

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39<sup>th</sup> AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
June 25, 2018**

**AGENDA**

1. Call to Order.
2. Roll Call
3. Consider approval of the May 29, 2018 Plan Commission Meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business:
  - A. Consider the request of Rita Qualls, agent on behalf of We Energies for approval of a **Certified Survey Map** to subdivide the property generally located on the west side of 120<sup>th</sup> Avenue (East Frontage Road) about ¼ mile north of 122<sup>nd</sup> Street into two (2) parcels and create a lot for the construction of a new electric distribution substation.
  - B. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** for the request of Rita Qualls, agent on behalf of We Energies for the construction of a new electric distribution substation that will take high voltage electricity from 128kV transmission lines and **decrease or "step down" of the voltage to 24.9kV on property generally located on the west side of 120<sup>th</sup> Avenue (East Frontage Road) about ¼ mile north of 122<sup>nd</sup> Street.** The new substation, referred to as State Line Substation, will be used to deliver electricity to area homes and businesses.
  - C. Consider the request of David Carbol of Partners In Design Architects on behalf of Froedtert South Inc., for approval of **Final Site and Operational Plans including the DSIS Agreement and Access Easement** for the Froedtert South Medical Office Building to be located west of Old Green Bay Road north of STH 165 in the Main Street Market development.
  - D. Consider the request of Jack Williams on behalf of Central Storage Warehouse Corporation for an 18 month **time extension** (until July 3, 2020) of the conditionally approved **Site and Operational Plans** for the construction of 18,000 square foot addition to their facility located at 7800 95<sup>th</sup> Street in LakeView Corporate Park.
7. Adjourn.

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above. **The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400.**

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
May 29, 2018**

A meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on May 29, 2018. Those in attendance were Michael Serpe, Chairman; Wayne Koessl; Jim Bandura; Brock Williamson (Alternate #2) and Michael Pollocoff. Deb Skarda, Judy Juliana, Bill Stoebig and John Skalbeck (Alternate #1) were excused. Also in attendance were Nathan Thiel, Village Administrator; Tom Shircel, Assistant Village Administrator; Jean Werbie-Harris, Community Development Director; and Peggy Herrick, Assistant Village Planner and Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CORRESPONDENCE.**
- 4. CITIZEN COMMENTS.**

Michael Serpe:

We have a couple of items here that are public hearing. If you wish to comment on any of those items that are listed as a public hearing you could do so at the time they're called. Or if there's anything you wish to comment on now, now would be the time to approach the podium, and we'd ask that you give your name and address. Anybody wishing to speak? Anybody wishing to speak? We'll close citizens' comments.

- 5. UNFINISHED BUSINESS.**
  - A. Consider the tabled request of Matt Carey, P.E. of Pinnacle Engineering Group on behalf of Wangard Partners, Inc. for approval of a Certified Survey Map to combine two parcels for the development of a speculative industrial building at the southeast corner of STH 165 and CTH H.**
  - B. Consider the tabled request of Matthew Mano of Stephen Perry Smith Architects on behalf of Wangard Partners, Inc. for approval of Site and Operational Plans for the proposed development of the vacant properties generally located at the southeast corner of STH 165 and CTH H for the construction of a 196,300 square foot speculative industrial building and associated site improvements to be known as Parcel 32 Industrial Building.**

Michael Serpe:

We'd ask that they be taken off the table.

Jim Bandura:

So moved.

Wayne Koessl:

Second.

Michael Serpe:

**MOTION MADE BY JIM BANDURA AND SECONDED BY WAYNE KOESSL TO REMOVE ITEMS A AND B FROM THE TABLE. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

Jean Werbie-Harris:

Items A and B at the request of Pinnacle Engineering as well as Stephen Perry of Smith Architects on behalf of Wangard Partners. The first request is for a certified survey map to combine two parcels for the development of a speculative industrial building at the southeast corner of State Highway 165 and County Trunk Highway H.

And Item B is also a tabled request to be taken up this evening for the proposed development of the vacant properties generally located at the southeast corner of 165 and County Trunk Highway H. This is for the construction of a 196,300 square foot speculative industrial building and associated site improvements. This project would be known as Parcel 32 Industrial Building.

These items are related and will be discussed at the same time, however separate actions are required.

The petitioner is requesting to combine the two vacant properties located at the southeast corner of Highway 165 and Highway H in LakeView Corporate Park and then develop the property with a with a 196,300 square foot speculative industrial building and associated site improvements. This project will be known as Parcel 32 Industrial Building. At the April 23, 2018 Plan Commission meeting at the request of the petitioner tabled these items had been tabled because they wanted to flip the building so that the dock doors were facing the opposite direction as was originally proposed. So that's what these plans reflect this evening.

The Site and Operational Plans at this time there is no identified user for this speculative building. As information, any tenant that proposes to use or occupy 50 percent or more of the building will require Site and Operational Plan approval from the Plan Commission. Also, depending on the use proposed a Conditional Use Permit and or a Site and Operational Plan approval would be required by the Plan Commission.

The property is zoned M-2, General Manufacturing District. The M-2 District requires that the building meet the following minimum setback requirements: 65 feet from both Highway 165 and Highway H; side and rear setbacks of 45 feet minimum for all buildings. The M-2 District requires that at minimum, 25 percent of the site shall be open green space. The site provides 27.3 percent open space.

On October 20, 2017, the wetlands were field delineated by Eric Parker with Stantec Consulting Services Inc. and no wetlands were identified. Written concurrence from the Wisconsin DNR is required and shall be provided to the Village.

There will be one access points on 88th Avenue that aligns with the existing driveway access to the development on the west side of 88th Avenue. Access and work in the right-of-way permits are required from Kenosha County. And this driveway will be primarily for their truck traffic. There will be two additional access points on 86th Avenue which is that south loop road that align with the access driveways on the east side of the street. The access points on, again, 88th Avenue will primarily be for trucks. 86th Avenue will be primarily for car or vehicle traffic.

The location of the parking lots, maneuvering lanes and the fire access lanes shall be set back a minimum 20 feet to property lines. All parking areas and maneuvering lanes, fire lanes including the truck court shall be improved with concrete vertical curb and gutter. The plan includes 161 parking spaces including six handicapped accessible spaces, and an additional 26 spaces could be added on the north/south sides of the building. A truck court faces west and provides for 20 dock locations with 21 possible additional dock locations.

Pursuant to the Ordinance the minimum on-site parking spaces for the manufacturing would require five spaces plus one space for employees on the largest shift and the required handicapped accessible parking spaces per the state code. Minimum on-site parking spaces for a warehouse distribution center is one space for every two employees and employees during any 12 hour period and a required number of handicapped spaces pursuant to the code. At the time the proposed use is known adequate on-site parking will need to be reverified. And obviously they'll need to come back to the Village Plan Commission for approval.

On the Certified Survey Map the two properties are proposed to be combined to create one 11.6329 acre property. In addition, the CSM identifies the restricted access, dedication and easement language as well as restrictive covenants. The project is tentatively planning to start construction, actually it's going to be summer now of 2018 because they're trying to get things under grading by June, and it will be completed before the end of the year. And that's their hope.

On the screen are some artist renderings of what the building is proposed to look like. I did have a couple of comments for them with respect to their painting or if there's going to be any additional striping. And I can discuss those details with the petitioner. There is a representative here in the event you have any questions or comments regarding the project.

Michael Serpe:

Comments or questions?



Jean Werbie-Harris:

I was wondering, when we did this there was no tentative user for this site. And I was wondering if anything has developed over the last two to three weeks with respect to a potential user that they're willing to share.

Michael Serpe:

We have no known tenant for this, is that correct?

Jean Werbie-Harris:

That's what I would like to ask the petitioner.

Michael Serpe:

I mean we approve 161 parking places, but we don't know who is going to occupy it.

Jean Werbie-Harris:

I think they put in as many as they could.

Mark Lake:

Mark Lake from Wangard Partners. Thank you for taking up this petition this evening. We have several that we're in discussions with, but as with everybody else they want to see it start construction, and then they will allow us to announce whether or not they're coming into our facility.

Michael Serpe:

Any manufacturing involved at all in this context?

Mark Lake:

No comment, sorry.

Michael Serpe:

Comments or questions from anybody? What's your pleasure?

Jim Bandura:

Move for Certified Survey Map approval.

Brock Williamson:

Second.

Michael Serpe:

**MOTION MADE BY JIM BANDURA AND SECONDED BY BROCK WILLIAMSON FOR APPROVAL OF THE CERTIFIED SURVEY MAP. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. And the Site and Operational Plans?

Wayne Koessl:

So moved.

Mike Pollocoff:

Second.

Michael Serpe:

**MOTION MADE BY WAYNE KOESSL AND SECOND BY MIKE POLLOCOFF FOR APPROVAL OF THE SITE AND OPERATIONAL PLAN. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you. Welcome, and we need to hear who the tenant might be.

## **6. NEW BUSINESS:**

**C. PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT for the request of Carl Ambrosius, with Lexington Homes Inc., agent for the owner, Fountain Ridge LLC, to amend Chapter 420 Attachment 3 Appendix C Specific Development Plan 46 entitled "Fountain Ridge Apartments Planned Unit Development Unit Development" (PUD). The PUD is proposed to be modified to amend the setbacks to the property lines related to the 10-unit buildings (Buildings 4-7) within the Fountain Ridge Apartments development, to correct the legal description of the properties resulting from the recording of a new Certified Survey Map and updating other referenced Exhibits in the PUD.**

**D. Consider the request of Carl Ambrosius, with Lexington Homes Inc., agent for the owner, Fountain Ridge LLC for approval of an Addendum to the Digital Security Imaging System Agreement for the Fountain Ridge Apartments development.**

Michael Serpe:

We'll take Items C and D together. One is a public hearing and consideration for a Zoning Text Amendment. And Item D is the addendum to the Digital Security Imaging System.

Jean Werbie-Harris:

So Item C, and we're going to be taking up Items C and D together, public hearing and consideration of a Zoning Text Amendment at the request of Carl Ambrosius with Lexington Homes, Inc., agent for the owner, Fountain Ridge LLC. And this is, to amend Chapter 420 Attachment 3 Appendix C Specific Development Plan 46 entitled Fountain Ridge Apartments Planned Unit Development Unit Development (PUD). The PUD is proposed to be modified to amend the setbacks to the property lines related to the ten unit buildings which is buildings 4 through 7 within the Fountain Ridge Apartments development and to correct the legal description of the properties resulting from the recording of a new Certified Survey Map as well as updating other referenced exhibits in the PUD.

And Item D is to consider the request of Carl Ambrosius, with Lexington Homes, Inc., agent for the owner, Fountain Ridge LLC, for approval of an addendum to the Digital Security Imaging System Agreement for the Fountain Ridge Apartments development. As you know, this is a project that is currently under construction, and it is located at that northwest corner of Bain Station Road and County Trunk Highway H. These items are related and will be discussed at the same time, however separate actions are required. The petitioner is requesting to amend or correct the Fountain Ridge Apartments Planned Unit Development Unit Development to approve addendum to the Digital Security Imaging System agreement for the development.

So the first item is a Zoning Text Amendment. The PUD is proposed to be modified to amend the setbacks to the property lines related to the ten unit buildings, buildings 4 through 7, within the Fountain Ridge Apartments development to so that the buildings are a minimum of 30 feet to the north property line and a minimum of 50 feet to the west property line. Also to correct the legal description of the properties resulting from a new CS Map and to update referenced exhibits in the PUD.

In addition, the addendum to the DSIS Agreement, this is an agreement we had entered into previously with the developer. However, it did not include all of the buildings within the previously approved DSIS agreement. So the agreement is being amended to include the reference to the revised plans previously approved by the Village that includes two 60-unit buildings, one 54-unit building, four 10-unit buildings, six 8-unit buildings and the clubhouse; to amend the legal descriptions resulting from the new CSM; and then to also include as Exhibit C the executed or signed contracts for the remainder of the buildings. Again, originally only buildings 1 and 2 were included, and we needed to make sure that the exhibits reflected all of the DSIS agreements and camera systems and details with respect to that system

This is a matter for public hearing because it involves a Zoning Text Amendment. And Carl is in the audience from Fountain Ridge if you have any questions for him.

Michael Serpe:

This is a matter for public hearing. Anybody wishing to speak? Anybody wishing to speak?  
We'll close the public hearing and open it up to comments and questions from the Commission.

Mike Pollocoff:

I recommend approval of the Zoning Text Amendment as presented.

Wayne Koessl:

I'll second.

Michael Serpe:

**MOTION MADE BY MIKE POLLOCOFF AND SECONDED BY WAYNE KOESSL  
FOR APPROVAL OF THE ZONING TEXT AMENDMENT. ALL THOSE IN FAVOR  
SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Item D what's your pleasure?

Brock Williamson:

I move to approve.

Jim Bandura:

Second.

Michael Serpe:

**MOTION MADE BY BROCK WILLIAMSON AND SECONDED BY JIM BANDURA  
FOR THE APPROVAL OF THE DIGITAL SECURITY IMAGING SYSTEM. ALL  
THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you.

**E. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT for the request of Doug Stanich on behalf of the Cottages at Village Green for approval of a Conditional Use Permit to use Units 4 and 5 as sales and model condominium units.**

Jean Werbie-Harris:

So Item E is a public hearing and consideration of a Conditional Use Permit at the request of Doug Stanich on behalf of The Cottages at Village Green. And this is for the approval of a Conditional Use Permit to use Units 4 and 5 as sales and model condominium units.

This is a public hearing, and as part of the hearing comments and as part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request and are presented and described below in the staff report.

**Findings of Fact**

1. The petitioner is requesting a Conditional Use Permit to convert the garage of Unit 4 into a sales and marketing office and to use Units 4 and 5 as model units for the Cottages at Village Green Condominiums development. Refer to Exhibit A.
2. The subject properties area known as Units 4 and 5 of The Cottages at Village Green Condominiums generally located just north of Main Street west of 46th Court on South Cottage Lane. And this is within U.S. Public Land Survey Section 23, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin. The properties are further identified as Tax Parcel Numbers 92-4-122-233-2004 and 92-4-122-233-2005.
3. The units are zoned R-8 (PUD) Urban Two Family Residential District with a Planned Unit Development Overlay District. Pursuant to Section 420-113 C (1) (b) of the Village Zoning Ordinance, model units and related temporary real estate sales offices or marketing centers are allowed in the R-8 District with the approval of a Conditional Use Permit issued by the Plan Commission.
4. Pursuant to Section 420-148 (65) of the Village Zoning Ordinance, the model units and sales center are allowed with the following conditions:
  - a. The Plan Commission may set a specific time frame for such use to be allowed. The Village staff recommends no longer than 4 years or until all units are sold, whichever occurs first.
  - b. Said units shall not be occupied for a sales and marking office until a final certificate of occupancy has been issued. Village staff supports the use of these units as a model and sales office after the verbal to occupy approval is given.
  - c. Said units shall provide for handicapped accessibility and shall meet all ADA requirements.

- d. The units shall not be open past 9:00 p.m. Village staff recommends model hours of 9:00 a.m. to 6:00 p.m. or by appointment.
  - e. Proper exterior maintenance of the property shall be provided such as but not limited to lawn and yard maintenance and snow removal.
  - f. Said units shall be completely landscaped prior to occupancy. The Village staff recommends that the unit areas be landscaped and the driveway paved by October 1, 2018. And I guess I'd like to talk to Doug to find out if, in fact, that they have been paved. We really believe if it's going to be open as an office that the driveway should be paved. I don't think it should say October 1st, but I'm not sure what their occupancy date is. We could talk about that.
  - g. The off-street parking area shall be completed with either a gravel base or a paved surface prior to occupancy. Parking shall be required within the driveways and allowed on public streets adjacent to the units. Vehicular parking shall not block any driveways or fire hydrants and shall not be allowed on the street during a snow emergency and shall not hinder any traffic visibility.
5. Permits have been applied for to convert the existing garage into a sales office. When the area is converted back into the condominium unit garage permits and inspections are required.
  6. Notices were sent to adjacent property owners via regular mail on May 9, 2018, and the required notice was published in the *Kenosha News*; notices were published on May 14th and May 21st.
  7. The petitioner was emailed a copy of the Plan Commission Memorandum on May 25, 2018.
  8. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application, related materials and any information presented at the hearing this evening that the project as planned will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit.

With that I'd like to introduce Doug Stanich to come up, and then maybe we could just ask a couple of questions to him.

Doug Stanich:

Doug Stanich, 3116 86th Street.

Jean Werbie-Harris:

So, Doug, I have a couple of quick questions. You want the model unit to be open until 9 p.m. Do you have any issues with a 9 to 6 or 9 to 7 p.m. or by appointment? Do you have any concerns?

Doug Stanich:

No.

Jean Werbie-Harris:

Nine to 6 or 9 to 7 and by appointment only.

Doug Stanich:

Yes, 9 to 7.

Jean Werbie-Harris:

Nine to 7 and then or by appointment. Having it open until 9 o'clock at night just seems late unless there's a specific appointment. And then for the driveway is it intended to be paved the driveway? When is the paving of the road?

Doug Stanich:

The paving of the sidewalks?

Jean Werbie-Harris:

The sidewalk.

Doug Stanich:

Okay, we're going to do buildings 1 through 5 all together and hope to accomplish that sometime in early August. And at that time we'll put the driveways in, too, and then proceed with landscaping.

Jean Werbie-Harris:

So when are you looking to have these model units open?

Doug Stanich:

I'd like to have them open maybe as early as mid July to end of July.

Jean Werbie-Harris:

Okay. So I just wanted to make sure the Plan Commission was okay that the driveway might not be paved, and the sidewalk might not be paved, it might be all gravel at the time prior to his occupancy or his open house opportunities there. So I just wanted to make sure that the Plan Commission was okay with that. And we'll write it as such.

Jim Bandura:

Doug, you're sure that you don't want to have it paved before you open?

Doug Stanich:

I would like to, but we may not quite get that accomplished. Because what we're trying to do is put sidewalks in that encompass a larger area rather than just short. If we could do it in shorter increments it would be fine. I would like to have it done. But I think we can get by, and we'll make sure that we have a nice surface to walk on.

Jim Bandura:

How many blocks do you have out there?

Doug Stanich:

There are 72 sites.

Jim Bandura:

72, okay. And how many do you have sold already?

Doug Stanich:

Under contract and reserved I think 33, 34, something like that, yeah.

Mike Pollocoff:

Are sold or reserved?

Doug Stanich:

Contracts and reserved.

Mike Pollocoff:

That's a total of both?

Doug Stanich:

Yeah, that's just holding a site until we get final approval for phase 2 and 3.

Jim Bandura:

So the four years we may not have to go four years?



Doug Stanich:

I don't think it will be there four years very honestly. I think maybe two or less. You never know. Markets come and go.

Wayne Koessl:

Through the Chair to staff, Jean, I see nothing about banners.

Jean Werbie-Harris:

Well, they will be required in the conditions of approval to comply with all of the Village's sign requirements. And that includes banners and flags and all those types of things as well. They're not allowed basically. So was the four years sufficient for --

Doug Stanich:

Four years is sufficient.

Jean Werbie-Harris:

I mean he can always come back and make a different unit the model unit and apply for another conditional use permit in a subsequent phase if he chooses.

Michael Serpe:

How many units so far under construction, Doug?

Doug Stanich:

Under construction right now?

Michael Serpe:

Yeah.

Doug Stanich:

We got three that are to dry wall, two in rough, another foundation in, and we've just pulled permits for a couple more foundations. And then over the weekend we've got four more units that we're going to start right away.

Michael Serpe:

You have contracts for 36 already?

Doug Stanich:

Not full contracts.

Michael Serpe:

Not full.

Doug Stanich:

No, we can't do that because it's not --

Michael Serpe:

This model home won't be up there for two years.

Doug Stanich:

I would hope not.

Michael Serpe:

We have a housing shortage in this area so that's good.

Doug Stanich:

Really the reception has been just gratifying. They're going to be beautiful.

Michael Serpe:

Anything else for Doug while he's up here?

Brock Williamson:

You're building them as they go, like just soldiers down the row [inaudible]?

Doug Stanich:

No, no, it's scattered back and forth. But we're grouping them as much as we can.

Michael Serpe:

Anything else? This is a public hearing. Doug, if anybody has any comments you can answer them as they ask their questions. Thanks. This is a matter for public hearing. Anybody wishing to speak? Anybody wishing to speak? We'll close the public hearing. Thanks, Doug. Comments or questions from the Commission?

Wayne Koessl:

If there are no further questions I'd move that the Plan Commission approve the Conditional Use Permit subject to the attached comments and conditions of the Village staff report of May 29, 2018.

Jean Werbie-Harris:

I have a question when you get to that point. So we did change the time frame to 7 o'clock in the evening or my appointment instead of 9. So with respect to the landscaping and the driveway, are you okay with having that October 1st? Or do you want the landscaping completed before then and the gravel driveway? He sounded like it was going to happen in August, but it's not the best time to plan.

Michael Serpe:

Let's get a comment from Doug on that.

Doug Stanich:

Yeah, I like the August 1st on the landscaping.

Jean Werbie-Harris:

August 1st.

Doug Stanich:

Yeah, I'm sure we'll have it done before then, but I'm anxious to get it in as soon as possible, but just give us a little leeway, I think it's important.

Michael Serpe:

There's a motion on the floor. Is there a second?

Jim Bandura:

Second.

Michael Serpe:

**MOTION MADE BY WAYNE KOESSL AND SECONDED BY JIM BANDURA FOR THE CONSIDERATION OF THE CONDITIONAL USE PERMIT. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

**F. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS for the request of Chad George on behalf of Massage Envy to occupy 9160 76th Street, Suite A in the Prairie Edge development for services including massage therapy, stretch therapy, hot stone therapy and customized skin care services and related retail products.**

Jean Werbie-Harris:

Item F is consideration of a Conditional Use Permit including Site and Operational Plans at the request of Chad George on behalf of Massage Envy to occupy 9160 76th Street, Suite A in the Prairie Edge development for services including massage therapy, stretch therapy, hot stone therapy and customized skin care services and related retail products.

As a part of the public hearing comments and as part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below and in the findings of facts.

**Findings of Fact**

1. The petitioner is requesting approval of a Conditional Use Permit including Site and Operational Plans to occupy 2,543 square feet of the building located at 9160 76th Street, Suite A within the Prairie Edge commercial building for the proposed Massage Envy. And, again, Prairie Edge is located within Prairie Ridge. Massage Envy services will include massage therapy, stretch therapy, hot stone therapy and customized skin care services and related retail products. Exhibit 1 has the application as well as the related materials for their application.
2. The property is known as Lot 1 of CSM 2838 located in U.S. Public Land Survey Section 8, Township 1 North, Range 22 East of the 4th Principal Meridian in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 91-4-122-081-0203.
3. The current zoning of the property is B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. The proposed use is allowed in the B-2, District with a Conditional Use Permit.
4. The site provides for 54 parking spaces including six handicapped accessible parking spaces for this three unit multi-tenant building. Pursuant to the Village Zoning Ordinance, this use requires a minimum of 23 parking spaces, one space for every 200 square feet of floor area plus one space for each two employees plus the required number of handicapped accessible spaces per State Code.
5. Pursuant to Chapter 225 of the Village Municipal Code each massage therapist is required to have a Village license if the therapist is not licensed by the State of Wisconsin.
6. The facility will be open from 8:00 a.m. to 10:00 p.m. Pursuant to the application the facility will have eight full-time employees and 12 part-time employees.

7. Notices were sent to adjacent property owners via regular mail on May 11, 2018, and they were published in the *Kenosha News* on May 15 and 22, 2018.
8. The petitioner was provided a copy of this memo on May 25, 2018.
9. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and the information presented at the public hearing that the project as planned will not violate the intent or purpose of the ordinances and meets the minimum standards for granting of a Conditional Use Permit. Furthermore, pursuant to the Zoning Ordinance the Plan Commission shall not approve a Site and Operational Plan application without finding in their decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements.

And, again, one of the other things I wanted to mention is the number of employees they intend to hire eight full-time and 12 part-time. This is also a couple who lives in Pleasant Prairie that is starting up this business in Pleasant Prairie. So it's nice to see when there's a new business that's home grown in the community. So this is a matter for public hearing.

Michael Serpe:

Anybody wishing to speak? Anybody wishing to speak? Is the petitioner here? The Commission may have some questions. I just have one. What's your experience in this area?

Chad George:

In retail business?

Michael Serpe:

Yeah, in this massage.

Jean Werbie-Harris:

Name and address.

Chad George:

Chad George, 5268 99th Street. Right now I have very little experience in retail and massage therapy. We've been looking for a franchise opportunity for quite some time. I served in the Marine Corps for 20 years so I've kind of moved around the country a lot. And this is where we decided to place our roots. My brother and sister-in-law own seven Massage Envy's in Ohio, Michigan and Florida. They're mentoring us through the process. Any questions or issues that we're running into they're a text message or a phone call away.

Massage Envy itself has a very strong franchise model. There's a lot of assistance from Massage Envy corporate in dealing with retail, hiring, app tracking systems where we can post resumes online through their systems. Our financial systems are linked together. I've partnered with an

accounting firm called Grassi who is an accountant for over 200 Massage Envy's throughout the country. The lawyer that we've partnered with oversees multiple franchise businesses. So I've tried to surround myself with the people that can assist and provide me the information and knowledge that I need when I run into situations I'm not familiar with.

Michael Serpe:

You say you're working with a firm that hires people, is that correct?

Chad George:

Well, Massage Envy corporate has an app contracting system where we put in job postings there. And they shoot it out to Indeed and Monster, and they push it out to nationwide.

Michael Serpe:

And who does the vetting on these potential employees?

Michael Serpe:

Actually my wife Kerri George. She's very familiar with human resources and hiring. She currently is the director of the fleet commerce support center down at the Navy base. And she has a staff of 45 people. So she's well accustomed to hiring people, vetting resumes and experience. We also make sure that all aestheticians and therapists will be licensed by the State of Wisconsin. We'll go through that process. And all employees will be required to do background checks on an annual basis.

Michael Serpe:

I don't mean to sound like I'm asking a lot of unnecessary questions. But sometimes in the past there have been questionable activity taking place at some parlors. And obviously we don't want to see that happen here.

Chad George:

I completely understand. Understood.

Mike Pollocoff:

Is your number of employees is that from startup or is that your ultimate?

Chad George:

That's the startup right there. Ultimately we hope to get it to approximately 26. We're a membership based program. So when people get a membership to Massage Envy they pay a monthly fee. They come in for a monthly service. Subsequent services are at a reduced price. Eight to 12 is the startup that I need, but as I ramp up membership base I hope to get up to 26, 28 employees, 10 full time and remainder part time.

Mike Pollocoff:

And also if I'm not mistaken the Governor has proposed, and I think the Legislature is going to act on reducing the number of professional licenses that are required, everything from barbers, stylists --

Michael Serpe:

Reducing?

Mike Pollocoff:

Eliminating them. And I believe the massage therapists were one of them.

Michael Serpe:

What's the basis behind the reduction?

Mike Pollocoff:

Make it easier for business to function without the bureaucratic control. Which I think that puts it back on us. I think if I'm not mistaken our therapeutic massage ordinance dates back to the Town of Pleasant Prairie. So if that takes place that would take place probably before they start the budget next year, so that would probably be in February or March. That would be something that would have to be provided here, and we'd probably have to have the Village Board update the ordinance on it.

Michael Serpe:

Okay, so you're getting in at the right time the way it looks.

Chad George:

Yeah, we feel so.

Michael Serpe:

That's good. Any other comments or questions?

Brock Williamson:

I guess my only question is you're right across from the Costco, that's where this is proposed?

Chad George:

Correct.

Brock Williamson:

Have you talked to them about any possible parking for staff over there? Because I know we always talk about all the shortage of parking in that area out there.

Chad George:

We haven't talked to them about that. I would hope to future approach them and ask if staff could possibly park there. Because I know with the neighboring tenants and Chick-fil-A going in right there that's going to be a pretty high traffic area. So I do intend to talk to Costco. I've talked to some folks at Costco about setting up a corporate exchange, corporate membership exchanges and whatnot. So I'll approach them again and see what they say about that. I notice that rarely does that part of the parking lot fill up. So hopefully they're amicable to that.

Brock Williamson:

Thank you.

Michael Serpe:

Any other comments or questions?

Mike Pollocoff:

I move approval.

Wayne Koessler:

Second.

Michael Serpe:

**MOTION MADE BY MIKE POLLOCOFF AND SECOND BY WAYNE KOESSL FOR APPROVAL OF THE CONSIDERATION OF THE CONDITIONAL USE PERMIT. ALL THOSE IN FAVOR SAY AYE.**

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Good luck. Welcome, thank you.

## **7. ADJOURN.**

Wayne Koessler:

So moved.



Jim Bandura:

Second.

Michael Serpe:

Motion made and seconded for adjournment. All those in favor say aye.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you, gentlemen.

**Meeting Adjourned: 6:33 p.m.**

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME; HOWEVER,  
SEPARATE ACTIONS ARE REQUIRED**

- A. Consider the request of Rita Qualls, agent on behalf of We Energies for approval of a **Certified Survey Map** to subdivide the property generally located on the west side of 120<sup>th</sup> Avenue (East Frontage Road) about ¼ mile north of 122<sup>nd</sup> Street into two (2) parcels and create a lot for the construction of a new electric distribution substation.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Certified Survey subject to the comments and conditions of the Village Staff Report of June 25, 2018.

- B. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** for the request of Rita Qualls, agent on behalf of We Energies for the construction of a new electric distribution substation that will take high voltage electricity from 128kV transmission lines and decrease or “step down” of the voltage to 24.9kV on property generally located on the west side of 120<sup>th</sup> Avenue (East Frontage Road) about ¼ mile north of 122<sup>nd</sup> Street. The new substation, referred to as State Line Substation, will be used to deliver electricity to area homes and businesses.

**Recommendation:** Village staff recommends that the Plan Commission approve the **Conditional Use Permit including Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of June 25, 2018.

## VILLAGE STAFF REPORT OF JUNE 25, 2018

Consider the request of Rita Qualls, agent on behalf of We Energies for approval of a **Certified Survey Map** to subdivide the property generally located on the west side of 120<sup>th</sup> Avenue (East Frontage Road) about ¼ mile north of 122<sup>nd</sup> Street into two (2) parcels and create a lot for the construction of a new electric distribution substation.

**CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS** for the request of Rita Qualls, agent on behalf of We Energies for the construction of a new electric distribution substation that will take high voltage electricity from 128kV transmission lines and decrease or "step down" of the voltage to 24.9kV on property generally located on the west side of 120<sup>th</sup> Avenue (East Frontage Road) about ¼ mile north of 122<sup>nd</sup> Street. The new substation, referred to as State Line Substation, will be used to deliver electricity to area homes and businesses.

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME; HOWEVER, SEPARATE ACTIONS ARE REQUIRED**

**As a part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's requests as presented and described below:**

### **Findings:**

1. We Energies is proposing to construct a new electric distribution substation that will take high voltage electricity from the **128kV transmission lines and decrease or "step down" the voltage to 24.9kV** on the property generally located on the west side of 120<sup>th</sup> Avenue (East Frontage Road) about ¼ mile north of 122<sup>nd</sup> Street. The new substation, referred to as State Line Substation, will be used to deliver electricity to area homes and businesses. See **Exhibit 1** for application and plans.
2. Lot 1 of the proposed Certified Survey Map (See **Exhibit 2**) will be acquired by We Energies from Riverview Group LLC for the proposed substation. Lot 1 will be 6.9817 acres with frontage on 120<sup>th</sup> Avenue. A portion of the lot has wetlands, which were field verified and are currently zoned C-1, Lowland Resource Conservancy District. The wetlands on the property will be preserved. The remainder of the lot is zoned M-5, Production Manufacturing District.
3. The M-5 District allows, with approval of a Conditional Use Permit (CUP), a Utility Substation.
4. The transmission portion of the substation will be an outdoor bus consisting of 3 sections and 3 outdoor circuit breakers. The distribution portion of the station will have two transformers for added reliability of the substation and a Power Distribution Center ("PDC") containing the indoor distribution circuit breakers and control equipment. The new substation equipment will include modern technology, such as microprocessor-based protective devices and other equipment which will allow remote substation control and monitoring.
5. The substation construction will include installation of two 70 MVA transformers and associated equipment. The construction will also include installation of a pre- assembled, metal-clad PDC; high voltage switches and reclosers; high voltage bus equipment; and other associated equipment and structures. The PDC switchgear will house indoor type circuit breakers and associated controls for ten 24.9kV feeders along with other electrical equipment and instruments. The PDC and other pole-type structures will be a neutral gray color, either painted or galvanized steel. Additionally, American Transmission Company ("ATC") will construct an outdoor transmission bus including outdoor circuit breakers, disconnects, and additional equipment to the transmission system.

6. Downward shining exterior flood lighting will be located around the yard and above the entry door of the PDC. The lights will operate as motion-controlled or manually only as necessary for construction, security, and maintenance purposes. Security fencing will surround the substation yard- 8'6" in height, using "no-cut" expanded metal fencing material, topped with a barbed-wire rampart. The substation will also include an electronic card reader access system as well as motion sensing security cameras that are monitored by We Energies central security.
7. Access to the site will be provided by an asphalt paved access road driveway that connects to 120th Avenue. The substation will be constructed per a site and storm water plan that meets Wisconsin Department of Natural Resources requirements as well as any other regulatory permit requirements.
8. Construction: Construction of the substation is expected to begin in August of 2019, and be completed by May of 2020. Materials and equipment will be delivered directly to the site, by truck, periodically during construction. Construction activity will typically occur Monday through Friday, 7:00 a.m. to 5:00 p.m. and as needed on Saturdays 7:00 a.m. to 5:00 p.m. During construction, dust controls will be utilized as needed. Additionally, measures will be taken, as needed, to keep 120th Avenue clear of construction-related debris. Refuse generated from the construction activity will be removed from the site regularly during construction. After construction activities are complete, all remaining refuse and construction materials will be completely removed from the site.
9. Operation: After the new substation equipment is placed in-service, the substation will return to operation as an unmanned facility. No permanent employees will be located at or report to the substation on a daily basis. Employees may access the substation for routine maintenance (non-emergency), normally between the hours of 7:00 a.m. and 5:00 p.m. In addition, substation inspections are performed quarterly by a one or two person crew. In the unlikely event of an emergency, employees may report to the substation as necessary. The employees performing maintenance and inspections of the substation typically drive light vans or pick-up trucks. We Energies contractors and employees may occasionally report to the site in larger maintenance vehicles, bucket trucks, or personal vehicles. The normal operation of the substation will not produce any future refuse or contaminants to the environment. Surrounding landscaping will be maintained by We Energies personnel or contractors.
10. The property owner and all of the abutting and adjacent property owners within 300 feet were notified via U.S. Mail on May 31, 2018 and notices were published in the Kenosha News on June 11 and 18, 2018 regarding the public hearing.
11. The petitioner received a copy of this Village staff report via e-mail on June 22, 2018.
12. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit. In addition, the Plan Commission shall not approve any site and operational plan application without finding in the decision that the application, coupled with satisfaction of any conditions of approval, will comply with all applicable Village ordinance requirements and will comply with all other requirements of applicable federal, state or local statutes, regulations, ordinances or other laws relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

## **Village Staff Conclusions and Recommendation:**

**Item B:** Village Staff recommends approval of the Certified Survey Map subject to the following conditions:

1. See **attached** changes to the Certified Survey Map. A revised CSM shall be submitted for final review prior to executing and recording.
2. Any outstanding taxes or special assessments shall be paid prior to recording the CSM. Pursuant to the Village Finance Department there are no outstanding taxes or special assessments.
3. The CSM shall be finalized, executed, recorded at the Kenosha County Register of Deeds Office and a recorded copy provided to the Village within 30 days of Village approval.
4. A Street Lighting District will be created in this area and this property will be included within the District. The District will be responsible to pay for the ongoing costs for the street lights located within the District boundary.

**Item C:** The Village staff has determined that based upon the foregoing information presented in the application and at the public hearing that the project (meets the following standards for granting a Conditional Use Permit and Site and Operational Plan approval in that the project:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire--in so far as the danger of fire does not exceed the capabilities of the Village Fire & Rescue Department;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other **adversity or inconsistency that would endanger the public's health, safety or welfare** related to the proposed use;
- the proposed and applied for use on this particular parcel is not inherently inconsistent with the M-5 District; and
- the proposed and applied for use will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection.

**Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for the granting of the Conditional Use Permit including Site and Operational Plans for the construction and operation of the State Line Substation then the approval is subject to compliance with the above comments and the following conditions**

1. The Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made to the Site and Operational Plans and three (3) revised plans shall be submitted for final staff review and approval. To expedite the review process,**

**return this Village Staff Memorandum with notations in the margin for each comment (different color) which explains where the comment has been addressed on the Plan sheet.**

- a. Compliance with the **attached** conditions of the memorandum from the Village Engineer dated June 10, 2018. Revise the plans as noted.
- b. Resubmit landscape plan – new plan shall provide a groupings of three to five trees with various types various evergreen trees with a minimum planting size of 6 feet along 120<sup>th</sup> Avenue and north side of site – not just a line of trees. Village will provide a plan if needed. In addition, street trees are required to be planted every 50 feet adjacent to the property within the right-of-way (include on the revised Landscape Plans.

5. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required permits the following shall be submitted:**

- a. We Energies shall own the property (We Energies cannot purchase the property until the current property owner records the CSM at the Kenosha County Register of Deeds Office). The CSM is proposed to be considered by the Village Board at their July 2, 2018 meeting.
- b. The Conditional Use Document shall be executed by the property owner and recorded **at the owner's cost at the Kenosha County Register of Deeds office**. The name and title of the authorized representative from We Energies that can execute the document shall be submitted to the Village.
- c. The following Village permits are required to be submitted for the construction of the substation:
  - i. An Erosion Control Permit Application and plans with a copy of the Wisconsin Department of Natural Resources N.O.I. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project, if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]
  - ii. Fence Permit Application
  - iii. Driveway Permit Application
  - iv. Miscellaneous Zoning Permit
- d. A copy of the WI DOT permit for any work within the 120<sup>th</sup> Avenue (East Frontage Road) right-of-way. (*Permit has been obtained and submitted to the Village.*)

6. **Prior to work commencing on the site, the following shall be provided to the Village Community Development Department:**

- Project construction schedule
- List of all primary contractors – company name and contact information
- Emergency contact information during construction – project superintendent, owner, contractors etc. and after construction is completed

7. **All necessary permits and fees shall be paid for and permits obtained from Village for construction.**

8. Specific conditions below to be included in the Conditional Use Permit:

- a. There shall be no long term parking or overnight parking of vehicles or trucks on the site.
  - b. Landscaping on the site shall be installed, watered, weeded, trimmed and maintained in good condition at all times. Damaged, dying or dead plant material shall be removed and new plantings shall be installed on a regular basis.
  - c. All signs shall comply with Article X of Chapter 420 of the Village Municipal Code.
  - d. **At no time shall the site be used to sell or advertise any vehicles that are "for sale".**
  - e. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes (including pumper pad space) or on landscaped areas.
  - f. The site shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/ unlicensed vehicles that are parked overnight will be issued citations.
  - g. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
  - h. No changes to the site shall **be made without the Village's approval. Minor internal** modifications/alterations shall be approved at the discretion of the Village Zoning Administrator; however, any addition, exterior alteration, or major interior alteration shall be subject to the **Village's Conditional Use procedures as if such use** were being established anew.
  - i. All plans shall conform to applicable Village ordinance requirements, and to all other applicable local, State and Federal requirements relating to land use, buildings, development control, land division, environmental protection, sewer service, water service, storm water management, streets and highways and fire protection; and in the event of conflicting requirements or standards, the most restrictive shall apply.
  - j. The use, operations, site and structures shall be designed, laid out, constructed and maintained in full compliance with the approved Site and Operational Plans and all other applicable provisions of the Village Municipal Code and all other applicable Village, County, State Building Codes, Fire & Rescue Ordinances and national and federal regulations.
9. The Conditional Use Grant shall become effective upon the execution and recording of said document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.
  10. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m. Extended early summer hours - 6:00 a.m. start may be approved on a case by case basis.
  11. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors. No on-street parking shall be allowed on 120<sup>th</sup> Avenue (East Frontage Road).

12. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in any rights-of-way. All construction related signage shall be approved and permitted by the Village.
13. Prior to occupancy, all required landscaping shall be installed. A written letter verification and certification shall be provided to the Village by the landscape installer that all landscaping has been installed in accordance with the approved landscape plan. However, if cold weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
14. Upon completion of the project and prior to occupancy, one (1) electronic copy of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
15. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
16. All Village fees incurred by the Community Development Department, Village Engineer or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.



BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION  
31, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE,  
KENOSHA COUNTY, WISCONSIN

**PREPARED BY:**

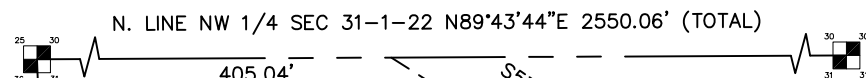
**JSD Professional Services, Inc.**  
• Engineers • Surveyors • Planners

**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
262.513.0666 PHONE | 262.513.1232 FAX

**PREPARED FOR:**

WISCONSIN ELECTRIC  
POWER COMPANY  
231 WEST MICHIGAN ST.  
MILWAUKEE, WI 53203

NE CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP



NW CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP  
N: 192.394.35  
E: 2.552.431.20 } GRID

C1  
ARC=300.44'  
RAD=934.25'  
C.B.=S48°13'20"E  
C.L.=299.14'  
Δ=18°25'30"

$RC=600.18'$   
 $AD=934.25'$   
 $LB=S20^{\circ}36'20"E$   
 (Montage Road)  
 $=36^{\circ}48'30"$

DEDICATED WETLAND  
PRESERVATION AND  
PROTECTION, ACCESS  
AND MAINTENANCE  
EASEMENT. SEE SHEET  
2 OF 5

**LOT 1**  
304,142 SQ. FT.  
6.9817 ACRES

100' WIDE DEDICATED PUBLIC STREET  
**120TH AVENUE**

S02°12'05"E  
323.34'

**LEGEND:**

● 3/4" IRON REBAR FOUND  
& ACCEPTED

SET ○ 1"X18" IRON PIPE SET WT.  
1.13 LBS/LIN. FT.

SW CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP



## BEARING BASIS

ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 22 EAST, WAS USED AS NORTH 89°43'44" EAST

PROJECT CONVERSION FACTOR: GRID/1.00002087 = GROUND

SUBJECT TO EASEMENTS OF RECORD.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

DATED THIS \_\_\_\_\_ DAY OF MAY, 2018

THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

SHEET 1 OF 5

C:\Users\riskandarsjach\appdata\local\temp\AcPublish\_74756\18-8432\_CSM.dwg

CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN



ARC=39.60'  
RAD=934.25'  
C.B.=N37°47'43"W  
C.L.=39.60'  
Δ=02°25'44"

SET

100' WIDE DEDICATED PUBLIC STREET  
**120TH AVENUE**

N71°34'36"W

14.69'

N54°20'30"W

20.47'

S30°28'56"W

33.63'

(East Frontage Road)

S56°52'12"W

27.69'

S04°46'30"W

28.86'

S24°14'32"W

9.35'

S00°34'04"W

45.33'

S21°33'15"W

34.82'

S43°27'14"W

55.18'

S27°47'28"W

17.43'

S24°24'23"W

106.38'

S55°15'43"W

25.43'

S29°42'04"W

88.46'

N02°10'27"W

89.04'

N35°33'43"E

44.51'

N18°26'47"E

29.65'

N70°32'54"W

17.50'

N38°28'58"E

330.08'

UNPLATTED LAND

NOTE: WETLAND AS DELINEATED  
BY DAVE MEYER OF WETLAND &  
WATERWAY CONSULTING PER  
REPORT DATED JULY 29, 2013.  
WETLAND LOCATION PER  
"WETLAND EXHIBIT MAP" BY  
JACOB & HEFNER ASSOC.  
DATED MARCH, 2017

**LOT 1**

304,142 SQ. FT.  
6.9817 ACRES

UNPLATTED LAND

or Wisconsin Department of Transportation (WI DOT)

CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

DEDICATION AND EASEMENT PROVISIONS

1. The fee interest in the areas shown as a Dedicated Public Street on ~~this~~ <sup>multi-use paths</sup> Survey Map (CSM), as it pertains to 120th Avenue, was dedicated, given, granted and conveyed by land owner to State of Wisconsin Department of Transportation (WDOT) by AWARD OF DAMAGES recorded in Kenosha County Register Office on December 18, 2001 as Document No. 1246280. <sup>not to WI DOT?</sup>
2. The fee interest in the areas shown as a Dedicated Public Street on this CSM ~~now~~ is also dedicated, given, granted and conveyed by the landowner to the Village of Pleasant Prairie, its successors and assigns (the "Village") as it pertains to 120th Avenue for the construction, installation, repair, alteration, replacement, planting and maintenance of public roadway improvements, uses and purposes, including, without limitation, roadway pavement, curbs and gutters, sidewalks or bike lanes, if required by the Village, street signs, street lights, street trees, sanitary sewerage system improvements, water system improvements, roadway improvements, storm sewer and drainage system improvements, utility and communications facilities, street tree landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: a nonexclusive easement hereby reserved by the Owner of Lot 1 shown on this CSM which are adjacent to the public street areas for the required planting, mowing, watering and maintenance of grass within the grassy street terrace areas, for the maintenance and replanting of public street trees and the construction, maintenance and snow plowing of private driveways and sidewalks if required and constructed, in the area between the roadway pavement and the Lot 1. In the event of any conflict between the rights of the Village under its existing fee interest in the Dedicated Public Street areas shown on this CSM and the rights of the Lot 1 Owner pursuant to the dedication retained herein, the rights of the Village shall be deemed to be superior. <sup>and/or multi-use paths</sup> <sup>or WI DOT</sup>

The Lot 1 Owner shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement of the snow removal of the private driveways and sidewalks, if required and constructed; grading, placing of topsoil, seeding or sodding and mowing of the street terrace area; public street tree pruning, watering, mulching, staking and other public street tree maintenance and replacements; payment of public street lights energy and maintenance costs benefiting Lot 1; installation and maintenance of mailboxes; extensions and maintenance of private utility and communications facilities, maintenance of the private storm water drainage ~~and their fair share costs associated with the off site retention basin to handle storm water from the development site;~~ and other required construction, installation, repair, alteration, replacement, planting and development maintenance in accordance with the terms and conditions of the Village Municipal Code and the specific requirements of the Site and Operational Plan approvals. <sup>installation and maintenance of the public street trees in 120th Avenue (Est Frontage Road);</sup>

3. A nonexclusive easement coextensive within the area shown as a Dedicated Wetland Preservation and Protection, Access and Maintenance Easement on this CSM is hereby dedicated, given, granted and conveyed by landowner to the Village for wetland conservancy preservation, protection, and maintenance purposes and uses and for related ingress and egress. Unless the Village exercises the rights granted to it pursuant to this Easement area, the Village shall have no obligation to do anything related to its rights under this easement.

RESTRICTIVE COVENANTS

1. ~~Wisconsin Electric Power Company~~ <sup>of trees</sup> hereby covenant <sup>s</sup> that the Lot 1 Owner shall have the obligation of planting, maintaining and replacing the public street trees, if any, located within the 120th Avenue (East Frontage Road) right-of-way areas shown on this CSM. Such planting and maintenance shall include without limitation and as needed planting, staking, mulching, weeding, pruning, watering, replanting <sup>or WI DOT's</sup> and removing of trash, debris, leaves and brush around the public street trees in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the right-of-way areas, which might damage the public street trees or might interfere with the Village's rights to maintain the public street improvements, unless approved by the Village. This covenant shall run with the land, shall be binding upon the Lot 1 Owner, its successors and assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village. Such public street tree planting and maintenance shall be performed regularly, without compensation, and to the satisfaction of the Village. <sup>Riverview Group LLC</sup>

To the extent that the Village performs any such public street tree related maintenance activities, the Lot 1 Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot 1 Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law.

2. ~~Wisconsin Electric Power Company~~ hereby covenants that the Lot 1 Owner shall be responsible for all costs associated with the and snow removal of the private driveways and multi-use trail or sidewalks, if required and constructed; grading, placement of topsoil, seeding or sodding and mowing of the street terrace area; payment of the Lot 1 Owner fair share cost of the public street lights energy and maintenance costs; installation and maintenance of mailboxes; extensions and maintenance of private utility and communications facilities; on-site storm water drainage; and other required construction, installation, repair, alteration, replacement, planting and site maintenance in accordance with the terms and conditions of the Village's Municipal Ordinances and the require <sup>space</sup> of the Site and Operational Plan and Development Agreement approvals, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such maintenance activities on behalf of the Owner of Lot 1 of this CSM, the Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot 1 Owner as special assessments or special charges under Section 66.0627 (or successors and assigns or other similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions as referenced on this CSM, the Village shall have no obligation to do anything pursuant to its rights under the easement dedications.

Jean?

3. add attached word doc for wetland protection

CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

State of Wisconsin    )  
                                  ) SS  
Kenosha County        )

I, Rizal W. Iskandarsjach, Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped a part of the Northwest 1/4 of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 31; thence North 89°43'44" East along the north line of said Section 31, 405.04 feet to the west line of 120th Avenue; thence South 57°26'05" East along said west line, 462.58 feet to a point of curve; thence southeasterly 300.44 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 48°13'20" East, 299.14 feet to the point of beginning;

Thence continuing southeasterly 600.18 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 20°36'20" East, 589.92 feet to a point of tangency; thence South 02°12'05" East along said west line, 323.34 feet; thence North 89°55'15" West, 423.47 feet; thence North 02°10'27" West, 591.00 feet; thence North 38°28'58" East, 362.96 feet to the point of beginning.

Containing in all 304,142 square feet (6.9817 acres) of lands, more or less.

All subject to easements and restrictions of record, if any.

That I have made such survey, land division and map by the direction of WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as We Energies, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping the same.

DATED THIS \_\_\_\_\_ DAY OF MAY, 2018

\_\_\_\_\_  
Rizal W. Iskandarsjach, P.L.S.  
Professional Land Surveyor, S-2738

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as We Energies, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of Rizal W. Iskandarsjach, to be surveyed, divided and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping.

\_\_\_\_\_(sign) \_\_\_\_\_(date)  
Dawn M. Neuy  
Manager Real Estate Services

State of \_\_\_\_\_ )  
 ) SS  
County )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the above named Dawn M. Neuy of the above named company, to me known to be such Manager Real Estate Services of said company, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

This Certified Survey Map is hereby approved by the Plan Commission of the Village of Pleasant Prairie on this  
day of \_\_\_\_\_, 2018.

MICHAEL J. SERPE  
Chairman of Village Plan Commission

Resolved that this Certified Survey Map, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved and accepted by the Village Board of Trustees of the Village of Pleasant Prairie, on this                    day of                    , 2018.

**JOHN P. STEINBRINK**  
Village President

**ATTEST:**

JANE C. SNELL  
Village Clerk

3. The Riverview Group LLC hereby covenants that the Wetland Protection and Preservation, Access and Maintenance Easement area shown on this CSM shall be protected and maintained as a wetland protection and preservation area and that no filling, dredging, tree cutting, mowing, plant removal or other activity or condition detrimental to its function as a wetland area within Lot 1 shall occur without written approval of the Village, Wisconsin Department of Natural Resources (WI DNR) and US Army Corps of Engineers (USACE). This covenant shall run with the land, shall be binding on the Lot 1 Owner, its successors, assigns and successors-in-title in their capacity as Owners of Lot 1 and shall benefit and be enforceable by the Village and/or the WI DNR and/or the USACE.

To the extent that the Village performs any such wetland maintenance activities, the Lot 1 Owner, shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owners as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this CSM with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under this easement dedication.



## MEMORANDUM

Office of the Village Engineer  
**Matthew J. Fineour, P.E.**

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: WE Energies – State Line Sub Station  
Civil Engineering Plans

DATE: June 10, 2018

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Peggy,

The Engineering Department has reviewed the submitted plans for the proposed Sub Station. We have the following comments noted on the attached mark-up plan.

1. See comments on the attached plan mark-up sheets.
  - a. Only plan sheets with comments are included.
  - b. Comments that apply to multiple locations are not repeated for every occurrence.
2. A WisDot permit is required for the proposed driveway connection to 120<sup>th</sup> Avenue. A copy of the permit shall be provided to the Village prior to construction.
3. The Stateline 94 Corporate Park Project will be extending sanitary sewer south of the unnamed tributary to the Des Plaines River. A sanitary sewer stub will then be provided to service future development west of the Frontage Road. At this time, the sewer alignment and stub location is not designed. Would WE-Energies cooperate and dedicate a public sanitary sewer easement in locations outside the fenced area, if needed in the future? If there is a concern regarding easements, then Stateline 94 with the Village will need to further define the sanitary sewer design.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and as additional information is provided.

Attachments: Plan Mark-Up



WE ENERGIES  
STATE LINE SUB STATION

120TH AVE (EAST FRONTAGE ROAD)  
VILLAGE OF PLEASANT PRAIRIE, WI 53158  
MAY 21, 2018

VOPP ENG REVIEW  
PLAN MARK UP  
JUNE 10, 2018



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MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE RD. SUITE 100  
WALKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:  
333 WEST EVERETT STREET A249  
MILWAUKEE WI, 53203

PROJECT:  
WE ENERGIES  
STATE LINE  
SUBSTATION

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENSOSHA COUNTY, WI

DRAWING INDEX

C0.0	TITLE SHEET
CS-1	ALTA/NSPS LAND TITLE SURVEY
C1.0	SITE DIMENSION AND PAVEMENT ID PLAN
C2.0	SITE GRADING, EROSION CONTROL AND UTILITY PLAN
C3.0	SITE NOTES AND DETAILS
L1.0	LANDSCAPE PLAN, SPECIFICATIONS, NOTES AND DETAILS
WE-01	SUBSTATION HIGH SECURITY FENCE
WE-02	SUBSTATION POWER DISTRIBUTION CENTER
WE-03	SUBSTATION POWER DISTRIBUTION CENTER
WE-04	SUBSTATION PHOTOMETRIC
WE-05	SUBSTATION PLAN VIEW
WE-06	SUBSTATION ELEVATION
WE-07	SUBSTATION ELEVATION



PROJECT AREA  
NOT TO SCALE



COMMUNITY DEVELOPMENT DEPARTMENT  
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CHIEF OF FIRE & RESCUE  
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WALKESHA, WI 53188  
PHONE: 262-513-0666  
FAX: 262-513-1232  
EMAIL: riz@jsdinc.com  
www.jsdinc.com



SITE MAP

BEARING BASIS:

- Bearings are referenced to the Wisconsin State Plane Coordinate System, South Zone. the north line of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, was used as North 89°43'44" East.
- Vertical Datum is based on NGVD, 1929 adjustment. The concrete monument, with brass cap, marking the northwest corner of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, elevation 723.51

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

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Design/Drawn: IRN  
Approved: RWI  
Date: 4.20.2018

SHEET TITLE:  
TITLE SHEET

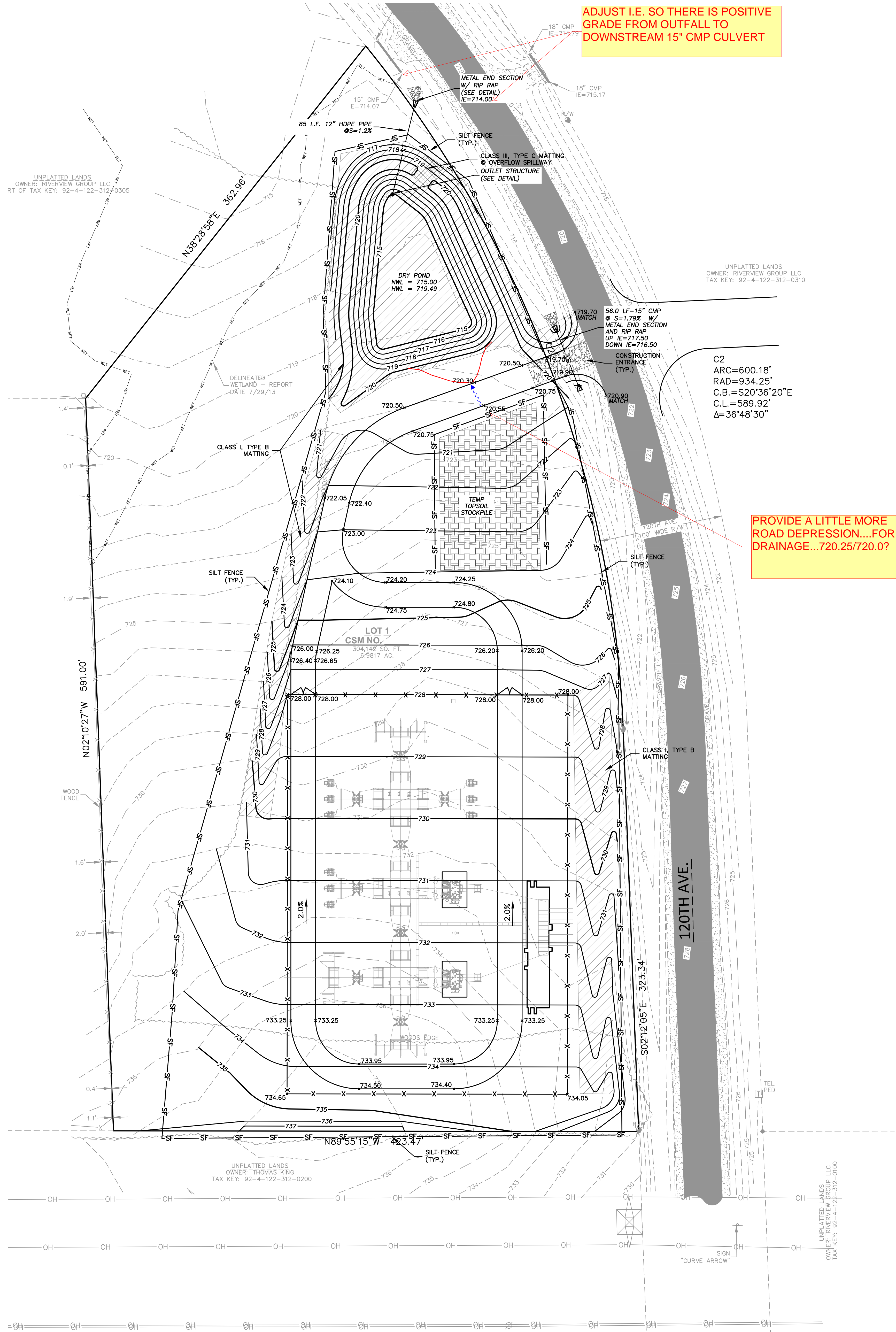
SHEET NUMBER:

C0.0

JSD PROJECT NO: 18-0432



ADJUST I.E. SO THERE IS POSITIVE GRADE FROM OUTFALL TO DOWNSTREAM 15" CMP CULVERT



UTILITY NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY. FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- REFER TO VILLAGE ORDINANCE CHAPTER 405 DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS FOR VILLAGE STANDARD SPECIFICATIONS.

GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES. ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
  - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
  - THE CONTRACTOR MUST OBTAIN APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- THE PROPOSED SPOT GRADES AS INDICATED WITHIN THE PLANS ARE LOCATED ALONG THE EDGE OF PAVEMENT
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL VILLAGE AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.
- SEE SHEET C3.0 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES.
- ALL DISTURBED SOILS MUST BE PERMANENTLY STABILIZED WITH PERMANENT SEED MIX 20 AND PROPERLY ANCHORED MULCH, UNLESS NOTED

CONSTRUCTION SITE SEQUENCING

- INSTALL PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE.
  - BUILD DR POND
  - STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
  - CONDUCT ROUGH GRADING EFFORTS.
  - INSTALL UTILITY PIPING AND STRUCTURES.
  - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PAVEMENTS, ETC.
  - PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
  - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER OF 70% DENSITY.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

LEGEND

	MANHOLE, TYPE UNKNOWN		WATER VALVE
	SANITARY MANHOLE		FIRE HYDRANT
	STORM MANHOLE		TELEPHONE PEDESTAL
	CATCH BASIN ROUND		SIGN
	CATCH BASIN SQUARE		ELECTRICAL PED/TRANSFORMER
	METAL POST		GAS VALVE
	BOLLARD		CONIFEROUS TREE
	MAILBOX		DECIDUOUS TREE
	CORRUGATED METAL PIPE		WATER MAIN
	REINFORCED CONCRETE PIPE		SANITARY SEWER
	POLYVINYL CHLORIDE (PIPE)		STORM SEWER
	CORRUGATED PLASTIC PIPE		FIBER OPTIC
	POST INDICATOR VALVE		UNDERGROUND TELEPHONE
	SHAMSE		UNDERGROUND ELECTRIC
	OUTFALL PIPE		UNDERGROUND GAS
	LIGHT POLE		OVERHEAD UTILITY
	FLOOD LIGHT		FENCE LINE
	SPRINKLER CONTROL VALVE		PROPOSED STORM SEWER
	PROPOSED INLET PROTECTION		PROPOSED SILT FENCE
	CONSTRUCTION ENTRANCE		
	CLASS I, TYPE B MATTING		
	CLASS III, TYPE C MATTING		



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MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
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WALKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:

333 WEST EVERETT STREET A249  
MILWAUKEE WI, 53203

PROJECT:

WE ENERGIES  
STATE LINE  
SUBSTATION

PROJECT LOCATION:

VILLAGE OF PLEASANT PRAIRIE  
KENSOSHA COUNTY, WI

PLAN MODIFICATIONS

#	Date:	Description:
1		
2		
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11		
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15		

Design/Drawn: IRN  
Approved: RWJ  
Date: 4.20.2018

SHEET TITLE:  
GRADING, EROSION  
CONTROL, AND UTILITY  
PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.





## SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT

*For all applications that require Village Plan Commission Approval*

APPROVAL REQUESTED	TYPE OF WORK
<input type="checkbox"/> Final Site and Operational Plan <input type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit <input type="checkbox"/> Preliminary Site and Operational Plan <input type="checkbox"/> Preliminary Site and Operational Plan/ Conditional Use Permit <input type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement)	<input type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Building Alteration <input type="checkbox"/> New Tenant

Name of Business: Wisconsin Electric Power Company d/b/a We Energies

Site Address: vacant land situated along 120th Avenue Suite #: \_\_\_\_\_

Tax Parcel Number: part of 92-4-122-312-0305

Zoning District(s): M-5

Name of Development: State Line Substation

Estimated Date of Occupancy: August 2019

Detailed Description of the Proposed Project and Use:

See Plan of Operation (attached)

Detailed Description of Company:

We Energies is a utility that provides electric service to customers in portions of Wisconsin and Michigan's Upper Peninsula.

### Select One Option

- ☐ Relocation of Business from \_\_\_\_\_  
☒ New Location for Business in Pleasant Prairie  
☐ Expansion/Change to Existing Business in Pleasant Prairie  
☐ New Start Up Business

### SITE AND BUILDING INFORMATION

Lot Area: 304,142 sq. ft. Lot Area: 6.9817 ac.  
Building Area: approx. 1,552 sq. ft. Building Height: approx. 12 ft.  
Tenant Area: N/A sq. ft.  
Addition Area: N/A sq. ft. Addition Height: N/A ft.  
Total Impervious Surface Area: 82,000 sq. ft.  
Total Landscape Area: approx. 53,000 sq. ft. Site % of Open Space 62 %

### ON-SITE PARKING/TRAFFIC INFORMATION

Total # of parking spaces (on-site): N/A  
Total # of regular parking spaces (on-site): N/A  
Total # of handicapped accessible spaces (on-site): N/A  
Total # of truck parking spaces (on-site): N/A  
Total # of dock doors: N/A  
Anticipated automobile trips to and from the site (excluding trucks):  
Number of daily average trips: N/A Maximum number of daily trips: N/A  
Anticipated truck trips to and from the site:  
Number of daily average trips: N/A Maximum number of daily trips: N/A

### OPERATIONAL INFORMATION

Hours (Open to the public): Mon. - Sat. 7:00am - 5:00pm (as needed for routine maintenance)  
Delivery hours: N/A

### EMPLOYMENT INFORMATION

Proposed total number of full-time employees: See Plan of Operation (attached)  
Proposed total number of part-time employees: See Plan of Operation (attached)  
Number of shifts: N/A  
Total of number of employees per shift: 1<sup>st</sup> N/A, 2<sup>nd</sup> N/A, 3<sup>rd</sup> N/A  
Largest number of employees on site at any one time: N/A

### PUBLIC FACILITIES INFORMATION

#### Check all that apply:

- ☐ The property is serviced by Public Sanitary Sewer
- ☐ The property is serviced by Public Water
- ☐ The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: N/A

**If property is zoned M-1, M-2 or M-5 then the following shall be completed:**

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- |  |     |         |
|--|-----|---------|
| <input type="checkbox"/> Factory Group F-1 (Moderate-hazard) | N/A | sq. ft. |
| <input type="checkbox"/> Factory Group F-2 (Low-hazard)      | N/A | sq. ft. |
| <input type="checkbox"/> Storage Group S-1 (Moderate-hazard) | N/A | sq. ft. |
| <input type="checkbox"/> Storage Group S-2 (Low-hazard)      | N/A | sq. ft. |
| <input type="checkbox"/> Business Group B                    | N/A | sq. ft. |
| <input type="checkbox"/> High-Hazard Group H                 | N/A | sq. ft. |
| <input type="checkbox"/> Other _____                         | N/A | sq. ft. |

Types and quantities of goods and materials to be made, used or stored on site:

N/A

Types of equipment or machinery to be used on site:

Typical construction equipment (during construction)

Types and quantities of solid or liquid waste material which require disposal:

N/A

Method of handling, storing and disposing of solid or liquid waste materials:

N/A

Methods of providing site and building security other than the Village Police Department:

Security fence, card reader, lighting

Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

Landscape / Snow Plowing  
Periodic inspections (Maintenance Dept.)

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

None

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

WDOT Access  
WDNR

### **PLANS AND OTHER ATTACHMENTS**

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- ☐ Title Sheet
- ☐ Survey
- ☐ Site Plan
- ☐ Grading and Drainage Plan
- ☐ Building and Fire Protection Plans
- ☐ Lighting Plan (including photometric plan)
- ☐ Landscape and Open Space Plan
- ☐ Signage Plan
- ☐ Industrial Waste Survey
- ☐ Required Application Fee and Pre-Development Agreement

The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.

I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

**PROPERTY OWNER:**

Print Name: Wisconsin Electric Power Company  
Signature: \_\_\_\_\_  
Address: 231 W. Michigan Street - A252  
Milwaukee WI 53203  
(City) (State) (Zip)  
Phone: (414) 221-2763  
Fax: (414) 221-2713  
Email: rita.qualls@we-energies.com  
Date: 05/24/2018

**APPLICANT/AGENT:**

Print Name: Rita C. Qualls, Lead ROW Agent  
Signature: Rita C. Qualls  
Address: 231 W. Michigan Street - A252  
Milwaukee WI 53203  
(City) (State) (Zip)  
Phone: (414) 221-2763  
Fax: (414) 221-2713  
Email: rita.qualls@we-energies.com  
Date: 05/24/2018

**TENANT CONTACT:**

Print Name: N/A  
Signature: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
(City) (State) (Zip)  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Date: \_\_\_\_\_

## **PLAN OF OPERATION**

### **STATE LINE 24.9KV SUBSTATION**

**Overview:** Wisconsin Electric Power Company, under the trade name We Energies, is proposing to construct a new electric distribution substation located in the Village of Pleasant Prairie, referred to as State Line Substation. This new substation will take high voltage electricity from 138 kV transmission lines and decrease or “step down” the voltage to 24.9kV. The 24.9kV feeders from the new substation will then be used to deliver electricity to area homes and businesses.

The transmission portion of the substation will be an outdoor bus consisting of 3 sections and 3 outdoor circuit breakers. The distribution portion of the station will have two transformers for added reliability of the substation and a Power Distribution Center (“PDC”) containing the indoor distribution circuit breakers and control equipment. The new substation equipment will include modern technology, such as microprocessor-based protective devices and other equipment which will allow remote substation control and monitoring.

**Site Summary:** The substation construction will include installation of two 70 MVA transformers and associated equipment. The construction will also include installation of a pre-assembled, metal-clad PDC; high voltage switches and reclosers; high voltage bus equipment; and other associated equipment and structures. The PDC switchgear will house indoor type circuit breakers and associated controls for ten 24.9kV feeders along with other electrical equipment and instruments. The PDC and other pole-type structures will be a neutral gray color, either painted or galvanized steel. Additionally, American Transmission Company (“ATC”) will construct an outdoor transmission bus including outdoor circuit breakers, disconnects, and additional equipment to the transmission system.

Downward shining exterior flood lighting will be located around the yard and above the entry door of the PDC. The lights will operate as motion-controlled or manually only as necessary for construction, security, and maintenance purposes. Security fencing will surround the substation yard - 8’6” in height, using “no-cut” expanded metal fencing material, topped with a barbed-wire rampart. The substation will also include an electronic card reader access system as well as motion sensing security cameras that are monitored by We Energies central security.

Access to the site will be provided by an asphalt paved access road driveway that connects to 120<sup>th</sup> Avenue. The substation will be constructed per a site and storm water plan that meets Wisconsin Department of Natural Resources requirements as well as any other regulatory permit requirements.

**Construction:** Construction of the substation is expected to begin in August of 2019, and be completed by May of 2020. Materials and equipment will be delivered directly to the site, by truck, periodically during construction. Construction activity will typically occur Monday through Friday, 7:00 a.m. to 5:00 p.m. and as needed on Saturdays 7:00 a.m. to 5:00 p.m. During construction, dust controls will be utilized as needed. Additionally, measures will be taken, as needed, to keep 120<sup>th</sup> Avenue clear of construction-related debris. Refuse generated

from the construction activity will be removed from the site regularly during construction. After construction activities are complete, all remaining refuse and construction materials will be completely removed from the site.

**Operation:** After the new substation equipment is placed in-service, the substation will return to operation as an unmanned facility. No permanent employees will be located at or report to the substation on a daily basis. Employees may access the substation for routine maintenance (non-emergency), normally between the hours of 7:00 a.m. and 5:00 p.m. In addition, substation inspections are performed quarterly by a one or two person crew. In the unlikely event of an emergency, employees may report to the substation as necessary. The employees performing maintenance and inspections of the substation typically drive light vans or pick-up trucks. We Energies contractors and employees may occasionally report to the site in larger maintenance vehicles, bucket trucks, or personal vehicles. The normal operation of the substation will not produce any future refuse or contaminants to the environment. Surrounding landscaping will be maintained by We Energies personnel or contractors.



# WE ENERGIES STATE LINE SUB STATION

120TH AVE (EAST FRONTAGE ROAD)  
VILLAGE OF PLEASANT PRAIRIE, WI 53158  
MAY 21, 2018



**PROJECT AREA**  
NOT TO SCALE



## DRAWING INDEX

C0.0	TITLE SHEET
CS-1	ALTA/NSPS LAND TITLE SURVEY
C1.0	SITE DIMENSION AND PAVEMENT ID PLAN
C2.0	SITE GRADING, EROSION CONTROL AND UTILITY PLAN
C3.0	SITE NOTES AND DETAILS
L1.0	LANDSCAPE PLAN, SPECIFICATIONS, NOTES AND DETAILS
WE-01	SUBSTATION HIGH SECURITY FENCE
WE-02	SUBSTATION POWER DISTRIBUTION CENTER
WE-03	SUBSTATION POWER DISTRIBUTION CENTER
WE-04	SUBSTATION PHOTOMETRIC
WE-05	SUBSTATION PLAN VIEW
WE-06	SUBSTATION ELEVATION
WE-07	SUBSTATION ELEVATION

**COMMUNITY DEVELOPMENT DEPARTMENT**  
JEAN WERBIE-HARRIS  
COMMUNITY DEVELOPMENT DIRECTOR  
PLANNING, ZONING ADMINISTRATOR  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262-925-6718  
FAX: 262-925-6787  
EMAIL: jwerbie-harris@plprairiewi.com  
www.pleasantprairieonline.com

PEGGY HERRICK  
ASSISTANT PLANNER  
& ZONING ADMINISTRATOR  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262-925-6716  
FAX: 262-925-6787  
EMAIL: pherrick@plprairiewi.com  
www.pleasantprairieonline.com

**ENGINEERING DEPARTMENT**  
MATT FINEOUR, P.E.  
VILLAGE ENGINEER  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN 53158  
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KURT DAVIDSEN, P.E.  
ASSISTANT VILLAGE ENGINEER  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262-925-6728  
FAX: 262-925-6787  
EMAIL: kdaidsen@plprairiewi.com  
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**PUBLIC WORKS DEPARTMENT**  
JOHN STEINBRINK JR., P.E.  
DIRECTOR OF PUBLIC WORKS  
8600 GREEN BAY ROAD  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262-925-6765  
FAX: 262-694-2941  
EMAIL: jsteinbrink@plprairiewi.com  
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STEVE WLAHOVICH  
RIGHT OF WAY/ EROSION CONTROL INSPECTOR  
8044 88TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262-925-6767  
FAX: 262-697-1901  
EMAIL: swlahovich@plprairiewi.com  
www.pleasantprairieonline.com

**BUILDING INSPECTION DEPARTMENT**  
SANDRO PEREZ  
BUILDING INSPECTION SUPERINTENDENT  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262-925-6722  
FAX: 262-694-4734  
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DONALD KOEHNE  
BUILDING INSPECTOR  
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PLEASANT PRAIRIE, WISCONSIN 53158  
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MICHAEL KAPRELIAN  
BUILDING INSPECTOR  
9915 39TH AVENUE  
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**FIRE & RESCUE DEPARTMENT**  
CRAIG ROEPKE  
CHIEF OF FIRE & RESCUE  
8044 88TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262-694-8027  
FAX: 262-697-1901  
EMAIL: croepke@plprairiewi.com  
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AARON LONGRIE  
ASSISTANT FIRE CHIEF  
8600 GREEN BAY ROAD  
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FAX: 262-697-1901  
EMAIL: alongrie@plprairie.com  
www.pleasantprairieonline.com

**OWNER REPRESENTATIVE**  
PATRICIA ADAMS  
WE ENERGIES  
LEAD RIGHT OF WAY AGENT  
PROPERTY MANAGEMENT  
231 WEST MICHIGAN ST., A252  
MILWAUKEE, WI 53203  
PHONE: 414-221-2726  
FAX: 414-391-9070  
EMAIL: patricia.adams@we-energies.com

RITA C. QUALLS  
WE ENERGIES  
LEAD RIGHT OF WAY AGENT  
PROPERTY MANAGEMENT  
231 WEST MICHIGAN ST., A252  
MILWAUKEE, WI 53203  
PHONE: 414-221-2763  
FAX: 414-221-2713  
EMAIL: rita.qualls@we-energies.com

**SUB STATION PROJECT MANAGER**  
JAMES M. KIELMA, P.E.  
WE ENERGIES  
333 WEST EVERETT ST., A249  
MILWAUKEE, WI 53203  
PHONE: 414-221-3529  
CELL: 414-430-2515  
EMAIL: james.kielma@we-energies.com

**SUB STATION ENGINEERING**  
MICHAEL J. WALRATH.  
WE ENERGIES  
333 WEST EVERETT ST., A249  
MILWAUKEE, WI 53203  
PHONE: 414-221-2390  
CELL: 414-617-0970  
EMAIL: michael.walrath@we-energies.com

**SITE CIVIL ENGINEERING**  
RIZAL ISKANDARSJACH, P.E., P.L.S.  
JSD PROFESSIONAL SERVICES, INC.  
W238 N1610 BUSSE RD, SUITE 100  
WALKESHA, WI 53188  
PHONE: 262-513-0666  
FAX: 262-513-1232  
EMAIL: riz@jsdinc.com  
www.jsdinc.com



SITE MAP

- BEARING BASIS:
- Bearings are referenced to the Wisconsin State Plane Coordinate System, South Zone. the north line of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, was used as North 89°43'44" East.
  - Vertical Datum is based on NGVD, 1929 adjustment. The concrete monument, with brass cap, marking the northwest corner of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, elevation 723.51



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE RD, SUITE 100  
WALKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:  
333 WEST EVERETT STREET A249  
MILWAUKEE WI, 53203

PROJECT:

**WE ENERGIES  
STATE LINE  
SUBSTATION**

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENSOSHA COUNTY, WI

#	Date:	Description:
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15		

Design/Drawn: IRN  
Approved: RWI  
Date: 4.20.2018

SHEET TITLE:  
**TITLE SHEET**

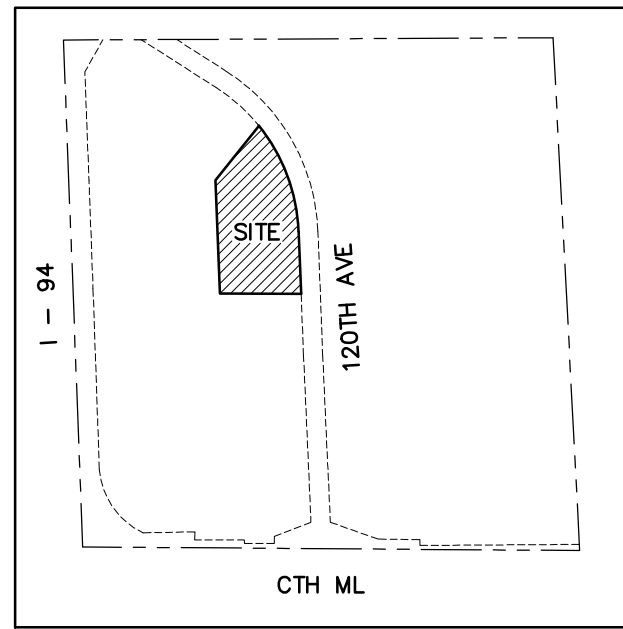
SHEET NUMBER:

**C0.0**

JSD PROJECT NO:

18-0432





















**LOCATION MAP**  
NW 1/4 SEC 31-1-22  
SCALE: 1" = 1000'

UNPLATTED LANDS  
OWNER: RIVERVIEW GROUP LLC  
TAX KEY: 92-4-122-312-0310

### LEGEND

- |   |                          |
|---|--------------------------|
|  | IRON PIPE FOUND          |
|  | 3/4" REBAR FOUND         |
|  | 1"X18" IRON PIPE SET     |
|  | WT. 1.13 LBS./LIN. FT.   |
|  | WSDOT R/W POST           |
|  | TELEPHONE PEDESTAL       |
|  | SIGN                     |
|  | EDGE OF WOODS/TREE LINE  |
|  | FENCE LINE               |
|  | WETLAND                  |
|  | UNDERGROUND GAS          |
|  | UNDERGROUND ELECTRIC     |
|  | UNDERGROUND TELEPHONE    |
|  | UNDERGROUND FIBER OPTICS |
|  | OVERHEAD UTILITY         |
|  | CORRUDED METAL PIPE      |

### GENERAL NOTES

1. Bearings are referenced to the Wisconsin State Plane Coordinate System, South Zone. The north line of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, was used as North 89°43'44" East
2. Project conversion factor: Grid/1,000,000287 = Ground
3. Vertical Datum is based on NGVD, 1929 adjustment. The concrete monument, with brass cap, marking the northwest corner of the northeast corner of the Township 1 North, Range 22 East, elevation 723.51
4. Original on the ground Boundary Survey performed by JSD Professional Services Inc. March 16, 2018.
5. Missing property corners to be monumented after proposed Certified Survey Map is approved by the Village.
6. 120th Avenue width and location based on land conveyed in Award of Damages recorded on December 18, 2001, as Document No. 12426800, the east property line of proposed Lot 1 is one and the same as the west right-of-way line of 120th Avenue.
7. This ALTA/NSPS Form was prepared based on Knight Barris, Commitment for Title Insurance, commitment date of April 25, 2018, File #: 939026.

**TABLE A ITEMS:**

- 2 Proposed Lot 1: site vacant, no address number posted.
- 3 At the time of this survey proposed Lot 1 is located within Zone X (Areas determined to be outside the 0.2%
- 4 annual chance floodplain) per FEMA map panel number 685590C189D, map date June 16, 2012.
- 5 Proposed Lot 1 gross land area: 304,142 sq. ft. (6.9817 ac.).
- 6 Zoning letter not provided. Per Village of Pleasant Prairie email dated April 19, 2018, the proposed Lot 1 property
- 7 is zoned as follows:
- 8 • Part is zoned M-5, Production Manufacturing District (the non-wooded and non-wetland areas where
  - 9 the substation is proposed to be located)
  - 10 • Part is zoned C-1, Community Resource Conservancy District (Woodlands and Primary Environmental Corridor)
  - 11 • Part is zoned C-1, Lowland Resource Conservancy District (Wetlands)
- 12 At the time of this survey, within the proposed Lot 1 boundary, the site has no parking stall.
- 13 Underground utility locations shown are based on field location markings by "Digger's Hotline", Ticket No.
- 14 2010092207 with a start date of March 16, 2018.
- 15 At the time of this survey, within proposed Lot 1 boundary, there are no evidence of recent earth moving work,
- 16 building construction, or building additions.
- 17 At the time of this survey, adjacent to proposed Lot 1 boundary, there are no proposed changes in street right
- 18 of way lines or observed evidence of recent street or sidewalk construction or repair.
- 19 At the time of this survey, there is wetland within proposed Lot 1 boundary, per Dave Meyer of Wetland &
- 20 Waterway Consulting, LLC, report date July 29, 2013.

**LEGAL DESCRIPTION:**

(Based on Knight Barry, Commitment for Title Insurance, commitment date of April 25, 2018, File #: 939026.)

Part of the south 1/2 of section 30 and the north 1/2 of section 31, town 1N, range 2E, east of the fourth principal meridian, more particularly described as follows: Commencing at the corner common to the southwest corner of section 30, the northeast corner of section 31, the southeast corner of section 32, the northwest corner of section 33, thence north along the southwest 1/4 of said section 30, 85.06 feet and to the point of beginning of the property of the State of Wisconsin; thence east along the east line of said section 30, 139.94 feet and to the southwest corner of the east 1/2 of the south 1/2 of said section 30, thence north 3 degrees 04 minutes west along and upon the west line of the east 1/2 of the south 1/4 of said section 30, 285.6 feet and to the northwest corner of the east 1/2 of the south 1/4 of said section 30; thence east along the east line of the east 1/2 of the south 1/4 of said section 30, 195.0 feet and to the northeast corner of the east 1/2 of the south 1/4 of said section 30; thence north 89 degrees 09 minutes 30 seconds east along and upon the north line of the east 1/2 of the south 1/4 of said section 30, 133.1 feet and to the center of said section 30; thence south 2 degrees 59 minutes 45 seconds east along and upon the south line of the east 1/2 of the south 1/4 of said section 30, 265.0 feet and to the east line of the southeast 1/4 of said section 30; thence south 2 degrees 24 minutes east along and upon the east line of the southeast 1/4 of said section 30, 41.7 feet and to the northeast corner of the southeast 1/4 of the southeast 1/4 of said section 30; thence south 89 degrees 41 minutes 30 seconds west along and upon the south line of the north 1/2 of the southeast 1/4 of said section 30, 132.75 feet and to the northeast corner of the north 1/2 of the southeast 1/4 of said section 30; thence east along and upon the east line of the southeast 1/4 of the southeast 1/4 of said section 30, 123.0 feet and to the northeast corner of the northwest 1/4 of the southeast 1/4 of said section 31; thence south 3 degrees 08 minutes 45 seconds east along and upon the south line of the northwest 1/4 of the southeast 1/4 of said section 31, 189.3 feet and to the southeast corner of the northwest 1/4 of the southeast 1/4 of said section 31; thence south 89 degrees 36 minutes 30 seconds west along and upon the south line of the northwest 1/4 of the southeast 1/4 of said section 31, 195.13 feet; thence north 2 degrees 05 minutes 40 seconds west parallel to the west line of the southeast corner of the northwest 1/4 of the southeast 1/4 of said section 31, 659.92 feet and to the easterly right-of-way line of Interstate Highway "94"; thence north 2 degrees 05 minutes 40 seconds west along and upon said easterly right-of-way line 44.0 feet and to the point of beginning, EXCEPTING THEREFROM that part conveyed by deed from the State of Wisconsin to the Village of Pleasanton, dated December 28, 1900, recorded in Register's Office 798506, AND FURTHER EXCEPTING said land conveyed in Award of Damages recorded on December 18, 2001, recorded in Register's Office 798507, said land being all or part of the Village of Pleasanton, County of Seneca and State of Wisconsin.

TO BE KNOWN AS:  
 Lot 1 of CSM No. \_\_\_\_\_, recorded in Kenosha County Register of Deeds Office on \_\_\_\_ day of \_\_\_\_\_,  
 2018 as Document No. \_\_\_\_\_, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 31,  
 Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin.

For informational purposes only  
Property Address: Vacant land situated along 120th Avenue, Pleasant Prairie, WI 53158  
Tax Key No.: part of 92-4-122-312-0305

## SCHEDULE B, PART 2 EXCEPTIONS

001, 006, 008 Shown on map, if any.

002, 003, 004, 005, 100, 101, 102, 103, 400, 401, 402, 500 Not survey related.

200, 201, 202, 203, 204 Intentionally Deleted.

501. Any rights, easements, interest of claims which may exist by reason of, or reflected by, the following facts referenced on the ALTA/NPSPL Land Title Survey drawn by Rizal W. Iskandarajoch of JSD Professional Services Inc. dated \_\_\_\_\_, as Project Number 18-8534:
- a) Rights of utilities, municipalities and others to maintain their facilities as now located on the Land.
  - b) Consequences, if any, due to the location of the fence that does not lie entirely on the West lot line.
  - c) Rights of the States or any of their agencies with respect to that portion of the Land that constitutes wetlands.

**SURVEYOR'S CERTIFICATE:**

To Wisconsin Electric Power Company, d/b/a We Energies, a Wisconsin corporation; Riverview Group, LLC, an Illinois limited liability company; Chicago Title Insurance Company and Knight Barry Title, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7a, 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, and 18 of Table A thereof. The field work was completed on March 16, 2018.

Date of Map: 5/15/18

Rizal W. Iskandarsjach, P.L.S.  
Professional Land Surveyor, S-2738  
JSD Professional Services, Inc.  
N22 W22931 Nancys Court, Suite 3  
Waukesha, WI 53186  
262-513-0666

[illegible]

SURVEYED BY:	JFA/RW
DRAWN BY:	RW
APPROVED BY:	RKW

SHEET TITLE:  
**ALTA/NSPS  
LAND TITLE  
SURVEY**

SHEET NUMBER: \_\_\_\_\_

# CS-1

JSD PROJECT NO: 18-8534



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KENOSHA | APPLETON | WAUSAU

**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
**P. 262.513.0666**

CLIENT



CLIENT ADDRESS:  
333 WEST EVERETT STREET A249  
MILWAUKEE, WI 53203

PROJECT: \_\_\_\_\_  
**LOT 1 CSM NO.** \_\_\_\_\_  
**STATE LINE**  
**SUB-STATION**

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY

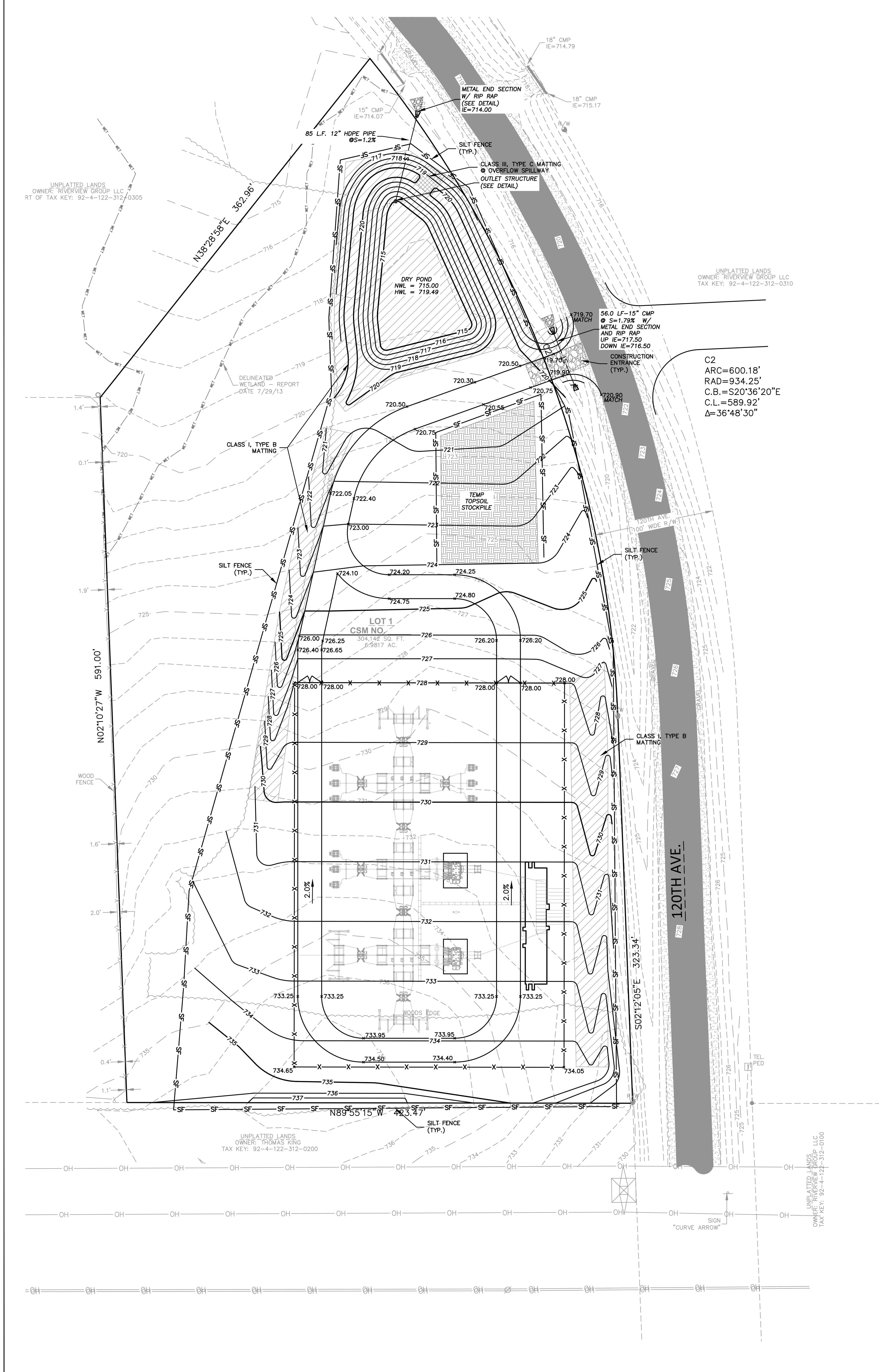
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18-843





UTILITY NOTES

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382.
- LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- REFER TO VILLAGE ORDINANCE CHAPTER 405 DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS FOR VILLAGE STANDARD SPECIFICATIONS.

GRADING NOTES

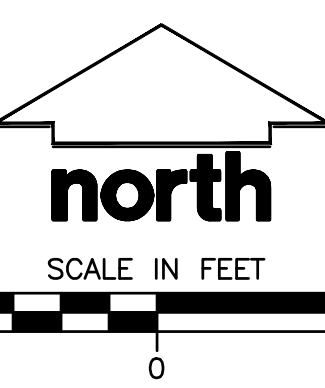
- CONTRACTOR SHALL VERIFY ALL GRADES. ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
  - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
  - THE CONTRACTOR MUST OBTAIN APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- THE PROPOSED SPOT GRADES AS INDICATED WITHIN THE PLANS ARE LOCATED ALONG THE EDGE OF PAVEMENT
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL VILLAGE AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.
- SEE SHEET C3.0 FOR ADDITIONAL EROSION AND SEDIMENT CONTROL NOTES.
- ALL DISTURBED SOILS MUST BE PERMANENTLY STABILIZED WITH PERMANENT SEED MIX 20 AND PROPERLY ANCHORED MULCH, UNLESS NOTED

CONSTRUCTION SITE SEQUENCING

- INSTALL PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE.
- BUILD DR POND
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS.
- INSTALL UTILITY PIPING AND STRUCTURES.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PAVEMENTS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER OF 70% DENSITY.  
CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

LEGEND

	MANHOLE, TYPE UNKNOWN		WATER VALVE
	SANITARY MANHOLE		FIRE HYDRANT
	STORM MANHOLE		TELEPHONE PEDESTAL
	CATCH BASIN ROUND		SIGN
	CATCH BASIN SQUARE		ELECTRICAL PED/TRANSFORMER
	METAL POST		GAS VALVE
	BOLLARD		CONIFEROUS TREE
	MAILBOX		DECIDUOUS TREE
	CORRUGATED METAL PIPE		WATER MAIN
	REINFORCED CONCRETE PIPE		SANITARY SEWER
	POLYVINYL CHLORIDE (PIPE)		STORM SEWER
	CORRUGATED PLASTIC PIPE		FIBER OPTIC
	POST INDICATOR VALVE		UNDERGROUND TELEPHONE
	SHAMSE		UNDERGROUND ELECTRIC
	OUTFALL PIPE		UNDERGROUND GAS
	LIGHT POLE		OVERHEAD UTILITY
	FLOOD LIGHT		FENCE LINE
	SPRINKLER CONTROL VALVE		PROPOSED STORM SEWER
	PROPOSED INLET PROTECTION		PROPOSED SILT FENCE
	CONSTRUCTION ENTRANCE		
	CLASS I, TYPE B MATTING		
	CLASS III, TYPE C MATTING		



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MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE RD., SUITE 100  
WALKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:

333 WEST EVERETT STREET A249  
MILWAUKEE WI, 53203

PROJECT:

WE ENERGIES  
STATE LINE  
SUBSTATION

PROJECT LOCATION:

VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WI

PLAN MODIFICATIONS

#	Date:	Description:
1		
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Design/Drawn: IRN  
Approved: RWJ  
Date: 4.20.2018

SHEET TITLE:  
GRADING, EROSION  
CONTROL, AND UTILITY  
PLAN

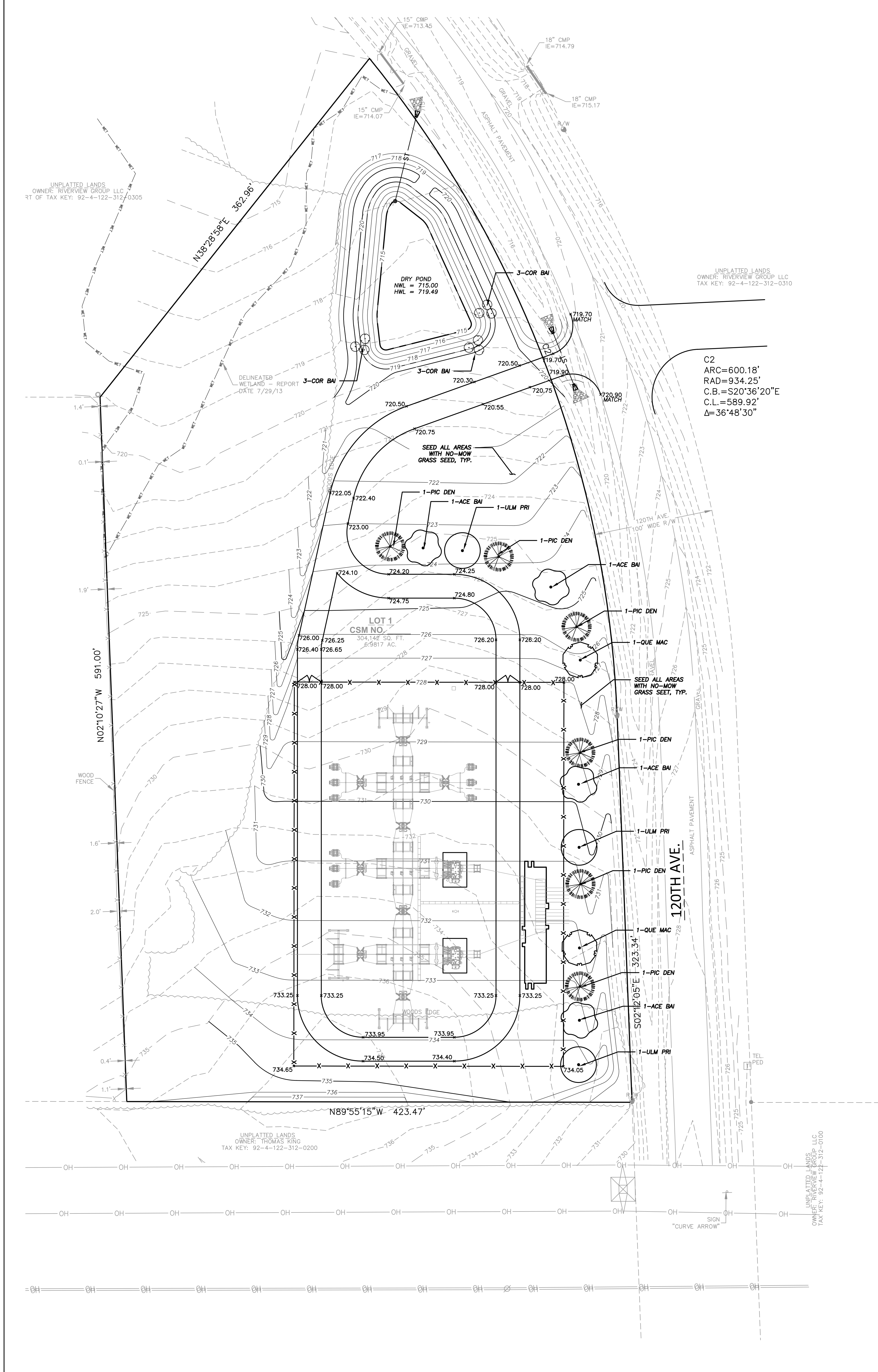
SHEET NUMBER:

C2.0

JSD PROJECT NO:

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GENERAL NOTES

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5444 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

LANDSCAPE MATERIAL NOTES

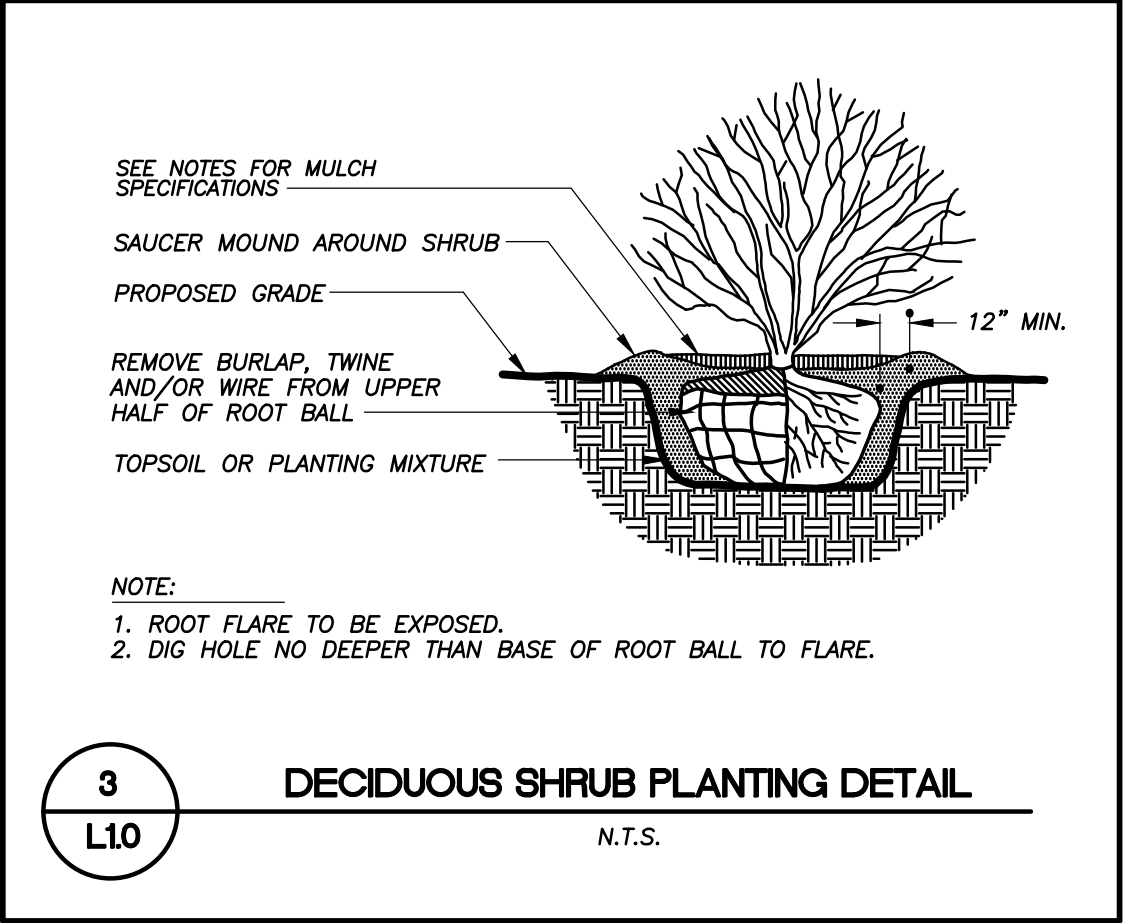
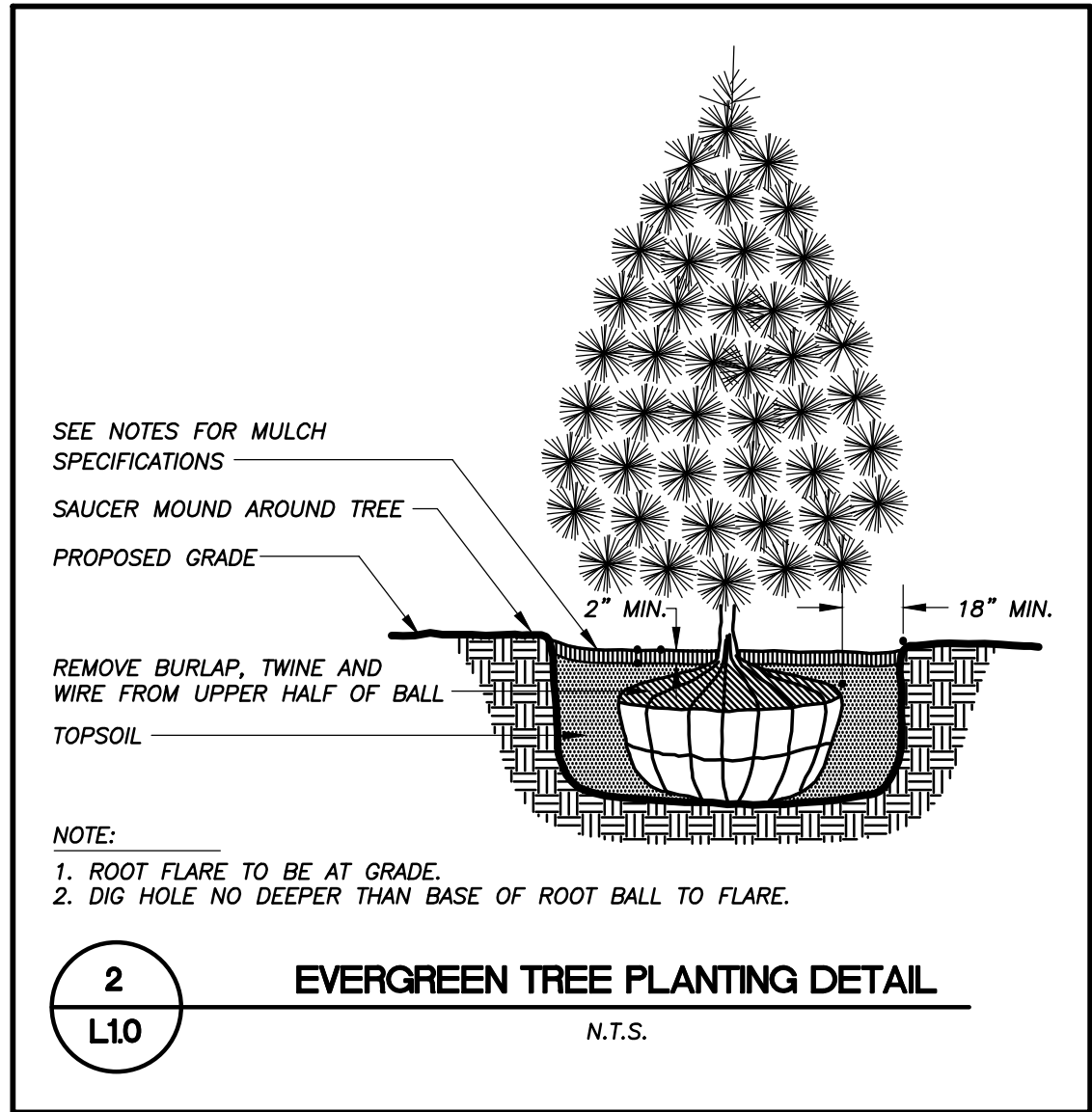
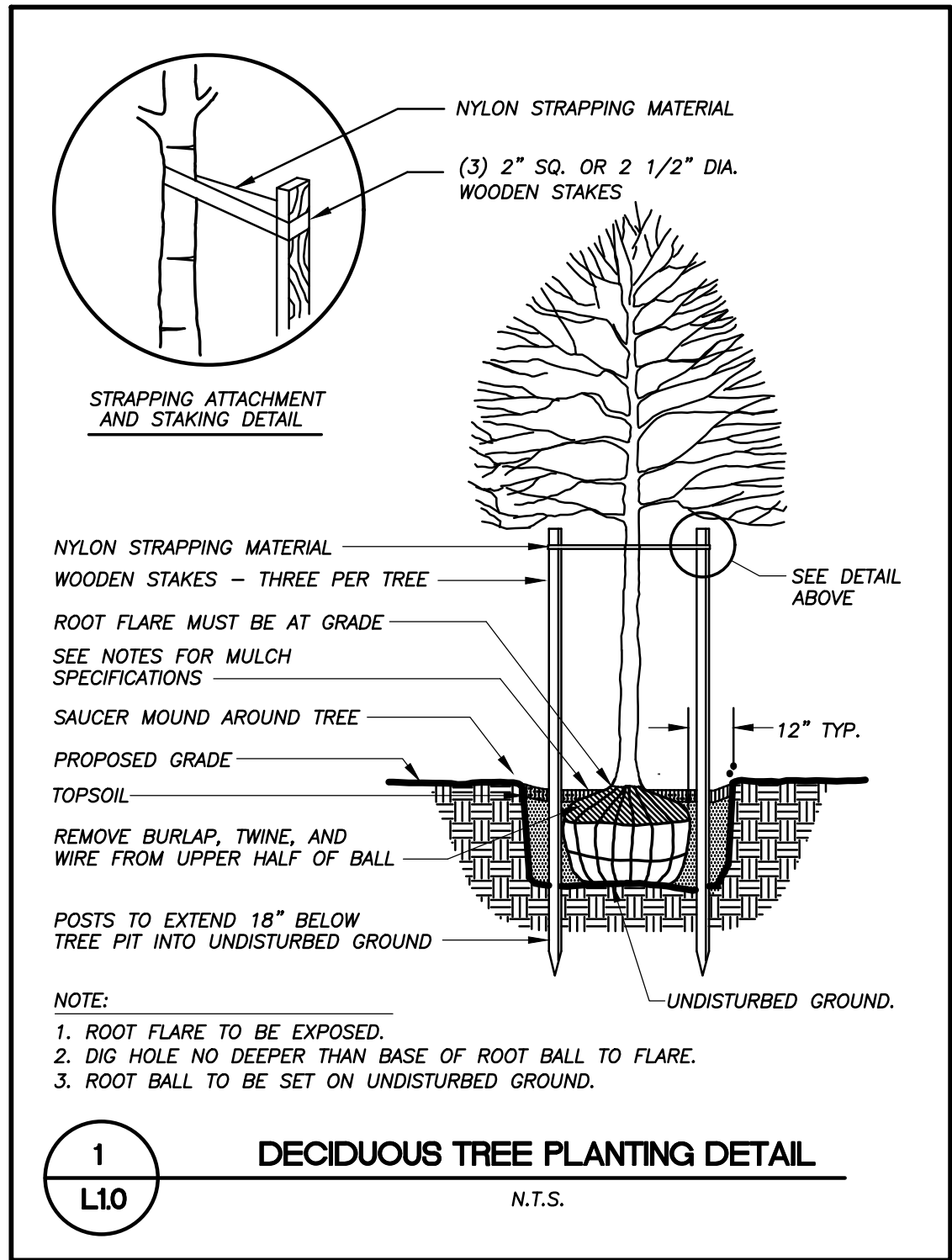
- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:  
A. PLANTING AREAS = 24"  
B. TREE PITS = SEE DETAILS
- PLANTING: PLANTS TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE, OR ON DETAILS. TOPSOIL TO BE CLEAN, FRABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SEED: ALL AREAS SPECIFIED ON PLAN PER THESE NOTES; DISTURBED LAWN AREAS SHALL BE SEEDED WITH "NO-MOW" FESCUE OR EQUIVALENT AS APPROVED BY OWNERS REPRESENTATIVE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION, ALL AREAS SHALL BE SEEDED WITH ANNUAL RYE AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET.

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AREAS AND SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 80 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 80 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHEDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN. MAINTENANCE OF SEEDED INFILTRATION BASIN AREAS SHALL FOLLOW SEED PROVIDER'S RECOMMENDATIONS.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SP	QTY	REMARKS
	ACE BAI	Acer saccharum 'Baista' TM / Fall Fiesta Sugar Maple	B & B	2.5" Min. Cal.	50'	40'	4	
	PIC DEN	Picea glauca 'Densata' / Black Hills Spruce	B & B	6 ft Tall Min.	30'	25'	6	
	QUE MAC	Quercus macrocarpa / Burr Oak	B & B	2.5" Min. Cal.	70'	70'	2	
	ULM PRI	Ulmus americana 'Princeton' / American Elm	B & B	2.5" Min. Cal.	80'	60'	3	
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	HT	SP	QTY	REMARKS
	COR BAI	Cornus sericea var. 'Bailey' / Bailey Red Osier Dogwood	3 gal		10'	8"	9	



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MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE RD. SUITE 100  
WALKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:



CLIENT ADDRESS:  
333 WEST EVERETT STREET A249  
MILWAUKEE WI, 53203

PROJECT:

WE ENERGIES  
STATE LINE  
SUBSTATION

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENSOSHA COUNTY, WI

#	Date:	Description:
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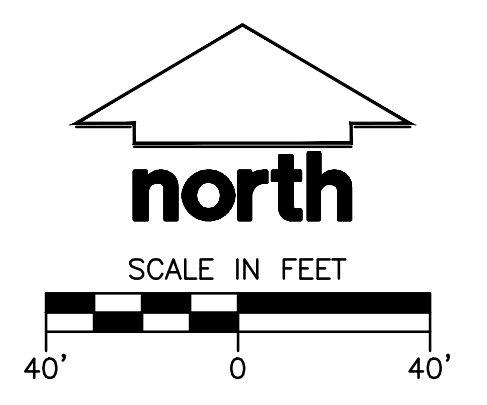
Design/Drawn: IRN  
Approved: RWR  
Date: 4.20.2018

SHEET TITLE:  
LANDSCAPE PLAN,  
SPECIFICATIONS, NOTES,  
& DETAILS

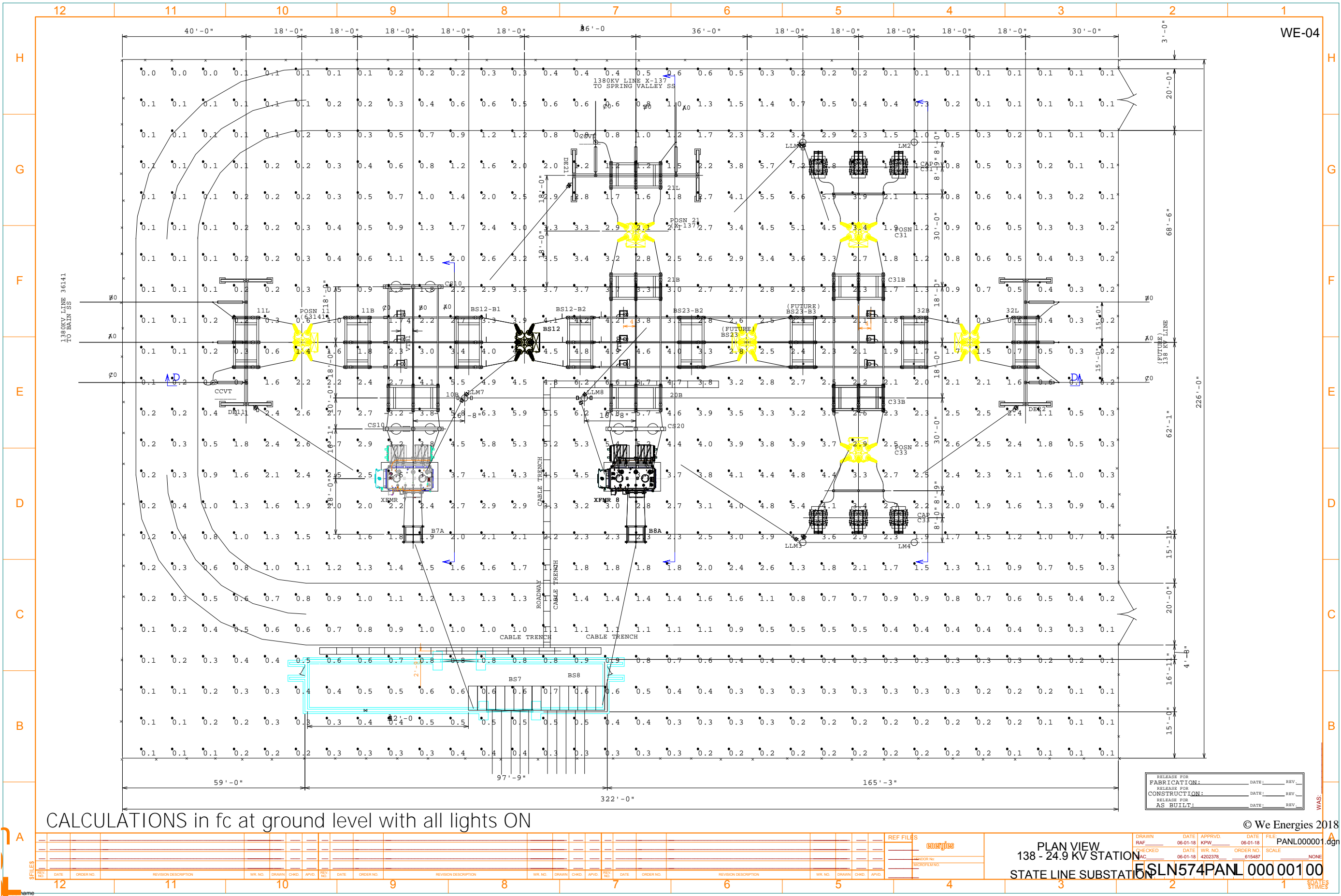
SHEET NUMBER:

L1.0

JSD PROJECT NO: 18-8432







CALCULATIONS in fc at ground level with all lights ON

RELEASE FOR	DATE	REV
FABRICATION:		
RELEASE FOR	DATE	REV
CONSTRUCTION:		
RELEASE FOR	DATE	REV
AS BUILT:		

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DRAWN	DATE	APPROV	DATE	FILE
RAF	06-01-18	KPW	06-01-18	PANL000001.dgn
CHECKED	DATE	WR. NO.	ORDER NO.	SCALE
AC	06-01-18	4202378	615487	NONE

PLAN VIEW  
138 - 24.9 KV STATION  
STATE LINE SUBSTATION

SLN574PANL 00000100



DRAWN		DATE		APPRVD.		DATE		FILE:	
RAF		06-01-18						PANL000001.dgn	
CHECKED		DATE		WR. NO.		ORDER NO.		SCALE	
				4202378		615487		1" = 12'-0"	
F	SLN	574	P	ANL	000	001	00		



E



C

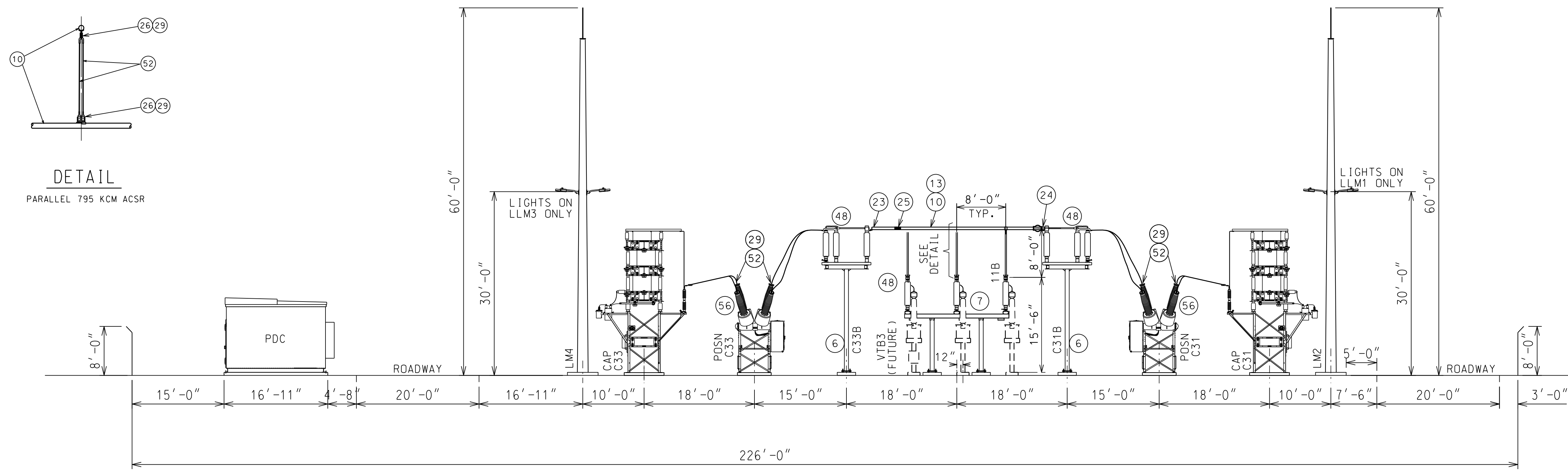


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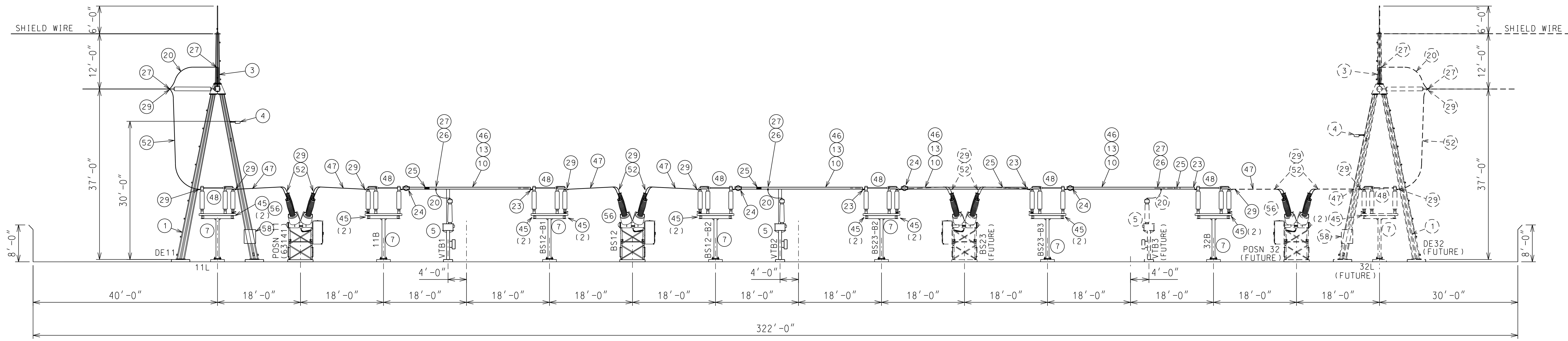
© We Energies 2018

23-MAY-2018  
08:02





ELEVATION C-C  
(LOOKING SOUTH)



ELEVATION D-D  
(LOOKING WEST)

RELEASE FOR FABRICATION:	DATE:	REV.
RELEASE FOR CONSTRUCTION:	DATE:	REV.
RELEASE FOR AS BUILT:	DATE:	REV.

© We Energies 2018

REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	WR. NO.	DRAWN	CHKD.	APVD.	REV. NO.	DATE	ORDER NO.	REVISION DESCRIPTION	WR. NO.	DRAWN	CHKD.	APVD.

REF FILES
VENDOR NO:
MICROFILM NO:

ELEVATION C-C & D-D  
138 - 24.9 KV STATION

STATE LINE SUBSTATION

DRAWN	DATE	APPRVD.	DATE	FILE:
RAF	06-01-18			PANL000003.dgn
CHECKED	DATE	WR. NO.	ORDER NO.	SCALE
		4202378	615487	10" = 1'-0"
F	SLN	574	PANL	000 003 00





















EXAMPLE SIGN CLOSE UP



EXAMPLE FENCING, GATE, AND SIGN







## CERTIFIED SURVEY MAP APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to subdivide the property with a Certified Survey Map (CSM) as hereinafter requested:

Property Location: Vacant land situated along 120th Avenue  
 Legal Description: See attached Legal Description  
 Tax Parcel Number(s): part of 92-4-122-312-0305  
 Existing Zoning District(s): M-5

**Select all that apply:**

- ☒ The property abuts or adjoins State Trunk Highway 120th Avenue
- ☐ The property abuts or adjoins County Trunk Highway \_\_\_\_\_
- ☐ Municipal Sanitary Sewer is available to service said property
- ☐ Municipal Water is available to service said property

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: Wisconsin Electric Power Co.  
 Signature: \_\_\_\_\_  
 Address: 231 W. Michigan St. - A252  
Milwaukee WI 53203  
 (City) (State) (Zip)  
 Phone: (414) 221-2763  
 Fax: (414) 221-2713  
 Email: rita.qualls@we-energies.com  
 Date: 05/24/2018

**APPLICANT/AGENT:**

Print Name: Rita C. Qualls, Lead ROW Agent  
 Signature: *Rita C. Qualls*  
 Address: 231 W. Michigan St. - A252  
Milwaukee WI 53203  
 (City) (State) (Zip)  
 Phone: (414) 221-2763  
 Fax: (414) 221-2713  
 Email: rita.qualls@we-energies.com  
 Date: 05/24/2018



## LEGAL DESCRIPTION

Part of the Northwest ¼ of Section 31, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the northwest corner of the Northwest ¼ of said Section 31; thence North 89°43'44" East along the north line of said Section 31, 405.04 feet to the west line of 120<sup>th</sup> Avenue; thence South 57°26'05" East along said west line, 462.58 feet to a point of curve; thence southeasterly 300.44 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 48°13'20" East, 299.14 feet to the point of beginning;

Thence continuing southeasterly 600.18 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 20°36'20" East, 589.92 feet to a point of tangency; thence South 02°12'05" East along said west line, 323.34 feet; thence North 89°43'44" West, 423.47 feet; thence North 89°43'44" West, 591.00 feet; thence North 89°43'44" East, 362.96 feet to the point of beginning.

Containing in all 304,142 square feet (6.9817 acres) of land, more or less.

All subject to easements and restrictions of record, if any.

For informational purposes only

Property Address: Vacant land situated along 120th Avenue, Pleasant Prairie, WI 53158

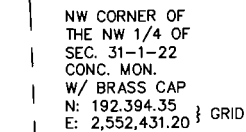
Tax Key No.: part of 92-4-122-312-0305

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION  
31, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE,  
KENOSHA COUNTY, WISCONSIN

**JSD** Professional Services, Inc.  
• Business • Services • Planning

WISCONSIN ELECTRIC  
POWER COMPANY  
231 WEST MICHIGAN ST.  
MILWAUKEE, WI 53203

NE CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP



C1  
 ARC=300.44'  
 RAD=934.25'  
 C.B.=S48°13'20"E  
 C.L.=299.14'  
 Δ=18°25'30"

UNPLATTED LAND

C2  
 ARC=600.18'  
 RAD=934.25'  
 C.B.=S20°36'20"E  
 C.L.=589.92'  
 Δ=36°48'30"

DEDICATED WETLAND  
PRESERVATION AND  
PROTECTION, ACCESS  
AND MAINTENANCE  
EASEMENT. SEE SHEET  
2 OF 5

**LOT 1**

304,142 SQ. FT.  
6.9817 ACRES

● 3/4" IRON REBAR FOUND  
& ACCEPTED  
SET ○ 1"X18" IRON PIPE SET WT.  
1.13 LBS/LIN. FT.

SW CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP

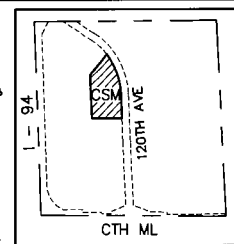
UNPLATTED LAND



UNPLATTED LAND

THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

SHEET 1 OF 5



### LOCATION MAP

NW 1/4 SEC 31-1-22  
SCALE: 1"=2000'

\\Users\riskandarsach\appdata\local\temp\AcPublish\_74756\18-8432\_CSM.dwg

# CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN



ARC=39.60'  
RAD=934.25'  
C.B.=N37°47'43"W  
C.L.=39.60'  
Δ=02°25'44"

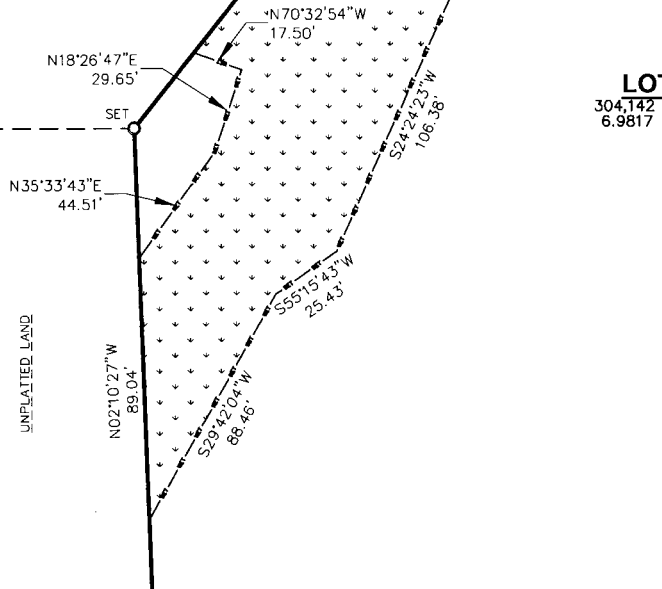
100' WIDE DEDICATED PUBLIC STREET  
120TH AVENUE

UNPLATTED LAND

NOTE: WETLAND AS DELINEATED  
BY DAVE MEYER OF WETLAND &  
WATERWAY CONSULTING PER  
REPORT DATED JULY 29, 2013.  
WETLAND LOCATION PER  
"WETLAND EXHIBIT MAP" BY  
JACOB & HEFNER ASSOC.  
DATED MARCH, 2017

## LOT 1

304,142 SQ. FT.  
6.9817 ACRES



## CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

### DEDICATION AND EASEMENT PROVISIONS

1. The fee interest in the areas shown as a Dedicated Public Street on this Certified Survey Map (CSM), as it pertains to 120th Avenue, was dedicated, given, granted and conveyed by land owner to State of Wisconsin Department of Transportation (WDOT) by AWARD OF DAMAGES recorded in Kenosha County Register Office on December 18, 2001 as Document No. 1246280.
2. The fee interest in the areas shown as a Dedicated Public Street on this CSM now is also dedicated, given, granted and conveyed by the landowner to the Village of Pleasant Prairie, its successors and assigns (the "Village") as it pertains to 120th Avenue for the construction, installation, repair, alteration, replacement, planting and maintenance of public roadway improvements, uses and purposes, including, without limitation, roadway pavement, curbs and gutters, sidewalks or bike lanes, if required by the Village, street signs, street lights, street trees, sanitary sewerage system improvements, water system improvements, roadway improvements, storm sewer and drainage system improvements, utility and communications facilities, street tree landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: a nonexclusive easement hereby reserved by the Owner of Lot 1 shown on this CSM which are adjacent to the public street areas for the required planting, mowing, watering and maintenance of grass within the grassy street terrace areas, for the maintenance and replanting of public street trees and the construction, maintenance and snow plowing of private driveways and sidewalks if required and constructed, in the area between the roadway pavement and the Lot 1. In the event of any conflict between the rights of the Village under its existing fee interest in the Dedicated Public Street areas shown on this CSM and the rights of the Lot 1 Owner pursuant to the dedication retained herein, the rights of the Village shall be deemed to be superior.

The Lot 1 Owner shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement of the snow removal of the private driveways and sidewalks, if required and constructed; grading, placing of topsoil, seeding or sodding and mowing of the street terrace area; public street tree pruning, watering, mulching, staking and other public street tree maintenance and replacements; payment of public street lights energy and maintenance costs benefiting Lot 1; installation and maintenance of mailboxes; extensions and maintenance of private utility and communications facilities, maintenance of the private storm water drainage and their fair share costs associated with the off-site retention basin to handle storm water from the development site; and other required construction, installation, repair, alteration, replacement, planting and development maintenance in accordance with the terms and conditions of the Village Municipal Code and the specific requirements of the Site and Operational Plan approvals.

3. A nonexclusive easement coextensive within the area shown as a Dedicated Wetland Preservation and Protection, Access and Maintenance Easement on this CSM is hereby dedicated, given, granted and conveyed by landowner to the Village for wetland conservancy preservation, protection, and maintenance purposes and uses and for related ingress and egress. Unless the Village exercises the rights granted to it pursuant to this Easement area, the Village shall have no obligation to do anything related to its rights under this easement.

### RESTRICTIVE COVENANTS

1. Wisconsin Electric Power Company hereby covenant that the Lot 1 Owner shall have the obligation of planting, maintaining and replacing the public street trees, if any, located within the 120th Avenue (East Frontage Road) right-of-way areas shown on this CSM. Such planting and maintenance shall include without limitation and as needed planting, staking, mulching, weeding, pruning, watering, replanting, and removing of trash, debris, leaves and brush around the public street trees in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the right-of-way areas, which might damage the public street trees or might interfere with the Village's rights to maintain the public street improvements, unless approved by the Village. This covenant shall run with the land, shall be binding upon the Lot 1 Owner, its successors and assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village. Such public street tree planting and maintenance shall be performed regularly, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such public street tree related maintenance activities, the Lot 1 Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot 1 Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law.

2. Wisconsin Electric Power Company hereby covenants that the Lot 1 Owner shall be responsible for all costs associated with the and snow removal of the private driveways and multi-use trail or sidewalks, if required and constructed; grading, placement of topsoil, seeding or sodding and mowing of the street terrace area; payment of the Lot 1 Owner fair share cost of the public street lights energy and maintenance costs; installation and maintenance of mailboxes; extensions and maintenance of private utility and communications facilities; on-site storm water drainage; and other required construction, installation, repair, alteration, replacement, planting and site maintenance in accordance with the terms and conditions of the Village's Municipal Ordinances and the requirements of the Site and Operational Plan and Development Agreement approvals, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such maintenance activities on behalf of the Owner of Lot 1 of this CSM, the Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot 1 Owner as special assessments or special charges under Section 66.0627 (or successors and assigns or other similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions as referenced on this CSM, the Village shall have no obligation to do anything pursuant to its rights under the easement dedications.

**CERTIFIED SURVEY MAP No. \_\_\_\_\_**

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

**SURVEYOR'S CERTIFICATE:**

State of Wisconsin    )  
                                  ) SS  
Kenosha County        )

I, Rizal W. Iskandarsjach, Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped a part of the Northwest 1/4 of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 31; thence North 89°43'44" East along the north line of said Section 31, 405.04 feet to the west line of 120th Avenue; thence South 57°26'05" East along said west line, 462.58 feet to a point of curve; thence southeasterly 300.44 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 48°13'20" East, 299.14 feet to the point of beginning;

Thence continuing southeasterly 600.18 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 20°36'20" East, 589.92 feet to a point of tangency; thence South 02°12'05" East along said west line, 323.34 feet; thence North 89°55'15" West, 423.47 feet; thence North 02°10'27" West, 591.00 feet; thence North 38°28'58" East, 362.96 feet to the point of beginning.

Containing in all 304,142 square feet (6.9817 acres) of lands, more or less.

All subject to easements and restrictions of record, if any.

That I have made such survey, land division and map by the direction of WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as We Energies, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping the same.

DATED THIS \_\_\_\_ DAY OF MAY, 2018

\_\_\_\_\_  
Rizal W. Iskandarsjach, P.L.S.  
Professional Land Surveyor, S-2738

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as We Energies, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of Rizal W. Iskandarsjach, to be surveyed, divided and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping.

\_\_\_\_\_(sign) \_\_\_\_\_(date)  
Dawn M. Neuy  
Manager Real Estate Services

State of \_\_\_\_\_ )  
 ) SS  
 \_\_\_\_\_ County )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the above named Dawn M. Neuy of the above named company, to me known to be such Manager Real Estate Services of said company, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

This Certified Survey Map is hereby approved by the Plan Commission of the Village of Pleasant Prairie on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

**MICHAEL J. SERPE**  
Chairman of Village Plan Commission

Resolved that this Certified Survey Map, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved and accepted by the Village Board of Trustees of the Village of Pleasant Prairie, on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

JOHN P. STEINBRINK  
Village President

**JANE C. SNELL**  
Village Clerk

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CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

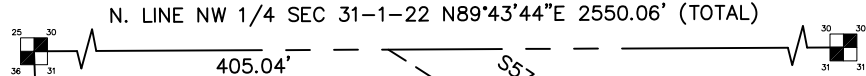
PREPARED BY:

**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
262.513.0666 PHONE 262.513.1232 FAX

PREPARED FOR:

WISCONSIN ELECTRIC  
POWER COMPANY  
231 WEST MICHIGAN ST.  
MILWAUKEE, WI 53203

NE CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP



N. LINE NW 1/4 SEC 31-1-22 N89°43'44"E 2550.06' (TOTAL)

NW CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP  
N: 192,394.35  
E: 2,552,431.20 } GRID

W. LINE NW 1/4 SEC 31-1-22 02°10'27"W 2641.86'

C1  
ARC=300.44'  
RAD=934.25'  
C.B.=S48°13'20"E  
C.L.=299.14'  
Δ=18°25'30"

UNPLATTED LAND

C2  
ARC=600.18'  
RAD=934.25'  
C.B.=S20°36'20"E  
C.L.=589.92'  
Δ=36°48'30"

DEDICATED WETLAND  
PRESERVATION AND  
PROTECTION, ACCESS  
AND MAINTENANCE  
EASEMENT. SEE SHEET  
2 OF 5

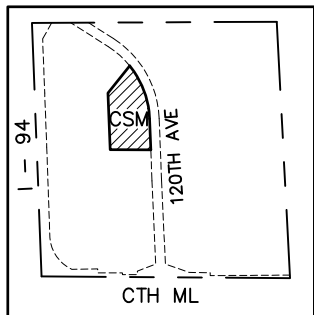
**LOT 1**  
304,142 SQ. FT.  
6.9817 ACRES

LEGEND:

- 3/4" IRON REBAR FOUND & ACCEPTED
- 1"x18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.

SW CORNER OF  
THE NW 1/4 OF  
SEC. 31-1-22  
CONC. MON.  
W/ BRASS CAP

UNPLATTED LAND



LOCATION MAP

NW 1/4 SEC 31-1-22  
SCALE: 1"=2000'

120TH AVENUE  
100' WIDE DEDICATED PUBLIC STREET

S02°12'05"E  
323.34'

N89°55'15"W 423.47'

UNPLATTED LAND

BEARING BASIS  
ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH, RANGE 22 EAST, WAS USED AS NORTH 89°43'44" EAST  
PROJECT CONVERSION FACTOR: GRID/1.00002087 = GROUND  
SUBJECT TO EASEMENTS OF RECORD.  
ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.  
ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.  
DATED THIS \_\_\_\_\_ DAY OF MAY, 2018  
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN



ARC=39.60'  
RAD=934.25'  
C.B.=N37°47'43"W  
C.L.=39.60'  
Δ=02°25'44"

100' WIDE DEDICATED PUBLIC STREET  
**120TH AVENUE**

N71°34'36"W  
14.69'  
N54°20'30"W  
20.47'  
S30°28'56"W  
33.63'  
S56°52'12"W  
27.69'  
S04°46'30"W  
28.86'  
S24°14'32"W  
9.35'

UNPLATTED LAND

NOTE: WETLAND AS DELINEATED  
BY DAVE MEYER OF WETLAND &  
WATERWAY CONSULTING PER  
REPORT DATED JULY 29, 2013.  
WETLAND LOCATION PER  
"WETLAND EXHIBIT MAP" BY  
JACOB & HEFNER ASSOC.  
DATED MARCH, 2017

**LOT 1**  
304,142 SQ. FT.  
6.9817 ACRES

N18°26'47"E  
29.65'  
SET  
N35°33'43"E  
44.51'  
UNPLATTED LAND  
N02°10'27"W  
89.04'

N70°32'54"W  
17.50'  
S55°15'43"W  
25.43'  
S29°42'04"W  
88.46'

N38°28'58"E  
330.08'  
S00°34'04"W  
45.33'  
S21°33'15"W  
34.82'  
S43°27'14"W  
55.18'  
S27°47'28"W  
17.43'  
S24°24'23"W  
106.38'



**CERTIFIED SURVEY MAP No. \_\_\_\_\_**  
**BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,**  
**RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

**DEDICATION AND EASEMENT PROVISIONS**

1. The fee interest in the areas shown as a Dedicated Public Street on this Certified Survey Map (CSM), as it pertains to 120th Avenue, was dedicated, given, granted and conveyed by land owner to State of Wisconsin Department of Transportation (WDOT) by AWARD OF DAMAGES recorded in Kenosha County Register Office on December 18, 2001 as Document No. 1246280.
2. The fee interest in the areas shown as a Dedicated Public Street on this CSM now is also dedicated, given, granted and conveyed by the landowner to the Village of Pleasant Prairie, its successors and assigns (the "Village") as it pertains to 120th Avenue for the construction, installation, repair, alteration, replacement, planting and maintenance of public roadway improvements, uses and purposes, including, without limitation, roadway pavement, curbs and gutters, sidewalks or bike lanes, if required by the Village, street signs, street lights, street trees, sanitary sewerage system improvements, water system improvements, roadway improvements, storm sewer and drainage system improvements, utility and communications facilities, street tree landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: a nonexclusive easement hereby reserved by the Owner of Lot 1 shown on this CSM which are adjacent to the public street areas for the required planting, mowing, watering and maintenance of grass within the grassy street terrace areas, for the maintenance and replanting of public street trees and the construction, maintenance and snow plowing of private driveways and sidewalks if required and constructed, in the area between the roadway pavement and the Lot 1. In the event of any conflict between the rights of the Village under its existing fee interest in the Dedicated Public Street areas shown on this CSM and the rights of the Lot 1 Owner pursuant to the dedication retained herein, the rights of the Village shall be deemed to be superior.

The Lot 1 Owner shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement of the snow removal of the private driveways and sidewalks, if required and constructed; grading, placing of topsoil, seeding or sodding and mowing of the street terrace area; public street tree pruning, watering, mulching, staking and other public street tree maintenance and replacements; payment of public street lights energy and maintenance costs benefiting Lot 1; installation and maintenance of mailboxes; extensions and maintenance of private utility and communications facilities, maintenance of the private storm water drainage and their fair share costs associated with the off-site retention basin to handle storm water from the development site; and other required construction, installation, repair, alteration, replacement, planting and development maintenance in accordance with the terms and conditions of the Village Municipal Code and the specific requirements of the Site and Operational Plan approvals.

3. A nonexclusive easement coextensive within the area shown as a Dedicated Wetland Preservation and Protection, Access and Maintenance Easement on this CSM is hereby dedicated, given, granted and conveyed by landowner to the Village for wetland conservancy preservation, protection, and maintenance purposes and uses and for related ingress and egress. Unless the Village exercises the rights granted to it pursuant to this Easement area, the Village shall have no obligation to do anything related to its rights under this easement.

**RESTRICTIVE COVENANTS**

1. Wisconsin Electric Power Company hereby covenant that the Lot 1 Owner shall have the obligation of planting, maintaining and replacing the public street trees, if any, located within the 120th Avenue (East Frontage Road) right-of-way areas shown on this CSM. Such planting and maintenance shall include without limitation and as needed planting, staking, mulching, weeding, pruning, watering, replanting, and removing of trash, debris, leaves and brush around the public street trees in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the right-of-way areas, which might damage the public street trees or might interfere with the Village's rights to maintain the public street improvements, unless approved by the Village. This covenant shall run with the land, shall be binding upon the Lot 1 Owner, its successors and assigns and successors-in-title of the land, in their capacity as the Owner of Lot 1, and shall benefit and be enforceable by the Village. Such public street tree planting and maintenance shall be performed regularly, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such public street tree related maintenance activities, the Lot 1 Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot 1 Owner as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law.

2. Wisconsin Electric Power Company hereby covenants that the Lot 1 Owner shall be responsible for all costs associated with the and snow removal of the private driveways and multi-use trail or sidewalks, if required and constructed; grading, placement of topsoil, seeding or sodding and mowing of the street terrace area; payment of the Lot 1 Owner fair share cost of the public street lights energy and maintenance costs; installation and maintenance of mailboxes; extensions and maintenance of private utility and communications facilities; on-site storm water drainage; and other required construction, installation, repair, alteration, replacement, planting and site maintenance in accordance with the terms and conditions of the Village's Municipal Ordinances and the requirements of the Site and Operational Plan and Development Agreement approvals, without compensation, and to the satisfaction of the Village.

To the extent that the Village performs any such maintenance activities on behalf of the Owner of Lot 1 of this CSM, the Owner shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Lot 1 Owner as special assessments or special charges under Section 66.0627 (or successors and assigns or other similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions as referenced on this CSM, the Village shall have no obligation to do anything pursuant to its rights under the easement dedications.

CERTIFIED SURVEY MAP No. \_\_\_\_\_

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE:

State of Wisconsin    )  
                                  ) SS  
Kenosha County        )

I, Rizal W. Iskandarsjach, Professional Land Surveyor, do hereby certify that I have surveyed, divided and mapped a part of the Northwest 1/4 of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows:

Commencing at the northwest corner of the Northwest 1/4 of said Section 31; thence North 89°43'44" East along the north line of said Section 31, 405.04 feet to the west line of 120th Avenue; thence South 57°26'05" East along said west line, 462.58 feet to a point of curve; thence southeasterly 300.44 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 48°13'20" East, 299.14 feet to the point of beginning;

Thence continuing southeasterly 600.18 feet along said west line and along the arc of said curve to the right whose radius is 934.25 feet and whose chord bears South 20°36'20" East, 589.92 feet to a point of tangency; thence South 02°12'05" East along said west line, 323.34 feet; thence North 89°55'15" West, 423.47 feet; thence North 02°10'27" West, 591.00 feet; thence North 38°28'58" East, 362.96 feet to the point of beginning.

Containing in all 304,142 square feet (6.9817 acres) of lands, more or less.

All subject to easements and restrictions of record, if any.

That I have made such survey, land division and map by the direction of WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as We Energies, owner of said land.

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping the same.

DATED THIS \_\_\_\_\_ DAY OF MAY, 2018

\_\_\_\_\_  
Rizal W. Iskandarsjach, P.L.S.  
Professional Land Surveyor, S-2738

BEING PART OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 31, TOWNSHIP 1 NORTH,  
RANGE 22 EAST, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin Corporation doing business as We Energies, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of Rizal W. Iskandarsjach, to be surveyed, divided and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, dedicating and mapping.

\_\_\_\_\_ (sign) \_\_\_\_\_ (date)  
Dawn M. Neuy  
Manager Real Estate Services

State of \_\_\_\_\_ )  
 ) SS  
County )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2018, the above named Dawn M. Neuy of the above named company, to me known to be such Manager Real Estate Services of said company, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation by its authority.

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

This Certified Survey Map is hereby approved by the Plan Commission of the Village of Pleasant Prairie on this  
day of \_\_\_\_\_, 2018.

Resolved that this Certified Survey Map, being a part of the Northwest 1/4 of the Northwest 1/4 of Section 31, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, having been approved by the Plan Commission being the same, is hereby approved and accepted by the Village Board of Trustees of the Village of Pleasant Prairie, on this                      day of                      , 2018.

**ATTEST:**

JANE C. SNELL  
Village Clerk

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- C. Consider the request of David Carbol of Partners In Design Architects on behalf of Froedtert South Inc., for approval of **Final Site and Operational Plans including the DSIS Agreement and Access Easement** for the Froedtert South Medical Office Building to be located west of Old Green Bay Road north of STH 165 in the Main Street Market development.

**Recommendation:** Village staff recommends that the Plan Commission approve the **Final Site and Operational Plans including the DSIS Agreement and Access Easement** subject to the comments and conditions of the Village Staff Report of June 25, 2018.

## VILLAGE STAFF REPORT OF JUNE 25, 2018

Consider the request of David Carbol of Partners In Design Architects on behalf of Froedtert South Inc., for approval of **Final Site and Operational Plans including the DSIS Agreement and Access Easement** for the Froedtert South Medical Office Building to be located west of Old Green Bay Road north of STH 165 in the Main Street Market development.

*The Froedtert medical office building is proposed to consist of four floors, at approximately 12,500 square feet each, totaling about 50,000 square feet of buildable space. The building will have multiple entrances on two (2) different levels. The west side of the building will be four-stories with a covered entry facing STH 31. The topography rises to the east, so the east side of the building will have a three-story elevation and a covered entry facing Old Green Bay Road. The building's exterior materials will consist of brick, stone and window glazing in the same architectural, prairie style and colors as the Froedtert South/St. Catherine's Medical Center Campus on STH 50 in the Prairie Ridge development.*

The first floor will house physician suites that provide physical therapy, occupational therapy, imaging and support functions for each suite. In addition, the CT scan and MRI units are being planned for at a future date. The second floor houses a family practice physician suite as well as an immediate care suite. The third and fourth floors will be a shell space, but is anticipated to house Froedtert South physician suites.

The hours of operation for the various services will be Monday-Friday from approximately 6:00 am to 8:00 pm and Saturdays from approximately 7:00 am to 5:00 pm. Sunday operations may occur based on patient demand, but would be for limited hours.

Initially there will be 15 full time and 10 part time employees. At full build-out of all four floors, it is anticipated that there would be 60 full-time equivalent jobs created.

There are 244 parking spaces (including 16 handicapped accessible spaces) on the site with parking and sidewalk/pedestrian interconnections and cross access driveway and parking easements within the abutting future Main Street Market Development users.

A Digital Security Imaging System (DSIS) will be installed on the property pursuant to the requirements of Chapter 410 of the Village Municipal Ordinance and in accordance with the attached DSIS Agreement and DSIS Access Easement. This system shall be operational prior to occupancy.

Previous Approvals: On January 15, 2018 the Village Board conditionally approved a Master Conceptual Plan for the proposed 50,000 square foot Medical Office Building. On March 26, 2018, the Plan Commission approved Preliminary Site and Operational Plans to begin the mass grading, underground utilities and early footing and foundation construction for the Medical Office Building and this activity has commenced on the site. In addition, this development shall be in compliance with the Village approved Main Street Market Development Plans, the Tax Shortfall Agreement the Main Street Market Planned Unit Development Ordinance and the TID #6 Project Plan for the Main Street Market Development as approved by the Village Board on April 16, 2018.

Occupancy: Froedtert South is began grading work in May for the Medical Office Building and the building and the site is anticipated to be completed and operational in Spring of 2019.

### **Village staff recommends conditional approval of the Preliminary Site and Operational Plans subject to the above comments and the following conditions:**

1. The Final Site and Operational Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes,

ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans shall be prepared and reviewed. **The following changes shall be made to the plans and three (3) revised paper copies and one electronic copy of the Final Site and Operational Plans with a written description of how each of the comments below have been addressed shall be submitted for final staff review:**

- a. The Primary Monument Sign does not meet the requirements of the Main Street Market PUD. The sign shall be a maximum height of 6 feet. Revise plan sheet A1.1
  - b. Show the setback of the Primary Monument Sign on Sheet A1.1. The sign is required to be setback a minimum of 10 feet from the property line adjacent to Old Green Bay Road pursuant to the Main Street Market PUD.
  - c. On-site directional signs as shown on sheet A1.1 exceed the height of the Zoning Ordinance regulated height for on-site directional signs and shall be revised. The sign height shall not exceed the requirements specified in the Village Zoning Ordinance (4 feet high with 32 square feet of display area per side).
  - d. Onsite traffic control signage and site signage shall be discussed with staff.
  - e. Add the Froedtert MOB address to the plan set 10256 Old Green Bay Road.
  - f. The two street trees closest to the two intersections shall be replaced with lower shrubs--spread out the street trees and reduce the number by one to avoid the vision triangle for the entrances.
  - g. The shrubs abutting the parking area on the west side during the winter months appear to be plantings that will be cut to the ground (hydrangeas and the other dogwood) plantings and this is a concern--the shrubs must be headlight blocking to the west towards Green Bay Road.--verify and correct.
  - h. Identify the paint color of the steel bollards - bronze/black to match the parking lot light posts.
  - i. Why is there gravel on either side of the entrances?
  - j. What is the change made on the north side of the east entrance?
  - k. Identify paint colors for doors, parking lot lights and other exterior areas on the building.
2. The **attached** DSIS Agreement and DSIS Access Easement shall be finalized and executed prior issuance of permits. The Village will have the DSIS Access Easement recorded; however the owner is required to pay the \$40 recording and filing fees.
  3. See **attached** comments dated June 7, 2018 from the Village Fire and Rescue Department.
  4. **Upon approval of the revised Final Site and Operational Plans as noted above, and prior to the issuance of building/zoning permits the following shall be submitted (1 paper copy and a pdf copy):**
    - a. The Commercial Building Permit application and State approved plans (full size set and a pdf copy) and approval letters.
    - b. Fire compliance letter shall be submitted to the Village Fire & Rescue Department from the property owner indicating that the development will

comply with the comments and conditions noted on the June 7, 2018 Fire Department Memo. A copy of this compliance letter shall be submitted to the Community Development Department.

- c. A copy of the Main Street Market Commercial Owners' Association approval letter.

6. **Other Comments:**

- a. Compliance with the **attached** memo from the Village Building Inspection Department dated May 22, 2018.
- b. Impact fees shall be paid prior to issuance of the building permit pursuant to Chapter 181 of the Village Code (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
- c. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be allowed from Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
- d. There shall be no construction vehicle parking or equipment storage permitted in the Old Green Bay Road, STH 165, or STH 31 rights-of-way. On-site (off-street) gravel parking areas shall be designed to accommodate all construction related workers and site visitors.
- e. Each business is required to obtain an annual Village Business License. The required application and \$25 application fee shall be filed with the Village prior to occupancy of the building. This business license certificated shall be issued at time of occupancy and shall be renewed annually.
- f. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view. All air conditioning units/gas meters shall be mounted at grade and screened, not mounted on the side of the building.
- g. Prior to occupancy all entrances and exits should be numbered on the exterior and interior beginning at the main entrance and moving clockwise around the structure. Numbers should be of a reflective material and must be visible from the farthest point of the adjacent parking lot (minimum size of 3 inch attractive numbers placed on the same location of each door).
- h. Prior to occupancy, each handicapped parking space shall be appropriately signed (locations to be reviewed with planning staff) and painted on the pavement pursuant to ADA requirements prior to occupancy of any development site.
- i. Prior to occupancy, the Digital Security Imaging System (DSIS) shall be installed, operational and accepted by the Village.
- j. Prior to occupancy, all required landscaping shall be installed. A written letter verification and certification shall be provided to the Village by the landscape installer that all landscaping has been installed in accordance with the approved landscape plan. However, if cold weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village a cash deposit, an irrevocable

letter of credit, performance bond or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.

- k. Prior to occupancy, all signage shall be installed and inspected. All signs shall comply with Article X of Chapter 420 of the Village Zoning Ordinance, unless specifically allowed within the Main Street Market PUD. A written letter verification and certification shall be provided to the Village by the signage installer that all signs has been installed in accordance with the approved signage plan and sign permits.
- l. Prior to occupancy, one (1) electronic copy of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, signage, above ground structures and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- m. Prior to occupancy, one (1) electronic copy of the as-built record drawings of all graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village in **order for the Village to update the Village's Geographic Informational System.** Information shall conform to **the Village's electronic format requirements.** In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
- n. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
- o. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- p. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/ dismantled/unlicensed vehicles that are parked overnight will be issued citations.
- q. At no time shall the site be used **to sell or advertise any vehicles that are "for sale".**
- r. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
- s. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
- t. There shall be no long-term semi-truck/trailer or box truck parking permitted on the site that is not used in the daily operations of the facility.
- u. There shall be no outdoor storage of raw materials or display of materials, goods or equipment on this site, unless as approved by the Village.
- v. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited.



Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.

- w. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- x. All Village fees incurred by the Community Development Department, Village Engineer or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

**Draft JUNE 18, 2018**

**AGREEMENT REGARDING THE DIGITAL SECURITY IMAGING SYSTEM  
("DSIS")  
BETWEEN THE VILLAGE OF PLEASANT PRAIRIE  
AND FROEDTERT SOUTH INC.**

THIS AGREEMENT regarding the Digital Security Imaging System (DSIS) (hereinafter referred to as the "Agreement"), is entered into this \_\_\_\_ day of \_\_\_\_\_, 2018, by and between the VILLAGE OF PLEASANT PRAIRIE, WISCONSIN, a Wisconsin municipal corporation with offices located at 9915 39<sup>th</sup> Avenue, Pleasant Prairie, Wisconsin 53158 (referred to as the "**Village**"), Froedtert South Inc., **with the Owner's** principal business address at 6308 8<sup>th</sup> Avenue, Kenosha, WI 53143. In this Agreement, Froedtert South Inc. is referred to as the "Owner".

**WITNESSETH:**

**WHEREAS**, the real estate for the Froedtert South Inc. Medical Office Building is to be located as 10256 Old Green Bay Road in the Village of Pleasant Prairie and is legally described in **Exhibit A** and is identified as Village Tax Parcel Number 92-4-122-223-0112 and is known as the "**Property**" in this Agreement; and

**WHEREAS**, the Owner has requested Preliminary and Final Site and Operational Plan approvals the Froedtert South Inc. Medical Office Building (MOB) which will consist of four floors, at approximately 12,500 square feet each, totaling about 50,000 square feet of buildable space. The building will have multiple entrances on two (2) different levels. The building will contain rehabilitation services that provide physical therapy, occupational therapy, imaging services and support functions for each of those services, a walk in clinic and physician offices.

**WHEREAS**, The Owner's Property is presently zoned B-2, Community Business District, with a PUD, Planned Unit Development Overlay which zoning classifications allow for a medical office building and related services with Village Plan Commission Preliminary Site and Operational Plan Shell approval on April \_\_, 2018 and Final Site and Operational Plan approval on June 25, 2018 subject to a number of Village conditions as referenced in the Plan Commission approval letter (**Exhibit B**), one of which was the execution of this Digital Security Imaging System (DSIS) Agreement and the installation and operation of a DSIS for the Property; and

**WHEREAS**, the Village has asserted and the Owner agrees that the Froedtert South MOB is to be located at 19256 Old Green Bay Road and will require additional security provisions pursuant to Village regulations in order to maintain a safer

experience for the employees, patients, visitors and guests and the **Owner's** property; and

**WHEREAS**, the Owner further agrees to be in compliance with Village Municipal Code Chapter 410 entitled, "Security Ordinance" through the implementation and use of a DSIS which is described in **Exhibit C** attached hereto, that monitors the exterior public parking areas, driveways and entrance/exit to the building on the **Owner's** Property located in the Village; and

**WHEREAS**, the DSIS will afford the opportunity for the public safety departments (e.g. the Village Police Department and Village Fire & Rescue Department) to visually examine the Froedtert South MOB site in the Village and will provide emergency response personnel with a live visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers; and

**WHEREAS**, the implementation and usage of the DSIS will greatly aid law enforcement agencies in subsequent criminal investigations and prosecutions because of the advanced visual assessment of the Property as it may pertain to a person or persons (personal identification), a location (scene identification) and/or a situation (action identification) in emergency situations; and

**WHEREAS**, Section 410-7 of the referenced Security Ordinance Chapter of the General Code of the Village provides the authority to the Community Development Department to have the discretion, on a case by case basis, to determine the adequacy, ownership and easement requirements of the DSIS. Further, the Community Development Department has the right to further clarify certain requirements of Chapter 410 pertaining to the details of the security system, and the Department has agreed to do so, based upon this Agreement being executed between the parties; and

**WHEREAS**, the Owner and the Village Community Development Department have reached an agreement under Section 410-7 that the Owner shall install, inspect and maintain the DSIS **per the Village's Security Ordinance requirements**, except as modified by this Agreement. Further, the Owner shall grant an **Access Easement (Exhibit D)** to the Village allowing access and maintenance rights to the DSIS system and areas associated with the DSIS insofar as the Village has the right, but not the obligation, to maintain the DSIS system at the **Owner's cost**, if the Owner fails to do so; and

**WHEREAS**, the Owner recognizes that the Village may incur some inspection or maintenance costs with respect to the inspection or maintenance of the DSIS system on the **Owner's** Property and said costs shall be invoiced to the Owner and the Owner has agreed to reimburse the Village for certain referenced costs related to the DSIS program.

**NOW, THEREFORE**, in consideration of the promises and covenants contained herein, the sufficiency of which is hereby acknowledged, the Owner and the Village agree as follows:

1. Video Surveillance and Easement Requirements. As a pre-condition to the Village granting any verbal or written building occupancy permits or approvals required by the Owner for the addition to be occupied, the Owner shall install, make operable and usable to the satisfaction of the Village, the on-site DSIS for security surveillance purposes. The DSIS shall be the system described in **Exhibit C** which was created pursuant to the proposal prepared by **Froedtert South Inc./United Hospital System Security personnel with offices located at 6308 8<sup>th</sup> Avenue, Kenosha, WI 53143 for the Owner, with the plans and video surveillance hardware specifications dated \_\_\_\_\_, 2018,** which is incorporated herein by reference. The Owner will hire a qualified and licensed contractor who shall install the DSIS. During the installation of the DSIS as provided herein, the Village shall have the right to inspect the DSIS at the Owner's expense. After the installation, Village inspection and system testing is complete, and if it meets with the approval of the Village, the Village shall notify the Owner **of the Village's acceptance of the DSIS.** The Owner agrees to sign and deliver to the Village copies of any and all documents (e.g. DSIS installation and warranty information, copies of paid invoices for the work performed, copies of contractor lien waivers and an as-built drawing of the DSIS) that are reasonably requested by the Village to confirm such installation and operation of the DSIS to the Village's satisfaction. The DSIS shall be installed with at least a one (1) year warranty from the manufacturer and installer. The Owner shall be solely responsible for the costs for the purchase and installation and the subsequent ongoing maintenance of the DSIS.

In the event that the Owner alters the building, adds on to the building or otherwise changes or increases the campus development on their Property, such **Owner shall be responsible for installing, at the Owner's sole expense, such** additional cameras and other exterior DSIS as the Village determines are necessary and appropriate to carry out the purposes of this Agreement. The initial DSIS system installed in accordance with **Exhibit C** and any future additions to such system as exterior building alterations or changes within the campus development or new or additional campus development takes place on the **Owners' Property, shall all be referred to as the "DSIS" for purposes of this Agreement.**

a. Digital Security Imaging, Storage Devices, Related Equipment and Easements Required.

(i) The DSIS shall provide for surveillance of the exterior building perimeters including front, rear and side entrance areas, walkways, common areas, parking lots and driveway entrances within the Property. The DSIS

as described in **Exhibit C** shall adequately cover the **Owner's** Property as the Village deems reasonably necessary. If any changes or expansions are made to any portion of the **Owner's** Property, the determination as to the number and type of cameras which are reasonably necessary for the Village's surveillance needs shall rest within the reasonable discretion of the Village. All parties acknowledge it is the intent of the parties that the DSIS camera equipment will be located on the building on **the Owner's** property and attached via non-penetrating mounts, as shown on **Exhibit C**. Any DSIS equipment added after any change to the Froedtert South MOB site shall be in the sole discretion and approval of the Village. Without limiting the discretion of the Village under this Paragraph, the parties agree that any cameras and systems which are consistent with those contained in **Exhibit C** are aesthetically tasteful, architecturally harmonious and satisfactory to all parties.

(ii) The DSIS will function as set forth in **Exhibit C** and as deemed necessary by the Village, which shall function continuously, whether the business is open or closed and shall provide visible surveillance to the above described areas during hours of daylight and darkness. As such, sufficient light, as determined by the Village, shall be provided during the evening or night-time hours to guarantee the function, operation and clear viewing by the camera system.

(iii) The Owner agrees to provide the DSIS in a secured location within the **Owner's** building on the **Owner's** Property that will be accessible for inspection and easily electronically accessed via a VPN internet connection by the Village with the assistance of the Owner. The Owner shall provide physical access as provided herein to the DSIS upon reasonable verbal or written advance notice to Owner. Notice given twenty-four (24) or more hours in advance shall conclusively be deemed reasonable and notice given less than twenty-four (24) hours in advance may also be reasonable depending upon the circumstances.

(iv) The Owner agrees to be responsible for all financial costs associated with the monthly billings for the utilities, electricity and high speed internet business connection for the DSIS equipment by making payments directly to the utility and communication companies. The Owner shall also be responsible for the heat, electricity and routine maintenance of the secured security area which houses the DSIS equipment.

(v) All digital video recorded by such system shall be archived locally on the D/NVR in a management secured area on the Property for a period of not less than 30 days. The Village shall have the rights to be able to immediately download the digital video from the site for public safety purposes directly through the Internet Protocol (IP) transmission via the Village's area-wide data network and shall also be provided a "real time", "live look" surveillance capability via that same network. The Village Police and IT Departments shall have log-in and download capabilities to the DSIS "live-look" system on the Property,

independent of the Owner's personnel. Proper software security keys and logins will be provided to the Village Police and IT Departments to provide immediate access to both "real time" access as well as historical video as required. The DSIS shall also be capable of exporting exact duplicates of the recordings to removable media in a standard commercial format, the native video file format and the database file with proper player/codecs. All output formats must maintain accurate aspect ratios consistent with the original recording. All output formats shall contain accurate time and date stamps.

(vi) The Owner shall grant a permanent Access Easement **(Exhibit D)** to the Village allowing access and maintenance rights, if the Owner fails to maintain the DSIS, to all such systems, equipment, devices and areas associated with the DSIS. The Village shall have the right, but not the obligation, to maintain the DSIS system at the financial cost of the Owner. All expenses incurred by the Village for the maintenance of the DSIS shall be paid to the Village by the Owner within ten (10) business days following written demand by the Village. At the time of the execution of this Agreement by the Owner, the Village shall also execute the recordable Access Easement document attached hereto as **Exhibit D** and incorporated herein by reference, at the Owner's cost.

b. Costs for the Video Surveillance System.

(i) The Owner shall have exclusive ownership and sole responsibility for the installation, operation, monitoring and maintenance of the DSIS. The Owner further covenants to operate and maintain the DSIS in good condition and repair. The Owner shall be responsible for the: (a) costs of installation, (b) Owner internet connection for the DSIS with a static IP address assigned to the DSIS connection and (c) Owner inspection, equipment maintenance, repairs, insurance, and replacement and upgrading of the DSIS as necessary, with such upgrading as needed being for a reasonably comparable replacement of any equipment then being used in the DSIS.

(ii) As referenced above, the Owner has agreed to provide utilities to serve both the DSIS equipment and the secured area housing the DSIS. The Owner, at its sole cost and expense, shall also provide a conduit running to the security cameras as described in **Exhibit C** for low voltage as well as a separate conduit running to the cameras for high voltage. The Owner shall provide a business broadband internet connection to serve the DSIS. This broadband internet connection shall represent a clear, non-pixelated video image transmission to the Village Police Department and shall be reasonably acceptable to the Village IT Department.

c. Termination. The Owner is responsible for internet access and static IP and may not terminate the DSIS at any time without prior written approval

to and notice from the Village. The Owner or Owner (as internet may be down and Owner not aware of occurrence) shall notify the Village Police Department Dispatch Center via the telephone and by U.S. mail to the persons as noted below whenever the DSIS is inoperable or the DSIS is unusable due to maintenance or testing. Further, if the DSIS is deemed by the Village as being inoperable or unusable for a time period in excess of 30 days without notification to the Village, the Owner shall be deemed to be in violation of Section 410 of the Village Code.

2. Miscellaneous.

a. Governing Law; Venue. This Agreement shall be governed by and construed in accordance with the laws of the State of Wisconsin. The parties agree that any dispute under this Agreement shall be venued only in the Circuit Court for Kenosha County.

b. Attorneys Fees and Interest. If any party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Agreement and the complaining party places the enforcement of all or any part of this Agreement in the hands of an attorney, of if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be **reimbursed for its actual attorneys' fees and costs incurred thereby, whether or not** litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall, in addition to all other amounts owed under this Agreement or applicable law, accrue interest from the due date until paid at eighteen percent (18%) per annum.

c. Entire Agreement. This Agreement contains the entire understanding among the parties and supersedes any prior understanding and agreements between them respecting the within subject matter. There are no representations, agreements, arrangements or understandings, oral or written, between or among the parties hereto relating to the subject matter of this Agreement which are not fully expressed herein.

d. Severability. This Agreement is intended to be performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules and regulations. If any provision of this Agreement, or the application thereof to any party or circumstance, shall, for any reason and to any extent, be invalid or unenforceable, the remainder of this Agreement and the application of such provision to the other party or circumstances shall not be affected thereby, but rather shall be enforced to the greatest extent permitted by law.

e. Binding Agreement. This Agreement shall be binding on the parties and their successors and assigns and shall continue as a covenant and

**servitude running in perpetuity with the Owner's Property.** This Agreement may be recorded with the Kenosha County Register of Deed's Office against the Owner's Property.

f. Notices. Any notice which a party is required or may desire to give the other party shall be in writing and may be delivered (1) personally by United States registered or certified mail, postage prepaid, or (2) by Federal Express or other reputable courier service regularly providing evidence of delivery (with charges paid by the party sending the notice). Any such notice shall be addressed as follows (subject to the right of a party to designate a different address for itself by notice similarly given):

If to the Owner: Richard O. Schmidt, Jr.  
President and CEO  
Froedtert South Inc.  
C/O United Hospital System  
6308 8th Avenue  
Kenosha, WI 53143

Telephone: (262) 656-\_\_\_\_\_

Fax: (262) \_\_\_\_\_

E-mail: \_\_\_\_\_

If to the Owner: Peter Molter, Vice President  
**St. Catherine's Hospital Inc.**  
C/O United Hospital System  
6308 8<sup>th</sup> Avenue  
Kenosha, WI 53143

Telephone: (262) 656-2420

Fax: (262) 653-5742

E-mail: [pmolter@froedtertsouth.org](mailto:pmolter@froedtertsouth.org)

If to the Village: Village of Pleasant Prairie  
Village Administration  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Attn: Nathan Thiel  
Village Administrator  
[nthiel@pleasantprairiewi.gov](mailto:nthiel@pleasantprairiewi.gov)



And to the Village: Village of Pleasant Prairie  
Community Development Department  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
Attn: Jean M. Werbie-Harris  
Village Community Development Director  
[jwerbie-harris@pleasantprairiewi.gov](mailto:jwerbie-harris@pleasantprairiewi.gov)

And to the Village: Village of Pleasant Prairie  
Police Department  
8600 Green Bay Road  
Pleasant Prairie, WI 53158  
Attn: David Smetana,  
Village Police Chief  
[dsmetana@pleasantprairiewi.gov](mailto:dsmetana@pleasantprairiewi.gov)

And to the Village: Village of Pleasant Prairie  
Information Technology Department  
8600 Green Bay Road  
Pleasant Prairie, WI 53158  
Attn: Ryan Marquart  
Village Technical Services Manager  
[rmarquart@pleasantprairiewi.gov](mailto:rmarquart@pleasantprairiewi.gov)

g. Amendment. This Agreement may not be amended, altered or modified except by an instrument in writing and signed by the parties hereto.

h. Ordinance. The DSIS program under this Agreement shall be deemed to be sufficient to meet the current requirements set forth in Chapter 410 of the Village Municipal Code.

i. Village's Contractors and Work. Any contractor that may come onto any Owner's Property on behalf of the Village shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (\$1,000,000) per occurrence combined single limit/One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Village shall carry

j. Liens. Notwithstanding the provisions of this Agreement, the Owner shall pay promptly all persons furnishing labor or materials with respect to any work performed by the Owner **or its contractors on or about any Owner's Property.** If any mechanic's or other liens shall at any time be filed against any **Owner's Property by reason of work, labor, services or materials performed or** furnished, or alleged to have been performed or furnished, the Owner shall forthwith cause the same to be discharged of record or bonded.

IN WITNESS WHEREOF, FROEDTERT SOUTH, INC. has executed this DSIS Agreement on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Name: Richard O. Schmidt, Jr.  
Title: President and CEO

This Agreement was acknowledged before me in \_\_\_\_\_, Wisconsin, on this \_\_\_\_\_ day of \_\_\_\_\_, 2018 by Richard O. Schmidt, Jr, President and CEO of Froedtert South Inc.

*[Additional signatures on next page]*

**VILLAGE OF PLEASANT PRAIRIE**

By: \_\_\_\_\_  
John P. Steinbrink  
Village President

ATTEST:

By: \_\_\_\_\_  
Jane C. Snell  
Village Clerk

STATE OF WISCONSIN     )  
  ) SS  
KENOSHA COUNTY         )

This Agreement was acknowledged before me in Pleasant Prairie, Wisconsin, on this \_\_\_ day of \_\_\_\_\_, 2018 in Pleasant Prairie, WI by John P. Steinbrink and Jane C. Snell, Village President and Village Clerk, respectively, of the Village of Pleasant Prairie.

\_\_\_\_\_  
Print Name: Jean M. Werbie-Harris  
Notary Public, Kenosha County, WI  
My Commission Expires: 12/27/2021

Drafted by:  
Jean M. Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI 53158

CD/Planner/Development Projects/Commercial/2018-06-18 DSIS Agreement Froedtert South MOB.doc

## **EXHIBIT A**

### **LEGAL DESCRIPTION**

Lot 2 of Certified Survey Map #2861 and recorded as Document #1817634, as a part of the Southwest One Quarter of U.S. Public Land Survey Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian in the Village of Pleasant Prairie, Kenosha County, Wisconsin. The property is approximately 4.023 acres.

**EXHIBIT B**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**VILLAGE SITE AND OPERATIONAL PLAN APPROVAL**

**EXHIBIT C**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**DSIS PLAN, HARDWARE DETAILS AND NARRATIVE**  
**[Attached hereto]**

**EXHIBIT D**

**TO AGREEMENT REGARDING DSIS SECURITY SYSTEM**

**ACCESS EASEMENT**  
**[Attached hereto]**

**JUNE 18, 2018**

## **ACCESS EASEMENT**

This ACCESS EASEMENT is entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2018 by and between the Grantor, FROEDTERT SOUTH INC. (the "Landowner"), and the Grantee, the VILLAGE OF PLEASANT PRAIRIE (the "Easement Holder").

### **RECITALS**

A. The Landowner is the owner of certain real estate in the Village of Pleasant Prairie, Kenosha County, Wisconsin, which is legally described in **Exhibit A** and incorporated herein by reference (collectively the "Landowner's Property").

B. The Easement Holder has entered into a Security Agreement with the Landowner for the right but not the obligation for the installation and maintenance of an exterior Digital Security Imaging System ("DSIS") upon Landowner's Property for security surveillance purposes (the "Agreement").

C. In connection with the above-referenced Agreement, the Landowner has agreed to convey to the Easement Holder access and maintenance rights to all such systems, devices and areas associated with the DSIS.

D. The Easement Holder acknowledges and agrees that Froedtert South, Inc. will utilize the Landowner's Property for the Froedtert medical office building which will consist of four floors, at approximately 12,500 square feet each, totaling about 50,000 square feet of buildable space. The building will have multiple entrances on two (2) different levels. The building will contain rehabilitation services that provide physical therapy, occupational therapy, imaging services and support functions for each of those services, a walk in clinic and physician offices.

### **Recording Area**

#### **Name and Return Address:**

Jean M. Werbie-Harris  
Community Development Dept.  
Village Municipal Building  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

#### **Parcel Identification Number:**

92-4-122-223-0112



## GRANT OF ACCESS EASEMENT

In consideration of the facts recited above, the Landowner and Easement Holder hereby agree as follows:

**1. Grant of Easement.** The Landowner hereby grants and conveys to the Easement Holder, its contractors and agents, a perpetual, non-exclusive, rent-free, access and maintenance easement (the "Access Easement") over and through the exterior of the improvements located on that portion of the Landowner's Property required for the installation, maintenance and use of said DSIS, related electrical work and internet access, and to a secured area generally located as described in the DSIS Security Agreement, which location may be relocated by mutual agreement of the parties (the "Easement Property"). All utility lines shall be underground to the extent possible. The Landowner shall supply electricity and business internet connection services for the DSIS as provided in the Agreement.

**2. Use of Access Easement.** The purpose of the Access Easement is to provide for the installation, operation and maintenance of a DSIS in accordance with a Security Agreement entered into between the parties dated on or about           , 2018 (the "Agreement"), the terms and conditions of which are hereby incorporated in this Access Easement. Nothing in this Access Easement is intended to prohibit use of the Access Easement area by the Landowner, provided such use does not materially interfere with the use of the Access Easement by the Easement Holder. The Easement Holder agrees that it will not materially interfere with the normal operation and use of the Landowner's Property by the Landowner, through its inspection and access of the DSIS equipment.

**3. Improvements.** If the Landowner fails to do so, the Easement Holder shall have the right, but not the obligation, to construct and install reasonable improvements upon the Easement Property in accordance with the terms in the Agreement, to make the Easement Property suitable for the installation of a DSIS with as little damage to the Landowner's Property as possible. Subject to the terms of the Agreement, if the Easement Holder undertakes the installation or maintenance of the DSIS, the Easement Holder agrees to use its best efforts to make the DSIS as aesthetically tasteful and architecturally harmonious as reasonably possible while still allowing the DSIS to cover as much of the Froedtert Medical Office property as the Easement Holder deems reasonably necessary.

**4. Maintenance.** The Easement Holder shall have access at all times as it deems necessary for maintaining its DSIS and related equipment on the Easement Property to the extent necessary for the uses described in the Agreement. The Landowner shall pay the Easement Holder a maintenance fee and other fees as described in the Agreement if the Easement Holder undertakes inspections or takes over the responsibilities of the DSIS maintenance.

**5. Damage to Easement Property.** The Easement Holder shall be responsible for any damage that it may cause to the Easement Property. The Easement Holder shall promptly make all needed repairs, promptly after such damage, restoring the Easement Property to its condition prior to the damage. The Landowner shall

promptly make any needed repairs to the Landowner's Property and the DSIS equipment that the Landowner may damage.

**6. Obstructions to Use of the Easement Property.** The Easement Holder may not utilize the Easement Property in a way that materially interferes with its use by any other person permitted to use it. The Easement Holder acknowledges and agrees that the Landowner's use of the Landowner's Property may include if permitted by the Village, outdoor activities or events that may occur on the Landowner's Property, however, such uses shall be approved by the Village and shall not be considered an obstruction or impediment to the Access Easement. Furthermore, the Easement Holder acknowledges and agrees that the Landowner has the right to modify and construct new improvements on the Landowner's Property, albeit with the necessary permits, and if said improvements interfere with use of the Access Easement by the Easement Holder, then the Landowner shall bear all costs and responsibility to relocate the DSIS equipment or modify its use of the Easement Property.

**7. Indemnity/Insurance/Liens.** All costs of installation, operation, and maintenance of the Easement Property and any improvements the Landowner installs thereon will be the responsibility of the Landowner as described in the Agreement.

Any contractor coming onto the Easement Property and/or the Landowner's Property on behalf of the Easement Holder shall carry a non-deductible (a) commercial general liability insurance policy, including (but not limited to) contractor's liability coverage, contractual liability coverage, completed operations coverage, broad form property damage endorsement and contractor's protective liability coverage, to afford protection, with respect to personal injury, death or property damage of not less than One Million Dollars (1,000,000) per occurrence combined single limit/ One Million Dollars (\$1,000,000) general aggregate (but not less than \$500,000 per location aggregate); (b) comprehensive automobile liability insurance policy with a combined single limit for each occurrence of not less than Three Hundred Thousand Dollars (\$300,000) with respect to personal injury or death and property damage; and (c) worker's compensation insurance policy or similar insurance in form and amounts required by law. The Easement Holder shall carry similar amounts and types of insurance when it enters onto the Easement Property and/or the Landowner's Property, provided, such insurance may be provided through the municipal insurance plan of Easement Holder. In connection with any installation, operation, maintenance or inspection of the Easement Property by the Easement Holder or its agents, employees or contractors, the Easement Holder shall indemnify, defend and hold harmless the Landowner from and against any lien, suit, loss, cost, expense (including reasonable attorneys' fees), personal injury, bodily injury or property damage arising from or relating to such activities of the Easement Holder, its agents, contractors or engineers on the Landowner's Property.

Nothing contained herein shall alter or eliminate any obligations of the Landowner to reimburse the Easement Holder for costs and expenses, as provided in the DSIS.

**8. Enforcement of Agreement.** The Landowner and Easement Holder shall have the right to legally enforce this Access Easement and the covenants, conditions and restrictions set forth herein, by whatever action or actions are legally available, including, without limitation, enjoining any violation or threatened violation hereof.

**9. Amendments.** This Access Easement may not be modified, amended or terminated except by execution and recording of a written instrument signed by the Landowner and Easement Holder.

**10. Successors.** All of the terms, covenants, conditions, and obligations set forth in this Access Easement and the Agreement shall inure to the benefit of and bind the Landowner and Easement Holder, and their respective personal representatives, heirs, successors, transferees, assigns, and all future owners of the Landowner's property this Access Easement and the Agreement shall continue as a servitude running in perpetuity with the Landowner's Property.

**11. Severability.** If any provision or specific application of this Access Easement is found to be invalid by a court of competent jurisdiction, the remaining provisions or specific applications of this Access Easement shall remain valid and binding.

**12. Governing Law.** This Access Easement shall be governed by and construed under the laws of the State of Wisconsin. The parties agree that any dispute hereunder shall be venued only in the Circuit Court for Kenosha County.

**13. Attorneys Fees and Interest.** If any party defaults in the performance or observation of any of the terms, conditions, covenants or obligations contained in this Access Easement and the complaining party places the enforcement of all or any part of this Access Easement in the hands of an attorney, or if that party incurs any fees or out-of-pocket costs in any litigation, negotiation or transaction, the party that substantially prevails in any such dispute shall be reimbursed for its actual attorneys' fees and costs whether or not litigation is actually commenced. Any sums not paid when due, including without limitation any maintenance fee, shall accrue interest from the due date until paid at eighteen percent (18%) per annum.

(Signatures are on the Next Pages)

IN WITNESS WHEREOF, Froedtert South Inc. has executed this Access Easement this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

LANDOWNER: FROEDTERT SOUTH INC.

By:\_\_\_\_\_

Name: Richard O. Schmidt, Jr.

Title: President and CEO

STATE OF WISCONSIN)  
  )SS  
COUNTY OF KENOSHA)

This instrument was acknowledged before me in \_\_\_\_\_, WI on \_\_\_\_\_, 2018, by Richard O. Schmidt, Jr. President and CEO of Froedtert South Inc.

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
Typed or Printed Name of Notary Public

Notary Public, State of Wisconsin  
My Commission expires on:  
\_\_\_\_\_

## VILLAGE OF PLEASANT PRAIRIE, WISCONSIN:

By: \_\_\_\_\_

Name: John P. Steinbrink

Title: Village President

ATTEST:

Name: Jane C. Snell

Title: Village Clerk

STATE OF WISCONSIN )  
 ) SS:  
KENOSHA COUNTY )

This Agreement was acknowledged before me in Pleasant Prairie, WI on \_\_\_\_\_, 2018 by JOHN P. STEINBRINK and JANE C. SNELL as duly authorized Village President and Village Clerk, respectfully, of the Village of Pleasant Prairie, a Wisconsin municipal corporation.

Signature of Notary Public

Jean M. Werbie-Harris

Typed or Printed Name of Notary Public

Notary Public: Kenosha County,

State of Wisconsin

My Commission expires on: 12/27/2021

This instrument drafted by:

Jean M. Werbie-Harris

Community Development Director

9915 39<sup>th</sup> Avenue

Pleasant Prairie, WI 53158

Timothy J. Geraghty, Esq.

Village Attorney

Godin Geraghty Puntillo Camilli, S.C.

6301 Green Bay Road

Kenosha, WI 53142

## **EXHIBIT A**

### **Legal Description of Landowner's Property**

Lot 2 of Certified Survey Map #2861 and recorded as Document # 1817634, as a part of the Southwest One Quarter of U.S. Public Land Survey Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian in the Village of Pleasant Prairie, Kenosha County, Wisconsin. The property is approximately 4.023 acres.



## VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director  
FROM: Craig Roepke, Chief Fire & Rescue  
CC: Peggy Herrick, Assistant Planner, Community Development  
SUBJECT: Fire Department review of Final Site and Operational Plans for Froedtert South MOB  
Permit/Trakit#: DEV1805-004  
DATE: June 7, 2018

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These are comments for the Final Site and Operational Plans for Froedtert South MOB located at 10256 Old Green Bay Rd.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the information and plans submitted, the Fire & Rescue Department have the following comments regarding the project:

1. Facility will require AED's to be installed and are noted on the provided plan set. See #12.
2. Knox box locations are notated on the plan set for both building entrances and the fire pump room door. See #17.
3. Review signage for SW door accessing the fire pump room. See #29.
4. Review requirements for in building Public Safety Radio requirements. See #34.
5. Second floor (A3.1) does not appear to note any Fire Extinguisher locations unlike the first floor (A3.2).
6. Elevator emergency phones to dial pleasant Prairie Dispatch See #14.
7. Provide for FAAP full addressable and functions at each entrance (East/West) in the vestibules. See #32(k)
8. Generally locate Strobe notification at the South side West. Exact location to be field located. See #31.
9. 911 dedicated phone is shown on East side A3.2
10. Pumper Pad is a dual FDC covering MOB and future building. Provide signage on FDC for FS MOB indicating its FDC connection.

**Distribution of Comments:** the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

**AHJ:** The Authority Having Jurisdiction is the Village of Pleasant Prairie Fire & Rescue Department.

**Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

**Conflicts:** In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

**Fire Safety System Plans:** such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

**FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.  
DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY  
BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.**

**Pre-Construction Meeting:** A pre-construction meeting may take place with the general contractor, the fire protection contractor, the Fire and Rescue Department, Village staff, and any other sub-contractor prior to the start of any project construction.

**1. Site Access:**

- a. Access shall be provided around the perimeter of the site for Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2015 edition.
- b. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
- c. All entrances from public streets, as well as road and driveways around the proposed building shall be a minimum of 30 feet wide.
- d. All roadways and fire lanes must be unobstructed and not used any part as a parking area for automobiles, semi-trucks or trailers. Fire lanes shall comprise of a hard and maintainable surface.
- e. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface. This includes all exit doors from the facility. These pathways shall be maintained and accessible at all times.
- f. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
- g. There shall be Knox padlocks, Knox key switches, or other AHJ approved devices on all gates on site. The Fire & Rescue Department will review the proper placement and operation of the Knox system locks.

**2. Gates / Barriers:**

- a. Any gates or barriers that are employed or installed on a private roadway or access shall have a minimum width clearance of sixteen (16) feet. Builder/developer to identify any other gate widths and obtain written AHJ approval.
- b. Gates or barriers that are locked must have the ability for the AHJ to remove, unlock or disable either manually or automatically the securing mechanism to open or raise the gate or barrier. Builder/developer to identify methodology.
- c. Any barrier or gate that raises vertically at a pivot point to allow for passage must provide for at least 90 degrees of clearance from the ground to the bottom of the gate or barrier.
- d. Gates or barriers that raise vertically shall have a minimum vertical clearance of 13'6".
- e. There shall be a manufacture endorsed mechanism or process to secure the gate or barrier in the open position without utilizing personnel to maintain an open condition.
- f. The gate or barrier access on premise shall be readily identifiable to the AHJ.

- 3. Combination Water Sizing Confirmation:** The owner shall provide a letter from the sprinkler designer affirming that the combination water main is sized appropriately for both domestic use and fire sprinkler protection demand. This will typically include the designer's license stamp on the document.



4. **Required Licenses:** A Wisconsin licensed fire protection contractor and/or sprinkler fitter must install any and all dedicated fire protection underground fire mains and aboveground fire protection.
5. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
6. **Review and Comments:** the Fire Department will review and comment on the following areas outlined below.
  - A. Site and Operational Permits
    1. Site accessibility (Plans provided do not specific clearances or distances)
    2. Fire Pump Location
    3. Pumper Pad
    4. Fire hydrant spacing
  - B. Conditional Use and Operational
    1. Standpipe outlet locations
    2. Fire alarm pull stations
    3. Emergency and Exit Lighting
    4. Fire extinguishers

7. **Plan Review, Permits and Fees**

- a. The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin.
  - b. The Village will use an independent fire safety consultant for review of all fire protection plans submitted.
  - c. An approved AHJ review must be completed before any permits will be issued and before construction can begin.
  - d. A submittal is not considered permitted or an approved plan.
  - e. Acquiring WI State approved plans is not acceptable to bypass the AHJ permit process.
8. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Bulk water Usage
- b. Fire Protection Plans for Underground and Aboveground
- c. Fire Alarm System Plans
- d. Kitchen Hood Systems Plans

*NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.*

9. **Occupancy:**

- a. All fire and life safety requirements must be in place and operational prior to any building being occupied.
  - b. No occupancy inspections shall be scheduled until all life-safety systems are complete.
  - c. Key life safety systems include: Fire sprinkler system, Fire alarm system, Fire extinguishers, Emergency Lighting, and any additional requirements determined by both the Fire Department and the Village Building inspection department.
  - d. AEDs as required are in place.
10. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
11. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.

12. **AED:** The owner may be required to acquire and install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest. It is suggested that during the construction phase that a location(s) be identified so that options for recessed cabinets may be determined.
13. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.
14. **Elevators:**
  - a. If applicable, must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
  - b. Review the proper sizing requirements with the fire department early in the planning process.
  - c. Elevator emergency phone notification shall dial the Pleasant Prairie emergency number or 262.694.1402
15. **Severe Weather Shelter:** The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
16. **Door Numbering:** Each exterior door shall be sequentially numbered.
  - a. Shall consist of a 4" reflective number in a color that is contrasting to the door color.
  - b. Numbering shall be in an increasing sequence and located in the upper right-hand portion of the door.
  - c. The starting numbering point shall be determined in the field and approved by the AHJ.
  - d. Door numbering shall also be identified in some manner on the interior.
17. **On Premise Secure Key System:** Knox Company Rapid Entry System, "Knox Boxes" shall be provided for the building. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
18. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
19. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. These circuits shall be clearly labeled.
20. **Sprinkler System:**
  - a. The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current printed edition of *NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers*. Confirm NFPA edition with the Fire Department prior to system design.
  - b. Risers shall be durably labeled with the system or riser identification.
  - c. Outside/exterior Riser Control Valves: Where installed, outside control valves shall be durably labeled with the associated system or riser that it controls.
  - d. Hydrant flow test values for sprinkler design purposes shall be no older than one year from the above ground fire submittal date.
21. **The following information as applicable, must be submitted with the sprinkler plans for review:**

Building height	Number of stories/floors	Mezzanines	Elevators
Hazard class	Commodity Class	Exterior storage	Fire protection

22. **Fire Hydrants:** Fire hydrants shall meet the Village of Pleasant Prairie hydrant specification. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance §180-16. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches.
23. **Fire Protection Loop:** As applicable for building type or unless otherwise approved in writing by the AHJ, a fire protection (hydrant) loop shall be required as part of the overall fire protection systems as outlined in §180-16(K)(5).
24. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA) code standard 24 and witnessed by the Fire Chief or designee.
25. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
26. **Pumper Pad:**
- A municipally fed fire hydrant and fire department connection (FDC) combination is defined to be a "pumper pad".
  - The FDC shall comprise of a 30 degree angled 5" Storz connection unless otherwise approved by the fire department in writing.
  - Both the hydrant and FDC shall be between 18" and 23" above finished grade as a pair.
  - There shall be dedicated space for a fire engine to have unobstructed access to the pumper pad.
  - Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. Any variances shall be approved by the AHJ in writing.
  - The pumper pad shall be free of vegetation, plant, shrubs, or other obstructions at least 5 feet on each side.
  - The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant.
  - The Fire Department connection shall be constructed along with an underground drain with access for inspection.
  - The area around the pumper pad shall be comprised of a hard surface such as asphalt or concrete.
  - The pumper pad area shall have some form of posted signage or painted pavement designation indicating no parking or obstructions in that area.
  - Refer to the Village specification drawing for the pumper pad design.
27. **Bollards:**
- Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) that are subject to damage.
  - Bollards shall be six (6) inches in diameter. Bollards shall not obstruct charged fire hoses.
  - It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.

**28. Standpipes:**

- a. The building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve.
- b. Where required, standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 (I).
- c. No 1-1/2" cap reductions are required.

**29. Pump Room / Riser Room Door:**

- a. The exterior door that accesses either the fire pump or riser room shall be labeled in the following manner outlined below
  - i. At the center upper 1/3 of the door, utilizing 4" reflective RED or WHITE block lettering contrasting to the door color, with the following title.
  - ii. "FIRE PUMP ROOM" or "FIRE RISER ROOM", respective for the type of existing room.
- b. This door shall have a Knox-Box installed adjacent to the door. The specific location heights and details are documented in the "Fire Department – Appendix A" attachment.

**30. MSDS / SDS Station:**

- a. Within the pump or riser room locate a (SDS) Safety Data Sheet Station in a conspicuous and accessible location. The station shall be labelled so to be readily identified.
- b. Products used for maintenance, production or stored within the facility shall have their SDS information located at this SDS station.
- c. The SDS information shall be organized in such manner that access to product information is intuitive.
- d. The contents of the SDS station shall be updated and/or reviewed at least annually by the building owner or active tenant. A dated record log shall be kept with the SDS station indicating such review.

**31. Strobe Light:**

- a. All strobe lights required below shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. The lens color shall be RED.
- b. A strobe light and 10" dome bell shall be provided, visible from the pumper pad to indicate a waterflow alarm condition.
- c. If the building has a fire pump, an additional strobe light shall be required and installed adjacent to the waterflow alarm and activated when the fire pump is running.
- d. Both notification devices above (b & c) shall be labeled appropriately as "WATERFLOW" and "PUMP RUN" below the respective devices.
- e. A strobe light shall be provided and installed vertically at each riser location on the exterior of the building. No bell or signage is required. In instances where two or more risers are located at one location, only one exterior strobe is required. The strobe shall activate on any one riser waterflow.
- f. A separate "Appendix A" document is available to provide visual detail supporting the above requirements.

**32. Fire Alarm System:** There shall be a full function remote annunciator installed. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design

- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
- b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.

- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **PIV & Exterior Valves:** shall be monitored by the Fire Alarm system.
- f. **Strobe & Bell:** Strobe light and Bell devices shall be identified and documented on the submitted Fire Alarm plan submittal. It is understood that typically this work is completed by the electrical contractor and not part of the alarm plan per say.
- g. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as an alarm condition unless pre-approved by the AHJ.
- h. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.
- i. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
- j. **Initiating Devices Labeling:** All initiating devices e.g.: pull stations, smoke detectors, tampers, etc shall be labeled with the FA device number that matches the system nomenclature programmed. The font/letters shall be at least 14pt and of such size that they are visible based on accessibility to the device. (e.g.: ceiling initiating devices may require a larger font size)
- k. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the AHJ. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- l. **Transmission of Fire Alarms.** The method of transmission to central station shall be approved by the AHJ. (e.g. RF Radio, cellular, VOIP, or other approved technologies allowed by code.)
- m. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
- n. **Fire Alarm Map:** An "as-is" drawing of the fire alarm system shall be provided and posted in the riser or pump room of the building. The drawing shall have at minimum, the initiating device numbers, locations, and door numbering scheme on the posted drawing. Size of the drawing to be discussed with the fire department.
- o. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
<b>Emergency:</b>	<b>(262) 694-1402</b>
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

- 33. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department must be made aware and the system must meet all NFPA 72 requirements.
- 34. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:

- a) a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
- b) A minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
- c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a "Telecommunications Systems Bulletin" published by the TIA, Telecommunications Industry Association. The performance level is rated using "Delivered Audio Quality". Industry standard DAQ definitions are shown in Table 1.
- d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

**Table 1 - Delivered Audio Quality Definitions**

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

- e) The frequency range which must be supported shall be 151.0000 to 160.0000 MHz, in both digital and analog signals.

**Testing Procedures:**

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

**Amplification Systems Allowed**

1. Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage: a radiating cable system or an internal multiple antenna system with or without FCC type accepted signal booster amplifiers as needed. The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio System.
2. In the event that a signal booster is employed it shall meet the following minimum requirements:
  - a. be fully encased within a dust resistant case;
  - b. be contained in a National Electrical Manufacturer's Association (NEMA) 4-type waterproof cabinet;
  - c. battery systems used for the emergency power source shall be contained in a NEMA 4-type waterproof cabinet;
  - d. the signal booster system and battery system shall be electrically supervised and monitored by a supervisory service, or shall sound an audible signal at a constantly attended location;
  - e. Have FCC certification prior to installation.

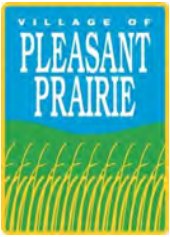
### **Secondary Power**

Emergency responder radio coverage systems shall be provided with an approved secondary source of power conforming to NFPA 72. The secondary power supply shall be capable of operating the emergency responder radio coverage system for a period of at least twenty-four (24) hours. When primary power is lost, the power supply to the emergency responder radio coverage system shall automatically transfer to the secondary power supply.

### **Field Testing**

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

35. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N if modifications are made to the system.
  - b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is "100% operational and built according to the design" if modifications are made to the system.
  - c. Copy of contract with fire alarm central monitoring station.
  - d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
  - e. Copies of the fire protection underground flushing documents.
  - f. Copies of the underground and fire sprinkler hydrostatic test certificates.
  - g. Copies of the fire sprinkler operational test certificates.
  - h. Copies of the fire alarm test documents.
  - i. Copies of other test documents such as, hood/duct, smoke, etc...
  - j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
  - k. Provide in electronic format (USB, CD, etc) all Floor plans and fire protection plans for the building in an as-built condition.
  - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
  - m. AED is in place at such time that the occupancy inspection is conducted.
  - n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.



## Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

Subject: Froedtert South MOB

Date: May 22, 2018

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1. Building Inspection Department information:  
Hours: Mon-Fri, 8am-5pm.  
Phone# 262-694-9304  
Email: [buildinginspection@plprairiewi.com](mailto:buildinginspection@plprairiewi.com)
2. Permit applications can be found online at [pleasantprairieonline.com](http://pleasantprairieonline.com)
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We are currently inspecting to the 2015 IBC, IEBC, IMC, IECC, IFGC, 2009 ANSI A117.1, 2017 NEC and WI. Plumbing code SPS 381-386.
6. Please submit all applicable plans (Building, HVAC, Fire Suppression, Fire Detection, Conveyance, Plumbing, etc.) to the state for review (DSPS/DHS). Please be aware state plumbing plan review has a long lead time, plan accordingly.
7. Building Inspection Department will not issue respective permits until we receive the applicable state approval letter and plans.
8. All state approved drawing must be available at job site for inspector review during inspections.
9. Please submit emergency egress lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department with building permit application.
10. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.



11. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
12. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.
13. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
14. All equipment must be “LISTED” by a nationally recognized testing laboratory.
15. All equipment, materials, etc. must be rated for the environment in which they will be used.
16. Please contact me with any questions on permitting and/or plan submittal.
17. Village of Pleasant Prairie recommends all exterior lighting to be LED, 5000K and “Dark Sky” compliant. No spillover of lighting beyond lot lines is allowed.
18. Provide adequate accessible parking per Ch.11 of the 2015 IBC.



## SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT

*For all applications that require Village Plan Commission Approval*

APPROVAL REQUESTED	TYPE OF WORK
<input checked="" type="checkbox"/> Final Site and Operational Plan	<input checked="" type="checkbox"/> New Building
<input type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit	<input type="checkbox"/> Building Addition
<input type="checkbox"/> Preliminary Site and Operational Plan	<input type="checkbox"/> Building Alteration
<input type="checkbox"/> Preliminary Site and Operational Plan/ Conditional Use Permit	<input type="checkbox"/> New Tenant
<input type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement)	

Name of Business: Froedtert South Medical Office Building Pleasant Prairie

Site Address: 10256 Old Green Bay Road Suite #: \_\_\_\_\_

Tax Parcel Number: 92-4-122-223-0202

Zoning District(s): B2 Community Business District

Name of Development: Main Street Market

Estimated Date of Occupancy: June 2019

Detailed Description of the Proposed Project and Use:

The proposed MOB will be a four story, 49,507 s.f. The first floor houses physician suites that provide physical therapy, occupational therapy, imaging and support for each suite. MRI and CT services are planned for a future time. The second floor houses a family practice physician suite, as well as an immediate care suite. The third and fourth floors are currently shell space, but anticipated to house Froedtert South physician suites.

Detailed Description of Company:

Froedtert South is a local health care provider with facilities in Pleasant Prairie, Kenosha, Somers and Paddock Lake.

### Select One Option

- ☐ Relocation of Business from \_\_\_\_\_
- ☐ New Location for Business in Pleasant Prairie
- ☐ Expansion/Change to Existing Business in Pleasant Prairie
- ☒ New Start Up Business

### SITE AND BUILDING INFORMATION

Lot Area: 145,086 sq. ft. Lot Area: \_\_\_\_\_ ac.  
Building Area: 49,507 sq. ft. Building Height: \_\_\_\_\_ ft.  
Tenant Area: \_\_\_\_\_ sq.ft.  
Addition Area: \_\_\_\_\_ sq. ft. Addition Height: 56' @ west, 42' @ east ft.  
Total Impervious Surface Area: per development sq. ft.  
Total Landscape Area: per MSM development sq.ft. Site % of Open Space per MSM %

### ON-SITE PARKING/TRAFFIC INFORMATION

Total # of parking spaces (on-site): 244  
Total # of regular parking spaces (on-site): 228  
Total # of handicapped accessible spaces (on-site): 16  
Total # of truck parking spaces (on-site): -  
Total # of dock doors: -  
Anticipated automobile trips to and from the site (excluding trucks):  
Number of daily average trips: 300 Maximum number of daily trips: 300  
Anticipated truck trips to and from the site:  
Number of daily average trips: occasional Maximum number of daily trips: occasional

### OPERATIONAL INFORMATION

Hours (Open to the public): M-F 6am-8pm, Sat 7am-5pm, closed Sunday  
Delivery hours: During business hours

### EMPLOYMENT INFORMATION

Proposed total number of full-time employees: 15 (\*60 FTE at full buildout\*)  
Proposed total number of part-time employees: 10 (\*60 FTE at full buildout\*)  
Number of shifts: 1  
Total of number of employees per shift: 1<sup>st</sup> 25/\*60\*, 2<sup>nd</sup> --, 3<sup>rd</sup> --  
Largest number of employees on site at any one time: 25/\*60\*

### PUBLIC FACILITIES INFORMATION

#### Check all that apply:

- ☒ The property is serviced by Public Sanitary Sewer
- ☒ The property is serviced by Public Water
- ☒ The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: 240 gpm

**If property is zoned M-1, M-2 or M-5 then the following shall be completed:**

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- ☐ Factory Group F-1 (Moderate-hazard) \_\_\_\_\_ sq. ft.
- ☐ Factory Group F-2 (Low-hazard) \_\_\_\_\_ sq. ft.
- ☐ Storage Group S-1 (Moderate-hazard) \_\_\_\_\_ sq. ft.
- ☐ Storage Group S-2 (Low-hazard) \_\_\_\_\_ sq. ft.
- ☐ Business Group B \_\_\_\_\_ sq. ft.
- ☐ High-Hazard Group H \_\_\_\_\_ sq. ft.
- ☐ Other \_\_\_\_\_ sq. ft.

Types and quantities of goods and materials to be made, used or stored on site:

Physician Suites serving area patients.

Types of equipment or machinery to be used on site:

Medical equipment consistent with the care of physical therapy, imaging and immediate care patients. An x-ray suite is included in this project, while a future CT and MRI suite on the first floor is planned for a future date.

Types and quantities of solid or liquid waste material which require disposal:

General trash and recycling refuse will be collected in appropriate bins in the trash enclosure, while medical waste generated within will be handled independently until pick-up has been arranged by an appropriate third party provider. No hazardous materials will be on site.

Method of handling, storing and disposing of solid or liquid waste materials:

Please see above.

Methods of providing site and building security other than the Village Police Department:

Consistent with System policies within Froedtert South, security will be performed predominantly through the FS Guest Relations Department. In addition, security measures include security cameras per Village ordinance, access control, and alarm systems. The Village of Pleasant Prairie police officers have always been most helpful and supportive when they respond to the St. Catherine's Medical Center Campus, and it is anticipated that such assistance will continue to be requested at this site in the event of a violation of law or when such assistance or intervention will serve the best interests of those involved.

Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

Maintenance of the exterior site and structure of the MOB will continue to be provided by the FS Grounds Department, with support from outside contractors, as deemed necessary. Maintaining parking lots and roads, specifically snow removal, is addressed via the declarations for the development and be part of the common area maintenance process.

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

We feel that the FS MOB will have a positive impact on neighboring properties and public facilities by providing increased health care service to the community. Furthermore, a development of this type will help spur development in the area of the Village, much in the same way it has in the Village of Somers.

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

WDNR NOI and ACOE permits have been granted. Wisconsin DSPS Conditional Approval has been issued for the building. Erosion control permits have been submitted for the overall development and MOB.

### **PLANS AND OTHER ATTACHMENTS**

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- Title Sheet
- Survey
- Site Plan
- Grading and Drainage Plan
- Building and Fire Protection Plans
- Lighting Plan (including photometric plan)
- Landscape and Open Space Plan
- Signage Plan
- Industrial Waste Survey
- Required Application Fee and Pre-Development Agreement

The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

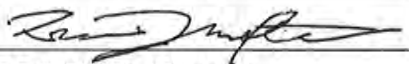
Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.



I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

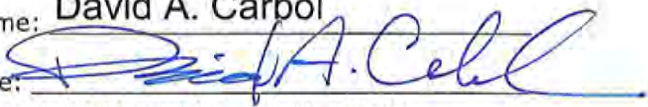
**PROPERTY OWNER:**

Print Name: Peter J. Molter  
Signature:   
Address: 9555 76th Street  
Pleasant Prairie, WI 53158  
(City) (State) (Zip)  
Phone: 262.656.2011  
Fax: 262.653.5742  
Email: Peter.Molter@FroedtertSouth.com  
Date: 05.09.18

**TENANT CONTACT:**

Print Name: (See above)  
Signature: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
(City) (State) (Zip)  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Date: \_\_\_\_\_

**APPLICANT/AGENT:**

Print Name: David A. Carbol  
Signature:   
Address: 600 52nd St., Suite 220  
Kenosha WI 53140  
(City) (State) (Zip)  
Phone: 262.652.2800  
Fax: --  
Email: DaveC@pidarchitects.com  
Date: 05.09.18



# FROEDTERT SOUTH MEDICAL OFFICE BUILDING PLEASANT PRAIRIE NEC GREEN BAY ROAD & STH 165 PLEASANT PRAIRIE, WISCONSIN 53158



FROEDTERT SOUTH  
9555 16th STREET  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262.656.2001  
ALT PHONE: 262.511.8000  
FAX: 262.653.5142  
ATTN: PETER MOLTHER

RILEY CONSTRUCTION COMPANY, INC.  
CONSTRUCTION MANAGER  
5301 99th AVENUE  
KENOSHA, WI 53144-1810

JASON VANFAASSEN  
SUPERINTENDENT  
CELL: 262.281.1950  
E-MAIL: jasonv@rileycon.com

FRANZ LEHNER  
PROJECT ENGINEER  
PHONE: 262.241.2111 EXT. IT3  
CELL: 262.353.0000  
E-MAIL: franzl@rileycon.com

RYAN HASTINGS  
PROJECT ENGINEER  
PHONE: 262.241.2111 EXT. IT2  
CELL: 262.342.2111  
E-MAIL: ryanh@rileycon.com

ERIN ANDERSON  
V.P. OF PROJECT MANAGEMENT  
PHONE: 262.658.4381 EXT. 121  
CELL: 262.610.2381  
E-MAIL: erina@rileycon.com

## Governing Agency Contacts

PLEASANT PRAIRIE VILLAGE HALL  
8915 30TH STREET  
PLEASANT PRAIRIE, WI 53158  
OFFICE: (262) 694-1400

## COMMUNITY DEVELOPMENT DEPARTMENT

JEAN WESSIE-HARRIS, DIRECTOR  
PLANNING, ZONING  
ADMINISTRATOR  
OFFICE: (262) 923-6718  
E-MAIL: jwessie-harris@cpdprairiewi.com

PEGGY HERRICK  
ASSISTANT PLANNER & ZONING  
ADMINISTRATOR  
OFFICE: (262) 923-6716  
E-MAIL: pherrick@cpdprairiewi.com

## ENGINEERING DEPARTMENT

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BUILDING INSPECTOR  
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E-MAIL: dkoehnke@cpdprairiewi.com

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CHIEF OF FIRE & RESCUE  
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ASSISTANT FIRE CHIEF  
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## Public Utility Contacts

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BRYAN MOORE  
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E-MAIL: mtoyek@att.com

## TDS TELECOM

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OFFICE: (877) 483-7142

TIME WARNER CABLE/SPECTRUM  
STEVE CHAMER  
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## WEC ENERGY GROUP

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## HUSKIN BYWATERWALA

SENIOR ENGINEER  
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E-MAIL: bywaterwala@bms-energies.com

## BRANDON ERTS

GAS ENGINEERING  
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E-MAIL: brandon.erts@bms-energies.com

## NATURAL GAS EMERGENCY:

(800) 251-5325  
ELECTRICAL EMERGENCY:  
(800) 662-4797

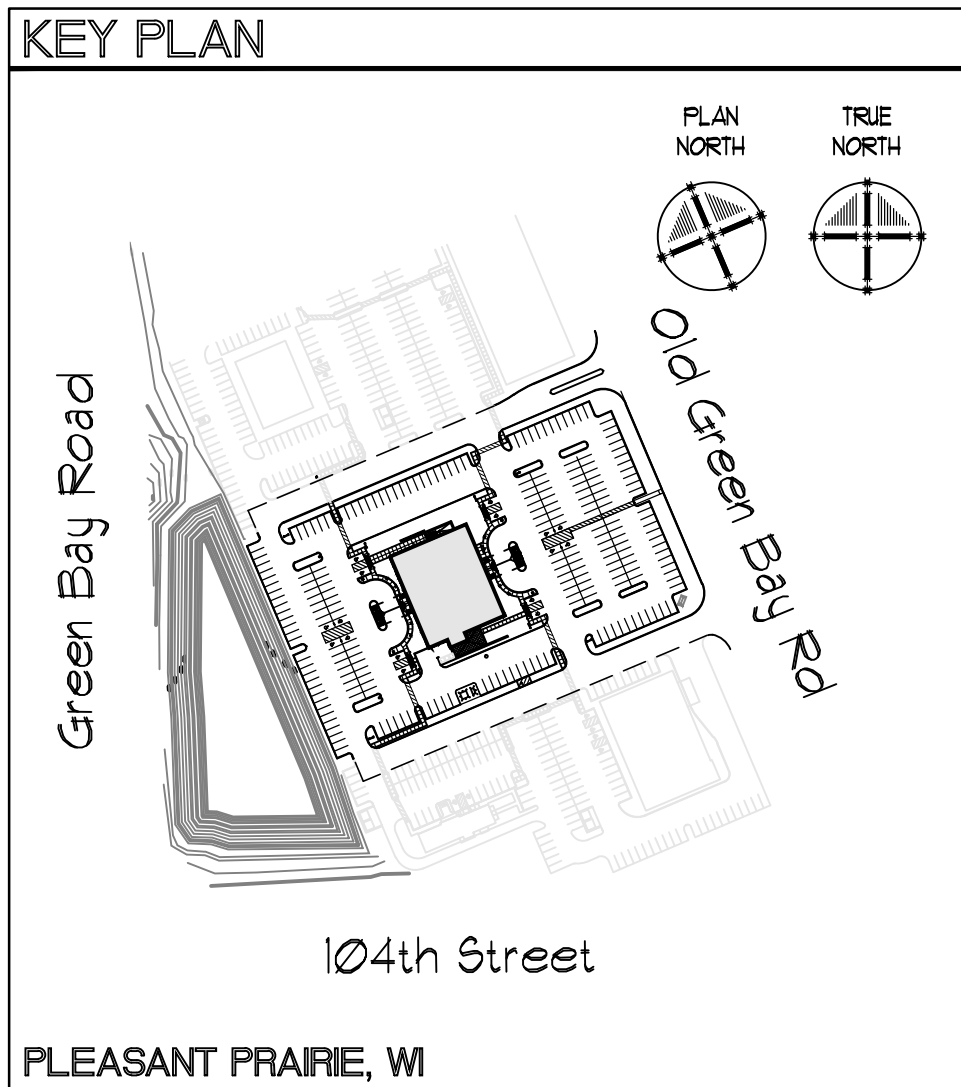
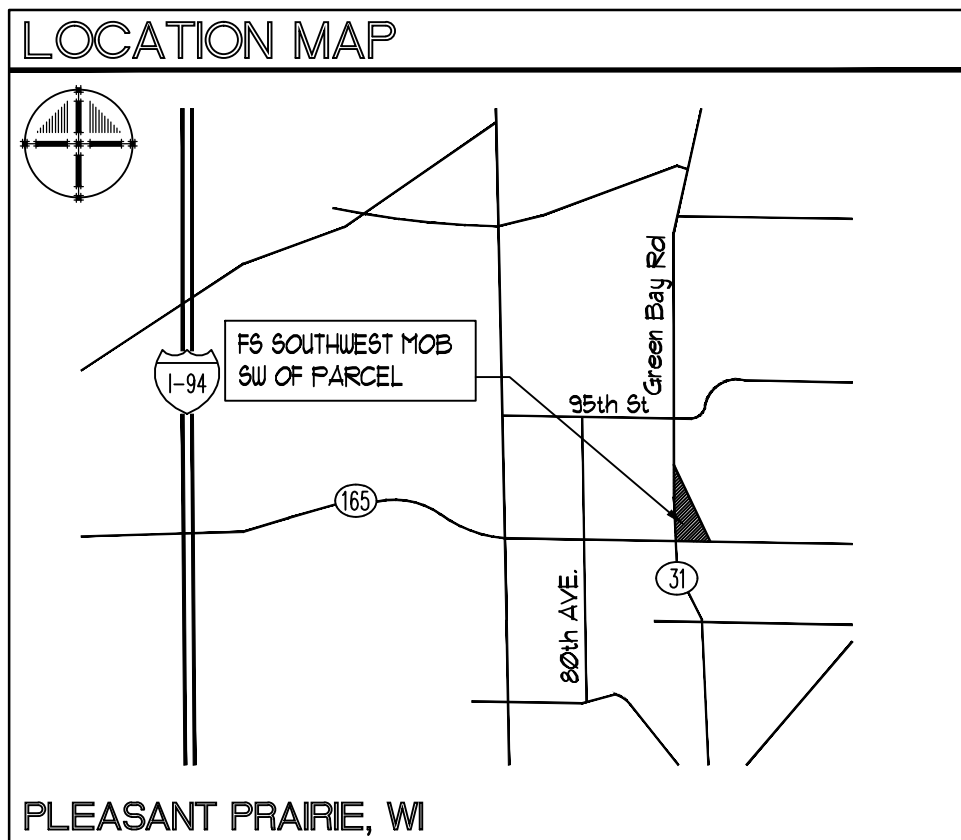
## WI Department Of Natural Resources

ELAINE JOHNSON  
WATER MANAGEMENT  
SPECIALIST  
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E-MAIL: elaine.johnson@dnr.wisconsin.gov

## PETER WOOD, P.E.

WATER RESOURCES ENGINEER  
OFFICE: (262) 884-2960  
E-MAIL: peter.wood@dnr.wisconsin.gov

PROJECT DATA		ID# 3025434
REVIEW INFORMATION:		
TRANSACTION ID NUMBER:		
SITE ID NUMBER: 3025434		
REVIEW LOCATION: D&PS WAUKESHA OFFICE		
REVIEWER: MARK PIQUETTE		
REVIEW DATE: 01/04/18 (SUBMITTED TO D&PS WAUKESHA 12/31/17)		
2009 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS		
2009 INTERNATIONAL BUILDING CODE		
2012 NFPA 101 LIFE SAFETY CODE		
USE AND OCCUPANCY CLASSIFICATION:		
MEDICAL OFFICE BUILDING		GROUP B (BUSINESS) 2009 IBC
BUILDING CLASSIFICATION:		
CONSTRUCTION TYPE II-B		NON-COMBUSTIBLE, NON-PROTECTED
SPRINKLER SYSTEM:		
FULLY SPRINKLERED		PER NFPA 13
BUILDING AREA:		
FIRST FLOOR:		13,444 SF.
SECOND FLOOR:		12,003 SF.
THIRD FLOOR:		11,880 SF.
FOURTH FLOOR:		11,880 SF.
TOTAL:		49,207 SF.
SITE DATA TABLE:		
TOTAL SITE AREA:		4.03 AC (175,311 SF.)
PAVEMENT AREA:		310 AC (134,911 SF.)
BUILDING AREA:		0.55 AC (14,381 SF.)
LANDSCAPE AREA:		0.60 AC (16,075 SF.)
PARKING STALLS:		244 TOTAL STALLS (16 ADA)
EXISTING ZONING:		B-2 COMMUNITY COMMERCIAL
PROPOSED ZONING:		PLANNED UNIT DEVELOPMENT PLD.



ELECTRICAL ENGINEER:  
LEE PLUMBING, HEATING,  
COOLING & ELECTRIC  
2935 60th STREET  
KENOSHA, WISCONSIN 53140  
PHONE: 262.651.3430  
ATTN: FRANK RUFOLO

PLUMBING ENGINEER:  
LEE PLUMBING, HEATING,  
COOLING & ELECTRIC  
2935 60th STREET  
KENOSHA, WISCONSIN 53140  
PHONE: 262.651.3430  
ATTN: BOB LEE, JR.

SHEET INDEX	
11	TITLE SHEET
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C11	EXISTING CONDITIONS PLAN
C21	SITE DIMENSIONAL AND PAVING PLAN
C31	GRADING PLAN
C41	UTILITY PLAN
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E60	ELECTRIC DETAILS

OWNER:  
FROEDTERT SOUTH  
9555 16th STREET  
PLEASANT PRAIRIE, WISCONSIN 53158  
PHONE: 262.656.2001  
ALT PHONE: 262.511.8000  
FAX: 262.653.5142  
ATTN: PETER MOLTHER

ARCHITECT:  
PARTNERS IN DESIGN ARCHITECTS  
6000 55th STREET, SUITE 210  
KENOSHA, WISCONSIN 53140  
PHONE: 262.652.2800  
ATTN: MARK MOLINARO, JR., AIA, LEED AP  
DAVE CAREOL, AIA, LEED AP

CONSTRUCTION MANAGER:  
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5301 99th AVENUE  
KENOSHA, WISCONSIN 53144-1810  
PHONE: 262.658.4381  
FAX: 262.658.0932  
ATTN: DAVE RILEY  
ERIN ANDERSON

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PINNACLE ENGINEERING GROUP  
8550 W. BLUEMOUND ROAD, SUITE 210  
BROOKFIELD, WI 53005  
PHONE: 262.75.8888  
FAX: 262.75.4888  
ATTN: ADAM ARTZ, PE  
MATT CAREY, PE

LANDSCAPE ARCHITECT:  
HELLER & ASSOCIATES LLC  
4715 JAMES AVENUE  
RACINE, WISCONSIN 53402  
PHONE: 262.639.9133  
FAX: 262.639.9131  
ATTN: DAVID HELLER, ASLA

STRUCTURAL ENGINEER:  
R.A. SMITH NATIONAL, INC.  
16145 WEST BLUEMOUND ROAD, SUITE 200  
BROOKFIELD, WISCONSIN 53005  
PHONE: 262.781.0000  
ATTN: STEVE ROLOFF, P.E.  
ROBERT RAY, P.E.

MECHANICAL ENGINEER:  
MARTIN PETERSEN COMPANY, INC.  
38200 55TH STREET  
KENOSHA, WISCONSIN 53144  
PHONE: 262.658.0356  
FAX: 262.658.0408  
ATTN: DANIEL A. YOUNG, P.E.

**Partners in Design**  
ARCHITECTS  
FROEDTERT SOUTH  
MEDICAL OFFICE BUILDING  
PLEASANT PRAIRIE  
FINAL SITE & OPS SET

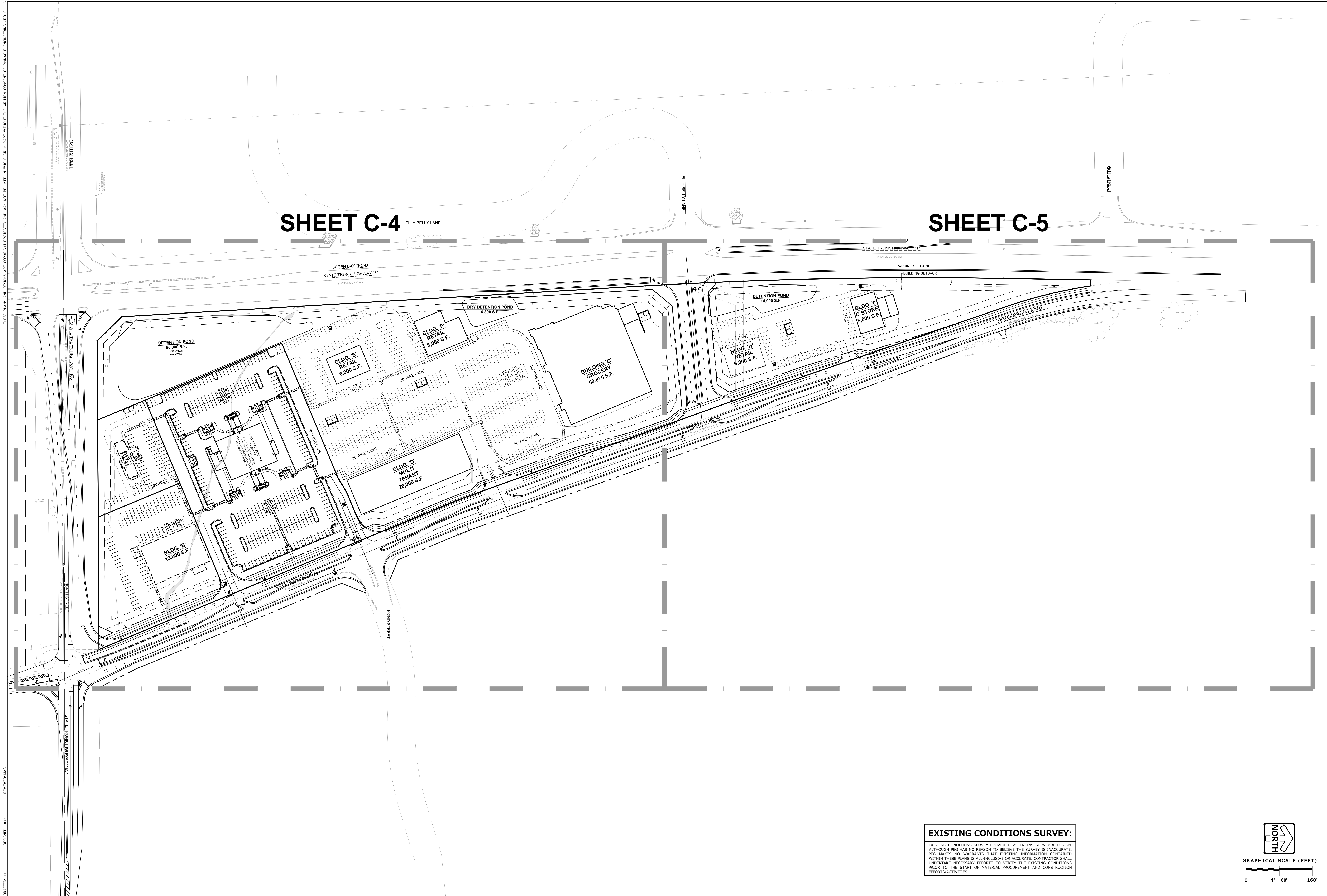
DATE: 05.09.18  
NUMBER: 634.17.051

## VOPP SITE & OPERATIONS



THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

DESIGNED: MAC  
DRAWN: EP  
REVIEWED: MAC

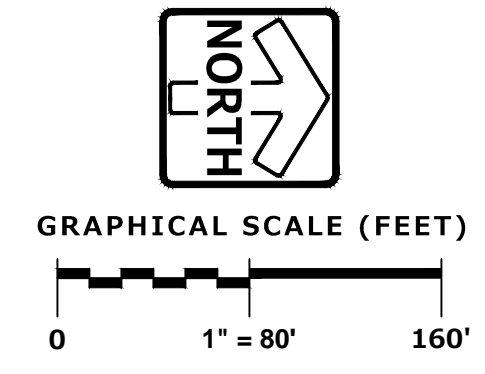


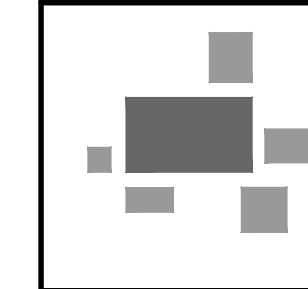
SHEET C-4

SHEET C-5

**EXISTING CONDITIONS SURVEY:**

EXISTING CONDITIONS SURVEY PROVIDED BY JENKINS SURVEY & DESIGN. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.





**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING

PLAN | DESIGN | DELIVER  
www.pinnacle-engr.com

WISCONSIN OFFICE:  
15850 W. BLUEMOUND ROAD  
BROOKFIELD, WI 53005  
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

**MAIN STREET MARKET  
VILLAGE OF PLEASANT PRAIRIE, WI**

**CONCEPT SITE PLAN OVERVIEW**

REVISIONS				SHEET C-3 of C-11
1	OVERALL SITE UPDATE	01/31/18		

REG. DB No. 1114.00-WI  
MAC  
SCALE 1" = 80'

START DATE 09-18-17  
SCALE 1" = 80'



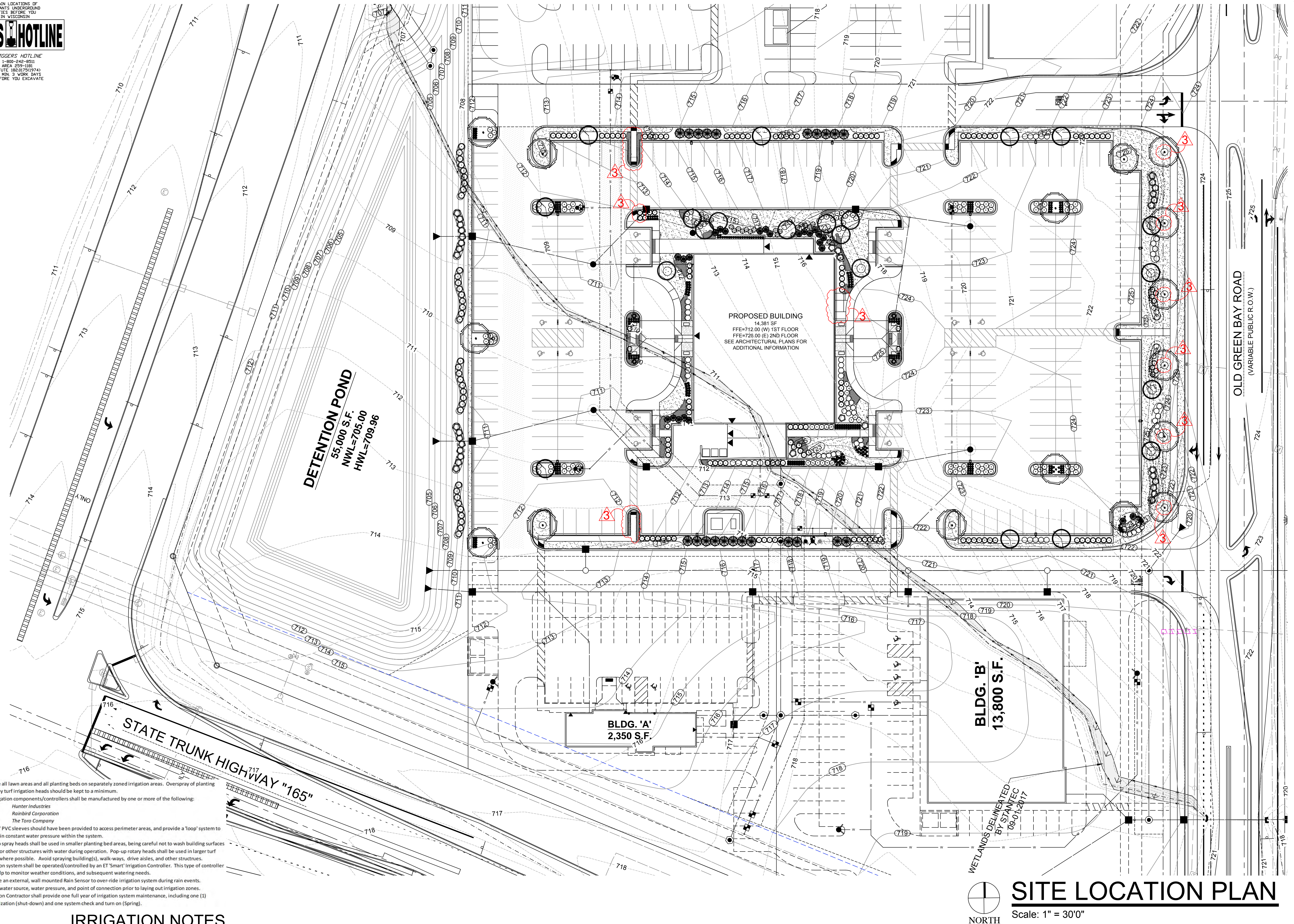
TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**DIGGERS HOTLINE**

CALL DIGGERS HOTLINE  
811 or 1-800-242-8511  
MILWAUKEE AREA 259-1181  
VIS. STATUTE 18.07(2)5974  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

1. Irrigate all lawn areas and all planting beds on separately zoned irrigation areas. Overspray of planting areas by turf irrigation heads should be kept to a minimum.
2. All irrigation components/controllers shall be manufactured by one or more of the following:  
Hunter Industries  
Rainbird Corporation  
The Toro Company
3. 2" or 4" PVC sleeves should have been provided to access perimeter areas, and provide a 'loop' system to maintain constant water pressure within the system.
4. Pop-up spray heads shall be used in smaller planting bed areas, being careful not to wash building surfaces walks, or other structures with water during operation. Pop-up rotary heads shall be used in larger turf areas, where possible. Avoid spraying building(s), walk-ways, drive aisles, and other structures.
5. Irrigation system shall be operated/controlled by an ET 'Smart' Irrigation Controller. This type of controller will help to monitor weather conditions, and subsequent watering needs.
6. Provide an external, wall mounted Rain Sensor to over-ride irrigation system during rain events.
7. Verify water source, water pressure, and point of connection prior to laying out irrigation zones.
8. Irrigation Contractor shall provide one full year of irrigation system maintenance, including one (1) winterization (shut-down) and one system check and turn on (Spring).

## IRRIGATION NOTES



## SITE LOCATION PLAN

Scale: 1" = 30'0"

REVISIONS	
1. ADDENDUM 1	12.07.17
2. SITE AND OPERATION SET	02.07.18
3. C801	04.18.18

PROJECT NO: 634.17.051	
DRAWN BY: PCA	CHECKED BY: WDH
DATE: 04.11.18	
SHEET NO: L1.0	

HELLER & ASSOCIATES, LLC  
LANDSCAPE ARCHITECTURE

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE  
NEC Green Bay Road & 104th St., Pleasant Prairie, WI  
SITE LOCATION LANDSCAPE PLAN

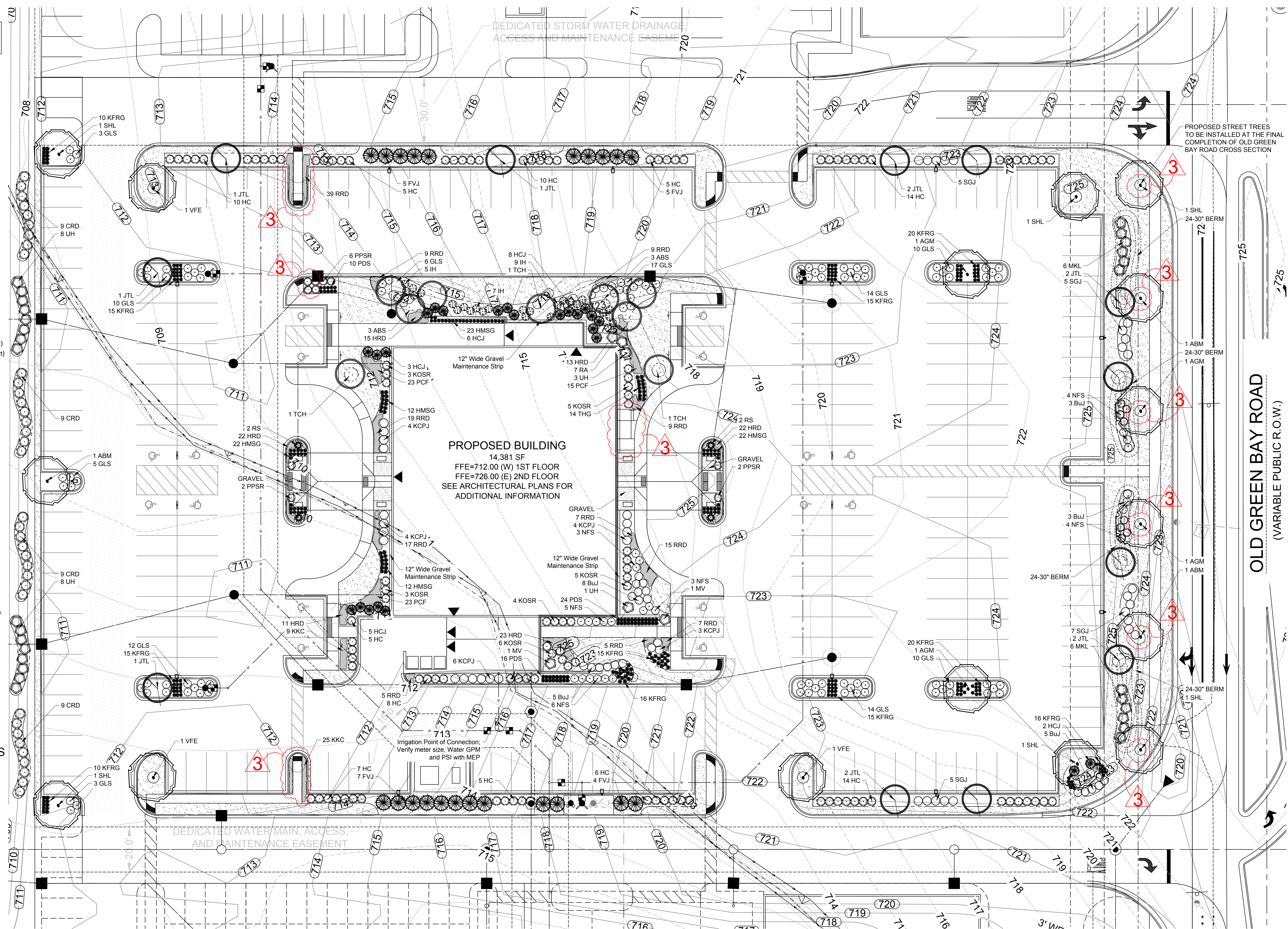
P.O. Box 1359  
Lake Geneva, Wisconsin 53147-1359  
ph 262.639.9733  
david@wdavidheller.com  
www.wdavidheller.com



**DIGGERS HOTLINE**

CALL DIGGERS HOTLINE  
811 or 1-800-242-8511  
MILWAUKEE AREA 259-1181  
VIA STATUTE 180.01(2)519740  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple  
SHL Skyline Honeylocust  
AGM Autumn Gold Maidenhair  
VFE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry  
TCH Thornless Cockspur Hawthorn  
JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
- HCJ Hetzl Columnar Juniper (upright)  
FVJ Fairview Upright Juniper (upright)
- EVERGREEN SHRUBS**
- SGJ Sea Green Juniper  
KCPJ Kallay Compact Pfizer Juniper  
BuJ Buffalo Juniper
- DECIDUOUS SHRUBS**
- CRD Cardinal Redtwig Dogwood  
HC Peking (Hedge) Cotoneaster  
IH Incrediball Hydrangea  
UH Unique Hydrangea  
GLS Gro Low Fragrant Sumac  
KOSR Knock Out Shrub Rose  
PPSR Pink Pavement Series Rose  
NFS Neon Flash Spirea  
MKL Miss Kim Dwarf Lilac  
MV Mohican Viburnum
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass  
THG Tufted Hair Grass  
HMSG Heavy Metal Switch Grass  
PDS Prairie Dropseed
- HERBACEOUS PERENNIALS**
- RA Rhineland Astilbe (Pink)  
PCF Magnus Purple Coneflower  
HRD Happy Returns Daylily  
RRD Rosy Returns Daylily  
KKC Dwarf Catmint  
RS Russian Sage
- PLANT ABBREVIATIONS**



**OVERALL LANDSCAPE PLAN**

Scale: 1" = 20'0"

NORTH

REVISIONS	12.07.17	ADDENDUM 1
	02.07.18	SITE AND OPERATION SET
	04.18.18	CB01

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE  
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

OVERALL LANDSCAPE PLAN

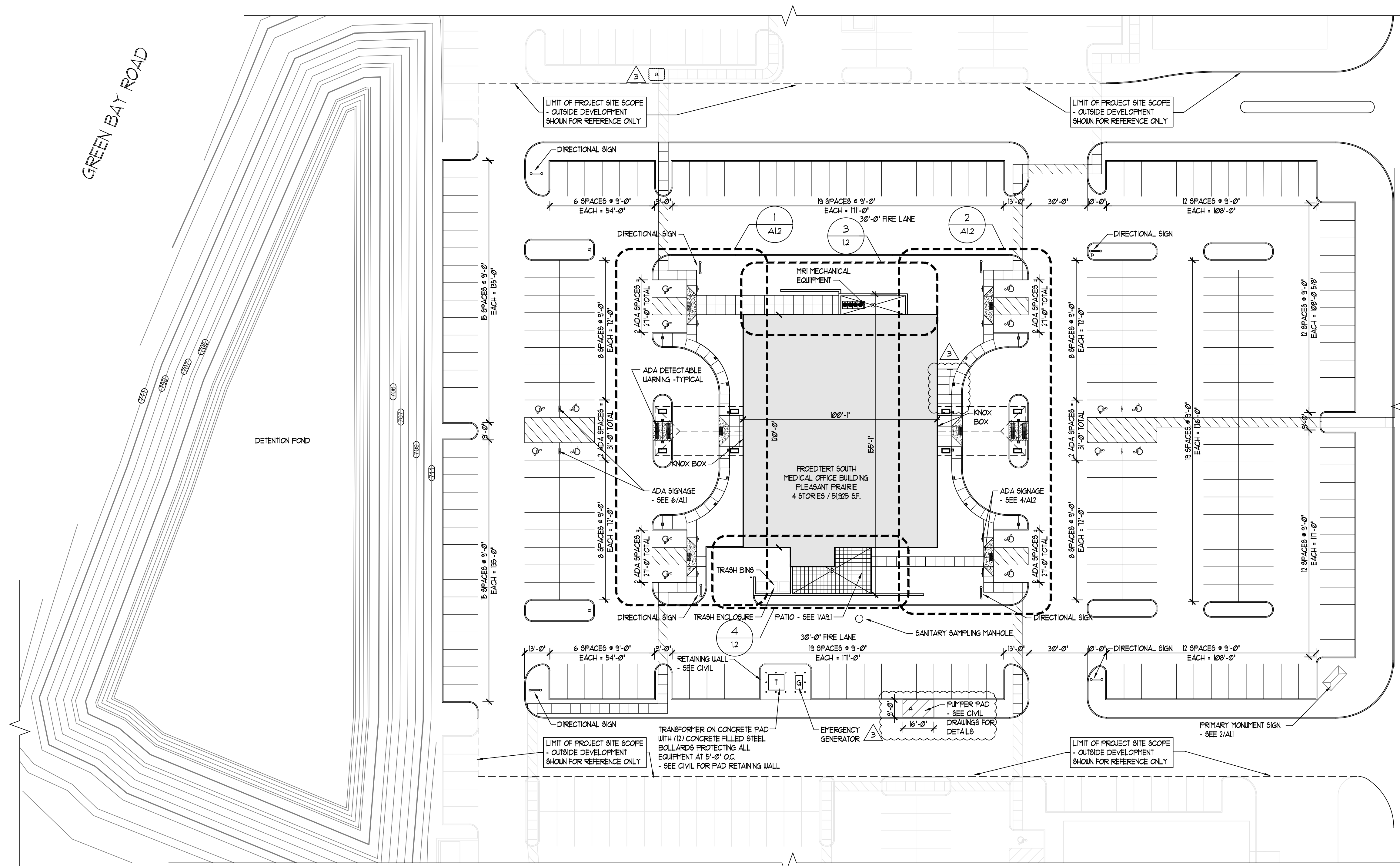
P.O. Box 1359  
Lake Geneva, Wisconsin 53147-1359  
ph 262.639.9733  
david@wdavidheller.com  
www.wdavidheller.com

**HELLER & ASSOCIATES, LLC**  
LANDSCAPE ARCHITECTURE

PROJECT NO: 634.17.051  
DRAWN BY: PCA  
CHECKED BY: WDH  
DATE: 04.11.18  
SHEET NO:

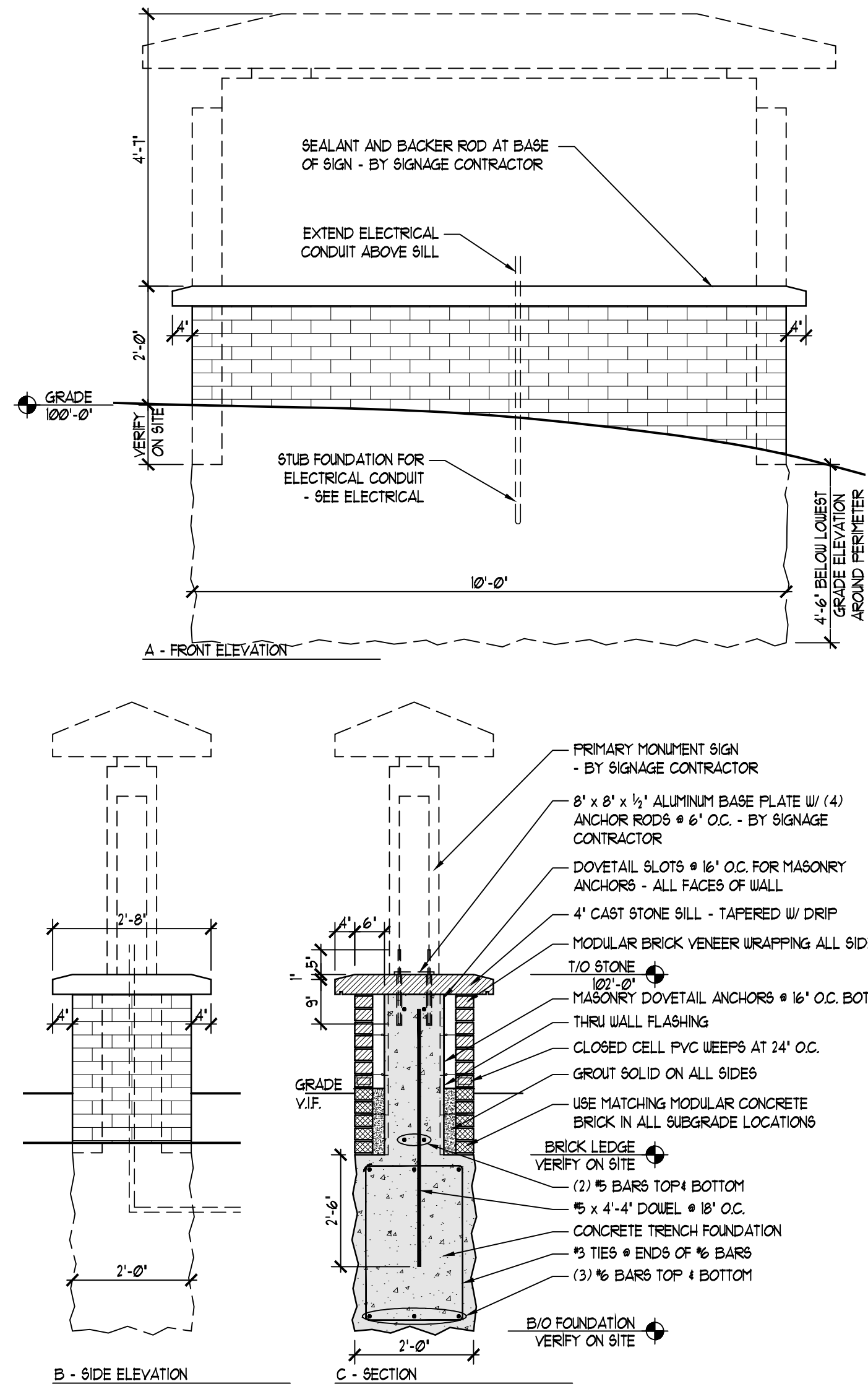
**L1.1**





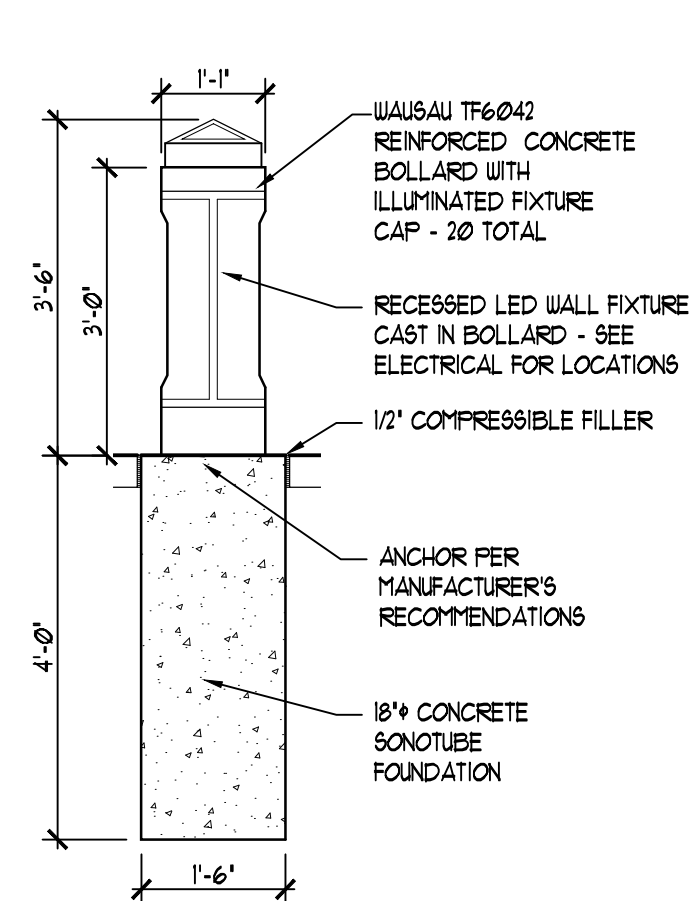
NOTE:  
WETLANDS ON SITE ARE PROPOSED TO BE FILLED PER:  
WI DNR PERMIT # 1P-SE-2011-30-02935 - APRIL 20, 2018  
ACOE FILE # MVP-2011-3516-RH - FEBRUARY 15, 2018

OLD GREEN BAY ROAD

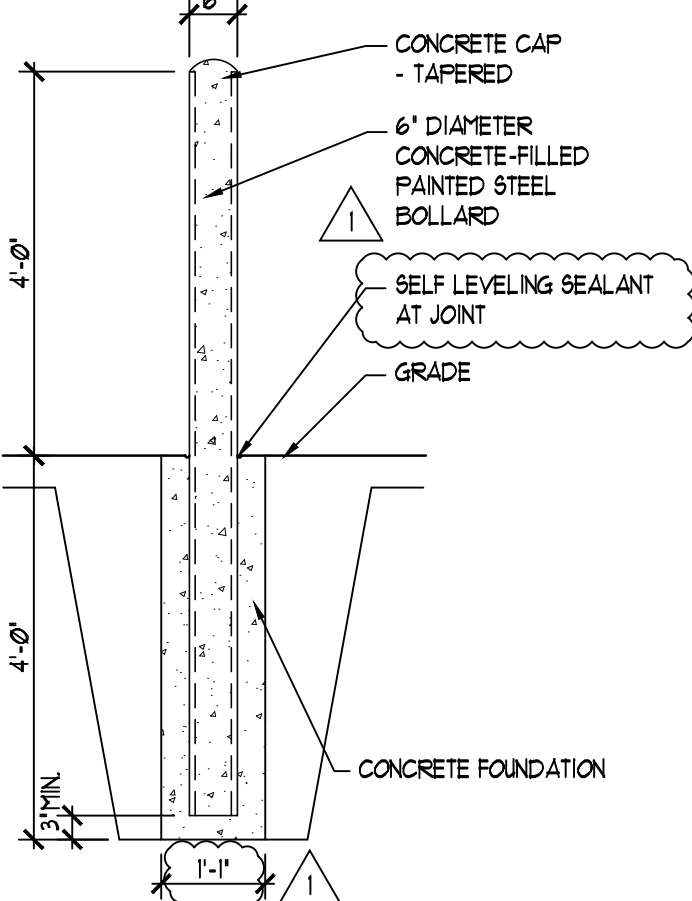


2 PRIMARY MONUMENT SIGN DETAILS  
1/2" = 1'-0" (1) REQUIRED

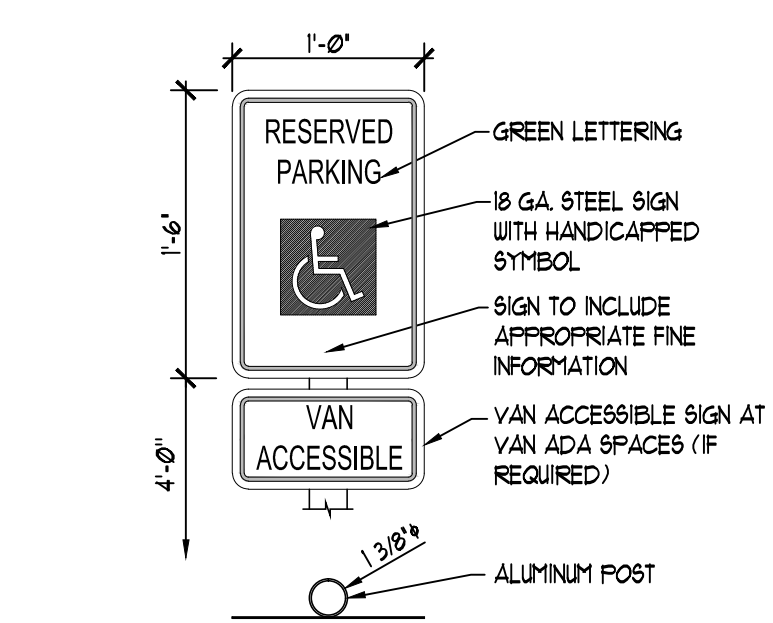
1 ARCHITECTURAL SITE PLAN  
1" = 30'-0" MAIN STREET MARKET - NEC 5TH ST & 5TH & 6TH



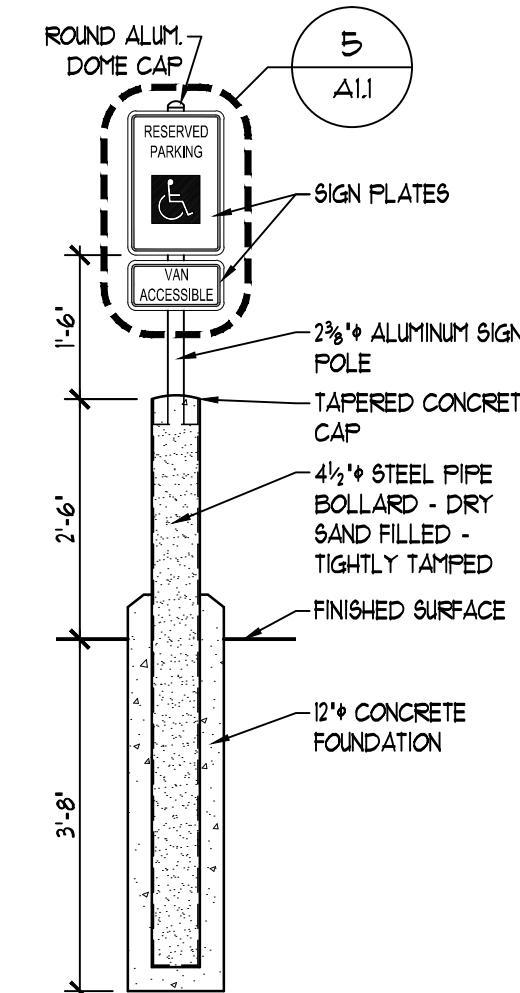
3 BOLLARD  
1/2" = 1'-0" QTY. - 20



4 TYP. BOLLARD  
1/2" = 1'-0" QTY. - 13

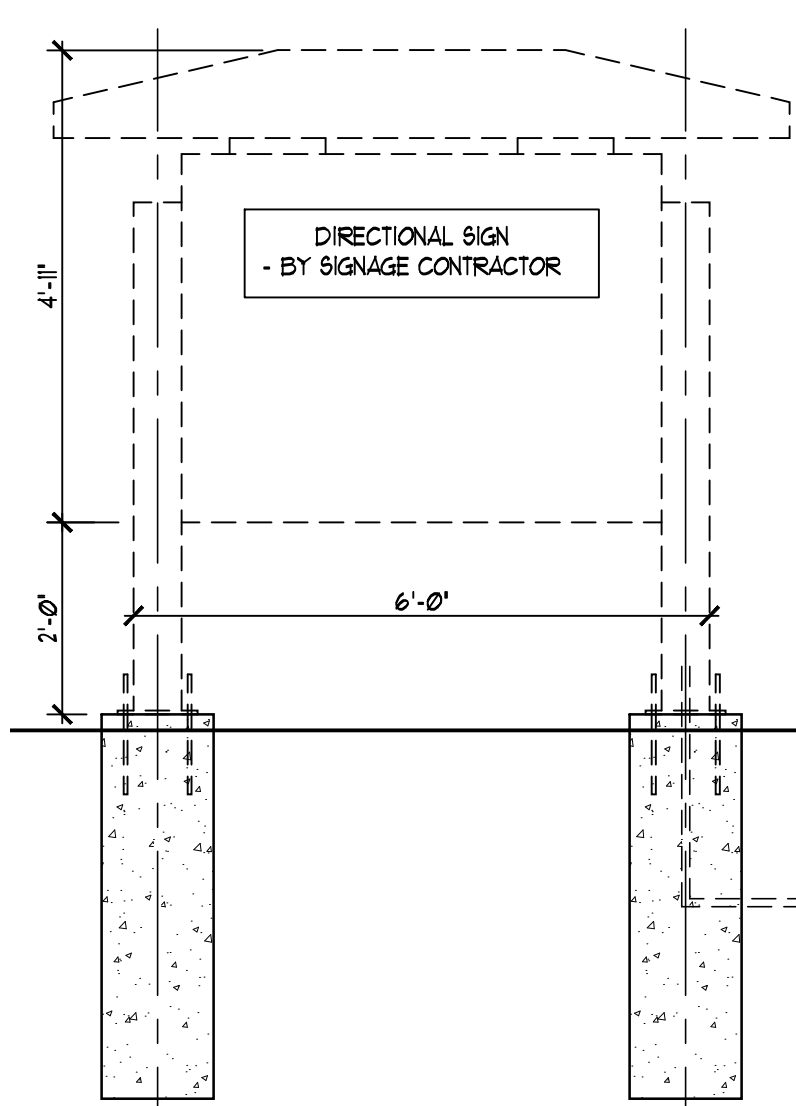


5 ADA PARKING SIGNAGE  
1" = 1'-0"



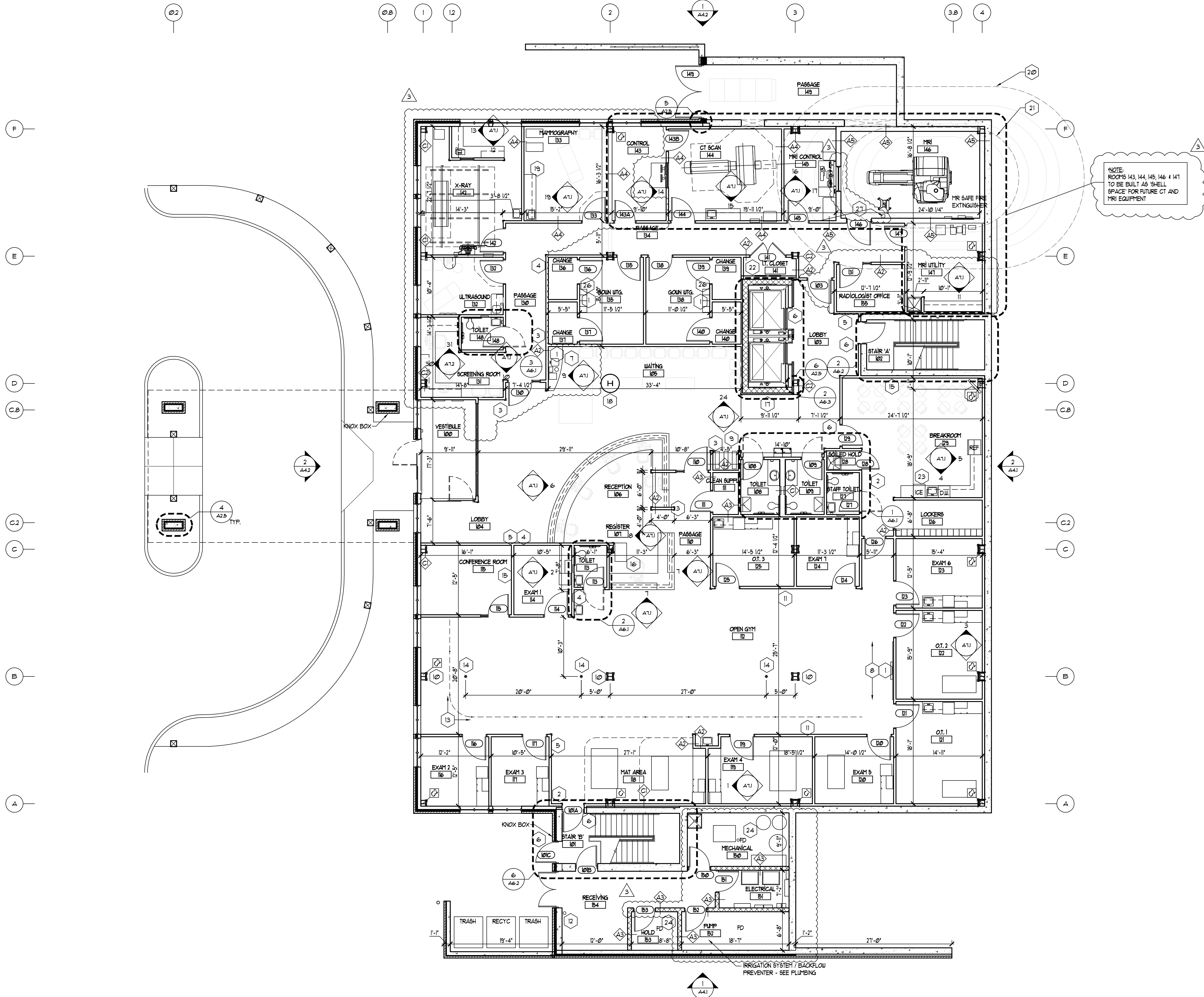
6 ADA PARKING SIGNAGE  
1/2" = 1'-0" QTY. - 16

PARKING REQUIREMENT CHART:  
5 SPACES x 20 PHYSICIANS = 100 SPACES  
1 SPACE PER EMPLOYEE = 100 SPACES  
\* UNDERSTANDING THAT PHYSICIAN COUNT IS UNDETERMINED AT THIS POINT,  
WE ARE PROVIDING FOR ADDITIONAL MD'S / STAFF & PATIENTS. WE ARE  
INCREASING THE NUMBER OF ADA SPACES AT THE REQUEST OF THE HOSPITAL.



7 DIRECTIONAL SIGN DETAILS  
1/2" = 1'-0" (8) ANTICIPATED





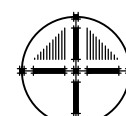
## FLOOR PLAN KEY NOTES

\* NOTE:  
CONTRACTOR TO COORDINATE LOCATIONS OF ALL ITEMS  
WITH OWNER PRIOR TO INSTALLATION.

- 1 TV LOCATIONS - PROVIDE MOUNTING, POWER AND CABLE.
- 2 KRONOS TIMECLOCK LOCATIONS - SEE ELECTRICAL
- 3 AUTOMATIC DOOR ADA WALL MOUNTED  
PUSH BUTTON OPERATOR
- 4 AED DEVICE IN SEMI-RECESSED CABINET - MODEL # PFE1023D,  
CENTERLINE MOUNTING HEIGHT AT 48" AFF.
- 5 SEMI-RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER
- 6 PROVIDE CARD ACCESS FUNCTIONALITY AT DOOR / FRAME  
- SEE ELECTRICAL
- 7 CAFE STATION - PROVIDE POWER, WATER AND DRAIN  
- SEE ELECTRICAL AND PLUMBING
- 8 1/4" WALL MOUNTED MIRROR WITH SAFETY BACKING AND POLISHED  
EDGES - MOUNT WITH 'U' CHANNEL TOP AND BOTTOM - MIRROR TO BE  
MOUNTED 1'-6" AFF. AND SHALL EXTEND TO A HEIGHT OF 7'-0" AFF.
- 9 WHEELCHAIR STORAGE
- 10 TRX ANCHOR - PROVIDE HEAVY DUTY BLOCKING AT EACH  
FACE OF COLUMN FOR OWNER PROVIDED TRX ANCHOR
- 11 REINFORCED WALL SHEATHING FOR WALL MOUNTED PULLEYS AND  
THROUGH BALL' PHYSICAL THERAPY EXERCISES (1/2" PLYWOOD  
BELOW 5/8" GYPSUM BOARD - FULL HEIGHT)
- 12 WALL MOUNTED FIRE EXTINGUISHER
- 13 SOLO STEP OVERHEAD TRACK - BY OWNER, UNISTRUT  
AND INSTALLATION BY GC (10'-0" AFF.)
- 14 UNDER FLOOR QUAD OUTLET LOCATIONS - SEE ELECTRICAL
- 15 A/V EQUIPMENT - COORDINATE WITH OWNER'S REPRESENTATIVE
- 16 COPIER - BY OWNER, POWER AND DATA - SEE ELECTRICAL
- 17 COAT ROD AND PLASTIC LAMINATE SHELF
- 18 38" TWO PIECE PLASTIC LAMINATE MILLWORK COLUMN COVER
- 19 DRX ASCEND X-RAY EQUIPMENT AS BASIS FOR DESIGN - BY OWNER  
LEAD LINING TO BE DETERMINED BY PHYSICIAN'S REPORT - BY OWNER
- 20 MRI: FERROUS OBJECTS MUST NOT MOVE INTO OR INSIDE  
OF THE MOVING METAL SENSITIVITY LINE DURING SCANS
- 21 MRI: MOVING METAL SENSITIVITY LINE FOR CARS,  
MINIVANS, PICKUP TRUCKS, AND AMBULANCES
- 22 LOCKABLE ELECTRICAL PANELS - SEE ELECTRICAL
- 23 ICE MAKER - SYMPHONY 100 CT COUNTERTOP UNIT  
- BY OWNER - SEE ELECTRICAL AND PLUMBING
- 24 PITCH FLOOR TO FLOOR DRAINS
- 25 MED SELECT FLEX UNIT - BY OWNER - SEE ELECTRICAL
- 26 HALF HEIGHT LOCKERS
- 27 MRI SAFE WALL MOUNTED FIRE EXTINGUISHER  
- COORDINATE LOCATION WITH OWNER

1 FIRST FLOOR TENANT PLAN  
A3.1 1/8"=1'-0"

14/02/09 SF.



REVISIONS:  
A CSD 04/18/19

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE  
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

FIRST FLOOR TENANT PLAN

600 Fifty-Second Street  
Suite 220  
Kenosha, WI 53142  
Ph: (262) 652-2800  
Fax: (262) 652-2812

Partners in Design  
ARCHITECTS



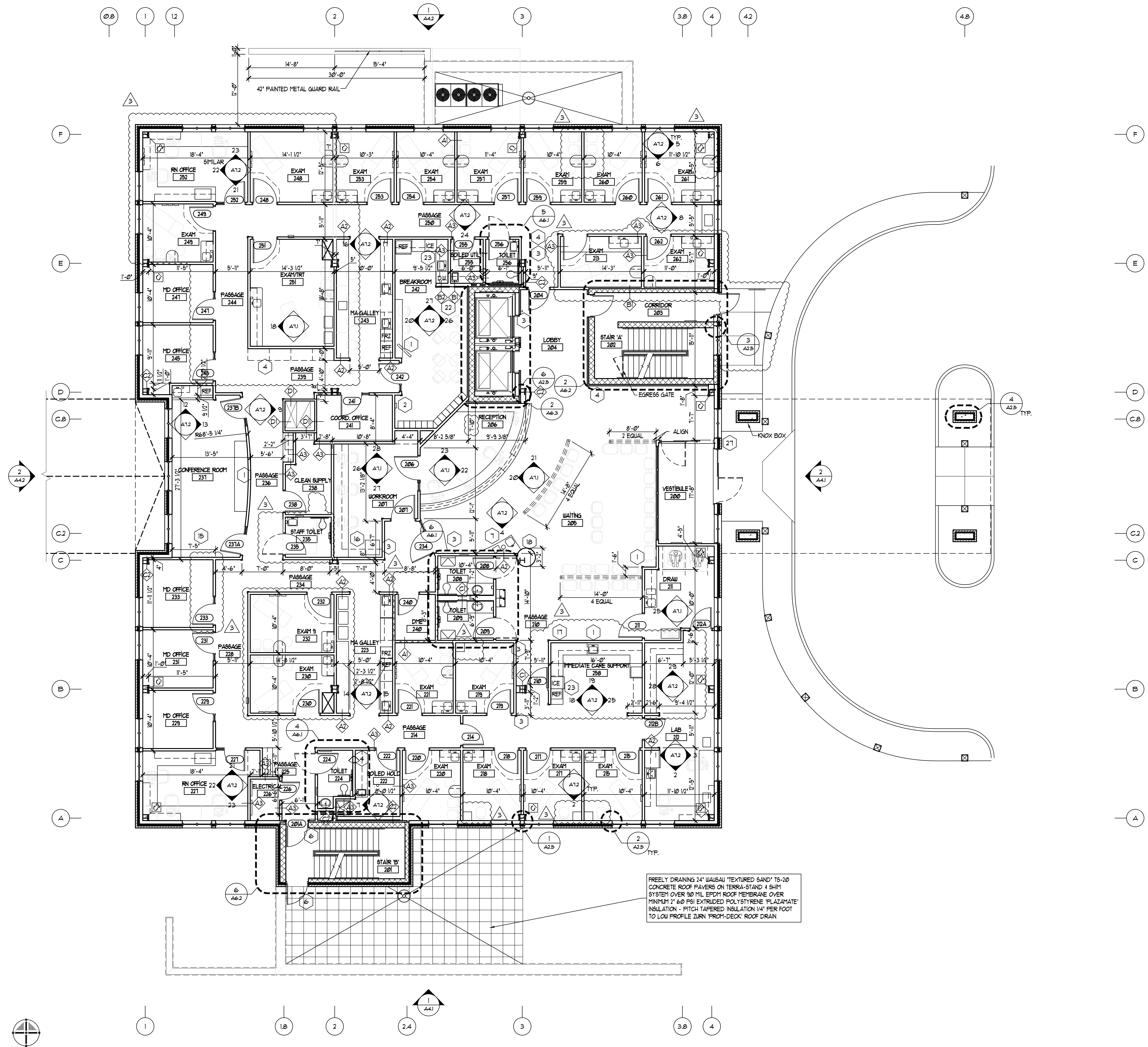
PROJECT NO.:  
634.17.051  
DRAWN BY: DAC  
CHECKED BY: MAM  
DATE:  
11/28/17  
SHEET NO.:

A3.1



FLOOR PLAN KEY NOTES

- \* NOTE:  
CONTRACTOR TO COORDINATE LOCATIONS OF ALL ITEMS  
WITH OWNER PRIOR TO INSTALLATION.
- TV LOCATIONS - PROVIDE MOUNTING, POWER AND CABLE.
  - KRONOS TIMECLOCK LOCATIONS - SEE ELECTRICAL.
  - AUTOMATIC DOOR ADA WALL MOUNTED  
PUSH BUTTON OPERATOR
  - AED DEVICE IN SEMI-RECESSED CABINET - MODEL \* PFE1023D,  
CENTERLINE MOUNTING HEIGHT AT 48" AFF.
  - SEMI-RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER
  - PROVIDE CARD ACCESS FUNCTIONALITY AT DOOR / FRAME  
- SEE ELECTRICAL
  - CAFE STATION - PROVIDE POWER, WATER AND DRAIN  
- SEE ELECTRICAL AND PLUMBING
  - 1/4" WALL MOUNTED MIRROR WITH SAFETY BACKING AND POLISHED  
EDGES - MOUNT WITH 'J' CHANNEL TOP AND BOTTOM - MIRROR TO BE  
MOUNTED 1'-6" AFF. AND SHALL EXTEND TO A HEIGHT OF 1'-0" AFF.
  - WHEELCHAIR STORAGE
  - TRX ANCHOR - PROVIDE HEAVY DUTY BLOCKING AT EACH  
FACE OF COLUMN FOR OWNER PROVIDED TRX ANCHOR
  - REINFORCED WALL SHEATHING FOR WALL MOUNTED PULLEYS AND  
THROW BALL - PHYSICAL THERAPY EXERCISES (1/2" PLYWOOD  
BELOW 5/8" GYPSUM BOARD - FULL HEIGHT)
  - WALL MOUNTED FIRE EXTINGUISHER
  - SOLO STEP OVERHEAD TRACK - BY OWNER, UNISTRUT  
AND INSTALLATION BY GC (10'-0" AFF.)
  - UNDER FLOOR QUAD OUTLET LOCATIONS - SEE ELECTRICAL
  - AV EQUIPMENT - COORDINATE WITH OWNER'S REPRESENTATIVE
  - COPIER - BY OWNER, POWER AND DATA - SEE ELECTRICAL
  - COAT ROD AND PLASTIC LAMINATE SHELF
  - 38" TWO PIECE PLASTIC LAMINATE MILLWORK COLUMN COVER
  - DRX ASCEND X-RAY EQUIPMENT AS BASIS FOR DESIGN - BY OWNER  
LEAD LINING TO BE DETERMINED BY PHYSICIAN'S REPORT - BY OWNER
  - MRI: FERROUS OBJECTS MUST NOT MOVE INTO OR INSIDE  
OF THE MOVING METAL SENSITIVITY LINE DURING SCANS
  - MRI: MOVING METAL SENSITIVITY LINE FOR CARS,  
MINIVANS, PICKUP TRUCKS, AND AMBULANCES
  - LOCKABLE ELECTRICAL PANELS - SEE ELECTRICAL
  - ICEMAKER - SYMPHONY 100 CT COUNTERTOP UNIT  
- BY OWNER - SEE ELECTRICAL AND PLUMBING
  - PITCH FLOOR TO FLOOR DRAINS
  - MED SELECT FLEX UNIT - BY OWNER - SEE ELECTRICAL
  - HALF HEIGHT LOCKERS
  - PROVIDE DEDICATED EXTERIOR GRADE 911 PHONE AND SECURITY  
CAMERA PER VOPF FIRE DEPARTMENT REQUIREMENTS.



1 SECOND FLOOR TENANT PLAN  
A3.2 1/8"=1'-0" 12/00 SF.

REVISIONS:  
A CSD 04/19/18

PROJECT NO:  
634.17.051

DRAWN BY:  
DAC

CHECKED BY:  
MAM

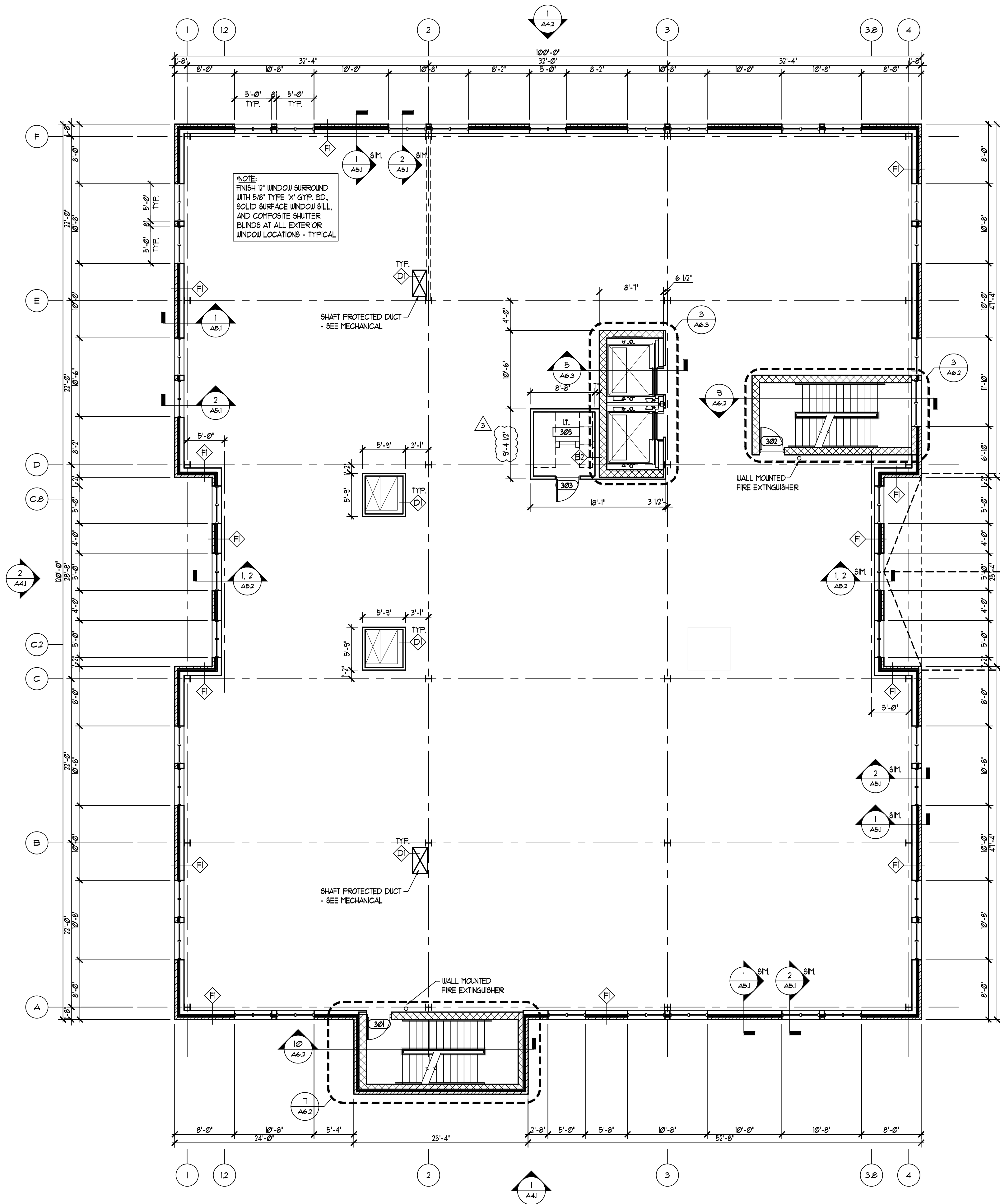
DATE:  
11/28/17

SHEET NO:  
A3.2

600 Fifty-Second Street  
Suite 220  
Kenosha, WI 53142  
Ph: (262) 652-2800  
Fax: (262) 652-2812

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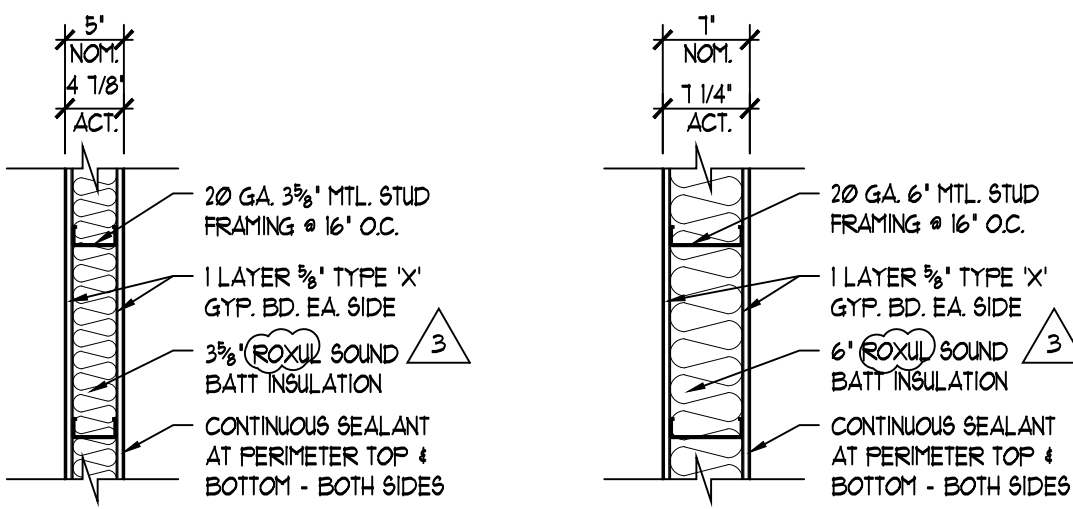
FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE  
NEC Green Bay Road & 104th St., Pleasant Prairie, WI  
SECOND FLOOR TENANT PLAN



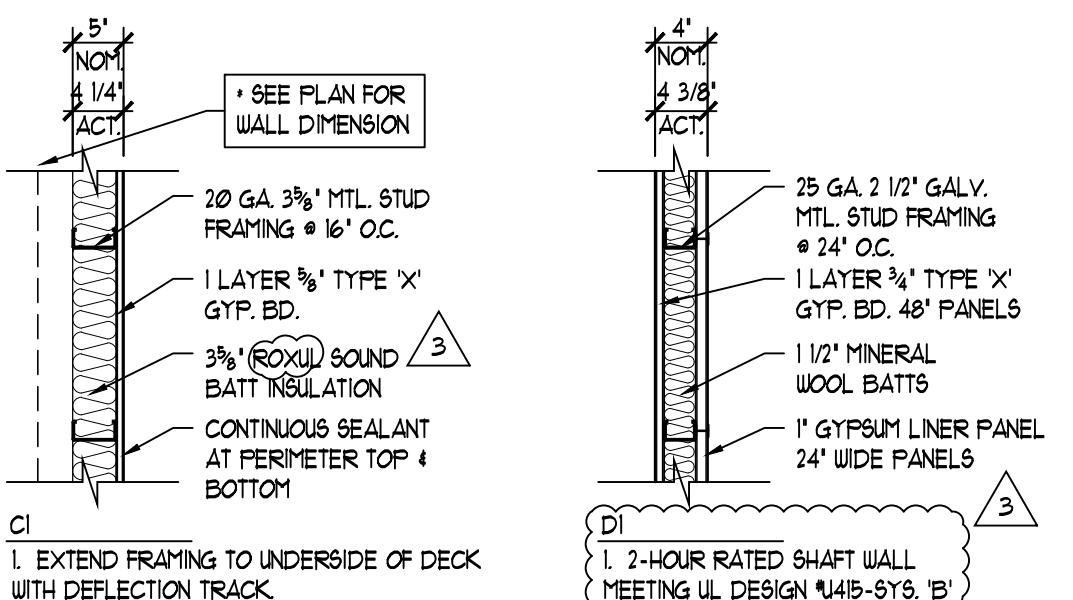
1 THIRD FLOOR SHELL PLAN  
A2.3 1/8"=1'-0"

WALL TYPES AI - UNLESS NOTED OTHERWISE

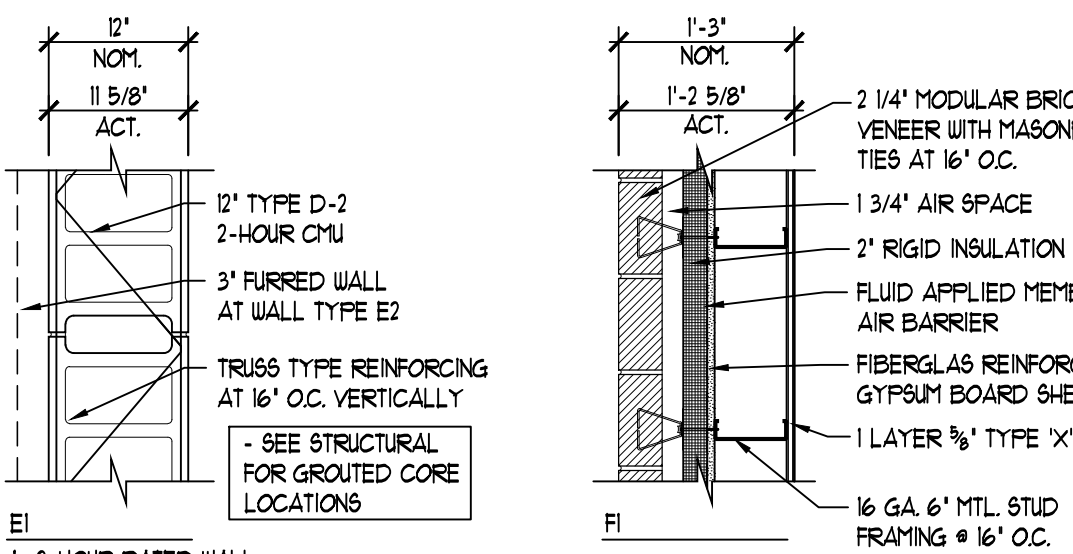
1. PROVIDE TRANSFER GRILLES TO ACCOMMODATE PLENUM CEILING RETURN IN ALL NON-RATED PARTITIONS - SEE MECHANICAL FOR LOCATIONS AND SPECIFICATIONS.
2. ALL GYP. BD. TO BE 5/8" TYPE 'X' UNLESS NOTED OTHERWISE.
3. PROVIDE DEFLECTION TRACK WITH 3" LEGS AT TOP OF ANY FRAMING EXTENDING TO UNDERSIDE OF DECK/STRUCTURE TO ALLOW FOR 1" DEFLECTION MINIMUM AND 1" CLEAR BETWEEN TRACK AND ANY APPLIED WALL SURFACE - NO WELD OR MECHANICAL FASTENING BETWEEN STUD AND TRACK.
4. PROVIDE 5/8" TYPE 'X' MOISTURE RESISTANT GYP. BD. AT ALL WET WALLS AND WALL FACES WITHIN 12" OF PLUMBING FIXTURES, AND AS NOTED.
5. PROVIDE GYPSUM BOARD EXPANSION JOINTS IN WALLS APPROXIMATELY EVERY 30' MAX. LOCATE AT DOOR HEADS WHERE APPLICABLE. CONSULT ARCHITECT FOR FINAL LOCATIONS PRIOR TO INSTALLATION.
6. TYPICAL INTERIOR WALL CONSTRUCTION: 3 5/8" x 20 GA. STUDS AT 16" O.C. WITH 3 5/8" x 18 GA. CONTINUOUS TRACK TOP AND BOTTOM. 20 GA. DOUBLE STUD REQUIRED AT ALL DOOR, WINDOW AND WALL OPENINGS.
7. ALL WALLS TO BE BRACED.
8. VERIFY DIMENSIONS, LAYOUT AND CONFIGURATION REQUIREMENTS OF ALL SHAFT AND EQUIPMENT WITH MECHANICAL, ELECTRICAL AND PLUMBING DESIGNERS.



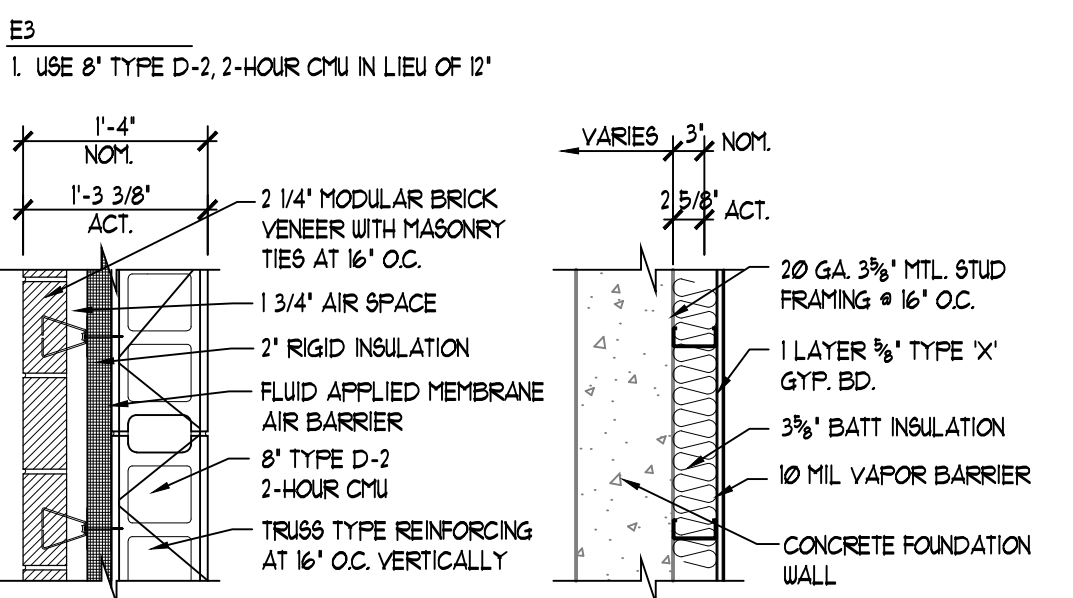
- AI  
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK. SEE MECHANICAL FOR PLENUM RETURN DIRECTION.
- A2  
1. DELETE BATT INSULATION.
- A3  
1. 1-HOUR RATED WALL MEETING UL DESIGN #419 - EXTEND TO DECK.
- A4  
1. INSTALL 1/32" LEAD LAYER BELOW GYP. BD. ON X-RAY SIDE OF ROOM
- A5  
1. INSTALL RF BARRIER WALL PER MRI MANFR SPECIFICATIONS.



- CI  
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK.
- C2  
1. DELETE BATT INSULATION
- C3  
1. 2 1/2" METAL STUD  
2. 2 1/2" SOUND BATT INSULATION



- EI  
1. 2-HOUR RATED WALL
- E2  
1. 2-HOUR RATED WALL. FUR OUT WITH 20 GA. 2 1/2" MTL STUD FRAMING @ 16" O.C. AND 1 LAYER 5/8" TYPE 'X' GYP. BD.
- E3  
1. USE 8" TYPE D-2, 2-HOUR CMU IN LIEU OF 12"



- GI  
1. SUBSTITUTE 12" TYPE D-2 CMU IN LIEU OF 8" TYPE D-2 CMU.
- HI  
1. INSTALL 1/32" LEAD LAYER OR RF BARRIER BELOW GYP. BD. ON EQUIPMENT SIDE OF ROOM PER EQUIPMENT MANFR SPECIFICATIONS.

REVISIONS

1	CSB	04/08
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FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE  
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

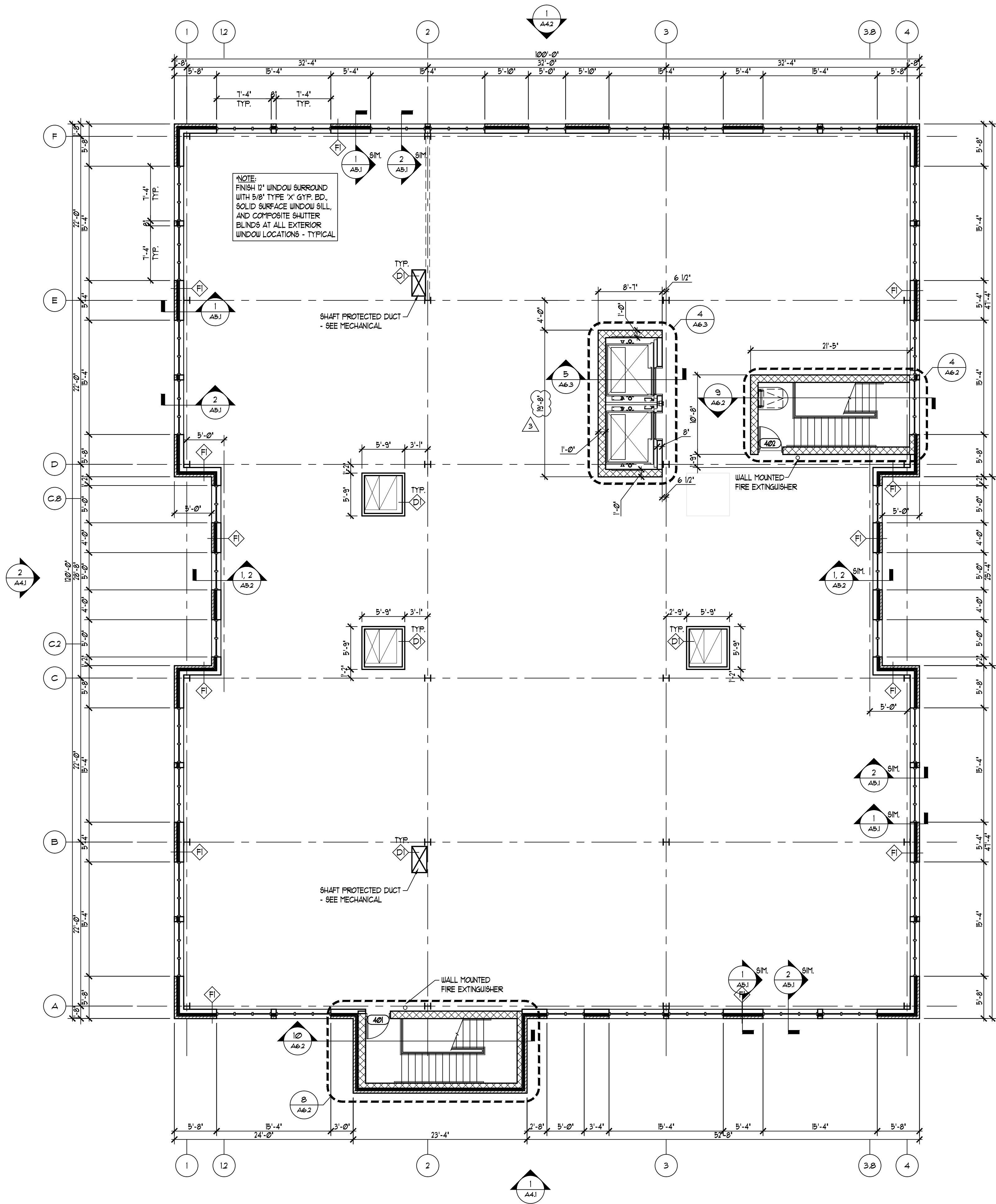
THIRD FLOOR SHELL PLAN

600 Fifty-Second Street  
Suite 220  
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Ph.: (262) 652-2800  
Fax: (262) 652-2812

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PROJECT NO:  
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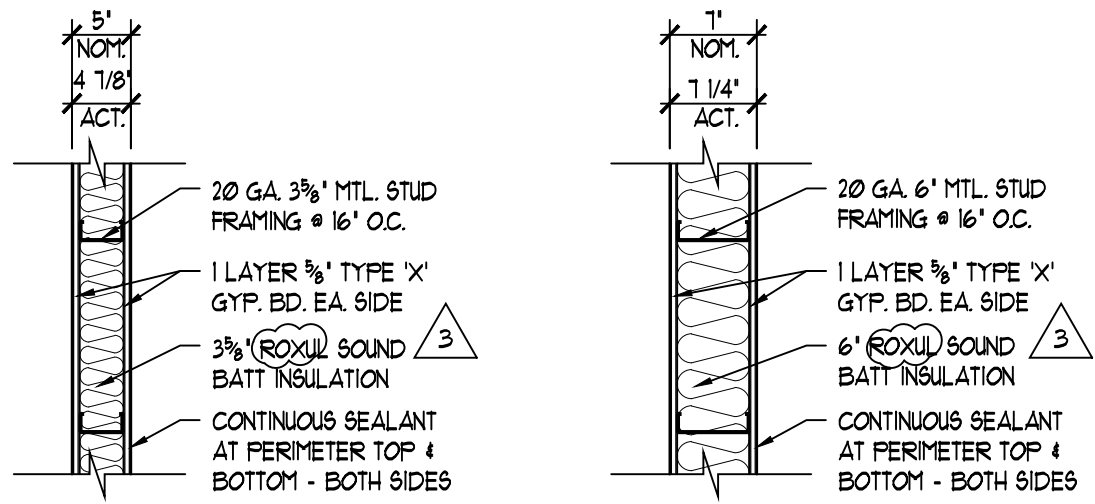
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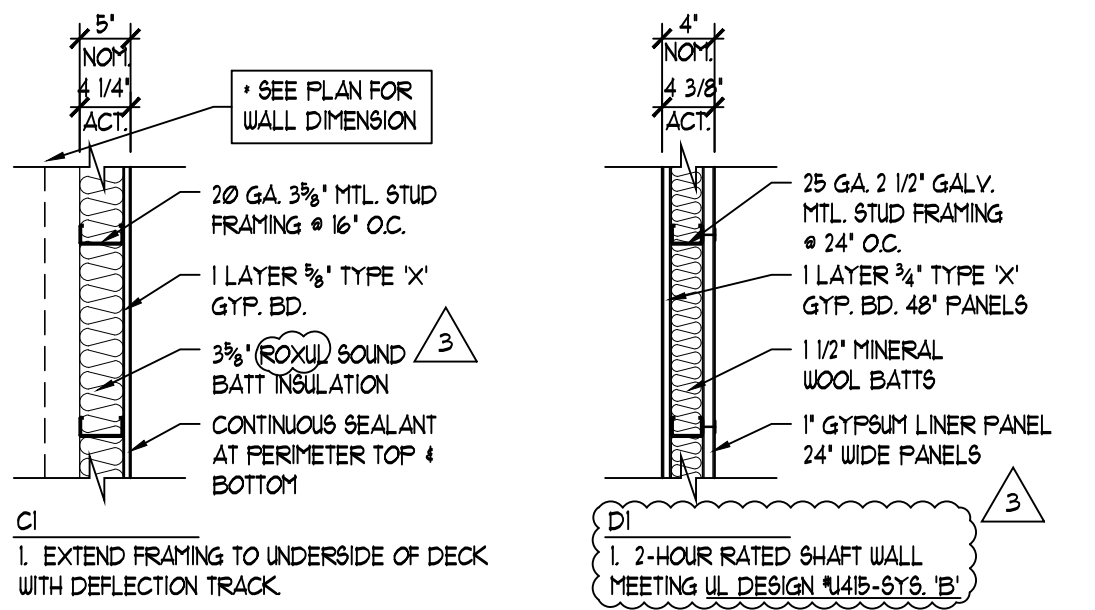
1 FOURTH FLOOR SHELL PLAN  
A2.4 1/8"=1'-0"

WALL TYPES AI - UNLESS NOTED OTHERWISE

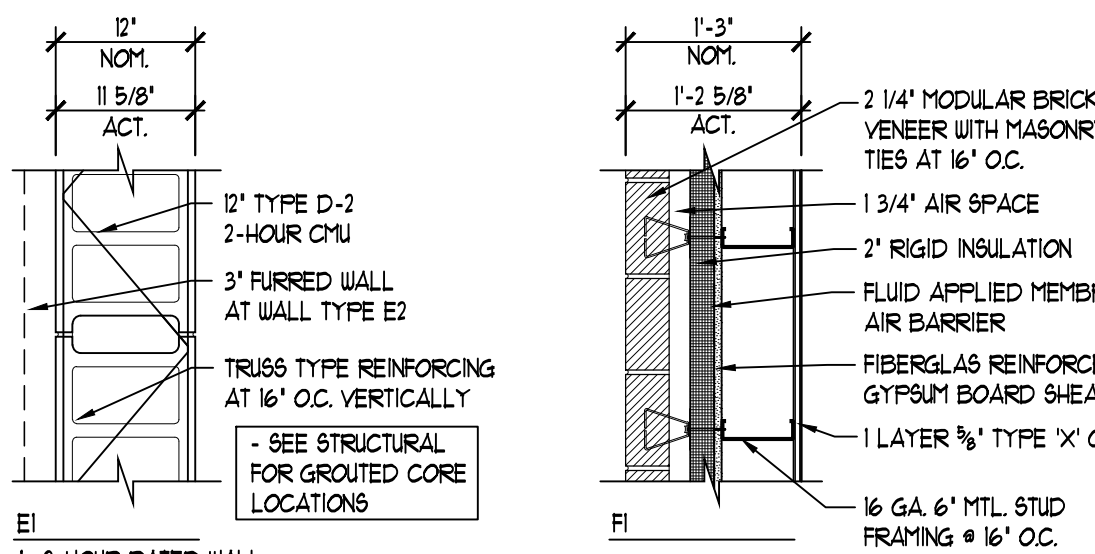
- PROVIDE TRANSFER GRILLES TO ACCOMMODATE PLENUM CEILING RETURN IN ALL NON-RATED PARTITIONS - SEE MECHANICAL FOR LOCATIONS AND SPECIFICATIONS.
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- PROVIDE 5/8" TYPE 'X' MOISTURE RESISTANT GYP. BD. AT ALL WET WALLS AND WALL FACES WITHIN 12' OF PLUMBING FIXTURES, AND AS NOTED.
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- ALL WALLS TO BE BRACED.
- VERIFY DIMENSIONS, LAYOUT AND CONFIGURATION REQUIREMENTS OF ALL SHAFT AND EQUIPMENT WITH MECHANICAL, ELECTRICAL AND PLUMBING DESIGNERS.



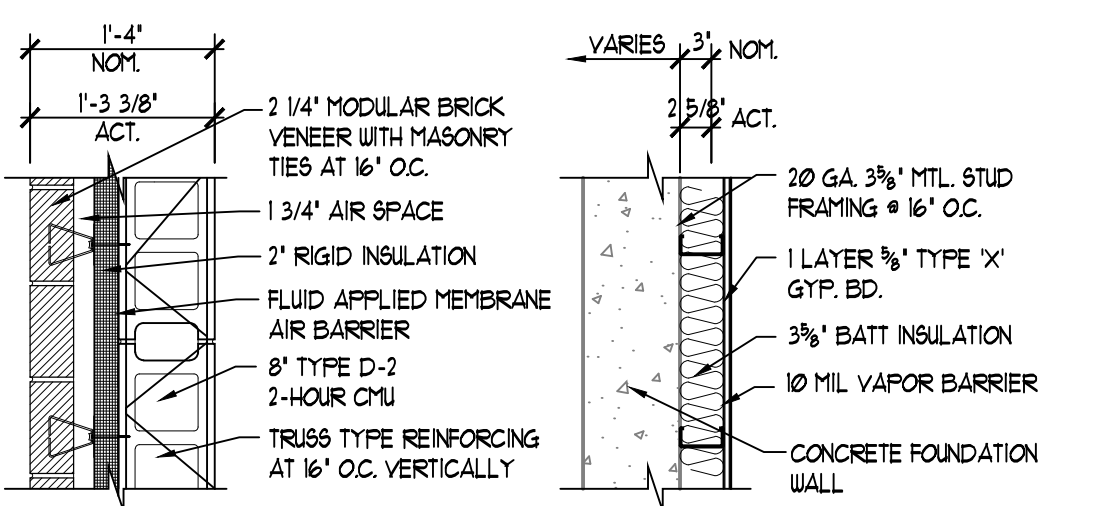
- AI  
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK. SEE MECHANICAL FOR PLENUM RETURN DIRECTION.  
A2  
1. DELETE BATT INSULATION.  
A3  
1. 1-HOUR RATED WALL MEETING UL DESIGN M418 - EXTEND TO DECK.  
A4  
1. INSTALL 1/32" LEAD LAYER BELOW GYP. BD. ON X-RAY SIDE OF ROOM  
A5  
1. INSTALL RF BARRIER WALL PER MRI MANFR SPECIFICATIONS.
- BI  
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK. SEE MECHANICAL FOR PLENUM RETURN DIRECTION.  
B2  
1. DELETE BATT INSULATION.



- CI  
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK.  
C2  
1. DELETE BATT INSULATION  
C3  
1. 2 1/2" METAL STUD  
2. 2 1/2" SOUND BATT INSULATION
- DI  
1. 2-HOUR RATED SHAFT WALL MEETING UL DESIGN M418-SYS. B1



- EI  
1. 2-HOUR RATED WALL  
E2  
1. 2-HOUR RATED WALL. FUR OUT WITH 20 GA 2 1/2" MTL STUD FRAMING @ 16" O.C. AND 1 LAYER 5/8" TYPE 'X' GYP. BD.  
E3  
1. USE 8" TYPE D-2, 2-HOUR CMU IN LIEU OF 12"
- FI  
1. OMIT INTERIOR LAYER 5/8" TYPE 'X' GYP. BD.



- GI  
1. SUBSTITUTE 12" TYPE D-2 CMU IN LIEU OF 8" TYPE D-2 CMU.
- HI  
1. INSTALL 1/32" LEAD LAYER OR RF BARRIER BELOW GYP. BD. ON EQUIPMENT SIDE OF ROOM PER EQUIPMENT MANFR SPECIFICATIONS.

REVISIONS


FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE  
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

FOURTH FLOOR SHELL PLAN

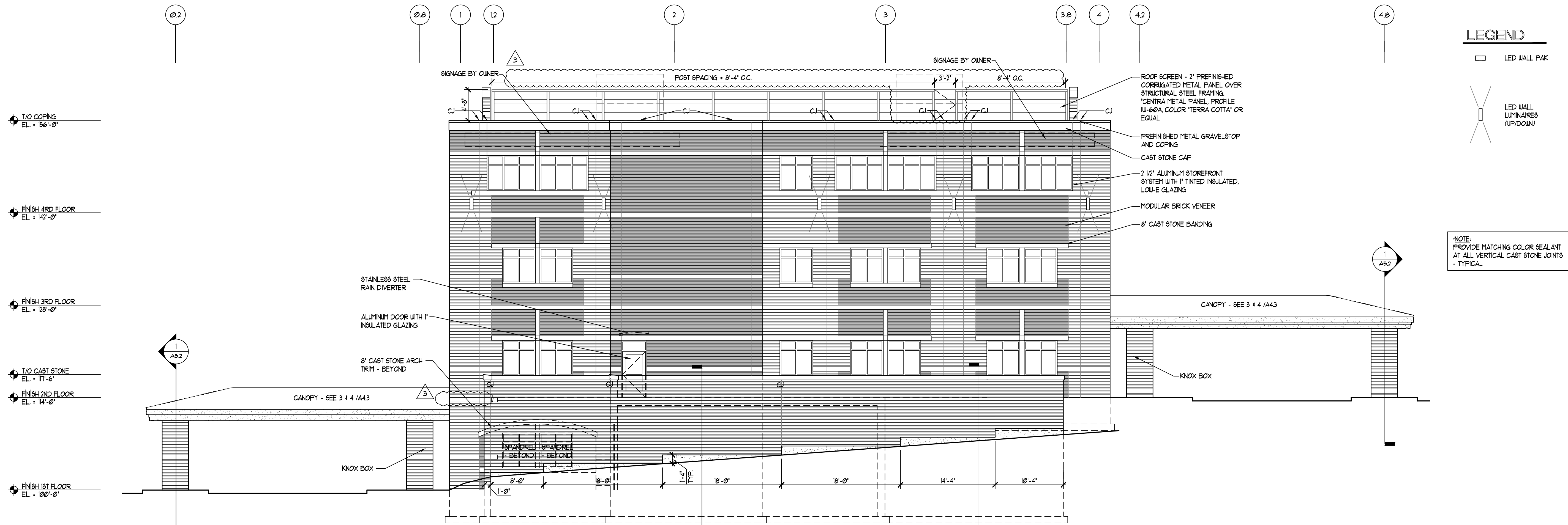
600 Fifty-Second Street  
Suite 220  
Kenosha, WI 53142  
Ph.: (262) 652-2800  
Fax: (262) 652-2812

PartnersinDesign  
ARCHITECTS

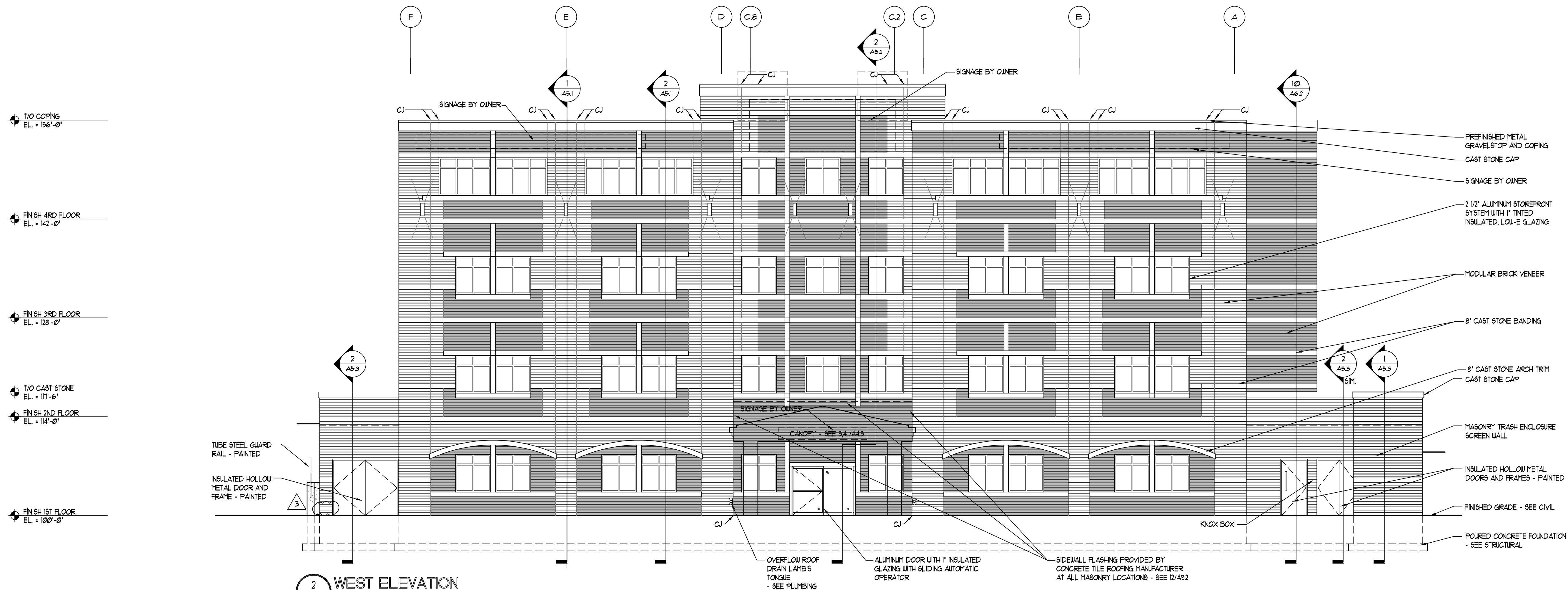
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634.17.051  
DRAWN BY: DAC  
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DATE:  
11/28/17  
SHEET NO:

A2.4



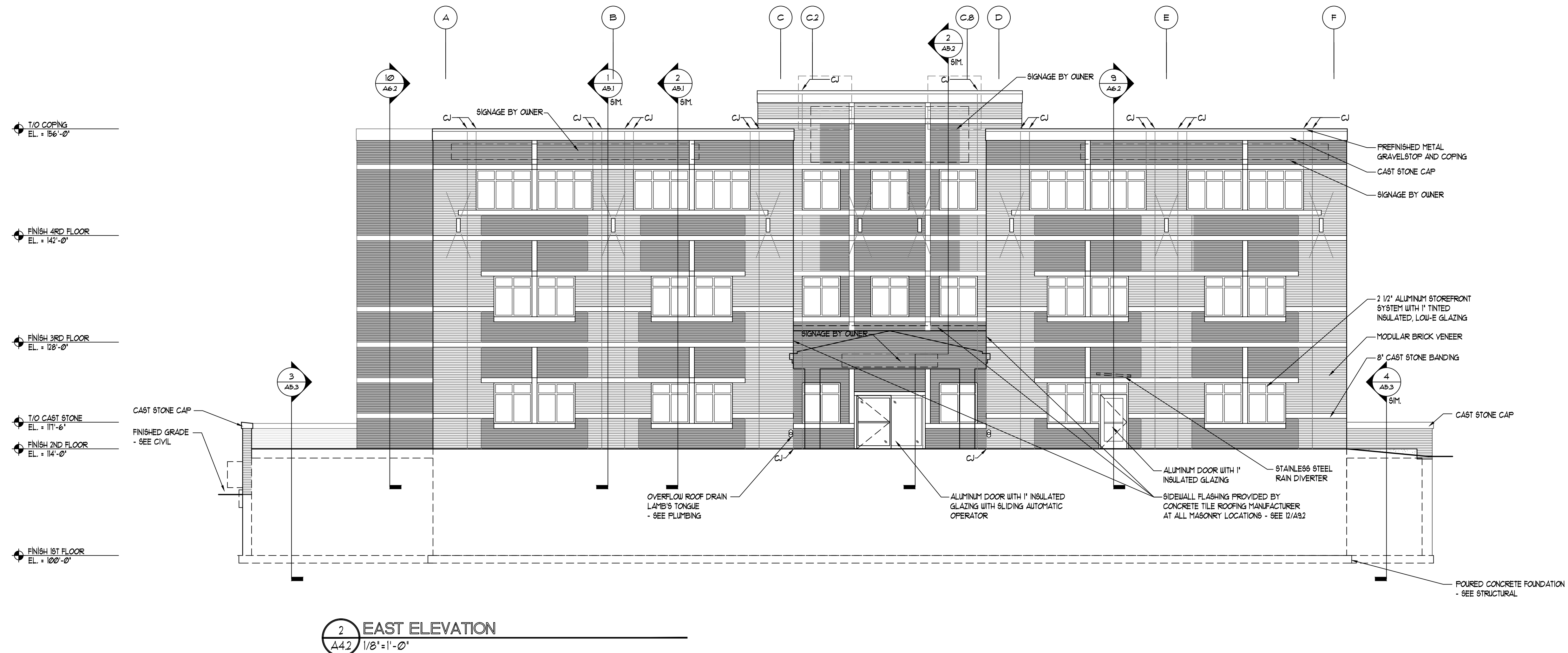
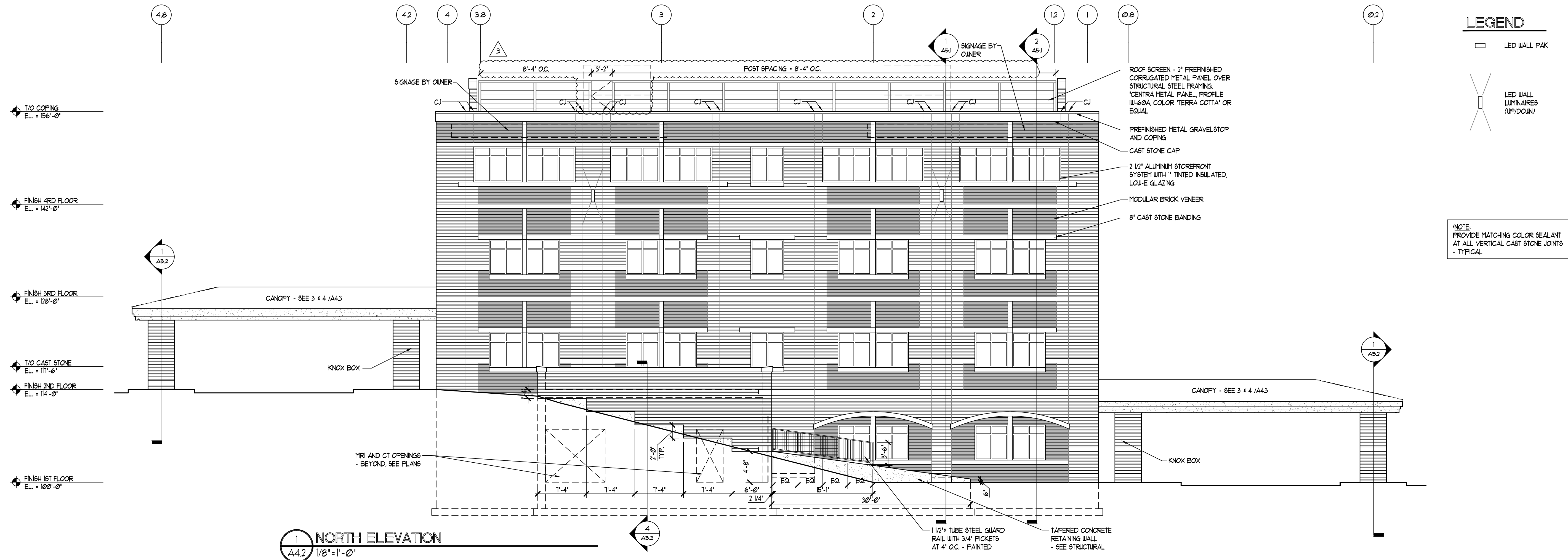


1 SOUTH ELEVATION  
A4.1 1/8" = 1'-0"



2 WEST ELEVATION  
A4.1 1/8" = 1'-0"





- D. Consider the request of Jack Williams on behalf of Central Storage Warehouse Corporation for an 18 month **time extension** (until July 3, 2020) of the conditionally approved **Site and Operational Plans** for the construction of 18,000 square foot addition to their facility located at 7800 95<sup>th</sup> Street in LakeView Corporate Park.

**Recommendation:**

Village staff recommends that the Plan Commission approve the time extension as requested (until July 3, 2020) of the conditionally approved **Site and Operational Plans** subject to compliance with the January 3, 2018 approval letter and compliance with any Village Ordinance amendments made since the original approval.

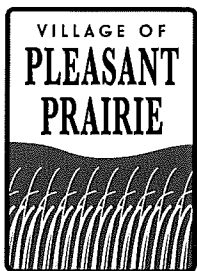
## **VILLAGE STAFF REPORT OF JUNE 25, 2018**

Consider the request of Jack Williams on behalf of Central Storage Warehouse Corporation for an 18 month **time extension** (until July 3, 2020) of the conditionally approved **Site and Operational Plans** for the construction of 18,000 square foot addition to their facility located at 7800 95<sup>th</sup> Street in LakeView Corporate Park.

*The petitioner is requesting an 18 month time extension to comply with the conditional approval of the Site and Operational Plans to construct an 18,000 square foot addition to the existing Central Storage & Warehouse Company (CSW) located at 7800 95<sup>th</sup> Street in LakeView Corporate Park.*

On December 11, 2018 the Plan Commission conditionally approved Site and Operational Plans for the proposed 18,000 sq. ft. to the west side of the building consisting of 15,425 sq. ft. of freezer space and the remainder dock space, with four (4) new loading dock doors facing the south. In addition, nine (9) parking spaces will be added on the east side of the building.

Village staff recommends that the Plan Commission approve the time extension as requested (until July 3, 2020) of the conditionally approved **Site and Operational Plans** subject to compliance with the **attached** January 3, 2018 approval letter and compliance with any Village Ordinance amendments made since the original approval.



Office of the  
Community Development Director  
Jean M. Werbie-Harris

**VIA EMAIL**

January 3, 2018

Mr. Jack Williams  
Central Storage & Warehouse Co.  
4309 Cottage Grove Rd.  
Madison, WI 53716

Dear Mr. Williams:

The purpose of this letter is to inform you that on December 11, 2017 the Village Plan Commission conditionally approved a **Site and Operational Plans** to construct an 18,000 square foot addition to the existing Central Storage & Warehouse Company (CSW) located at 7800 95<sup>th</sup> Street in LakeView Corporate Park subject to the following comments and conditions. In addition, on December 18, 2017, the Village Board approved the **attached Zoning Map and Zoning Text Amendment (Ord. #17-67 and Ord. #17-68)** to rezone the property into the M-2 (PUD), General Manufacturing District with a Planned Unit Development Overlay and to create the specific PUD ordinance to allow for a reduction of the required open space requirements for the site.

**Site and Operational Plan Comments:**

Central Storage and Warehouse Company is a public refrigerated warehousing company headquartered in Madison, WI. The existing facility at 7800 95<sup>th</sup> Street in Pleasant Prairie in Lakeview Corporate Park is a food storage and distribution freezer warehouse of 176,138 sq. ft. The building varies in height from 20' at the loading dock to 40' at the high point of the freezer.

CSW is proposing to add 18,000 sq. ft. to the west side of the building consisting of 15,425 sq. ft. of freezer space and the remainder dock space, with four (4) new loading dock doors facing the south. In addition, nine (9) parking spaces will be added on the east side of the building. This will be the last addition that could be constructed on this site.

Currently CSW has 32 full time employees at this location. CSW anticipates that upon completion of the addition they will employ 36 full-time and 2 part-time persons during three (3) shifts. Shift 1 will employ 18 persons, shift 2 would employ 14 persons and shift 3 will employ 6 persons. The maximum number of employees on site at any given time will be 26. After the expansion they will have 30 on-site parking spaces (including 2 handicapped accessible spaces). Pursuant to the Village Zoning Ordinance the following minimum parking spaces are required:

*Warehouse/Distribution Facility requires 1 space for every 2 employees during any 12-hour period plus the required handicapped accessible parking spaces.*

Therefore a total of 30 parking spaces meets and exceeds the minimum parking requirements for the facility. All required parking for the facility shall be accommodated on site since no on-street parking is allowed on 95<sup>th</sup> Street.

Shipping and receiving hours for CSW will not change from their current schedule, mainly 6:00 a.m. to midnight p.m. It is anticipated that approximately 80 semi-trucks per day (maximum of 120) will be serviced from the 26 available (after expansion) loading dock

doors. All of the loading and unloading equipment, forklifts and transporters etc., utilize the enclosed loading dock area and are not visible from outside the building.

The property is currently zoned M-2, General Manufacturing District and the use pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code this use is classified as Storage Group S-2 (Low Hazard). Therefore the use is a permitted use in the M-2 District.

The M-2 District requires that the building addition be setback a minimum of 65 feet from the property line adjacent to 95<sup>th</sup> Street, an arterial street, and a minimum of 45 feet from side and rear property lines (provided the addition is not located within any easements). The location of the parking lots, maneuvering lanes and the fire access lanes, including the curb and gutter shall not be located within any easements on the property and shall be setback a minimum 20 feet to property lines and a zero setback to the property to the north adjacent to the railroad tracks on the north. There is an exception for the shared cross access fire lane along the east property line. In addition, the site is required to have a minimum of 20% open space as required by the aforementioned PUD ordinance. The land to the north and west are owned by We Energies with a rail spur to the north, land to the east is owned by Fair Oaks Farm. CSW and Fair Oaks Farm share a common fire lane between their buildings.

**Site and Operational Plan Conditions:**

1. The Plans were reviewed for compliance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made and three (3) paper copies and a pdf copy of the revised Site and Operational Plans with a copy of this memorandum with notations in the margin identifying where and how the comments in condition #1 below were addressed shall be submitted for final staff review and approval.**
  - a. Compliance with the **attached** memo dated November 15, 2017 from the Village Engineering Department.
  - b. Revised the plans to show curb inlet protection on the north side of 95th Street.
  - c. Provide a detailed landscaping plans, show existing landscaping and add larger pine trees/planting along west side and south side entrances.
2. Compliance with the **attached** memorandum from the Fire & Rescue Department dated December 5, 2017.
3. Compliance with the **attached** memorandum from the Building Inspection Department dated November 13, 2017.
4. The existing sampling manhole will need to be field verified to make sure it meets current Village specifications. Contact Tom Hupp, with the Public Works Department at 262-925-6769 to schedule an inspection.
5. The Village Board shall approve the Zoning Map and Text Amendment prior to issuance of permits. (Being considered by the Village Board on December 18, 2017)

6. **Upon approval of the revised Site and Operational Plans and prior to the issuance of any permits and scheduling the required pre-construction meeting the following shall be submitted (paper copies and pdf copies):**
- a. A Compliance letter shall be prepared by the owner and submitted to the Fire & Rescue Department prior to the issuance of permits. This letter, on developer's letterhead, shall state that the project will comply with all requirements addressed within the Fire & Rescue Department's Memorandum dated December 5, 2017. A copy of this letter shall also be provided to the Community Development Department.
  - b. A copy of the written approval of the Site and Operational Plans from LakeView Corporation Commercial Association shall be submitted to the Village prior to obtaining building permits. Any modifications required by the Association shall be incorporated into the plans.
  - c. A copy of the written approval shall be provided from the utility easement holder(s) for proposed grading, utility, and/or other work within easement limits.
  - d. An Erosion Control Permit Application, final approved plans; a plan sheet that shows the location of any construction trailer, temporary fencing location or construction camera (if applicable). [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village at the time of obtaining the Erosion Control. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]
  - e. A Village Work in the Right-of-way Permit for all work proposed within 95<sup>th</sup> Street right-of-way, if applicable.
  - f. The Commercial Permit applications and required State approved plans.
  - g. A permit shall be submitted for the required temporary construction fence that is required to surround the property.
  - h. If a temporary development sign listing the project and contractors is proposed, then a sign permit application and related material shall be submitted. (No wind screen message signage is allowed and no plastic or material banners affixed to any site structures or trailers).
6. **Upon satisfaction of condition #'s 1-5 above and prior to work commencing on the site a preconstruction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications noted above are submitted). The Design Engineer/Architect of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting.** At a minimum the GC and Utility Contractors shall attend the pre-construction meeting. The Design Engineer of Record shall prepare and distribute the following items to all attendees (owners, engineer, contractors, utilities, and Village staff) at the pre-construction meeting:
- a. Pre-construction agenda (A sample agenda, if needed, will be provided by the Village to Design Engineer to modify for the meeting)
  - b. Project construction schedule

- c. List of all contractors
- d. Emergency contact information for all – project superintendent, owner, architect, contractors etc.

The Design Engineer/Architect of Record shall email and distribute the minutes to all attendees within 7 days of the pre-construction meeting.

- 7. **Following the pre-construction meeting all necessary permits and fees shall be paid for and permits obtained from Village Building Inspection Department and construction may commence.**
- 8. Impact fees shall be paid prior to issuance of the building permit for the addition. (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
- 9. **Prior to work commencing on the site, all required permits shall be issued by the Village, all required erosion control measures are in place on the site and the pre-construction meeting shall be held.**
- 10. **General Conditions/Comments**
  - a. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
  - b. There shall be no construction parking permitted on 95<sup>th</sup> Street. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
  - c. The Village shall approve of the location of all construction trailers parked on the site during construction activities. No construction trailers shall be parked in Village rights-of-way. All construction related signage shall be approved and permitted by the Village.
  - d. **After the installation of the footing and foundations and prior to the setting the walls an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to verify that the building meets all of the required setbacks.**
  - e. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/ dismantled/unlicensed vehicles that are parked overnight will be issued citations.
  - f. All roof top units shall be screened from public view as approved by the Village Zoning Administrator.
  - g. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
  - h. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
  - i. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.

- j. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
- k. There shall be no long-term semi-truck/trailer or box truck storage parking permitted on the site that is not used in the operations of the facility.
- l. There shall be no outdoor storage or display of materials, goods or equipment on this site, unless as approved by the Village.
- m. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
- n. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- o. Each handicapped accessible parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
- p. Prior to occupancy all man-door exits and entrances shall be attractively and consistently numbered, inside and outside, beginning in the front of the building and moving in a clockwise fashion around the building (Use the same font, size (3") and number placement). The numbering system allows for easy identification of where first responders are needed or the location of a safe entry point. Provide size and location detail for staff's review.
- q. Prior to occupancy, all required landscaping shall be installed prior to occupancy of any building. A written letter verification and certification shall be provided to the Village by the landscape designer that all building and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
- r. Prior to written occupancy of the building and associated site improvements an as-built plan stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were marked per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- s. Prior to written occupancy an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation

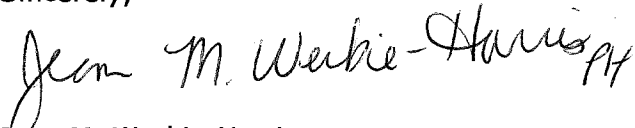


system installed shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.

- t. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- u. All Village fees incurred by the Village Community Development Department, the Engineering Department and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

If you have any questions please contact Ms. Peggy Herrick, Assistant Planner and Assistant Zoning Administrator, Kristina Tranel, Deputy Planner and Deputy Zoning Administrator or me directly at 262-925-6717

Sincerely,



Jean M. Werbie-Harris  
Community Development Director

Enc.

csu pud and site and op plans

DEV1701-003  
CODE1711-002

**ORD. #17-67**

**ORDINANCE TO CREATE  
THE CENTRAL STORAGE WAREHOUSE DEVELOPMENT  
PLANNED UNIT DEVELOPMENT (PUD) ORDINANCE PURSUANT TO  
CHAPTER 420-137 OF THE VILLAGE ZONING ORDINANCE  
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

**BE IT ORDAINED** by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, to create the Central Storage Warehouse Planned Unit Development (PUD) pursuant to Chapter 420-137 of the Village Zoning Ordinance to read as follows:

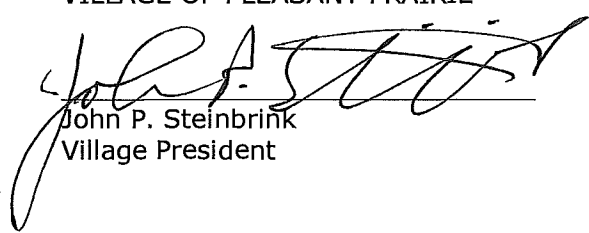
**CENTRAL STORAGE WAREHOUSE PLANNED UNIT DEVELOPMENT**

- a. It is the intent that the Central Storage Warehouse property described below (hereinafter referred to as the "DEVELOPMENT"), will provide for structures, improvements and uses on the property as legally described below in conformity with the adopted Village Comprehensive Plan and in compliance with the basic underlying M-2, General Manufacturing District with the goal of facilitating development in a fashion that will not be contrary to the general health, safety, economic prosperity, and welfare of the Village, with the proper maintenance on a regular basis for the structures, landscaping, street trees, parking areas, lighting, signage, garbage dumpster enclosures, and overall site so as to promote a clean industrial development site with additional landscaping along the west property line and shared fire lane with the facility to the east. The DEVELOPMENT achieves an environment of sustained desirability and economic stability, which will operate as a uniform industrial development with the LakeView Corporate Park as well as avoids unreasonable adverse effects to the property values of the surrounding properties and the surrounding industrial facilities.
- b. Legal Description: The property included is known as Lot 1 of CSM 2719 as recorded at the Kenosha County Register of Deeds Office in the Prairie Ridge Development located in U.S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie.
- c. Requirements within the DEVELOPMENT:
  - (i) The DEVELOPMENT shall be in compliance with all Federal, State, County and Village Ordinances and regulations, except as expressly modified by this PUD Ordinance.
  - (ii) The DEVELOPMENT shall be in compliance with the *LakeView Corporate Park Declaration of Development Standards and Protective Covenants*, as recorded at the Kenosha County Register of Deeds Office. Said Declarations, as requested by the owners and approved by the Village, may be amended from time to time.
  - (iii) All private improvements for this DEVELOPMENT are required to be installed and maintained pursuant to the approved Site and Operational Plans and any subsequent Site and Operational Plans approved and on file with the Village within the DEVELOPMENT.
  - (iv) The owners of the DEVELOPMENT shall be in compliance with the Fire Protection and Fire Sprinkler requirements as set forth Section 180 of the Municipal Code.
  - (v) The DEVELOPMENT shall be in compliance with all applicable Site and Operational Plan(s), Conditional Use Permits (if applicable), Planned Unit Developments, and Village Licenses and Permits as on file with the Village.
  - (vi) All buildings and site alterations and modifications, excluding general building and site maintenance within the DEVELOPMENT, shall be made in accordance with the applicable Village Ordinances and Codes at the time the modification is proposed.

- (vii) Temporary or permanent storage containers (some having brand names such as P.O.D.S, S.A.M.S., etc.) and compactors are not allowed within the DEVELOPMENT. All merchandise, products, crates, pallets, etc., storage shall be stored inside the building.
  - (viii) All roof top units shall be screened from public view as approved by the Village Zoning Administrator.
  - (ix) No flags, pennants, streamers, inflatable signage, plastic banner-type signage, spot lights, walking signs, shall be affixed to any building, person, landscaping, vehicle, roof-top, or the ground unless expressly permitted by the Zoning Ordinance.
  - (x) The DEVELOPMENT shall be maintained in a neat, presentable, aesthetically pleasing, structurally sound and nonhazardous condition. All litter and debris shall be promptly removed.
  - (xi) The DEVELOPMENT shall not be used for any outside overnight or daytime parking of junked, inoperable, dismantled or unlicensed vehicles. All junked, inoperable, dismantled or unlicensed vehicles that are parked outside will be issued citations. No extended overnight parking of passenger vehicles is allowed in the parking lots.
  - (xii) The DEVELOPMENT shall comply with all applicable performance standards set forth in Section 420-38 of the Village Zoning Ordinance.
- d. Specific modifications to the Village of Pleasant Prairie Zoning Ordinance for the DEVELOPMENT:
- (i) Section 420-124 J (3) related to Open Space is amended as follows:
    - (3) Open Space: 20% minimum.
- e. Amendments
- (i) The PUD regulations for the DEVELOPMENT may be amended pursuant to Chapter 420-137 of the Zoning Ordinance.
  - (ii) The Zoning Administrator has the discretion to approve minor changes, adjustments and additions to this PUD ordinance document without the need for Village Plan Commission and Village Board review and approval.

**Adopted this 18<sup>th</sup> day of December 2017.**

VILLAGE OF PLEASANT PRAIRIE

  
John P. Steinbrink  
Village President

ATTEST:

  
Jane M. Romanowski  
Village Clerk

Posted: 12/19/2017

67-csw pud  
CODE1711-002

**ORD. # 17-68**

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP  
OF THE VILLAGE OF PLEASANT PRAIRIE,  
KENOSHA COUNTY, WISCONSIN  
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

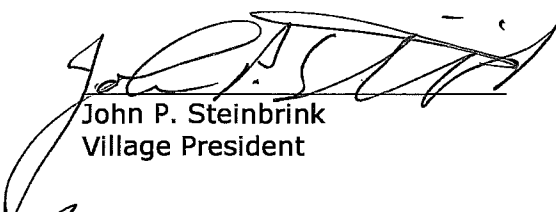
**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,  
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended  
as follows:**

The subject property located at 7800 95<sup>th</sup> Street, known as Parcel 47 of CSM 2719 within a part of U.S. Public Land Survey Section 21, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Number 92-4-122-211-0109 is hereby rezoned from the M-2, General Manufacturing District to the M-2 (PUD), General Manufacturing District with a Planned Unit Development Overlay District.

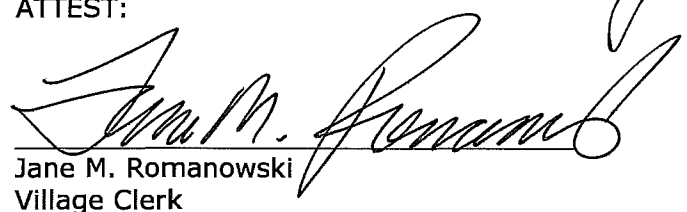
The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendments.

**Adopted this 18<sup>th</sup> day of December 2017.**

**VILLAGE BOARD OF TRUSTEES**

  
John P. Steinbrink  
Village President

ATTEST:

  
Jane M. Romanowski  
Village Clerk

Posted: 12/19/2017

68-CSW PUD  
CODE1711-002





## MEMORANDUM

Office of the Village Engineer  
**Matthew J. Fineour, P.E.**

TO: Peggy Herrick, Assistant Planner / Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Central Storage Warehouse - Addition

DATE: November 15, 2017

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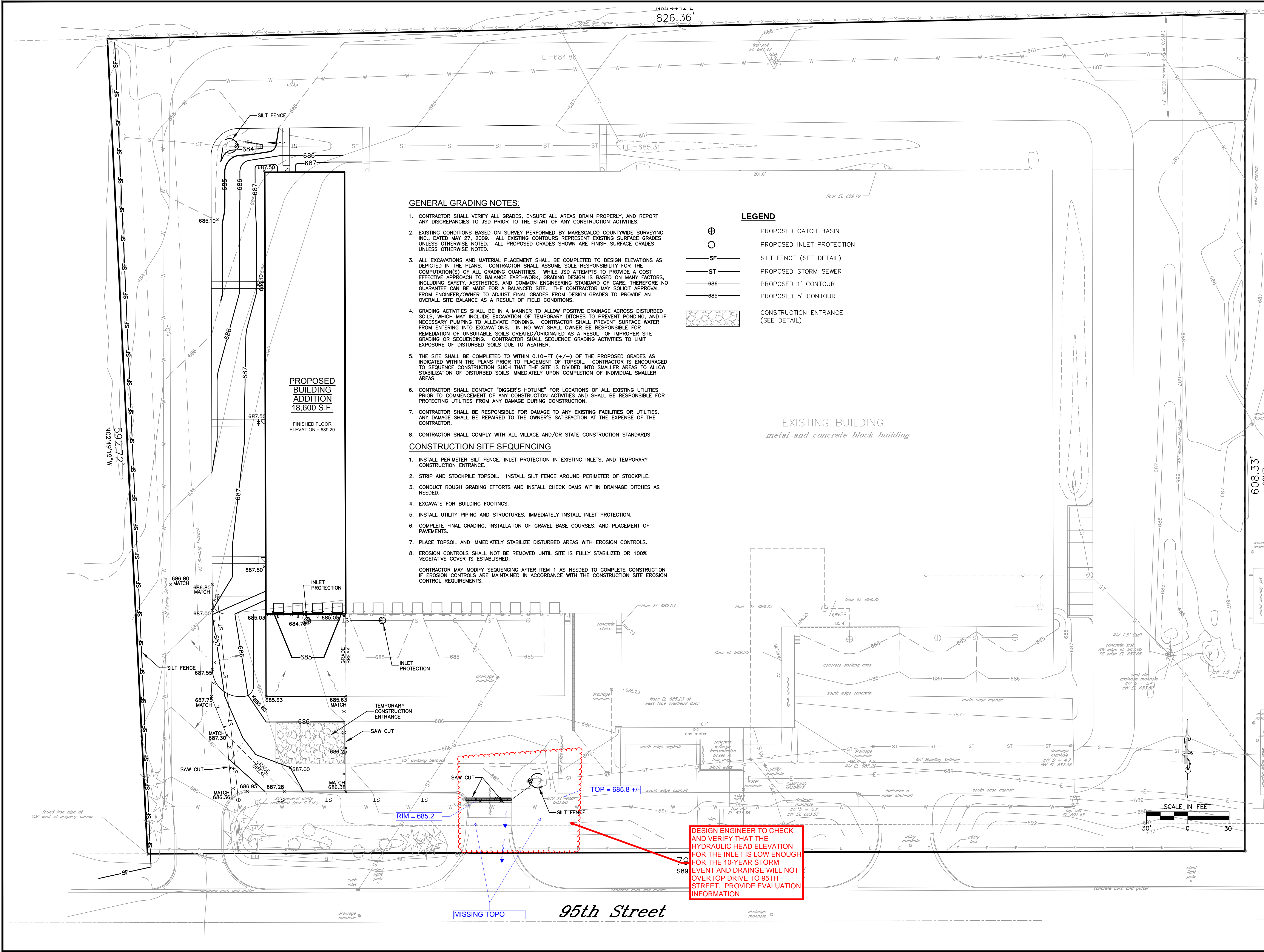
Peggy,

The Engineering Department has reviewed the submitted plans for the above referenced project. Based on our review, we have the following comments as noted on the attached plan mark- up sheets.

1. See comments on attached mark-up plan sheets.
  - a. Only plan sheets with comments are included.
  - b. Comments that apply to multiple locations are not repeated for every occurrence.
2. A cover sheet for the civil engineering plans shall be provided.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date.

Attachments: Plan-Mark Up



**GENERAL GRADING NOTES:**

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO JSD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. EXISTING CONDITIONS BASED ON SURVEY PERFORMED BY MARESCALCO COUNTYWIDE SURVEYING INC., DATED MAY 27, 2009. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE. THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
6. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
8. CONTRACTOR SHALL COMPLY WITH ALL VILLAGE AND/OR STATE CONSTRUCTION STANDARDS.

**CONSTRUCTION SITE SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION IN EXISTING INLETS, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
4. EXCAVATE FOR BUILDING FOOTINGS.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, AND PLACEMENT OF PAVEMENTS.
7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 100% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**LEGEND**

- ⊕ PROPOSED CATCH BASIN
- PROPOSED INLET PROTECTION
- SF — SILT FENCE (SEE DETAIL)
- ST — PROPOSED STORM SEWER
- 686 PROPOSED 1' CONTOUR
- 685 PROPOSED 5' CONTOUR
- CONSTRUCTION ENTRANCE (SEE DETAIL)

EXISTING BUILDING  
metal and concrete block building

**JSD Professional Services, Inc.**  
• Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
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MILWAUKEE REGIONAL OFFICE  
N22 W22891 NANCY'S COURT SUITE 3  
WAUKESHA, WISCONSIN 53186  
262.513.0666 PHONE | 262.513.1232 FAX

MADISON | MILWAUKEE  
KENOSHA | APPLETON

www.jsdinc.com

SERVICES PROVIDED TO:

**CONSOLIDATED CONSTRUCTION CO.**

4300 N. RICHMOND ST.  
APPLETON, WI 54913

PROJECT:  
**CSW  
PLEASANT PRAIRIE**

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WI

JSD PROJECT NO.: 12C5328C

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN BY: PSM	10-04-17
DRAWN BY: PSM	10-04-17
CHECKED BY: TAG	10-04-17

PLAN MODIFICATIONS:	DATE:

**DIGGERS HOTLINE**

Call 811 or (800) 242-8511  
Milwaukee Area (262) 432-7910  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

SHEET TITLE:  
**GRADING &  
EROSION CONTROL  
PLAN**

SHEET NUMBER:  
**C-2.0**

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



## INDUSTRIAL WASTE SURVEY

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

na

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water?

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on \_\_\_\_\_ per employee (i.e. water balance).

	Day Discharges	Type of Wastewater Discharge (Continuous, Batch, None)
Sanitary Usage	_____	_____
Process Wastewater Usage	_____	continuous
Cooling Water Usage	_____	_____
Other Usage	_____	_____
Total Volume	_____	_____

DESIGN ENGINEER  
SHALL CHECK.  
SAMPLING  
MANHOLE IS  
REQUIRED.

5. Describe all locations where wastewaters enter the collection system \_\_\_\_\_  
Sanitary Sewer

6. Is there a sampling manhole on site? No   X   Yes \_\_\_\_\_  
If yes, describe the locations: \_\_\_\_\_

7. Are sanitary and process wastewaters separated? No \_\_\_\_\_ Yes \_\_\_\_\_

8. Is boiler blowdown water discharged to the sanitary sewer? <sup>na</sup> No \_\_\_\_\_ Yes \_\_\_\_\_

9. Does your facility haul any process wastewater? No   X   Yes \_\_\_\_\_  
X

### Compliance Information

1. Is there any usage of toxic compounds at the facility? No   X   Yes \_\_\_\_\_  
If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? <sup>NH3 used for refrigeration in closed loop system</sup> No \_\_\_\_\_ Yes \_\_\_\_\_

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility? <sup>X</sup>  
No   X   Yes \_\_\_\_\_ If yes, describe procedure: \_\_\_\_\_



Office of the  
Chief of Fire & Rescue  
Craig Roepke

## Fire Department General Comments for Existing Structures making Alterations

Subject: Fire Department review of Site and Operational Plans for Central Storage Expansion  
Trakit/Permit# : DEV1701-003  
Date: December 5, 2017

The Fire and Rescue Department will continue to be responsible for providing fire prevention inspections of this facility, twice annually. Based on the information and plans submitted, the Fire & Rescue Department have the following comments regarding the site:

1. All exit doors shall have a hard surface pathway to the pavement roadway. Previous expansion project doorways that were not completed with hard surface pathways shall be included in this project.
2. No parking signage shall be posted and spaced evenly along the West side roadway along the length of the building. Parking shall be prohibited in that area as it impacts the fire lane width.
3. On-site hydrants shall be retrofitted to the factory installed 5" Storz pumper nozzle outlet. This can be accomplished without hydrant replacement.
4. The FDC at the pumper pad shall be evaluated and if need be, converted to the current 30 degree angled 5" Storz connection.
5. The pumper pad area shall be evaluated for proper no parking signage as well as no parking pavement markings and replaced/re-painted as needed.
6. Specifically to be noted in the comments below are items # 13 & #16 as they pertain to the fire protection systems review.
7. Please review the applicable requirements in the reminder of this document.

**Distribution of Comments:** the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

**IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.**

**Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

**Conflicts:** In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

**FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.**

**INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT**

<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>

**Pre-Construction Meeting:** A pre-construction meeting may be required based on the complexity of the alterations or renovations.

**Documentation & Contact:** Any and all documentation not provided on-site during inspections shall be submitted



to the Fire & Rescue department at the following contact information:

Pleasant Prairie Fire & Rescue Department  
8044-88<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
262-694-8027  
Fireandrescue@plprairie.com

1. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
2. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin. ***Work that commences without an approved permit or plans will be assessed a triple permit fee for the appropriate system.*** A submittal is not considered an approved plan.
3. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Bulk water Usage
  - b. Fire Protection Plans for Underground and Aboveground
  - c. Fire Alarm System Plans
  - d. Kitchen Hood Systems Plans
- NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.*
4. **Occupancy:** Prior to the scheduling of any fire department occupancy inspection. All fire and life safety requirements must be in place prior to any building being occupied. Both a fire alarm test, walk down and fire sprinkler hydrotest and walk down must be completed and appropriate documents received for any modified systems before any occupancy inspection can proceed.
  5. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
  6. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.
  7. **AED:** If not existing, the owner may be required to install an Automatic External Defibrillator (AED) device for employee and public use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
  8. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.
  9. **Elevators:** If applicable, must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
  10. **On Premise Secure Key System:** If not already existing, A Knox Company Rapid Entry System, "Knox Boxes" shall be provided for the building. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan. Expansions or alterations may require additional key boxes.
  11. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are

in compliance with NFPA 10.

12. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.
13. **Sprinkler System:** In buildings with existing fire sprinkler systems; the systems shall be evaluated by a licensed Wisconsin sprinkler designer to determine if any proposed obstructions, walls, or alterations impact the existing design or operation of the fire sprinkler system.
- a. Additions or modifications shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design.
  - b. Should it be determined that the renovations, alterations, or modifications do not impact the existing fire sprinkler design, a stamped letter from the reviewing WI Licensed designer shall be submitted to the fire department.
  - c. In structures where no fire sprinklers exist, an evaluation will determine whether the extent and type of renovations, alterations or modifications require the installation of a fire sprinkler system.

14. **The following information as applicable, must be submitted with the sprinkler plans for review:**

Building height:  
Number of stories/floors:  
Mezzanines:  
Elevators:  
Hazard class:  
Commodity Class:  
Exterior storage:  
Fire protection:

15. **Strobe Light:** (if not existing)
- a. All strobe lights required below shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. The lens color shall be RED.
  - b. A strobe light and 10" dome bell shall be provided, visible from the pumper pad to indicate a waterflow alarm condition.
  - c. If the building has a fire pump, an additional strobe light shall be required and installed adjacent to the waterflow alarm and activated when the fire pump is running.
  - d. Both notification devices above (b & c) shall be labeled appropriately as "WATERFLOW" and "PUMP RUN" below the respective devices.
  - e. A strobe light shall be provided and installed vertically at each riser location on the exterior of the building. No bell or signage is required.
  - f. A separate "Appendix A" document is available to provide visual detail supporting the above requirements.
16. **Fire Alarm System:** In buildings with existing fire alarm systems; the system shall be evaluated by a fire alarm contractor to determine if any proposed obstructions, walls, or alterations impact the existing design or operation of the fire alarm system.
- a. Additions or modifications shall be designed and constructed to the current printed edition of NFPA 72, The National Fire Alarm and Signaling Code and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design.
  - b. Should it be determined that the renovations, alterations, or modifications do not impact the existing fire alarm design, a letter from the reviewing fire alarm contractor shall be submitted to the fire department.

- c. In structures where no fire alarm systems exist, an evaluation will determine whether the extent and type of renovations, alterations or modifications require the installation of a fire sprinkler system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
- b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as a fire alarm.
- f. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.
- g. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
- h. **Initiating Devices Labeling:** All initiating devices e.g.: pull stations, smoke detectors, tampers, e.g. shall be labeled with the FA device number that matches the system nomenclature programmed. The font/letters shall be at least 12pt and of such size that they are visible based on accessibility to the device. (e.g.: ceiling initiating devices may require a larger font size)
- i. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- j. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. (e.g. RF Radio, cellular, VOIP, or other approved technologies allowed by code.)
- k. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
- l. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
<b>Emergency:</b>	<b>(262) 694-1402</b>
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

17. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department must be made aware and the system must meet all NFPA 72 requirements.
18. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the

design", Village Ordinance, 180-16 N if modifications are made to the system.

- b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is "100% operational and built according to the design" if modifications are made to the system.
  - c. Verification of fire alarm central monitoring station.
  - d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station for any changed systems.
  - e. Copies of the fire sprinkler operational test certificates.
  - f. Copies of the fire alarm test documents.
  - g. Copies of other test documents such as, hood/duct, smoke, etc...not already received in previous inspections.
  - h. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
  - i. Floor plans and fire protection plans for the building in an as-built condition shall be provide in an electronic format either PDF or DWG. Media type (CD, USB stick, etc) to be agreed in advance.
  - j. Maps of the fire alarm and fire sprinkler system or updates to the existing systems shall be placed in the fire pump or riser room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and visually large enough to be easily read.
  - k. AED(s) as required is/are in place at such time a tenant takes occupancy.
  - l. A copy of the Emergency Plan or updates must be submitted to the Fire & Rescue Department before occupancy.
19. **Public Safety Radio Coverage :** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
- a) For existing structures: to be reviewed based on complexity of renovations.
  - b) a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
  - c) A minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
  - d) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a "Telecommunications Systems Bulletin" published by the TIA, Telecommunications Industry Association. The performance level is rated using "Delivered Audio Quality". Industry standard DAQ definitions are shown in Table 1.
  - e) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

**Table 1 - Delivered Audio Quality Definitions**

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.



3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

f) The frequency range which must be supported shall be 151.0000 to 160.0000 MHz

**Testing Procedures:**

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

**Amplification Systems Allowed**

1. Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage: a radiating cable system or an internal multiple antenna system with or without FCC type accepted signal booster amplifiers as needed. The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio System.
2. In the event that a signal booster is employed it shall meet the following minimum requirements:
  - a. be fully encased within a dust resistant case;
  - b. be contained in a National Electrical Manufacturer's Association (NEMA) 4-type waterproof cabinet;
  - c. battery systems used for the emergency power source shall be contained in a NEMA 4-type waterproof cabinet;
  - d. the signal booster system and battery system shall be electrically supervised and monitored by a supervisory service, or shall sound an audible signal at a constantly attended location;
  - e. Have FCC certification prior to installation.

**Secondary Power**

Emergency responder radio coverage systems shall be provided with an approved secondary source of power conforming to NFPA 72. The secondary power supply shall be capable of operating the emergency responder radio coverage system for a period of at least twenty-four (24) hours. When primary power is lost, the power supply to the emergency responder radio coverage system shall automatically transfer to the secondary power supply.

**Field Testing**

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

Revision 3.2 9/2017



## Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

Subject: CSW Addition

Date: November 13, 2017

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1. Building Inspection Department information:  
Hours: Mon-Fri, 8am-5pm.  
Phone# 262-694-9304  
Email: [buildinginspection@plprairiewi.com](mailto:buildinginspection@plprairiewi.com)
2. Permit applications can be found online at [pleasantprairieonline.com](http://pleasantprairieonline.com)
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit all applicable plans to the state for review, Building Inspection Department will not issue permits until we receive the applicable state approval letter. All state approved drawing must be available at job site for inspector review during inspections.
7. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
8. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.
9. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
10. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.

11. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant with a color temperature between 5000-6000K.
12. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
13. All equipment must be “LISTED” by a nationally recognized testing laboratory.
14. Documentation must be provided for available fault current at equipment, to verify short circuit current rating compliance per 2011 NEC 110.10
15. All equipment, materials, etc. must be rated for the environment in which they will be used.



## SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT

*For all applications that require Village Plan Commission Approval*

APPROVAL REQUESTED	TYPE OF WORK
<input checked="" type="checkbox"/> Final Site and Operational Plan <input type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit <input type="checkbox"/> Preliminary Site and Operational Plan <input type="checkbox"/> Preliminary Site and Operational Plan/ Conditional Use Permit <input type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement)	<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Building Alteration <input type="checkbox"/> New Tenant

Name of Business: Central Storage & Warehouse Co.

Site Address: 7800 95th St. Pleasant Prairie WI 53158 Suite #: \_\_\_\_\_

Tax Parcel Number: 92-4-122-211-0108

Zoning District(s): \_\_\_\_\_

Name of Development: Central Storage & Warehouse Co.

Estimated Date of Occupancy: 5/1/2018

Detailed Description of the Proposed Project and Use:

An 18,000 sq ft addition to the existing 176,138 sq ft freezer warehouse, 15,425 will be freezer space and the remainder will be refrigerated loading dock.

We are proposing to add 18,000 sq ft to the west side of our building consisting of 15,425 sq ft of freezer and the remainder dock space with 4 loading dock doors facing to the south.

Detailed Description of Company:

Central Storage and Warehouse Company is a public refrigerated warehousing company based in Madison WI. Our existing facility at 7800 95th St. in Pleasant Prairie WI is a food storage and distribution freezer warehouse of 176,138 sq ft with 146,430 sq ft of freezer, 21,124 sq ft of dock space and the balance split between office and machinery rooms. It varies in height from 20' at the loading dock to 40' at the high point of the freezer. We currently have 32 full time employees at this location.

### Select One Option

- ☐ Relocation of Business from \_\_\_\_\_
- ☐ New Location for Business in Pleasant Prairie
- ☒ Expansion/Change to Existing Business in Pleasant Prairie
- ☐ New Start Up Business



### SITE AND BUILDING INFORMATION

Lot Area: 429,501 sq. ft. Lot Area: 9.86 ac.  
Building Area: 194,200 sq. ft. Building Height: 40 ft.  
Tenant Area: na sq. ft.  
Addition Area: 18,060 sq. ft. Addition Height: 40 ft.  
Total Impervious Surface Area: 330,359 sq. ft.  
Total Landscape Area: 99142 sq. ft. Site % of Open Space 23.08 %

### ON-SITE PARKING/TRAFFIC INFORMATION

Total # of parking spaces (on-site): 30  
Total # of regular parking spaces (on-site): 28  
Total # of handicapped accessible spaces (on-site): 2  
Total # of truck parking spaces (on-site): 16 not incl dock doors  
Total # of dock doors: 26  
Anticipated automobile trips to and from the site (excluding trucks):  
Number of daily average trips: 50 Maximum number of daily trips: 60  
Anticipated truck trips to and from the site:  
Number of daily average trips: 80 Maximum number of daily trips: 120

### OPERATIONAL INFORMATION

Hours (Open to the public): not open to public  
Delivery hours: 6 am to midnight

### EMPLOYMENT INFORMATION

Proposed total number of full-time employees: 36  
Proposed total number of part-time employees: 2  
Number of shifts: 3  
Total of number of employees per shift: 1<sup>st</sup> 18, 2<sup>nd</sup> 14, 3<sup>rd</sup> 6  
Largest number of employees on site at any one time: 26

### PUBLIC FACILITIES INFORMATION

#### Check all that apply:

- ☒ The property is serviced by Public Sanitary Sewer
- ☒ The property is serviced by Public Water
- ☒ The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: 500 gal/day domestic use  
3000 gal/day peak summer  
evaporative condenser con-  
sumption



**If property is zoned M-1, M-2 or M-5 then the following shall be completed:**

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- ☐ Factory Group F-1 (Moderate-hazard) \_\_\_\_\_ sq. ft.
- ☐ Factory Group F-2 (Low-hazard) \_\_\_\_\_ sq. ft.
- ☐ Storage Group S-1 (Moderate-hazard) \_\_\_\_\_ sq. ft.
- ☒ Storage Group S-2 (Low-hazard) 18,000 addition sq. ft.
- ☐ Business Group B \_\_\_\_\_ sq. ft.
- ☐ High-Hazard Group H \_\_\_\_\_ sq. ft.
- ☐ Other \_\_\_\_\_ sq. ft.

Types and quantities of goods and materials to be made, used or stored on site:

Frozen foods in cardboard packaging

Types of equipment or machinery to be used on site:

All equipment with the exception of plowing and landscape maintenance remains inside the building. It consists of Forklifts and other material handling equipment.

Types and quantities of solid or liquid waste material which require disposal:

Solid waste is limited to recyclable cardboard and general rubbish from employees. No liquid waste is generated.

Method of handling, storing and disposing of solid or liquid waste materials:

Interior dumpsters store solid waste for pick up twice weekly. No liquid waste is generated.

Methods of providing site and building security other than the Village Police Department:

Exterior CCTV cameras and Tyco burglar alarm system



Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

**Buildings and grounds are maintained by in house personnel 80% of the time. Outside building and landscaping contractors are utilized during our busy season or when a job is too large for our staff.**

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

**No real impacts on our neighbors, we are sited in an industrial park with similar land use on all sides.**

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

**State of Wisconsin:  
Public Warehouse License  
Food Warehouse License  
Permit to Operate Mechanical Refrigeration System**

### **PLANS AND OTHER ATTACHMENTS**

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- ☐ Title Sheet
- ☐ Survey
- ☐ Site Plan
- ☐ Grading and Drainage Plan
- ☐ Building and Fire Protection Plans
- ☐ Lighting Plan (including photometric plan)
- ☐ Landscape and Open Space Plan
- ☐ Signage Plan
- ☐ Industrial Waste Survey
- ☐ Required Application Fee and Pre-Development Agreement

The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.



I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

**PROPERTY OWNER:**

Print Name: Jack Williams

Signature: 

Address: 4309 Cottage Grove Rd.

Madison                      WI                      53716  
(City)                      (State)                      (Zip)

Phone: 608 221 7600 x105

Fax: \_\_\_\_\_

Email: jackw@cs-wi.com

Date: 10/24/2017

**APPLICANT/AGENT:**

Print Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_  
(City)                      (State)                      (Zip)

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_

**TENANT CONTACT:**

Print Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Address: \_\_\_\_\_

\_\_\_\_\_  
(City)                      (State)                      (Zip)

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_



# CSW

Central Storage & Warehouse Co., Inc.  
Corporate Executive Offices P.O. Box 7034, Madison, WI 53707  
Phone 608-221-7600 Fax 608-221-7603

Central Storage and Warehouse Company is a public refrigerated warehousing company based in Madison WI. Our existing facility at 7800 95<sup>th</sup> St. in Pleasant Prairie WI is a food storage and distribution freezer warehouse of 176,138 sq ft with 146,430 sq ft of freezer, 21,124 sq ft of dock space and the balance split between office and machinery rooms. It varies in height from 20' at the loading dock to 40' at the high point of the freezer. We currently have 26 full time employees at this location.

We are proposing to add 17,870 sq ft to the west side of our building consisting of 15,425 sq ft of freezer and the remainder dock space with 5 loading dock doors facing to the south. Our current shipping and receiving hours 7:00am to 7:00 pm M-F with reduced hours on weekends will change to 7:00 am to midnight M-F for shipping, receiving hours will remain the same. We operate on an appointment basis for pickups and deliveries. This additional space will allow us to better serve our existing customers and provide the opportunity to offer our services to new customers as well. We anticipate hiring 2 additional full time warehousemen and 1 full time clerical staff as a result of this expansion. We will be running 2 shifts a day overlapping midday. The maximum number of employees on site at any given time will be 23, leading to a requirement of 12 parking spaces per village ordinance. After the expansion we will have 18 lined spaces with two handicapped spaces closest to the office entrance.

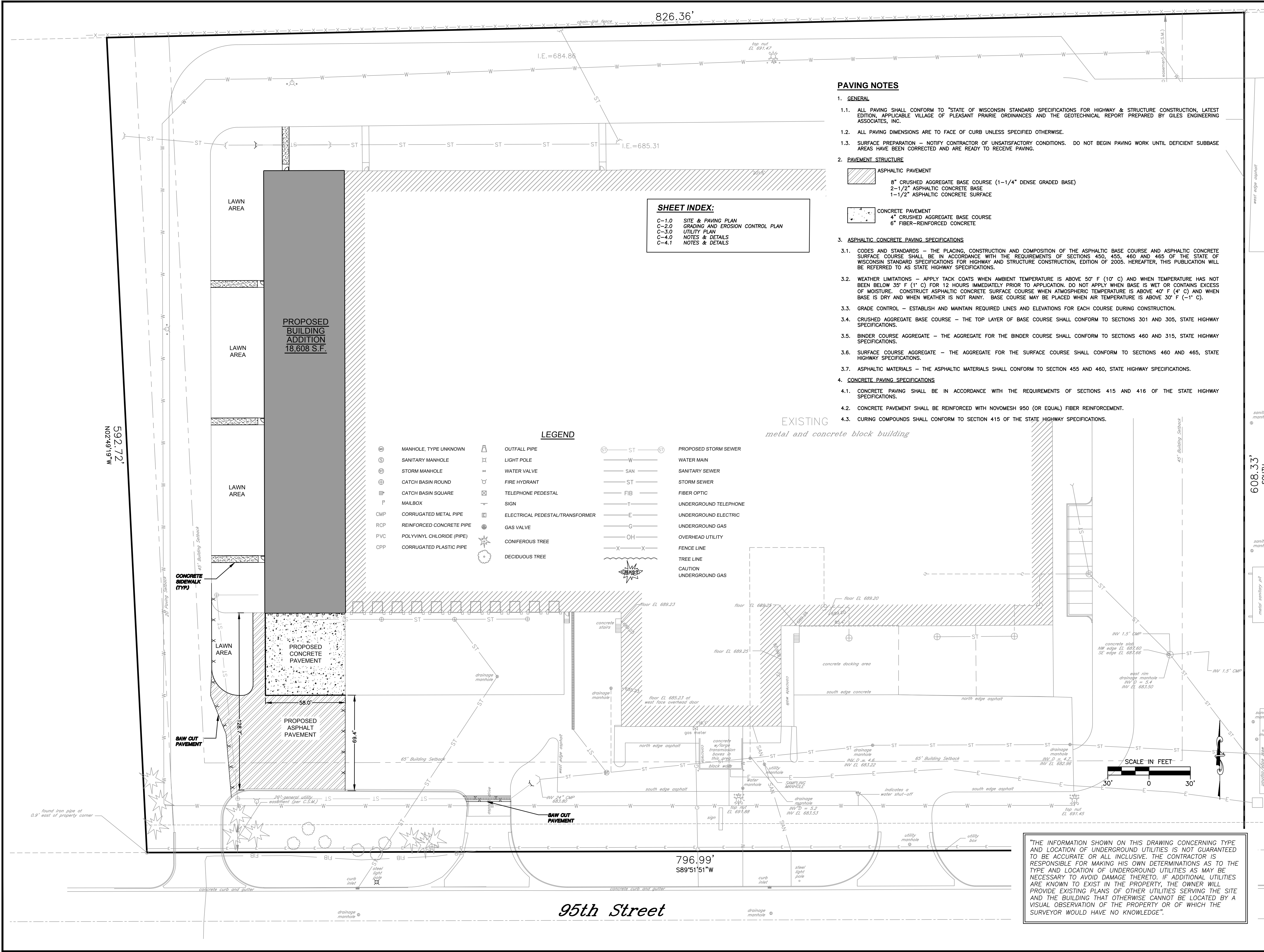
As stated above we are a food warehousing and distribution business. We anticipate servicing approximately 110 semi trucks per day from our 28 available (after expansion) loading dock doors. Automobile traffic generated is limited to the arrival and departure of employees and the occasional salesperson or visitor. We utilize Waste Management for our waste disposal needs. We don't generate any liquid waste from any of our processes. We do have a small quantity of refrigeration oil on site which, when drained from compressors, is returned to the the manufacturer for recycling. Our landscaping is cared for by an outside landscaping company. We handle most building maintenance items internally. For larger issues we usually rely on our building contractors. All of our loading and unloading equipment, forklifts and transporters etc., is utilized in the enclosed loading dock area and is



not visible from outside the building. Our entry/exit doors and fire sprinkler system are monitored by a Central Station alarm system through Tyco Security. We have exterior and interior CCTV cameras with recording capabilities as well. Given the nature of the site and the industrial park in which we are located we anticipate no adverse impacts on the any neighboring businesses or the park as a whole. Conversely, the additional loading dock doors will make it easier for us to turn semi trailers in a timely fashion leading to less congestion on the street outside of our facility.

The following pages contain copies of our required permits and photos of the site and existing signage.





**SHEET INDEX:**

C-1.0	SITE & PAVING PLAN
C-2.0	GRADING AND EROSION CONTROL PLAN
C-3.0	UTILITY PLAN
C-4.0	NOTES & DETAILS
C-4.1	NOTES & DETAILS

**LEGEND**

⊕	MANHOLE, TYPE UNKNOWN	⊕	OUTFALL PIPE	ST	ST	PROPOSED STORM SEWER
⊙	SANITARY MANHOLE	⊕	LIGHT POLE	— W —	— W —	WATER MAIN
⊙	STORM MANHOLE	⊕	WATER VALVE	— SAN —	— SAN —	SANITARY SEWER
⊕	CATCH BASIN ROUND	⊕	FIRE HYDRANT	— ST —	— ST —	STORM SEWER
⊕	CATCH BASIN SQUARE	⊕	TELEPHONE PEDESTAL	— FIB —	— FIB —	FIBER OPTIC
⊕	MAILBOX	⊕	SIGN	— T —	— T —	UNDERGROUND TELEPHONE
CMP	CORRUGATED METAL PIPE	⊕	ELECTRICAL PEDESTAL/TRANSFORMER	— E —	— E —	UNDERGROUND ELECTRIC
RCP	REINFORCED CONCRETE PIPE	⊕	GAS VALVE	— G —	— G —	UNDERGROUND GAS
PVC	POLYVINYL CHLORIDE (PIPE)	⊕	CONIFEROUS TREE	— OH —	— OH —	OVERHEAD UTILITY
CPP	CORRUGATED PLASTIC PIPE	⊕	DECIDUOUS TREE	— X —	— X —	FENCE LINE
		⊕		— —	— —	TREE LINE
		⊕		— —	— —	CAUTION
		⊕		— —	— —	UNDERGROUND GAS

**PAVING NOTES**

- GENERAL**
  - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING ASSOCIATES, INC.
  - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
  - SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- PAVEMENT STRUCTURE**

ASPHALTIC PAVEMENT	8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED BASE)
	2-1/2" ASPHALTIC CONCRETE BASE
	1-1/2" ASPHALTIC CONCRETE SURFACE

CONCRETE PAVEMENT	4" CRUSHED AGGREGATE BASE COURSE
	6" FIBER-REINFORCED CONCRETE
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
  - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
  - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
  - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
  - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
  - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
  - ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS**
  - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
  - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT.
  - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE".

**JSD Professional Services, Inc.**  
• Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- LANDSCAPE ARCHITECTURE

MILWAUKEE REGIONAL OFFICE  
N22 W22931 NANCY'S COURT SUITE 3  
WAUKESHA, WISCONSIN 53186  
262.513.0666 PHONE | 262.513.1232 FAX  
MADISON | MILWAUKEE  
KENOSHA | APPLETON

www.jsdinc.com

SERVICES PROVIDED TO:

**CONSOLIDATED CONSTRUCTION CO.**  
4300 N. RICHMOND ST.  
APPLETON, WI 54913

PROJECT:

**CSW PLEASANT PRAIRIE**

PROJECT LOCATION:

VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WI

JSD PROJECT NO.: 12C5328C

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN BY: PSM	10-04-17
DRAWN BY: PSM	10-04-17
CHECKED BY: TAG	10-04-17

PLAN MODIFICATIONS:

	DATE:

**DIGGERS HOTLINE**  
Call 811 or (800) 242-8511  
Milwaukee Area (262) 432-7910  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

SHEET TITLE:

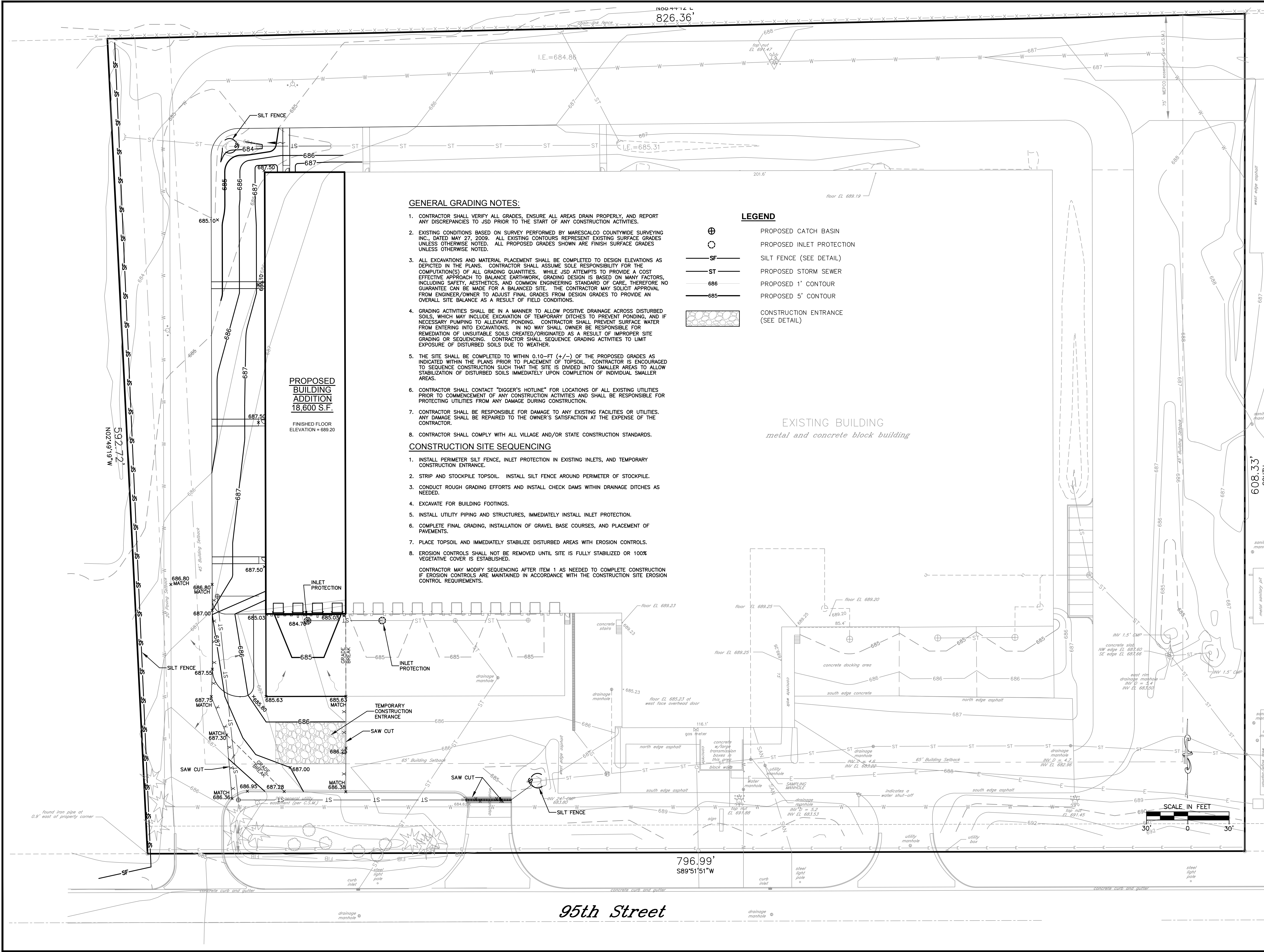
**SITE & PAVING PLAN**

SHEET NUMBER:

**C-1.0**

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**GENERAL GRADING NOTES:**

1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO JSD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. EXISTING CONDITIONS BASED ON SURVEY PERFORMED BY MARESCALCO COUNTYWIDE SURVEYING INC., DATED MAY 27, 2009. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE. THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
4. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
5. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
6. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
8. CONTRACTOR SHALL COMPLY WITH ALL VILLAGE AND/OR STATE CONSTRUCTION STANDARDS.

**CONSTRUCTION SITE SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION IN EXISTING INLETS, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL. INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AS NEEDED.
4. EXCAVATE FOR BUILDING FOOTINGS.
5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, AND PLACEMENT OF PAVEMENTS.
7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 100% VEGETATIVE COVER IS ESTABLISHED.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

**LEGEND**

- ⊕ PROPOSED CATCH BASIN
- PROPOSED INLET PROTECTION
- SF — SILT FENCE (SEE DETAIL)
- ST — PROPOSED STORM SEWER
- 686 PROPOSED 1' CONTOUR
- 685 PROPOSED 5' CONTOUR
- CONSTRUCTION ENTRANCE (SEE DETAIL)

EXISTING BUILDING  
metal and concrete block building

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- LANDSCAPE ARCHITECTURE

MILWAUKEE REGIONAL OFFICE  
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APPLETON, WI 54913

PROJECT:

CSW  
PLEASANT PRAIRIE

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
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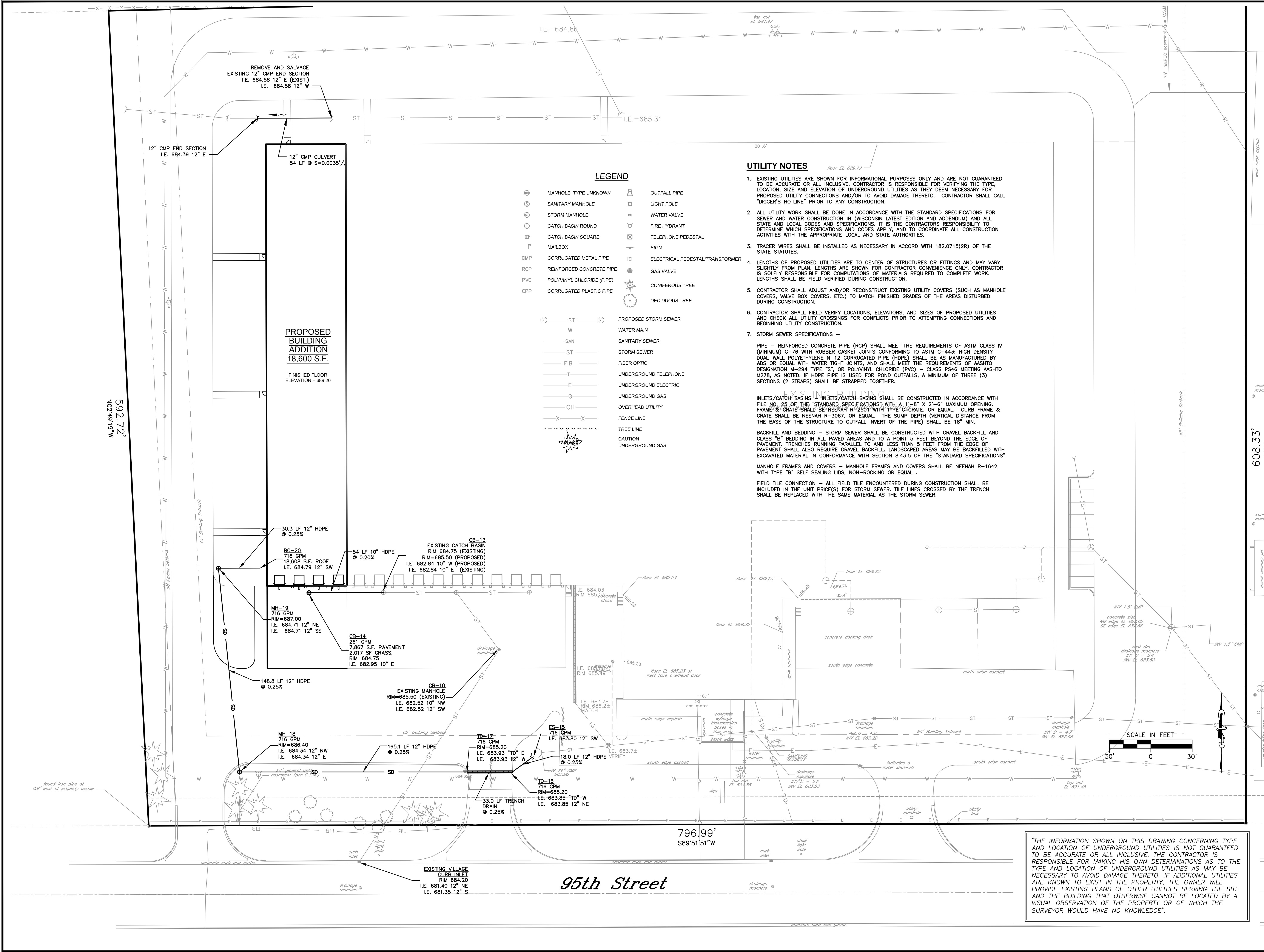
GRADING &  
EROSION CONTROL  
PLAN

SHEET NUMBER:

C-2.0

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**JSD Professional Services, Inc.**  
• Engineers • Surveyors • Planners

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-CONSTRUCTION CO.-

4300 N. RICHMOND ST.  
APPLETON, WI 54913

PROJECT:

CSW  
PLEASANT PRAIRIE

PROJECT LOCATION:

VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WI

JSD PROJECT NO.:

12C5328A

SEAL/SIGNATURE:

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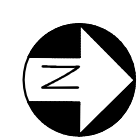
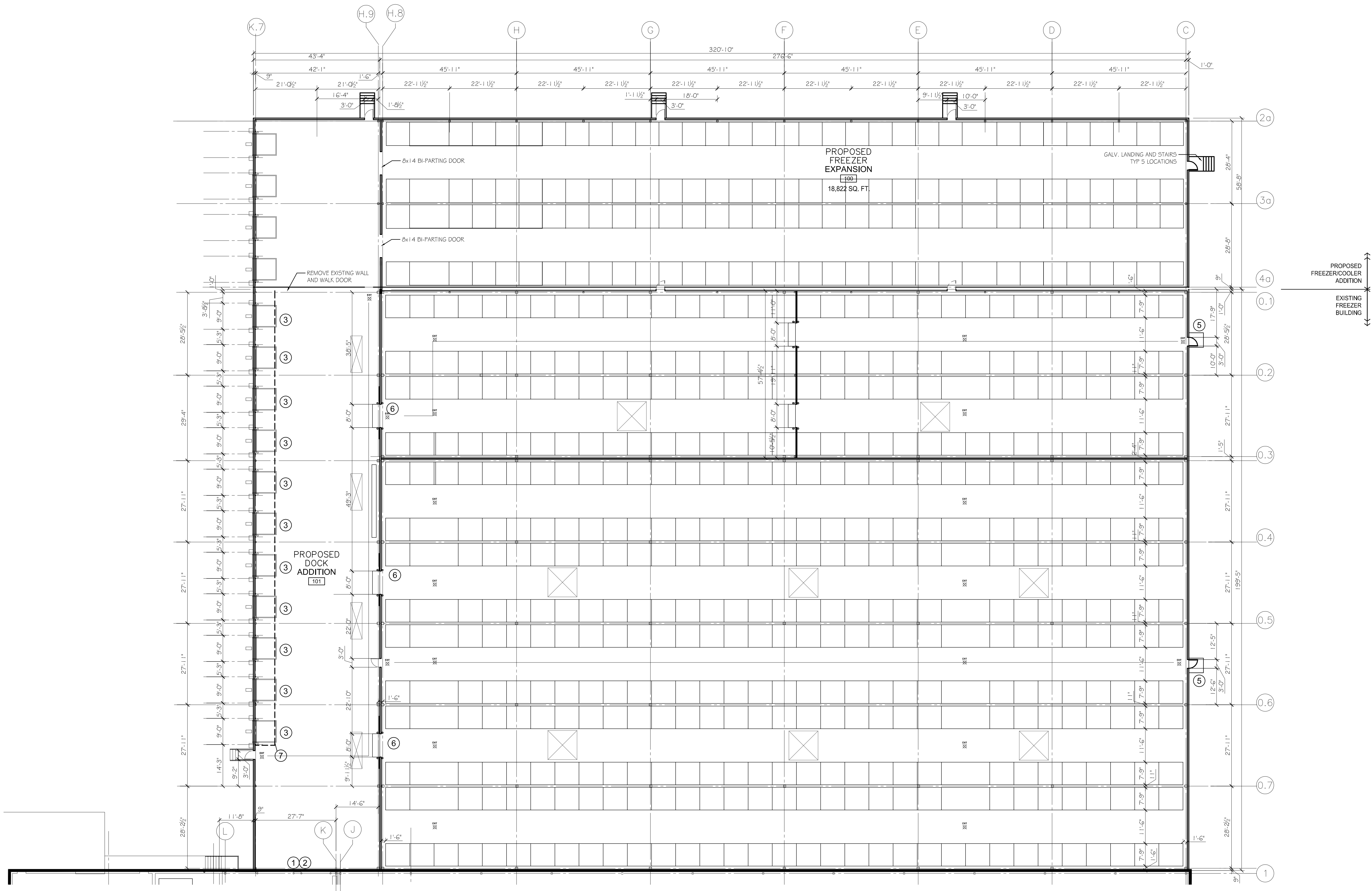
UTILITY  
PLAN

SHEET NUMBER:

C-3.0

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FLOOR PLAN

SCALE: 1/16" = 1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION

800-642-6774  
www.tcalzbuild.com  
Appleton, WI  
Milwaukee, WI  
Bismarck, ND

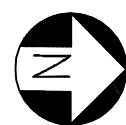
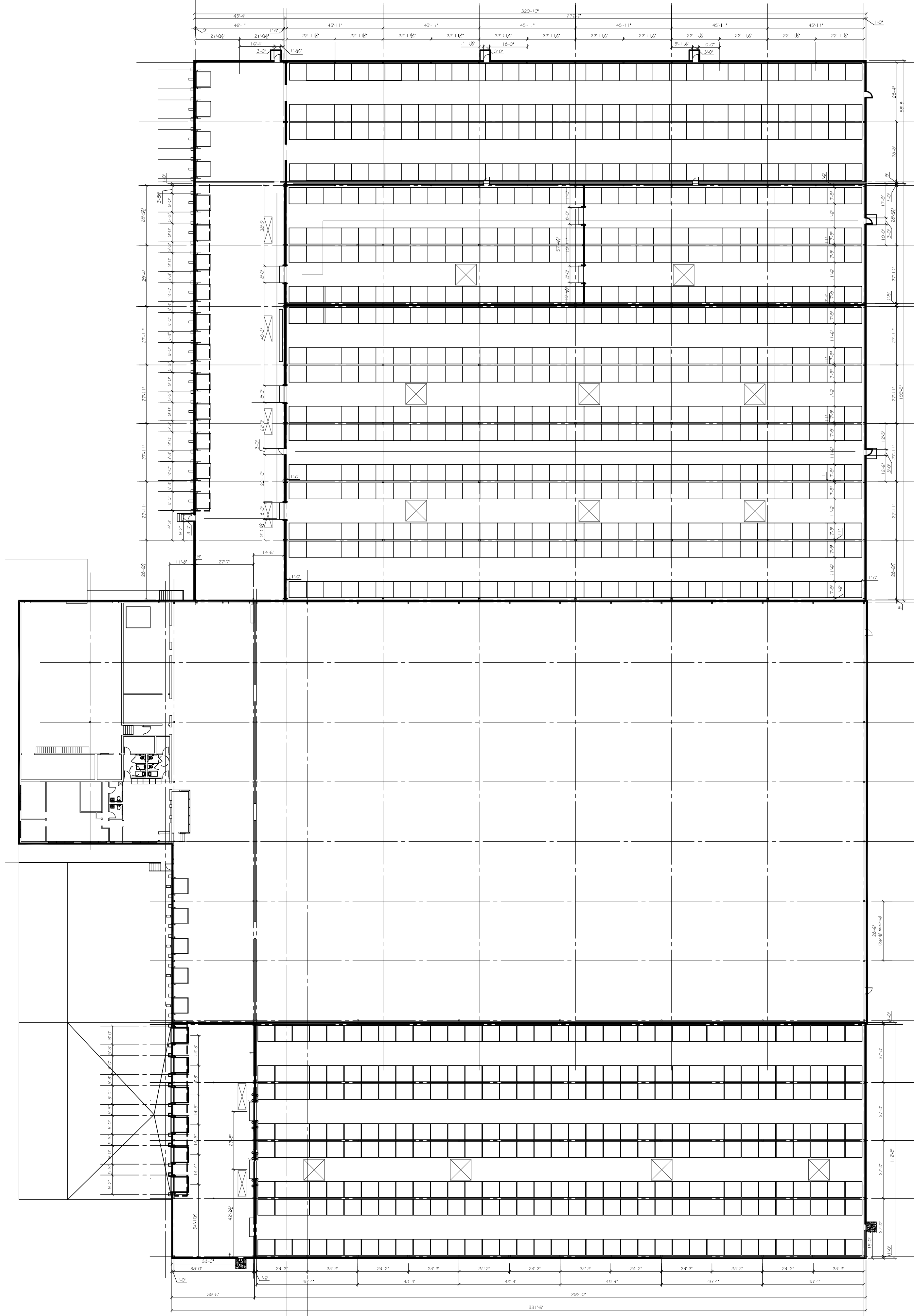


Proposed Addition for:  
**Central Storage & Warehouse Co.**  
Pleasant Prairie, Wisconsin

Description	
Date:	
Project #:	0166
Drawn By:	JLM
Issue Date:	10/03/17
Issue #	1
A101	
FLOOR PLAN	

10/3/2017 1:50:17 PM





OVERALL FLOOR PLAN

SCALE: 1"=30'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION

1/9/2017 1:50:17 PM

Description:	
Date:	
Project #:	0166
Drawn By:	JLM
Issue Date:	10/03/17
Issue #	0
A102	
FLOOR PLAN	

Proposed Addition for:

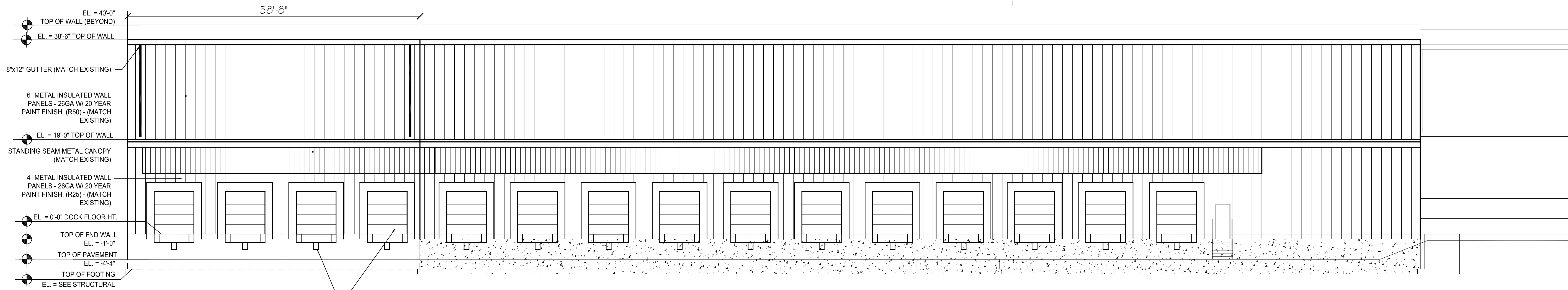
**Central Storage & Warehouse Co.**

Pleasant Prairie, Wisconsin



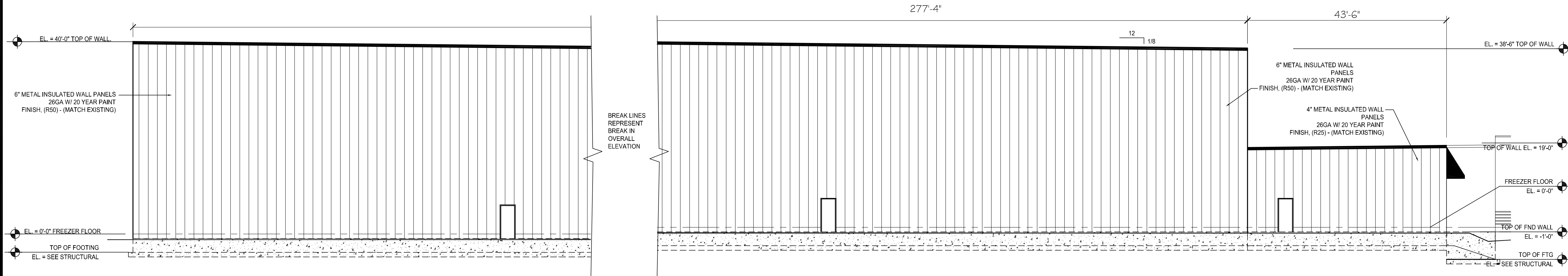
800-642-6774  
www.Tcal2build.com  
Appleton, WI  
Milwaukee, WI  
Bismarck, ND





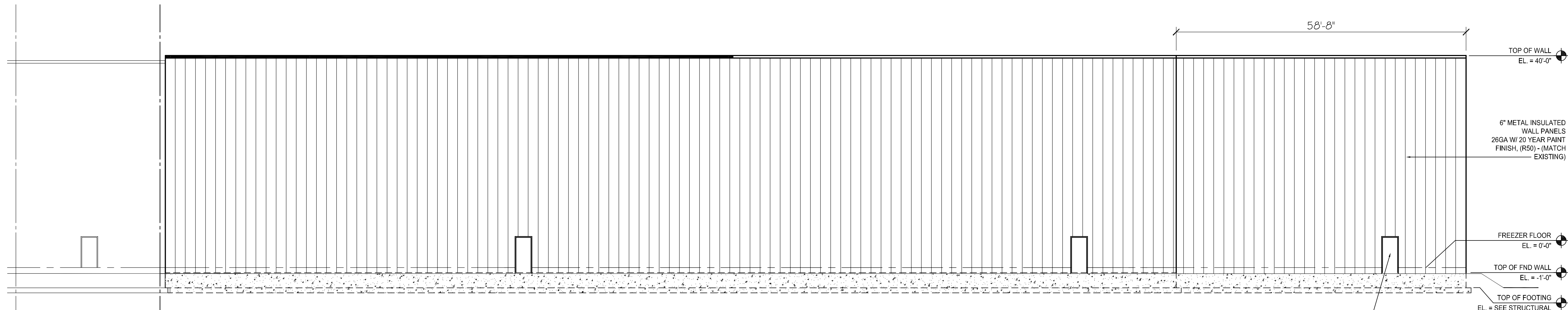
SOUTH (FRONT) ELEVATION

SCALE: 3/32" = 1'-0"



WEST (SIDE) ELEVATION

SCALE: 3/32" = 1'-0"



NORTH (BACK) ELEVATION

SCALE: 3/32" = 1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION

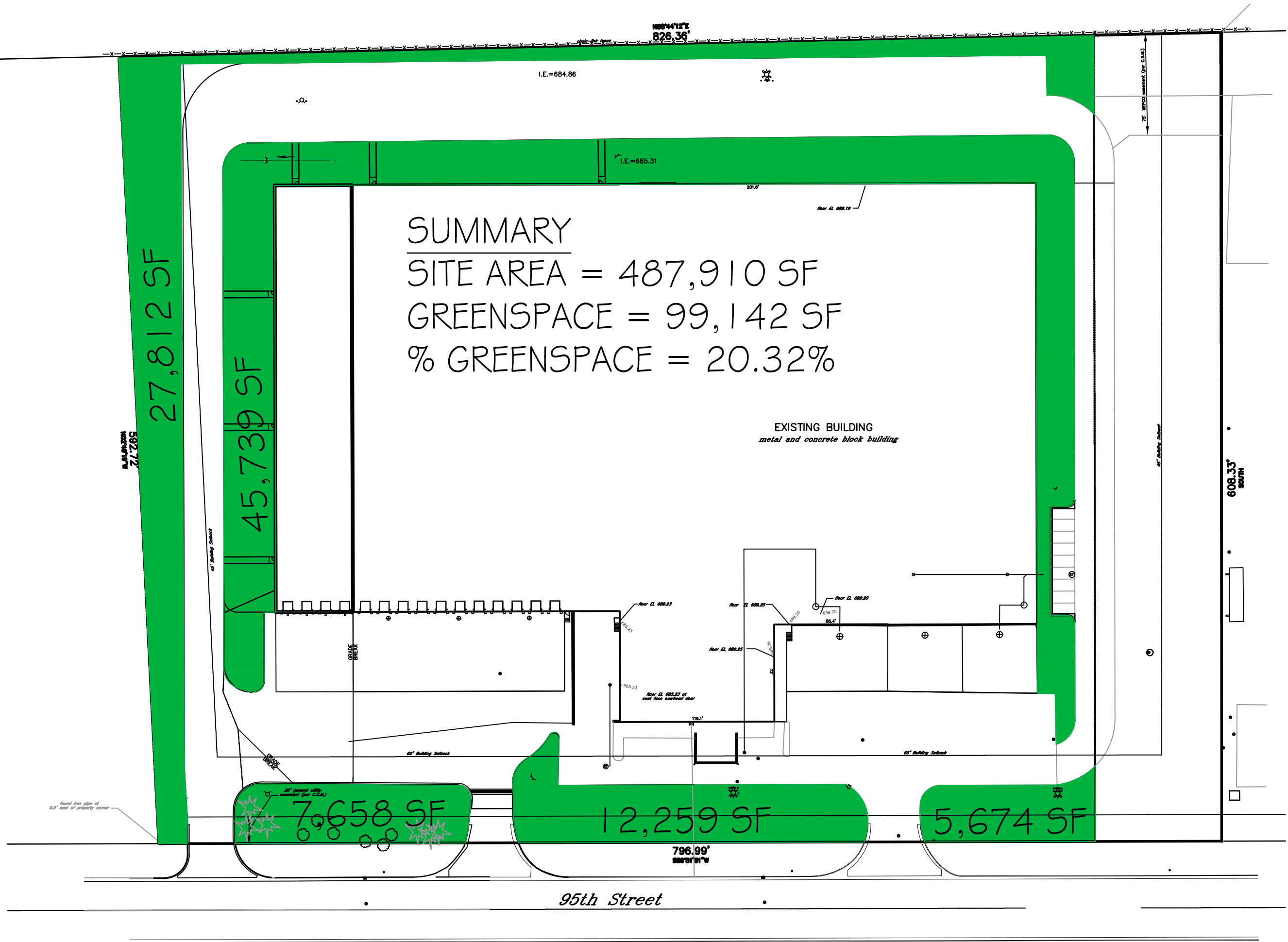
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Milwaukee, WI  
Bismarck, ND



Proposed Addition for:  
**Central Storage & Warehouse Co.**  
Pleasant Prairie, Wisconsin

Description:	
Date:	
Project #:	0166
Drawn By:	JLM
Issue Date:	10/03/17
Issue #	0
A201	
FLOOR PLAN	









Central Storage & Warehouse Co., Inc.

Corporate Executive Offices P.O. Box 7034, Madison, WI 53707  
Phone 608-221-7600 Fax 608-221-7603

May 29, 2018

Jean Werbie-Harris  
Community Development Director  
Village of Pleasant Prairie

Hello Jean, due to business changes we are temporarily shelving our expansion plans on our existing site at 7800 N. 95<sup>th</sup> St. We would like to extend the approval granted on Jan. 3, 2018, (copy enclosed) for 18 months to July, 3<sup>rd</sup> 2020. I have also enclosed a check for \$100.00 to Pleasant Prairie as per Peggy Herrick's instructions.

Thank You

Jack Williams

A handwritten signature in blue ink, appearing to be 'J. Williams', written over a faint, stylized outline of a signature.