2018

Existing Parcel Legal Descriptions:

Parcel # 91-4-122-071-0027

LOT 1 CSM #2697 DOC #1669236 PT NE 1/4 SEC 7 T1 R22 8.19 AC (2012 COMB 91-4-122-071-0020, -0025, & -0030 INTO 91-4-122-071-0026) DOC #1661758 (2013 COMB 91-4-122-071-0026, -1511, -1515, -1520, -1525, -1530 INTO 91-4-122-071-0027) DOC #1669236 DOC #1669248

And

Parcel # 91-4-122-071-0015

561-D-2-3 PT NE1/4 SEC 7 T 1 R 22 BEG 2244 FT W OF NE COR 1/4 S 484 FT E 132 FT N 484 FT W 132 FT TO BEG EX FOR HY DOC #1452087 1.22 ACRE DOC #1760939

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER / DEVELOPER:
LYNCH VENTURES, LLC.
2300 S BROWNS LAKE DR
BURLINGTON, WI 53105

SURVEYOR'S CERTIFICATE:

I, JACOB S. JENSEN, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE FOLLOWING LAND HEREIN DESCRIBED:

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

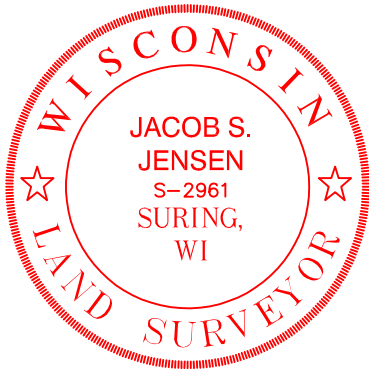
BEGINNING AT A CONCRETE MONUMENT WITH BRASS CAP FOUND MARKING THE NORTHEAST CORNER OF SAID NORTHEAST 1/4 SECTION; THENCE N88°58'24"W, ALONG THE NORTH LINE OF SAID 1/4 SECTION, 1,470.00'; THENCE S1°00'49"E, 60.04', TO AN IRON PIPE FOUND MARKING THE NORTHEAST CORNER OF SAID LOT 1; THENCE CONTINUING S1°00'49"E, ALONG THE EAST LINE OF SAID LOT 1, 379.17' TO AN IRON PIPE FOUND; THENCE S11°39'46"W, CONTINUING ALONG SAID EAST LINE, 45.54', TO AN IRON PIPE FOUND; THENCE N88°58'24"W, CONTINUING ALONG SAID EAST LINE, 31.89', TO AN IRON BAR SET; THENCE S15°40'16"W, CONTINUING ALONG SAID EAST LINE, 175.27', TO AN IRON PIPE FOUND MARKING THE SOUTHEAST CORNER OF SAID LOT 1; THENCE ALONG THE SOUTH LINE OF SAID LOT 1 AND A CURVE TO THE LEFT 209.13', SAID CURVE HAVING A RADIUS OF 818.23' AND A CHORD BEARING N81°39'05"W, 208.56', TO AN IRON PIPE FOUND; THENCE N88°58'24"W, CONTINUING ALONG SAID SOUTH LINE, 348.94', TO AN IRON PIPE FOUND MARKING THE SOUTHWEST CORNER OF SAID LOT 1; THENCE N1°01'36"E, ALONG THE WEST LINE OF SAID LOT 1, 143.00', TO AN IRON PIPE FOUND MARKING THE SOUTHEAST CORNER OF THE LANDS DESCRIBED IN THE AFOREMENTIONED TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939; THENCE N88°58'24"W, ALONG THE SOUTH LINE OF SAID LANDS, 132.19' TO AN IRON PIPE FOUND MARKING THE SOUTHWEST CORNER THEREOF; THENCE N1°00'49"W, ALONG THE WEST LINE OF SAID LANDS, 423.95', TO AN IRON PIPE FOUND ON THE SOUTHERLY RIGHT OF WAY LINE OF S.T.H. "50"; THENCE S88°58'24"E, ALONG SAID RIGHT OF WAY LINE, 774.19' TO THE PLACE OF BEGINNING; SAID PARCEL CONTAINS 9.48 ACRES MORE OR LESS.

I FURTHER CERTIFY THAT I HAVE MADE SAID LAND DIVISION BY THE DIRECTION OF LYNCH VENTURES, LLC., OWNER(S) OF SAID LAND. THAT SUCH LAND DIVISION IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LANDS SURVEYED AND THE DIVISION THEREOF.

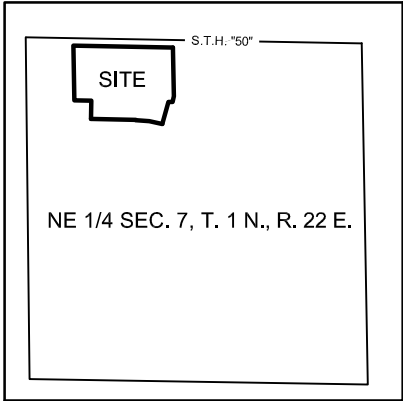
THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE LAND DIVISION ORDINANCES OF THE VILLAGE OF WATERFORD IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 12TH DAY OF DECEMBER , 2017.

JACOB S. JENSEN
PROFESSIONAL LAND SURVEYOR



Location Map



SURVEYOR:



LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

5482 S. WESTRIDGE DRIVE
NEW BERLIN, WI 53151

440 MILWAUKEE AVENUE,
BURLINGTON, WI 53105
(262) 402-5040

NOTES:

1. SEE SHEET 2 AND 3 FOR MAPPING.
2. SEE SHEETS 4-5 FOR ADDITIONAL CERTIFICATES.

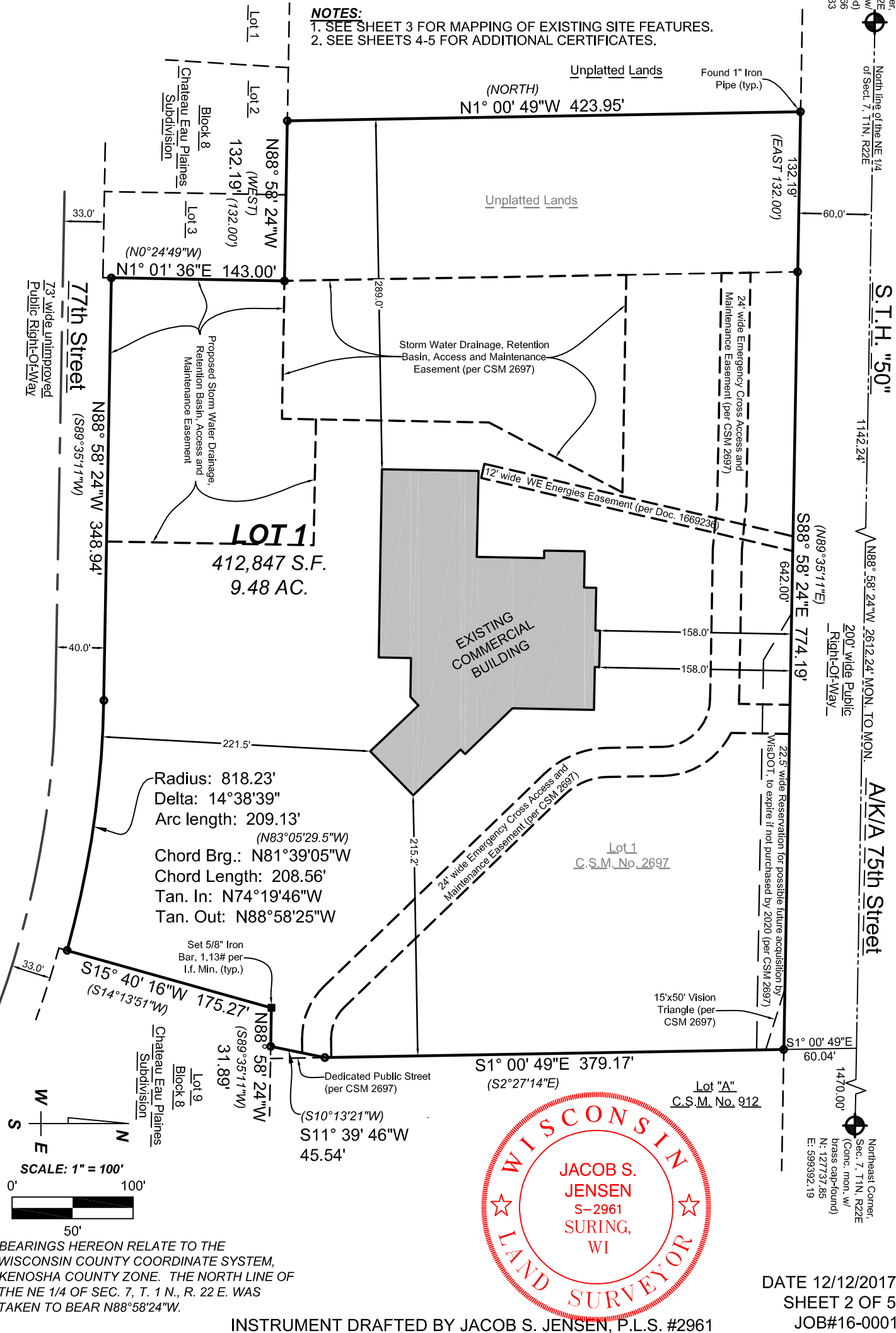
INSTRUMENT DRAFTED BY JACOB S. JENSEN, P.L.S. #2961

DATE 12/12/2017
SHEET 1 OF 5
JOB#16-0001

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

- NOTES:**
1. SEE SHEET 3 FOR MAPPING OF EXISTING SITE FEATURES.
2. SEE SHEETS 4-5 FOR ADDITIONAL CERTIFICATES.



North 1/4 Corner,
Sec. 7, T1N, R22E
(Conc. mon. w/
brass cap-found)
N: 127784.66
E: 596780.33

North line of the NE 1/4
of Sect. 7, T1N, R22E

S.T.H. "50"

1142.24'

N88° 58' 24"W 2612.24' MON. TO MON.

A/K/A 75th Street

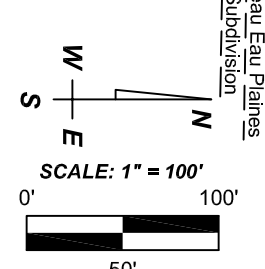
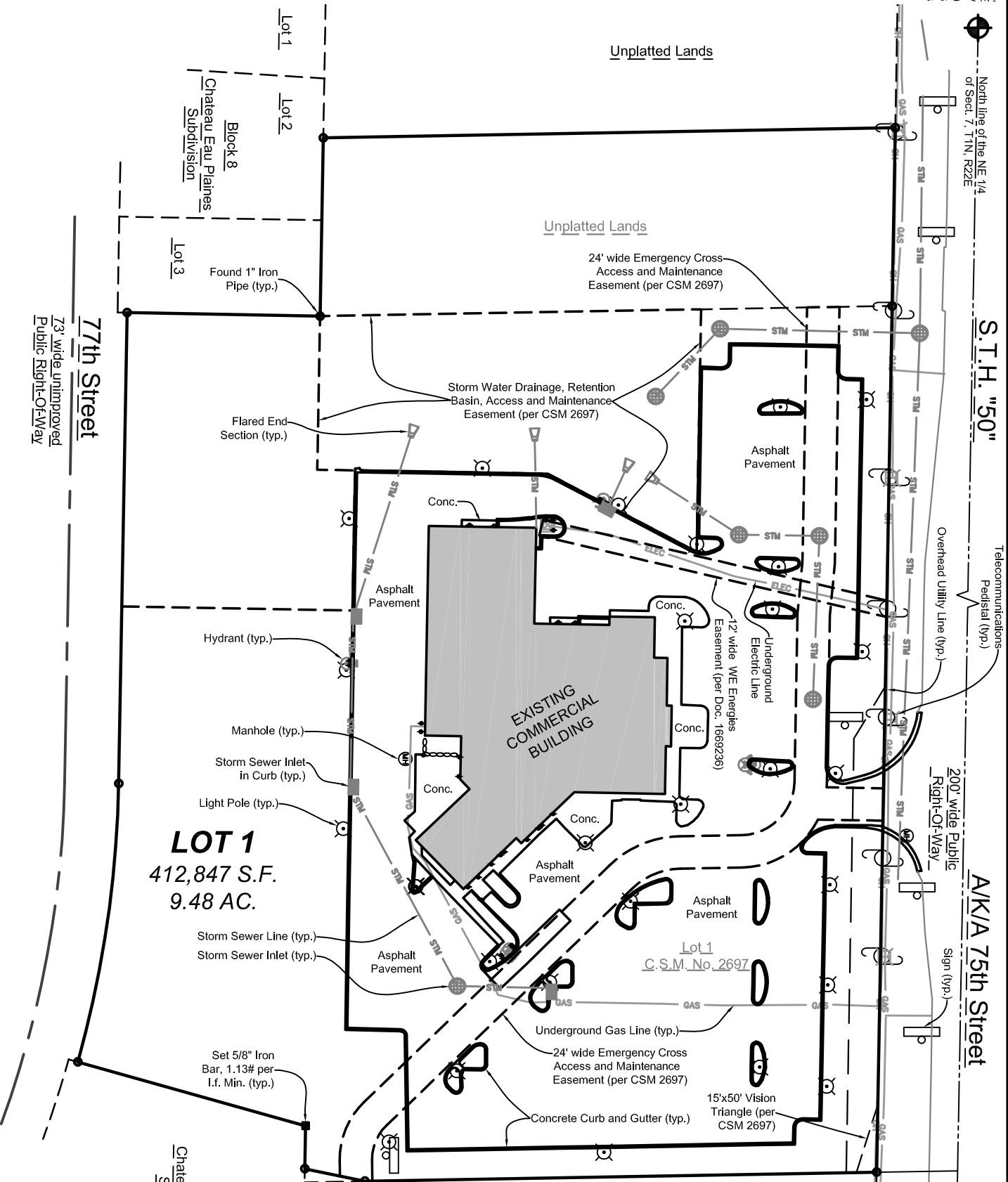
Northeast Corner,
Sec. 7, T1N, R22E
(Conc. mon. w/
brass cap-found)
N: 127737.85
E: 599392.19

DATE 12/12/2017
SHEET 2 OF 5
JOB#16-0001

INSTRUMENT DRAFTED BY JACOB S. JENSEN, P.L.S. #2961

CERTIFIED SURVEY MAP NO. _____

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BEARINGS HEREON RELATE TO THE WISCONSIN COUNTY COORDINATE SYSTEM, KENOSHA COUNTY ZONE. THE NORTH LINE OF THE NE 1/4 OF SEC. 7, T. 1 N., R. 22 E. WAS TAKEN TO BEAR N88°58'24"W.



DATE 12/12/2017
 SHEET 3 OF 5
 JOB#16-0001

INSTRUMENT DRAFTED BY JACOB S. JENSEN, P.L.S. #2961

Shared\1 - Projects\16-0001 Lynch Dealership_V of Pleasant Prairie\Desktop_CSM DWG\16-0001_CSM.dwg

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

LYNCH VENTURES, LLC, a Limited Liability Company duly organized and existing under the virtue of the Laws of the State of Wisconsin, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of John P. Konopacki, to be surveyed, divided, dedicated and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance.

LYNCH VENTURES, LLC

DATED THIS _____ DAY OF _____, 2017.

KURT PETRIE
President

STATE OF WISCONSIN) ss
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017

THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSONS
WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES:_____

CONSENT OF CORPORATE MORTGAGEE

_____, A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND

BY VIRTUE OF THE LAWS OF THE STATE OF _____, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES
HEREBY CONSENT TO THE SURVEYING, DIVIDING, AND MAPPING OF THE LAND DESCRIBED ON THIS MAP, AND DOES HEREBY
CONSENT TO THE ABOVE CERTIFICATE OF WATERFORD LAND INVESTORS, LLC., OWNERS.

IN WITNESS WHEREOF, THE SAID _____ HAS CAUSED THESE PRESENTS
TO BE SIGNED AND IT'S CORPORATE SEAL TO BE HEREUNTO AFFIXED

THIS _____ DAY OF _____, 2017.

NAME: _____ NAME: _____
TITLE: _____ TITLE: _____

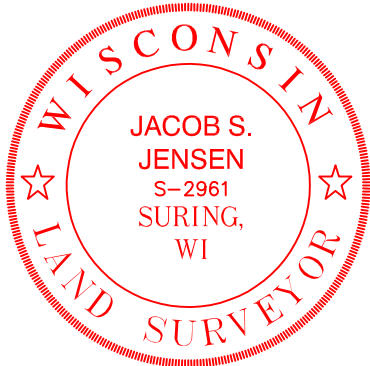
STATE OF _____) ss
COUNTY OF _____)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2017

THE ABOVE NAMED _____, TO ME KNOWN TO BE THE PERSONS
WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC

MY COMMISSION EXPIRES:_____



DATE 12/12/2017
SHEET 4 OF 5
JOB#16-0001

CERTIFIED SURVEY MAP NO. _____

LOT 1 OF CERTIFIED SURVEY MAP NO. 2697, AS DULY RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1669236 AND THE LANDS DESCRIBED IN TRUSTEE'S DEED, RECORDED IN KENOSHA COUNTY RECORDS AS DOCUMENT NO. 1760939, SAID LANDS ARE LOCATED IN THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

CERTIFICATE OF VILLAGE BOARD APPROVAL:

I CERTIFY THAT THIS CERTIFIED SURVEY MAP HAS BEEN FILED FOR APPROVAL AND IS HEREBY APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE BOARD OF TRUSTEES, AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES.

I HEREBY CERTIFY THAT ALL CONDITIONS OF APPROVAL HAVE BEEN MET AS OF

THIS _____ DAY OF _____, 2017.

JOHN P. STEINBRINK
Village President

JANE M. ROMANOWSKI
Village Clerk

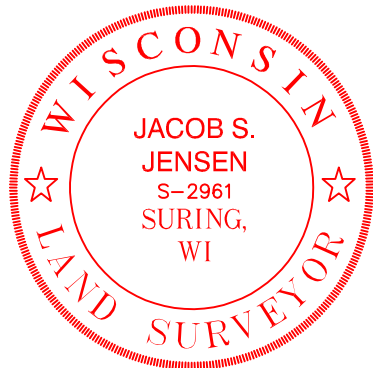
CERTIFICATE OF PLAN COMMISSION APPROVAL:

I CERTIFY THAT THIS CERTIFIED SURVEY MAP HAS BEEN FILED FOR APPROVAL AND IS HEREBY APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION, AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES.

I HEREBY CERTIFY THAT ALL CONDITIONS OF APPROVAL HAVE BEEN MET AS OF

THIS _____ DAY OF _____, 2017.

THOMAS W. TERWALL
Chairman of Village Plan Comission





ZONING TEXT AMENDMENT APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board of Trustees to amend the Village of Pleasant Prairie as hereinafter requested.

Property Location: 10901 75th St Pleasant Prairie, WI 53138

Legal Description: See attached existing parcel descriptions, wetland descriptions, and exhibit.

Tax Parcel Number(s): 91-4-122-071-0015 ; 91-4-122-071-0027

Amend Section(s): _____ of the Village Zoning Ordinance

Purpose of Zoning Text Amendment:

The amendment is to rezone the wetlands in the C-1 district and to rezone parcel 91-4-122-071-0015 to the B-2 (PUD) as well as amend the Lynch PUD to include the 91-4-122-071-0015 in the existing PUD ordinance.

If a Planned Unit Development is proposed include a letter indicting the dimensional variations being requested a statement of Community Benefit as required by Chapter 420 of the Village Municipal Code

If another type of Zoning Text Amendment is being proposed, then include the proposed language of the Zoning Text Amendment being requested.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine whether additional information may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Kurt Petrie

Signature: [Signature]

Address: 108 Industrial Drive

Burlington WI 53105
(City) (State) (Zip)

Phone: 262-514-4000

Fax: _____

Email: kurt@lynchtruckcenter.com

Date: 1-11-18

APPLICANT/AGENT:

Print Name: Tim Lynch
Ryan Erdmann

Signature: [Signature]

Address: 1488 Mid Valley Drive

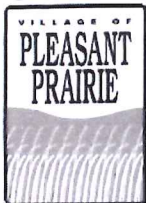
DePere WI 54115
(City) (State) (Zip)

Phone: 920-360-5421

Fax: _____

Email: +lynch
rerdmann@lynch-engineering.com

Date: 1-11-18



ZONING MAP AMENDMENT APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board of Trustees to amend the Village of Pleasant Prairie as hereinafter requested.

Property Location: 10901 75th St Pleasant Prairie, WI 53138
Legal Description: See attached existing parcel descriptions, wetland descriptions, and exhibit.
Tax Parcel Number(s): 91-4-122-071-0015 ; 91-4-122-071-0027
Existing Zoning District(s): B-2
Proposed Zoning District(s): B-2 (PUD), C-1
Proposed Use: Car Dealership

Compatibility with Adjacent Land Uses:

Adjacent land to the East is vacant lot that was a residence that was demolished and is currently owned by the village. Adjacent land to the west is currently owned by a credit union. There is no compatibility issues since this project is merely a parking lot expansion project for an already existing facility.

If the property is being zoned into multiple zoning classifications or only a portion of the property is being rezoned (i.e. wetlands area) then submit an exhibit with complete legal description of each zoning classification.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine whether additional information may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Kurt Petrie
Signature: [Signature]
Address: 108 Industrial Drive
Burlington WI 53105
(City) (State) (Zip)
Phone: 262-514-4000
Fax: _____
Email: kurt@lynchtruckcenter.com
Date: 1-11-18

APPLICANT/AGENT:

Print Name: Ryan Erdmann Tim Lynch
Signature: [Signature]
Address: 1488 Mid Valley Drive
DePere WI 54115
(City) (State) (Zip)
Phone: 920-360-5421
Fax: +lynch
Email: reidmann@lynch-engineering.com
Date: 1-11-18

Existing Parcel Legal Descriptions:

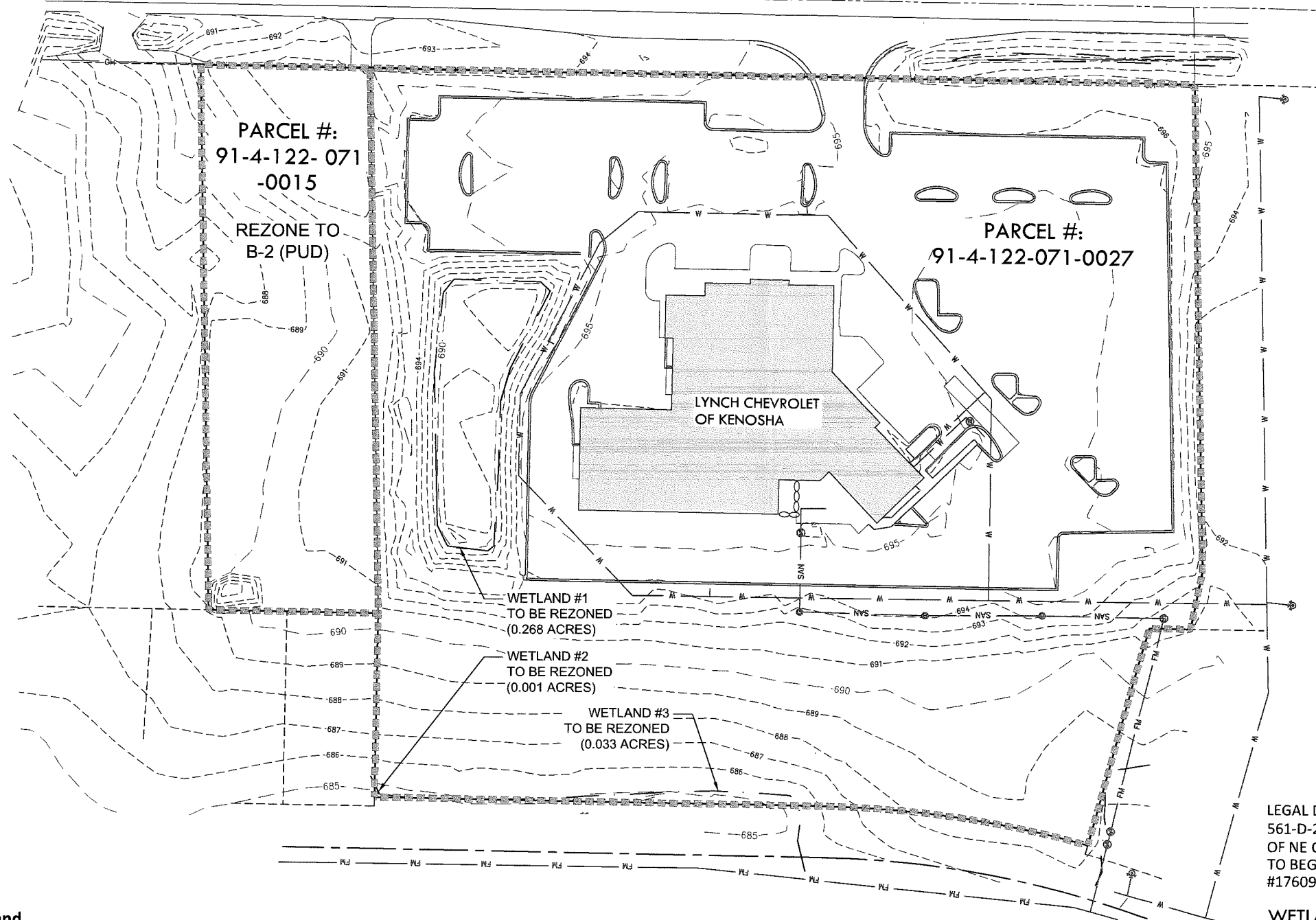
Parcel # 91-4-122-071-0027

LOT 1 CSM #2697 DOC #1669236 PT NE 1/4 SEC 7 T1 R22 8.19 AC (2012 COMB 91-4-122-071-0020, -0025, & -0030 INTO 91-4-122-071-0026) DOC #1661758 (2013 COMB 91-4-122-071-0026, -1511, -1515, -1520, -1525, -1530 INTO 91-4-122-071-0027) DOC #1669236 DOC #1669248

And

Parcel # 91-4-122-071-0015

561-D-2-3 PT NE1/4 SEC 7 T 1 R 22 BEG 2244 FT W OF NE COR 1/4 S 484 FT E 132 FT N 484 FT W 132 FT TO BEG EX FOR HY DOC #1452087 1.22 ACRE DOC #1760939



LEGAL DESCRIPTION PARCEL # 91-4-122-071-0015:
561-D-2-3 PT NE1/4 SEC 7 T 1 R 22 BEG 2244 FT W
OF NE COR 1/4 S 484 FT E 132 FT N 484 FT W 132 FT
TO BEG EX FOR HY DOC #1452087 1.22 ACRE DOC
#1760939

WETLAND DELINEATION DATE: 5/17/17
ASSURED BIOLOGIST: RON. A. LONDRE, PWS

Wetland #1 - West Wetland

Commencing at the Northwest corner of Lot 1 of CSM 2697, Doc 1669236 NE ¼ Sec 7 T1 R22; thence South 18° 16' 51" East, 183.59 feet to the **Point of Beginning**.

Thence, continuing North 39° 30' 46" East, 13.45 feet; thence South 88° 24' 19" East, 67.02 feet; thence South 46° 12' 25" East, 10.34 feet; thence South 27° 06' 09" West, 67.60 feet; thence, South 16° 18' 26" West, 26.29 feet; thence South 1° 42' 22" West, 51.32 feet; thence South 3° 02' 38" West, 61.77 feet; thence South 49° 35' 02" West, 6.08 feet; thence North 82° 59' 39" West, 31.93 feet; thence North 26° 41' 13" West, 18.08 feet; thence North 1° 06' 22" West, 46.41 feet; thence North 1° 13' 22" West, 73.43 feet; thence North 6° 24' 58" East, 61.49 feet to the **Point of Beginning**.

Said area contains 11,685 SF, or 0.268 acres, more or less.

Wetland #2 - Southwest Wetland

Commencing at the Southwest corner of Lot 1 of CSM 2697, Doc 1669236 NE ¼ Sec 7 T1 R22; thence North 1° 01' 36" East, 9.89 feet to the **Point of Beginning**.

Thence, continuing South 26° 06' 46" East, 8.14 feet; thence, continuing South 82° 12' 17" East, 22.42 feet; thence, continuing North 88° 58' 24" West, 25.98 feet; thence, continuing North 1° 01' 36" East, 9.89 feet to the **Point of Beginning**.

Said area contains 53 SF, or 0.001 acres, more or less.

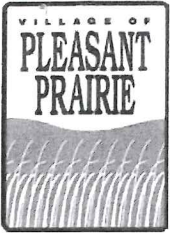
Wetland #3 - Southeast Wetland

Commencing at the Southwest corner of Lot 1 of CSM 2697, Doc 1669236 NE ¼ Sec 7 T1 R22; thence South 88° 58' 24" East, 76.14' to the **Point of Beginning**.

Thence, continuing North 88° 53' 04" East, 31.64 feet; Thence, continuing North 87° 24' 16" East, 30.54 feet; Thence, continuing North 86° 38' 59" East, 35.42 feet; Thence, continuing North 88° 53' 32" East, 34.04 feet; Thence, continuing South 87° 15' 53" East, 33.51 feet; Thence, continuing South 86° 07' 05" East, 25.35 feet; thence, continuing South 31° 21' 15" East, 9.28 feet; thence, continuing North 88° 58' 24" West, 251.91' to the **Point of Beginning**.

Said area contains 1,423 SF, or 0.033 acres, more or less.

PARKING LOT EXPANSION FOR LYNCH DEALERSHIP PLEASANT PRAIRIE, WI	
LYNCH & ASSOCIATES ENGINEERING CONSULTANTS, LLC	
ZONING MAP CHANGES EXHIBIT	NO.
	REVISIONS
ISSUED FOR REVIEW	BY DATE
	SCALE
PROJECT NO. 16.0001	
SHEET NO. X002	



COMPREHENSIVE PLAN AMENDMENT

I (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie 2035 Comprehensive Plan as hereinafter requested related to the following property:

Property Location: 10901 75th St Pleasant Prairie, WI 53138

Legal Description: See attached description

Tax Parcel Number(s): 91-4-122-071-0015 ; 91-4-122-071-0027

Check all that apply

☒ Land Use Plan Amendment:

To change the land use designation from urban reserve designation
to B2 PUD

☐ Neighborhood Plan Amendment to _____ Neighborhood

☒ Other Amendment to the Comprehensive Plan (specify)
wetland locations

Petitioner's interest in the requested amendment:

Parcel 91-4-122-071-0015 is being combined with 91-4-122-071-0027, which is the existing Lynch Dealership. The dealership is expanding parking lots to the west, and to the south. The plan amendment is required to show the wetlands and to remove the urban reserve designation on the land to the west (Parcel 91-4-122-071-0015).

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Kurt Petrie

Signature: _____

Address: 180 Industrial Drive

Burlington WI 53105
(City) (State) (Zip)

Phone: 262-514-4000

Fax: _____

Email: kurt@lynchtruckcenter.com

Date: 11/13/17 1-11-18

APPLICANT/AGENT:

Print Name: Tim Lynch
Ryan Erdmann

Signature: _____

Address: 1488 Mid Valley Dr

DePere WI 54115
(City) (State) (Zip)

Phone: 920-360-5421

Fax: _____

Email: herdmann@lynch-engineering.com

Date: 11/13/17 1/11/18

Community Development Department, 9915 39th Avenue, Pleasant Prairie WI 53158

262-925-6717

Legal Description:

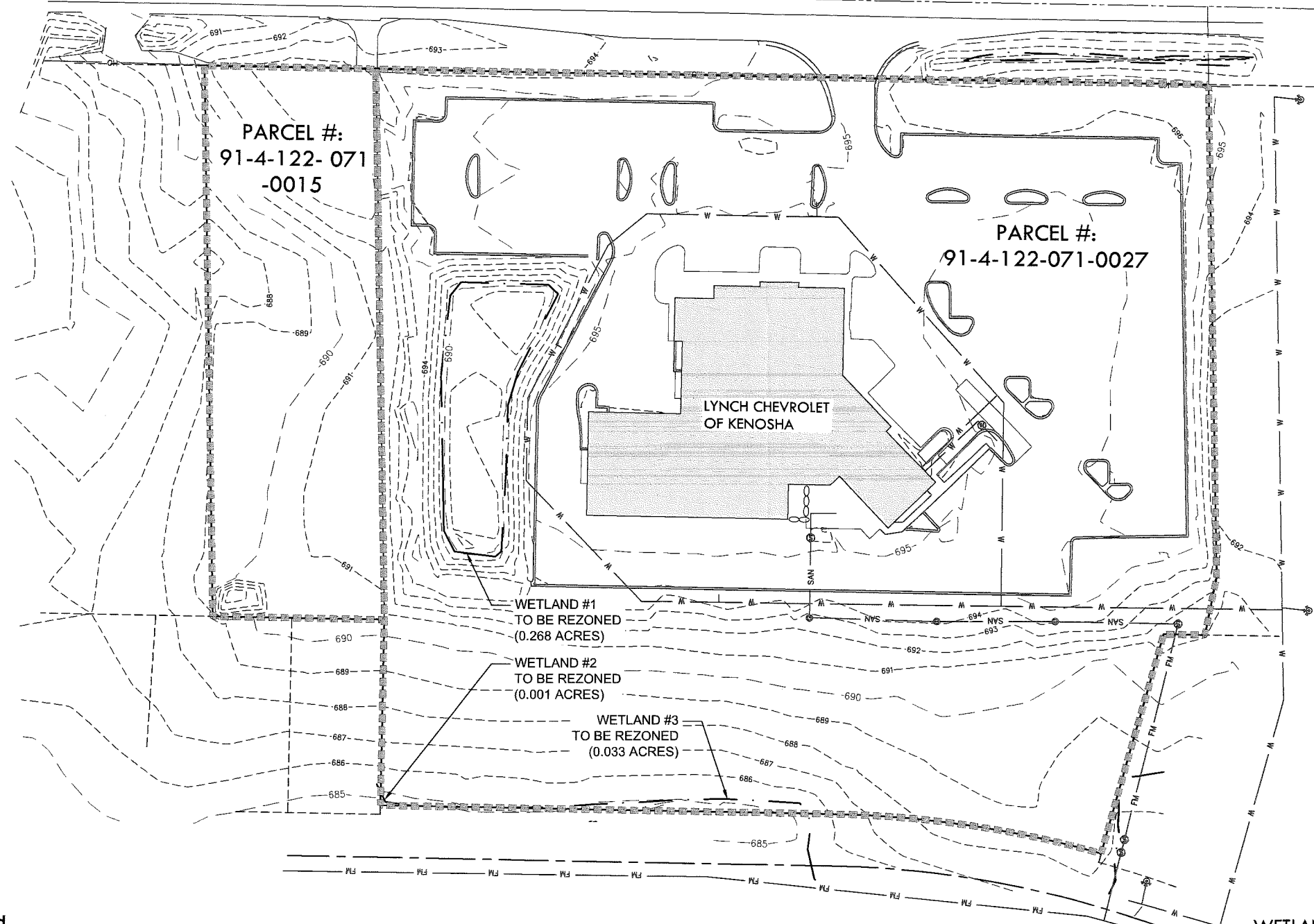
Parcel # 91-4-122-071-0027

LOT 1 CSM #2697 DOC #1669236 PT NE 1/4 SEC 7 T1 R22 8.19 AC (2012 COMB 91-4-122-071-0020, -0025, & -0030 INTO 91-4-122-071-0026) DOC #1661758 (2013 COMB 91-4-122-071-0026, -1511, -1515, -1520, -1525, -1530 INTO 91-4-122-071-0027) DOC #1669236 DOC #1669248

And

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Said area contains 1,423 SF, or 0.033 acres, more or less.

WETLAND DELINEATION DATE: 5/17/17
ASSURED BIOLOGIST: RON. A. LONDRE, PWS

PARKING LOT EXPANSION FOR
LYNCH DEALERSHIP
PLEASANT PRAIRIE, WI

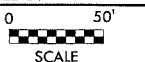
LYNCH & ASSOCIATES
ENGINEERING CONSULTANTS, LLC

COMPREHENSIVE PLAN EXHIBIT

NO.	REVISIONS	BY	DATE

ISSUED FOR
REVIEW

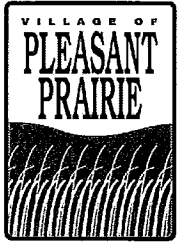
PLAN DATE 7.14.17
DESIGNED BY RDE



PROJECT NO.
16.0001

SHEET NO.

X001



12



DOCUMENT

1673776

RECORDED

At Kenosha County, Kenosha WI 53148
Louise L. Prins, Register of Deeds

May 29, 2012 2:23 PM

\$30.00

Pages 12

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 11-16**

Before the Village of Pleasant Prairie Plan Commission,
Kenosha County, Wisconsin, in regard to the property
located at 10901 75th Street.

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Tax Parcel Numbers:

91-4-122-071-0026, 92-4-122-071-
1511, 91-4-122-071-1515, 91-4-122-
071-1520, 91-4-122-071-1525 and
91-4-122-071-1530.

LEGAL DESCRIPTION: Lot 1 of CSM 2697 (Recorded as Document # 1669236 on April 4, 2012 at the Kenosha County Register of Deeds Office), located in a part of the Northeast One Quarter of U.S. Public Land Survey Section 7, Township 1 North, Range 22 East of the of the Fourth Principal Meridian in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made for Lynch Chevrolet to operate a sales center for new and used automobiles and an auto repair/maintenance facility which will include an approximately 31,000 square foot building and outdoor car display area on said property and public hearing held thereon, and the Village Plan Commission having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance. Specifically, based upon the information presented at the public hearing, in particular the memorandum from the Village Fire & Rescue Department that the project meets the following standards for granting a Conditional Use Permit in that the project:

- does not impede the traffic pedestrian travel on the site or cause traffic congestion or traffic circulation problems and the traffic pedestrian travel on the site does not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department;
- does not create storm water flooding or drainage, create obnoxious odors, or noise problems and does not otherwise endanger the public health, safety or welfare;

- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- on this particular parcel is not inherently inconsistent with either the B-2, Community Business District in which it is located or the adjoining Zoning Districts; and
- will comply with all applicable Village ordinance requirements and all other applicable Federal, State or local requirements relating to land use, buildings, development control, land division, environmental protection, noise, sewer service, water service, storm water management, noise, streets and highways and fire protection.

NOW THEREFORE, a Conditional Use Permit is granted for Lynch Chevrolet to operate a sales center for new and used automobiles and an auto repair/maintenance facility which will include an approximately 31,000 square foot building and outdoor car display area subject to compliance with the terms and conditions hereinafter stated:


1. Compliance with the Final Site and Operational Plan as conditionally approved by the Village Plan Commission on January 9, 2012.
2. Compliance with the **attached** comment from the Village Fire & Rescue Department dated December 27, 2011.
3. Compliance with PUD requirements for the Lynch Chevrolets of Pleasant Prairie Planned Unit Development Ordinance (Ord. #12-07) as approved by the Village Board on February 6, 2012.
4. Compliance with the Digital Security Imaging System (DSIS) Agreement and Access Easement approved by the Village Board on February 6, 2012.
5. There shall be no construction parking permitted on STH 50 or any other public street. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
6. The project shall comply with the Site and Operational Plan requirements pursuant to Article IX of the Village Zoning Ordinance.
7. The project shall comply with the parking, access and traffic requirements pursuant to Article VIII of the Village Zoning Ordinance.
8. All vehicles for sale/lease shall be parked in designated areas of the site and depicted on the Site and Operational Plans, no vehicles shall be parked on the grass, in the right-of-way, throat or driveway entrances, maneuvering lands or fire lanes.
9. The Primary Monument Signs shall not be located within any Village Easement and may be allowed within a Utility, Access and Maintenance Easement with written approval from We Energies. A permit is required to be issued prior to installation of any primary monument signs, on-site directional signs, temporary development signs, real estate marking signs and wall signs. All signs shall comply with all requirements of the Village Sign Ordinance (Article X of Chapter 420).
10. The following types of signs are prohibited: Any sign with flashing or pulsating lights; any inflatable sign, including but not limited to tethered balloon signs or other gas-filled figures; any temporary, spring-action metal advertising sign used, for example, to advertise cigarette or gasoline prices; any spotlights used as visual attention-getters; and a string of lights, tinsel, pennants, pinwheels or other similar devices hanging between two points or attached to light poles, cars, buildings or other structures on the property.

11. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping or affixed or resting on the vehicles for sale, etc.
12. The use of tents for marketing and tent sales in the parking lot are allowed with approval of a Temporary Use Permit pursuant to Section 420-140.1 of the Village Zoning Ordinance.
13. The use, site, building and structure shall be designed, laid out, constructed and maintained in full compliance with the approved site and operational plan, any required conditional use permit, any required license and all other applicable provisions of this chapter and of all other Village ordinances and codes.
14. Hours for deliveries, or any other activities outside the principal building that might cause a disturbance to neighboring residential areas (e.g., outside loading or unloading, the arrival of deliveries, idling of delivery trucks, beeping of backing vehicles, and garbage pickup), except for snow removal shall be limited to 6:00 a.m. to 10:00 p.m.
15. No outside storage or display of merchandise is allowed, except for vehicles for sale or lease.
16. No on-site residential uses are allowed.
17. The use, site and building shall comply with all applicable performance standards set forth in § 420-38 of the Village Zoning Ordinance.
18. The site, building, signage lighting and landscaping shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
19. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked outside overnight will be issued citations.
20. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
21. There shall be no long-term semi-truck/trailer or box truck parking permitted on the site that is not used in the daily operations of the facility.
22. There shall be no outdoor storage or display of materials, goods or equipment on this site, unless as approved by the Village.
23. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
24. No uses shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
25. Each handicapped accessible parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
26. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.


Granted by the action of the Village of Pleasant Prairie Plan Commission the 26th day of September 2011.

ATTEST:


Thomas W. Terwall
Plan Commission Chairman

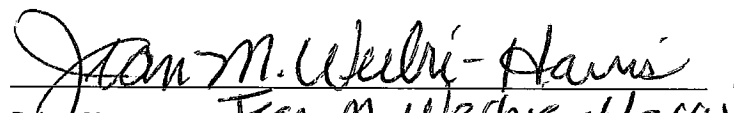

Donald Hackbarth
Secretary

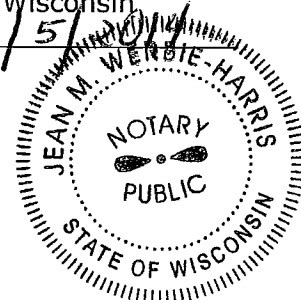
OWNER: Lynch Ventures LLC


Name: Kurt Petrie
Title: Managing Manager

STATE OF WISCONSIN)
SS
COUNTY OF KENOSHA)

29th This instrument was acknowledged before me in Pleasant Prairie Wisconsin, on this March, 2012 by **Kurt Petrie as the duly authorized Managing Member of Lynch Ventures LLC.**


Print Name: Jean M. Werbie-Harris
Notary Public, Kenosha County, Wisconsin
My Commission Expires: 1/5/2014



THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie, Community Development Director
FROM: Douglas McElmury, Interim Chief, Fire & Rescue Department
CC: Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for Lynch Chevrolet, 10901 75th Street
DATE: December 27, 2011

This is a review of the Site and Operational Plan for the proposed Lynch Chevrolet. The facility is a proposed sales center for new and used automobiles and an auto repair/maintenance facility, the building size is 31,000 S.F.

The Facility is classified under Wisconsin Administrative Code, Wisconsin Enrolled Commercial Building Code.

The Fire & Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. The building shall be constructed in accordance with the State of Wisconsin, COMM. 61, The IBC as Modified by Chapter COMM 62, The IECC as Modified by Chapter COMM 63, The IMC as Modified by Chapter COMM 64, The IFC as Modified by Chapter COMM 65, and in particular those items that pertain to fire protection and life safety.
4. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.

Upon review of the plans submitted, we have the following concerns:

- Fire & Rescue Department will need a discussion with the architect about the location of the electrical room and the equipment that will house the fire sprinkler riser. The Fire & Rescue Department feels these two rooms should be reversed to eliminate the FDC piping from running under the building, which is not allowed.
- AED. A public access Automatic External Defibrillator (AED) shall be installed onsite for use by the employees or the public; in the event of a sudden cardiac arrest. The Fire & Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire hydrants: Shall always be visible and accessible, in particular in any area where new or used automobiles or trailer trucks will be parked or staged.

- Landscaping: No landscaping, such as trees and shrubs, shall not interfere with access and the visibility of the fire protection equipment. Plan L-1.0 indicates shrubs planted around the Fire Department Connection, this will cause significant access problems in a few years due to growth of the plants.
- Truck staging shall not decrease the width of the fire lanes.
- Rack storage: If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection.
 1. Rack storage shall not adversely affect the maximum exit distance requirements.
 2. Clearance to the sprinklers on the ceiling (minimum of 18 inches) must be taken into consideration
 3. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
- Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. This designated area will have the appropriate signage.
- Site Access: There is a single entrance / exit shown on the preliminary plan both now and future. A secondary entrance / exit must be created. The second entrance / exit may be designed for emergency use only, further discussion is needed.
- The Owner is asked to describe how hazardous materials and or flammable liquids will be stored.
- Repair garage, tire storage and waste oil burners all need to comply with the State of Wisconsin, International Building Code (IBC) and National Fire Protection Association (NFPA) codes addressed in these documents.
- The Owner is asked to describe how a spill will be handled. In particular oil, anti-freeze, transmission fluids, gasoline or diesel fuel etc. Please describe the plan for an indoor spill and then an outdoor spill.
- Floor drains; plans for an oil / water separator.
- Please describe the maximum quantities of waste oil and other liquids, and the frequency of removal by a licensed waste hauler.

5. Fire & Rescue Department Review and Comments:

A. Conceptual Plan Permits

1. Site accessibility **Shown on page C-6.0 dated 12/5/2011**
2. Fire Pump Location **Not Shown; unknown if there will be a fire pump.**
3. Pumper Pad location: **Shown on page C-4.0 dated 12/5/2011**
4. Concrete portion of pumper pad: **Shown on page C-6.0 dated 12/5/2011**
5. Pumper Pad Detail: **Shown on page C-7.0 dated 12/5/2011**
6. Fire hydrant spacing **Shown on page C-4.0 dated 12/5/2011**
7. Fire Hydrant Bollard detail: **Shown on page C-7.0 dated 12/5/2011, must be made from 6" pipe**

B. Conditional Use and Operational

- | | |
|--------------------------------|---------------------------|
| 1. Standpipe outlet locations | Not shown |
| 2. Fire alarm pull stations | Need to submit for review |
| 3. Emergency and Exit Lighting | Shown |
| 4. Fire extinguishers | Shown |

6. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
7. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
8. **The following information must be submitted with the sprinkler plans for review:**

Building height:
 Number of stories/floors:
 Mezzanines:
 Clear space:
 Elevators:
 Hazard class:
 Commodity:
 Maximum storage height:
 Square footage, office space:
 Square footage, Manufacturing including maintenance and equipment:
 Square footage, receiving space:
 Square footage, shipping space:
 Square footage, warehouse space:
 Exterior storage:
 Fire protection:

9. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

- Bulk Water; the water that is used for the flushing of new water mains and fire hydrants.
- Water Usage
- Fire Protection Plans for Underground water mains.
- Fire Protection Plans for Aboveground Automatic Fire Sprinkler Systems.
- Fire Alarm System Plans
- Occupancy Permit & Re-Inspection fees

An invoice for permit fees will be issued upon achieving a satisfactory review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

10. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
11. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Commerce.
12. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus.
 - a. A minimum wall-to-wall turning radius of 49'-0" shall be allowed for fire apparatus movement.
 - b. A minimum curb to curb turning radius of 42' 6" shall be allowed for fire apparatus movement.
 - c. A minimum inside turning radius of 26' shall be allowed for fire apparatus movement.
 - d. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
 - e. All exterior exit pathways as well as access to a Fire Sprinkler Room shall have a hard surface, leading to a hard surface.
 - f. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
13. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
14. **Storage:** The Owner needs to be aware of the restrictions that apply to the storage of products, such as flammable liquids, hazardous materials, cardboard, etc. The minimum clearance to fire sprinklers, maximum height, width and aisle ways must be maintained and will be enforced.

NOTE: Dependent upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.
15. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, **that main must be sized by the fire protection (sprinkler) contractor.** No water piping is allowed to travel underground, under the building. The water main will need to be a looped system. Drawing C-4.0 does not reflect a complete looped system.
16. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire & Rescue Department.
 - a. **Underground plans shall be submitted a minimum of four (4) weeks before installation begins.**

17. **Standpipes:** In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob.
18. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The 4 ½" outlet will need to be Kenosha type thread. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
19. **Fire Hydrant Acceptance:** It is assumed that this project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA –National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.
20. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
21. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
22. **Pumper Pad:** The Pumper Pad is shown on page C-4.0 dated 12/5/2011. There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad.
 - a. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall.
 - b. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant.
 - c. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

NOTE: The Fire Department Connection riser shall include both 2.5 NST connections and a single five (5) inch Storz fitting.

23. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.

24. **Strobe Light:** A strobe light shall be provided for each fire sprinkler riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
25. **Fire Alarm System:** The system shall be fully addressable so that detailed information will be received about the device in alarm. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall be installed immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **Fire Alarm Control Panel:** The Fire Alarm Control Panel is shown to be in the electrical room, this is not acceptable to the Fire & Rescue Department. The FACP will need to be placed in the same room as the fire sprinkler riser. Shall be addressable. The annunciator panel type shall be approved by the Fire & Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - f. **Annunciator Panel:** **Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The annunciator panel shall be placed at a location mutually agreeable to the Owner and the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - g. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.
 - 1) The central station shall be provided with this information regarding the geographical location of this alarm:
 - Village of Pleasant Prairie, County of Kenosha, State of Wisconsin
 - Fire: Pleasant Prairie Fire & Rescue
 - Medical: Pleasant Prairie Fire & Rescue
 - Phone numbers:
 - Emergency: (262) 694-1402**
 - Non-emergency: (262) 694-7105
 - Business: (262) 694-8027
26. **Knox Box:** Knox Boxes shall be provided for the building, one to be located at the fire sprinkler room, one at the main lobby and one at the repair garages. Knox Boxes shall be Model 4400 shall be used. Two sets of all keys (Master, fire alarm pull station,

annunciator, etc.) shall be placed within the box, along with the pre-fire plan. Knox Boxes are purchased directly from the Fire & Rescue Department.

27. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Sprinkler Riser Room.
28. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
29. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. The Fire & Rescue Department will evaluate this lighting prior to occupancy during the evening hours after sunset. An Emergency light shall be placed within the fire pump room. Emergency and Exit lighting will be inspected after sunset to assure it is adequate and meets the Code.
30. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N.
 - Copy of contract with fire alarm central monitoring station.
 - Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - Copies of the fire protection underground flushing documents.
 - Copies of the underground and fire sprinkler hydrostatic test certificates.
 - Copies of the fire sprinkler operational test certificates.
 - Copies of the fire alarm test documents.
 - Copies of other test documents such as, hood/duct, smoke, etc...
 - The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. This designated area will have the appropriate signage.
 - Maps of the fire alarm and fire sprinkler system shall be placed in the fire sprinkler room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - AED, in place at such time a tenant takes occupancy.
 - Applicable keys for the Knox Box.

- NFPA Hazardous Material placards where applicable.
 - A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
 - Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
31. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

- F. Consider the request of David and Elizabeth Janz, owners of the property located at 3840 107th Street for approval of a **Certified Survey Map** to subdivide the property into three (3) parcels.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions presented in the Village Staff Report of February 26, 2017.

2018
~~2017~~

VILLAGE STAFF REPORT OF FEBRUARY 26, 2017

Consider the request of David and Elizabeth Janz, owners of the property located at 3840 107th Street for approval of a **Certified Survey Map** to subdivide the property into three (3) parcels.

The petitioners are requesting to subdivide the property located at 3840 107th Street (Tax Parcel Number 92-4-122-252-0495) into three (3) parcels. The property is currently zoned R-4, Urban Single Family Residential which requires lots to have a minimum frontage of 90 feet on a public road and a minimum lot area of 15,000 square feet per Lot.

Lot 1 is proposed to be 72,450 square feet with 229 feet of frontage on 107th Street and 316 feet of frontage on 39th Avenue. Lot 1 has an existing home on the property with direct driveway access from 107th Street. There is no direct driveway access allowed to Lot 1 from 39th Avenue. Lots 2 and 3 are proposed to be both 30,086 square feet each, with 95.11 feet of frontage on 107th Street. Municipal sanitary sewer and water mains and laterals are available to service the new lots on 107th Street.

A storm water grading and drainage plan was reviewed and approved by the Village Engineering Department, to handle the storm water for the three lots. Dedicated Public Storm Water Drainage, Access and Maintenance Easements are being provided over these drainage areas as shown on the CSM. The Lot 1 Owner (petitioner) will be responsible for installing the drainage swales along the north property lines with the easement areas. This grading work shall be completed and inspected by the Village pursuant to the existing erosion control permit issued with the construction of the new home under construction on Lot 1 prior to the issuance of any building permits on Lots 2 and 3. The owners of Lots, respectively, will be responsible for maintaining the rear drainage swales and the owners of Lots 2 and 3 will be responsible for completing the specific grading on each of their Lots 2 and 3 at the time that lots are developed.

The proposed land division conforms with the minimum regulations of the R-4 Zoning District requirements related to lot area and lot frontage (15,000 square feet in area with 90 feet of frontage on a public street) and the requirements of the Land Division and Development Control Ordinance.

The Village staff recommends approval of the CSM subject the above comments and the following conditions:

1. See **attached** changes on the CSM. In addition, the following Dedication and Easement Provisions and Restrictive Covenant language shall be added to the CSM:

Dedication and Easement Provisions and Restrictive Covenants

Perpetual easements coextensive with such areas as shown on Lots 1, 2 and 3 of this Certified Survey Map as a Dedicated Public Storm Water Drainage, Access, and Maintenance Easement are hereby dedicated, given, granted and conveyed by the Lot Owner to the Village for public storm water drainage system improvements, uses and purposes, and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities. These storm water drainage easements shall be exclusive, except for: (1) such other easements as may be dedicated on this Certified Survey Map with respect to the same area or any portion thereof and (2) such use, planting, care and maintenance of the easement areas by the underlying Lot Owner(s) of the

Lot on which such easement is located as will not interfere with the improvements, uses and purposes of the Village. In the event of any conflicts between the rights of the Village pursuant to these easements and the rights of other persons or entities with respect to the easement areas, the Village's rights under these easements shall be deemed to be superior.

The Lot 1 Owner hereby covenants that the Lot 1, 2 and 3 Lot Owners, its successors, assigns and successors-in-title in their capacity as Lot owners, shall have the obligation of maintaining the dedicated storm water drainage, access and maintenance easements granted by the Lot 1 Owner to the Village and shown on Lots 1, 2 and 3 on this Certified Survey Map. The location of the storm water drainage easements further places a Restrictive Covenant on Lots 1, 2 and 3, which were given, granted, conveyed by the Lot 1 Owner to the Village. Said ongoing maintenance shall include, without limitation and as needed, grading, seeding or sodding, maintaining erosion control methods to protect the drainageways; ditching to re-establish design capacity in the drainage swales; removing of trash, debris, leaves and brush; clearing; mowing; and weeding to prevent nuisance conditions.

If the Lot Owners fail to complete the storm water drainage maintenance responsibilities on their respective Lots, the Village shall have the right, but not the obligation, to undertake the maintenance of the storm water drainage easement improvements, with the costs for any such maintenance to be an expense to the underlying Lot Owners. This Covenant shall run with the land, shall be binding upon the Lot 1, 2 and 3 Owners, its successors, assigns and successors-in-title of the Lots, in their capacity as owners of any such lot and shall benefit and be enforceable by the Village.

To the extent that the Village performs any such work or maintenance activities in the dedicated storm water drainage easement areas, the Lot Owners, shall be liable for any costs, which may be incurred by the Village, which the Village may recover from such owners as special assessment or special charges under section 66.60 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. This covenant shall run with the land, shall be binding upon the lot owners, its successors, assigns and successors-in-title of the lot, in their capacity as owners of any such lot and shall benefit and be enforceable by the Village.

2. Any outstanding special assessments or outstanding taxes shall be paid prior to recording the CSM. Pursuant to the Village's Finance Department there are no outstanding special assessments or taxes due on the Lots.
3. If there is a mortgage on the property – the mortgage holder should execute the CSM or provide the Village with verification from the bank/mortgage holder that they will not be signing the document.
4. The original CSM shall be revised, executed by the property owner and submitted to the Village for signatures prior to recording at the Kenosha County Register of Deeds Office. A copy of the recorded CSM document shall be provided to the Village within 30 days of Village Board's approval.

CERTIFIED SURVEY MAP NO. _____

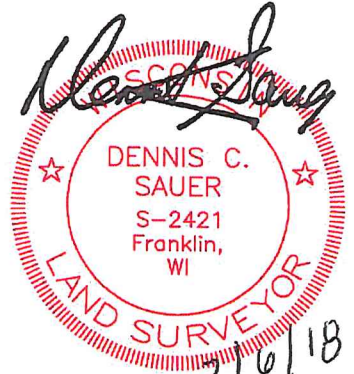
Being Being a re-division of Parcel 1 of Certified Survey Map No. 1679, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 25, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Notes:

- ⊙ — Denotes iron pipe found and accepted.
- — Denotes 1"x24" iron pipe, 1.13 lbs per lin. ft. set.

Map bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-27).

All lots on this map are to be served by public sanitary sewer.



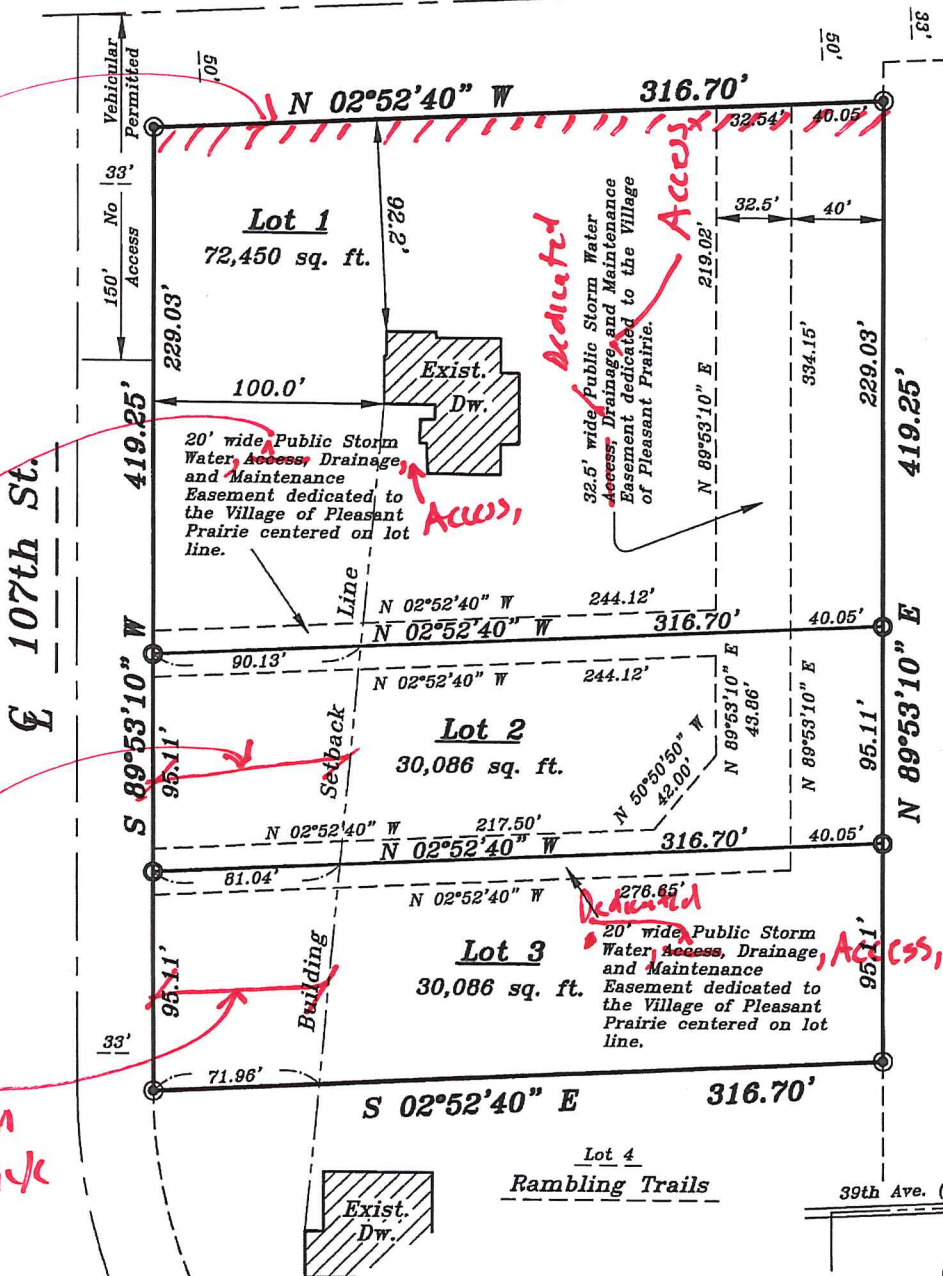
39th Ave. (C.T.H. "EZ")

Label/Show
No ~~direct~~
vehicular
access
permitted

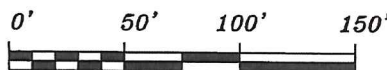
Dedicated

Dimension
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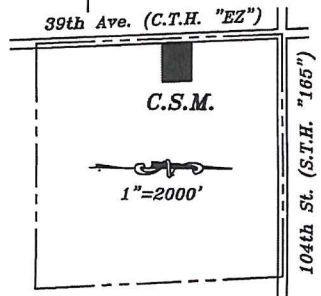
Dimension
setback



Scale:
1"=80'



Graphic Scale
Scale: 1"=80'



Vicinity Map

NW 1/4 Sec. 25-1-22

add Dedication and Easement
Provisions and Restrictive Covenants Language

CERTIFIED SURVEY MAP NO. _____

Being a re-division of Parcel 1 of Certified Survey Map No. 1679, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 25, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

OWNER'S CERTIFICATE OF DEDCIATION

As owners, we, David R. Janz and Elizabeth M Janz, husband and wife, do hereby certify that we have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 18 of the Village Municipal Code, Land Division and Development Control Ordinance of the Village of Pleasant Prairie.

WITNESS the hand and seal of said owners this _____ day of _____, 20____.

David R. Janz

Elizabeth M. Janz

STATE OF WISCONSIN)
_____) COUNTY) SS

PERSONALLY came before me this _____ day of _____, 20____, David R. Janz and Elizabeth M. Janz, husband and wife, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public
State of Wisconsin
My Commission Expires: _____

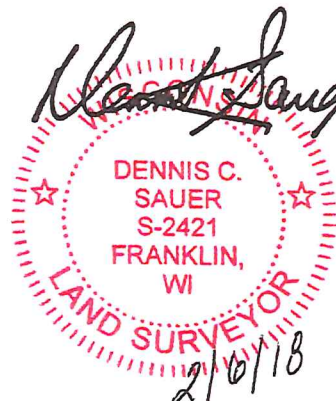
VILLAGE OF PLEASANT PRAIRIE APPROVAL

The Village of Pleasant Prairie does hereby approve the land division shown in the Certified Survey Map herein and consents to its recording this _____ day of _____, 20____.

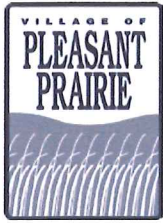
~~Jane M. Romanowski, CMC~~ *Jane C. Snell*
Village Clerk

John P. Steinbrink
Village President

Thomas W. Terwall, Chairman
Village Plan Commission



THIS INSTRUMENT WAS DRAFTED BY:
Dennis C. Sauer, P.L.S. S-2421



RECEIVED

FEB 13 2018

PLEASANT PRAIRIE

CERTIFIED SURVEY MAP APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to subdivide the property with a Certified Survey Map (CSM) as hereinafter requested:

Property Location: 3840 107th ST., PLEASANT PRAIRIE, WI 53158

Legal Description: (SEE BELOW)*

Tax Parcel Number(s): 92-4-122-252-0495

Existing Zoning District(s): R-4

Select all that apply:

- ☐ The property abuts or adjoins State Trunk Highway _____
- ☒ The property abuts or adjoins County Trunk Highway EZ
- ☒ Municipal Sanitary Sewer is available to service said property
- ☒ Municipal Water is available to service said property

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

APPLICANT/AGENT:

Print Name: DAVID + ELIZABETH JANZ Print Name: SAME

Signature: _____ Signature: _____

Address: 3840 107th ST Address: _____

PLEASANT PRAIRIE WI 53158

(City) (State) (Zip) (City) (State) (Zip)

Phone: 224-588-2322 Phone: _____

Fax: _____ Fax: _____

Email: lizardmj1@yahoo.com Email: _____

Date: 2-13-18 Date: _____

* BEING A RE-DIVISION OF PARCEL 1 OF CSM NO 1679, BEING A PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 25, TOWN 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

Community Development Department, 9915 39th Avenue, Pleasant Prairie WI 53158

262-925-6717

CERTIFIED SURVEY MAP NO. _____

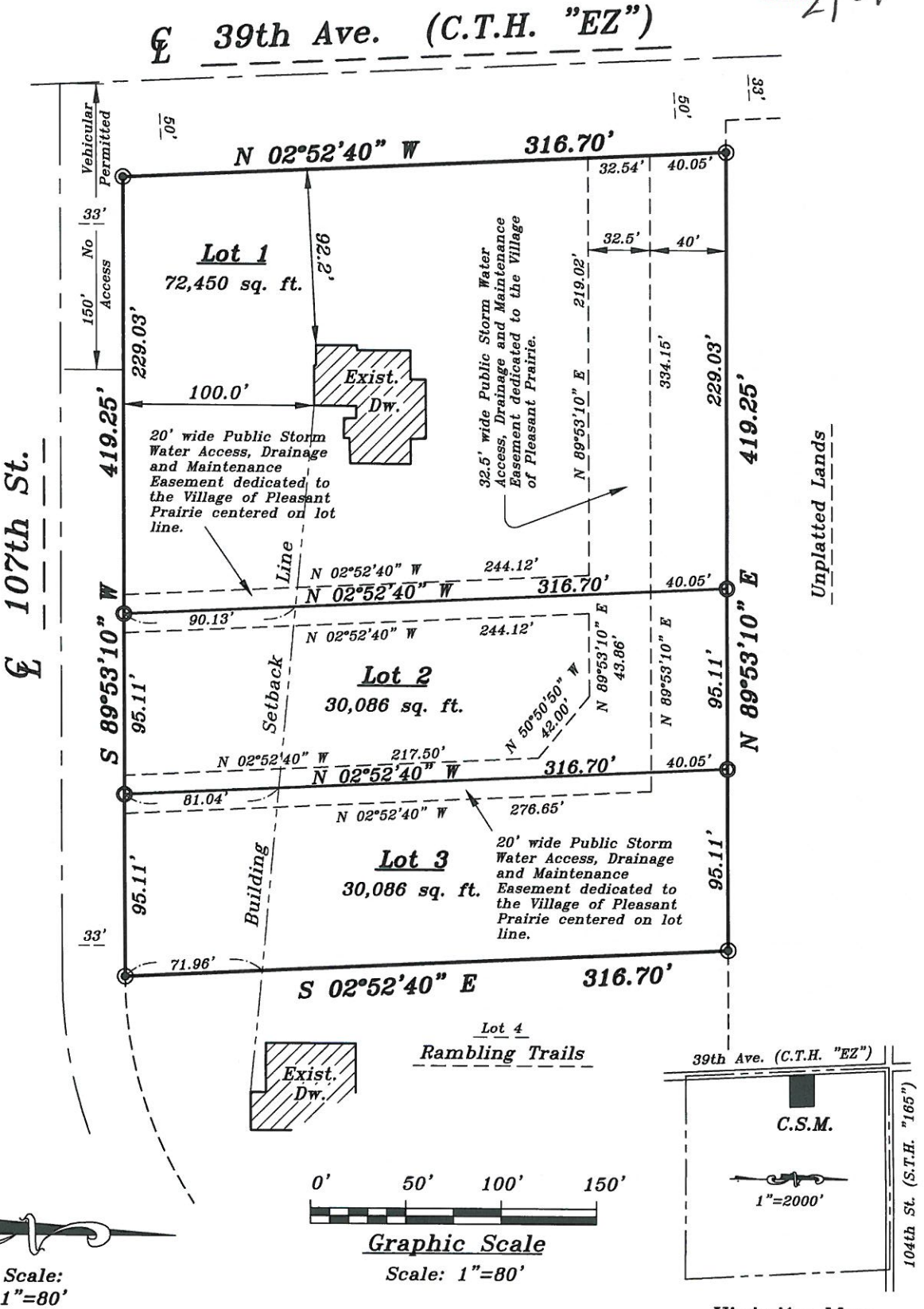
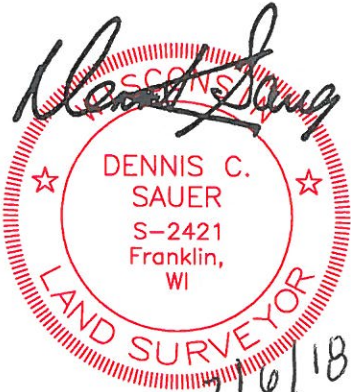
Being Being a re-division of Parcel 1 of Certified Survey Map No. 1679, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 25, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Notes:

- ⊙ - Denotes iron pipe found and accepted.
- - Denotes 1"x24" iron pipe, 1.13 lbs per lin. ft. set.

Map bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-27).

All lots on this map are to be served by public sanitary sewer.



CERTIFIED SURVEY MAP NO. _____

Being a re-division of Parcel 1 of Certified Survey Map No. 1679, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 25, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify:


That I have surveyed, divided and mapped a re-division of Parcel 1 of Certified Survey Map No. 1679, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 25, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have made such survey, land division and map by the direction of David R. Janz and Elizabeth M. Janz, husband and wife, owners of said land.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 18 of the Village Municipal Code, Land Division and Development Ordinance of the Village of Pleasant Prairie.

February 6, 2018
Date



Dennis C. Sauer
Professional Land Surveyor S-2421



PREPARED FOR:
David & Elizabeth Janz
3840 107th Street
Pleasant Prairie, WI 53158

PREPARED BY:
Metropolitan Survey Service
9415 West Forest Home Avenue
Hales Corners, WI 53130

CERTIFIED SURVEY MAP NO. _____

Being a re-division of Parcel 1 of Certified Survey Map No. 1679, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 25, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

OWNER'S CERTIFICATE OF DEDCIATION

As owners, we, David R. Janz and Elizabeth M Janz, husband and wife, do hereby certify that we have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 18 of the Village Municipal Code, Land Division and Development Control Ordinance of the Village of Pleasant Prairie.

WITNESS the hand and seal of said owners this _____ day of _____, 20____.

David R. Janz

Elizabeth M. Janz

STATE OF WISCONSIN)
_____ COUNTY) SS

PERSONALLY came before me this _____ day of _____, 20____, David R. Janz and Elizabeth M. Janz, husband and wife, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Notary Public
State of Wisconsin
My Commission Expires: _____

VILLAGE OF PLEASANT PRAIRIE APPROVAL

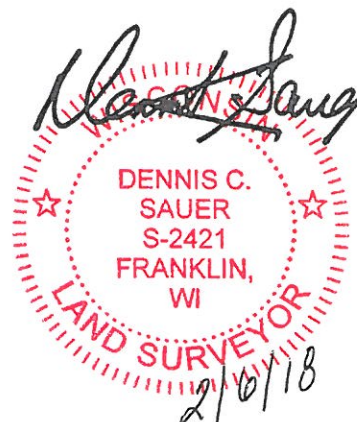
The Village of Pleasant Prairie does hereby approve the land division shown in the Certified Survey Map herein and consents to its recording this _____ day of _____, 20____.

Jane M. Romanowski, CMC
Village Clerk

John P. Steinbrink
Village President

Thomas W. Terwall, Chairman
Village Plan Commission

THIS INSTRUMENT WAS DRAFTED BY:
Dennis C. Sauer, P.L.S. S-2421



PLAT OF SURVEY

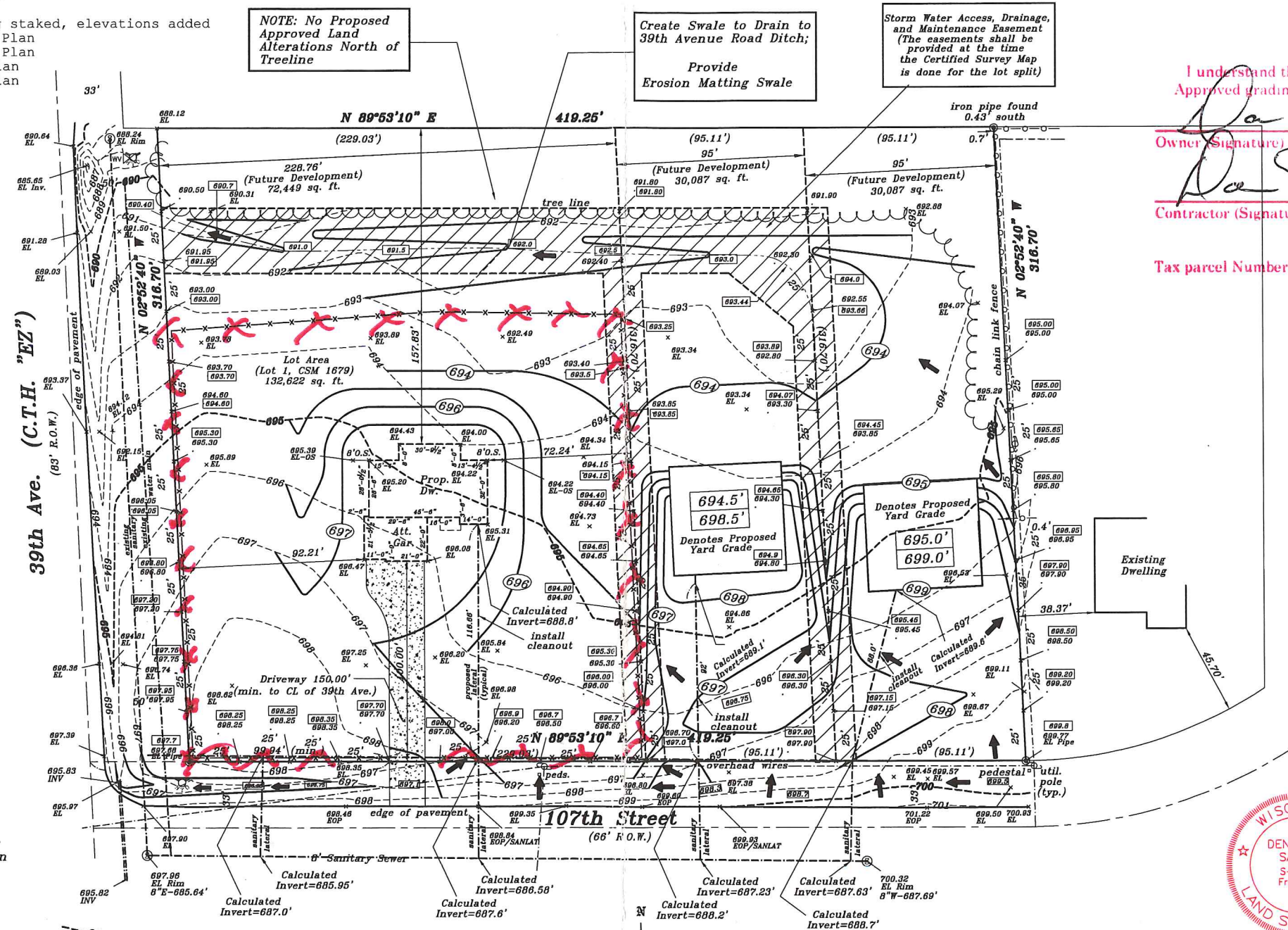
LOCATION: 107th Street, Pleasant Prairie, Wisconsin

LEGAL DESCRIPTION:

Lot 1 in Certified Survey Map No. 1679, being a part of Northwest 1/4 of Section 25, Township 1, Range 22 East, Village of Pleasant Prairie, Kenosha County Wisconsin.

December 13, 2016 (Drawing Only)
December 14, 2016 Drawing Revised
January 3, 2017 Drawing Revised
January 5, 2017 Proposed dwelling staked, elevations added
January 19, 2017 Revised Grading Plan
February 2, 2017 Revised Grading Plan
March 14, 2017 Revised Grading Plan
March 22, 2017 Revised Grading Plan

Survey No. 107259



I understand that the referenced property shall comply with the
Approved grading and drainage plan at the time of final occupancy.

Owner (Signature)

Date

Contractor (Signature)

Date

Tax parcel Number:

**EROSION CONTROL SILT FENCING
MUST STAY IN PLACE AND BE
MAINTAINED UNTIL 90% OF GRASS
HAS BEEN ESTABLISHED**

Owner Signature

TO OBTAIN LOCATIONS OF
PARTICIPANTS' UNDERGROUND
FACILITIES BEFORE YOU
DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 192.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
1-800-242-8511

Prop. Fin.
Yd. Gr.
698.0'
(Per Gr. Plan)

Prop.
Top of Wall
698.67'

Proposed finished yard, 1st floor
or top of foundation grade shown
on this drawing is a suggested
grade and should be verified by
the owner and/or the builder.

METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS AND CIVIL ENGINEERS

9415 West Forest Home Avenue, Suite 202

Hales Corners, Wisconsin 53130

PH. (414) 529-5380 FAX (414) 529-9787

email address: survey@metropolitansurvey.com

● — Denotes Iron Pipe Found

○ — Denotes Iron Pipe Set

000.0' — Denotes Proposed Grade

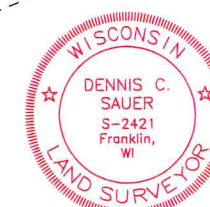
x 696.20 EL Denotes Existing Spot Elevation

— x — x — Denotes Proposed Silt Screen

NOTE: Sump Pumps
to Discharge to
Back Yards

NOTE: Sewer Lateral
Inverts to be verified
before Home Excavation

If Lateral I.E. is Above Noted
Calculated Then Plan to be
Revised to Maintain Minimum
Allowable Lateral Grade of
1.04% or Greater



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT
THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION
OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES
AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT
EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY,
AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERE TO WITHIN
ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer
Dennis C. Sauer
Professional Land Surveyor S-2421