

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
March 26, 2018**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider approval of the February 26 2018 Plan Commission Meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. Unfinished Business
 - A. **TABLED AND CONTINUED PUBLIC HEARING AND CONSIDERATION OF A PRELIMINARY PLAT** for the request of John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision) for the development of 45 single family lots to be known as River Run at Heritage Valley.
7. New Business:
 - B. **PUBLIC HEARING AND CONSIDERATION OF A MASTER CONCEPTUAL PLAN** for the request of John Huggett of the Boldt Company for approval of a **Master Conceptual Plan** for the development of a 64 acre property located at the northwest corner of CTH Q (104th Avenue) and 120th Avenue (West Frontage Road) for the construction of the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building.
 - C. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-07 TO AMEND THE COMPREHENSIVE PLAN** for the request of Brian Dunn of Mead & Hunt, agent on behalf of HARIBO of America Manufacturing, LLC for the development of a 136.8 acre property generally located at the southwest corner of 120th Avenue (West Frontage Road) and CTH C (Wilmot Road) to amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to change the Freeway Oriented Business Center commercial land use designation to the Production Manufacturing Industrial land use designation; to correctly show the location of the field delineated wetlands within the Park, Recreation and Other Open Space lands with the field verified wetland land use designations; and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments. **AT THE REQUEST OF THE PETITIONER THIS ITEM IS BEING TABLED UNTIL A 6:00 PM APRIL 17, 2017 PLAN COMMISSION MEETING.**
 - D. **PUBLIC HEARING AND CONSIDERATION OF A MASTER CONCEPTUAL PLAN AND DEVELOPMENT AGREEMENT** for the request of Brian Dunn of Mead & Hunt, agent on behalf of HARIBO of America Manufacturing, LLC for the development of a 136.8 acre property generally located at the southwest corner of 120th Avenue (West Frontage Road) and CTH C (Wilmot Road) for the construction of a new manufacturing facility to produce Gummy Bears and other HARIBO products. **AT THE REQUEST OF THE PETITIONER THIS ITEM IS BEING TABLED UNTIL A 6:00 PM APRIL 17, 2017 PLAN COMMISSION MEETING.**

- E. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AND TEXT AMENDMENTS** for the request of Brian Dunn of Mead & Hunt, agent on behalf of HARIBO of America Manufacturing, LLC for the development of a 136.8 acre property generally located at the southwest corner of 120th Avenue (West Frontage Road) and CTH C (Wilmot Road) to rezone the portion of the property that is currently zoned B-6, Freeway Oriented Business Center District into the M-5, Production and Manufacturing District and to rezone the field verified wetlands into the C-1, Lowland Resource Conservancy District. All non-wetlands areas will be rezoned into the M-5 District and the entire property will be rezoned to a Planned Unit Development Overlay District (PUD) and to create the specific PUD ordinance for said development. **AT THE REQUEST OF THE PETITIONER THIS ITEM IS BEING TABLED UNTIL A 6:00 PM APRIL 17, 2017 PLAN COMMISSION MEETING.**
- F. **PUBLIC HEARING AND CONSIDERATION OF A PLAN COMMISSION RESOLUTION #18-08 FOR A COMPREHENSIVE PLAN AMENDMENT** for the request of Dan Szczap, agent, on behalf of Main Street Development, LLC to amend the 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve land use designation from the vacant properties generally located at the northeast corner of STH 31 and STH 165 for the proposed Main Street Market commercial development and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments. **AT THE REQUEST OF THE PETITIONER THIS ITEM IS BEING TABLED UNTIL A 5:30 PM APRIL 16, 2017 PLAN COMMISSION MEETING.**
- G. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AND TEXT AMENDMENTS** for the request of Dan Szczap, agent on behalf of Main Street Development, LLC related to the proposed Main Street Market commercial development to be located at the northeast corner of STH 31 and STH 165. The properties are proposed to be rezoned from the B-2 (AGO), Community Business District with a General Agricultural Overlay District into the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. In addition, for a Zoning Text Amendment to create the specific PUD ordinance for said development. **AT THE REQUEST OF THE PETITIONER THIS ITEM IS BEING TABLED UNTIL A 5:30 PM APRIL 16, 2017 PLAN COMMISSION MEETING.**
- H. Consider the request of Dan Szczap on behalf of Main Street Development, LLC for approval of a **Certified Survey Map and Development Agreement and related documents** for Main Street Market related to the proposed Main Street Market commercial development to be located at the northeast corner of STH 31 and STH 165. **AT THE REQUEST OF THE PETITIONER THIS ITEM IS BEING TABLED UNTIL A 5:30 PM APRIL 16, 2017 PLAN COMMISSION MEETING.**
- I. Consider the request of David Carbol of Partners In Design Architects on behalf of Froedtert South Inc., for approval of **Preliminary Site and Operational Plans** for site grading, underground utilities and footing and foundation permits for a proposed Medical Office Building to be located west of Old Green Bay Road north of STH 165 in the Main Street Market development.
- J. Consider approval of **Tax Payment Shortfall Agreement** between the Village of Pleasant Prairie and Froedtert South Inc., regarding the TID #6 Increment repayment requirements for the life of the bonds (20 years).

- K. **PUBLIC HEARING AND CONSIDERATION OF A PLAN COMMISSION RESOLUTION #18-09 FOR A COMPREHENSIVE PLAN AMENDMENT** to amend a portion of the Barnes Creek Neighborhood Plan for the request of Dan Szczap, agent for Bear Development, for the proposed residential development of the vacant land at the southeast corner of 91st Street and Springbrook Road to be known as Eva Manor. The development includes a 42-unit senior housing apartment building and an 8-unit family townhome building.
- L. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Dan Szczap, of agent for Bear Development for the proposed residential development of the vacant land at the southeast corner of 91st Street and Springbrook Road to be known as Eva Manor. The development includes a 42-unit senior housing apartment building and an 8-unit family townhome building.
- M. Consider the request of Troy Hewitt of Robert E, Lee & Associates on behalf of Fountain Ridge LLC for approval of a **Certified Survey Map** to adjust the lot line of Lot 1 of CSM 2817 to include the gap property that existed to the west of said lot and to adjust the lot lines between Lots 1 and 2 with the Fountain Ridge Development generally located north of Bain Station Road and west of 90th Avenue.

8. Adjourn.

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above. **The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.**

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
February 26, 2018**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on February 26, 2018. Those in attendance were Thomas Terwall; Michael Serpe; Wayne Koessl; Jim Bandura; Judy Juliana; Bill Stoebig; and John Skalbeck (Alternate #1). Deb Skarda and Brock Williamson (Alternate #2) were excused. Also in attendance were Jean Werbie-Harris, Community Development Director, Peggy Herrick, Assistant Village Planner and Zoning Administrator; and Kristina Tranel, Community Development Department.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER APPROVAL OF THE FEBRUARY 12, 2018 PLAN COMMISSION MEETING MINUTES.**

Judy Juliana:

Move to approve.

Jim Bandura:

Second.

Tom Terwall:

**MOVED BY JUDY JULIANA AND SECONDED BY JIM BANDURA TO APPROVE
THE MINUTES OF THE JANUARY 12TH PLAN COMMISSION MEETING AS
PRESENTED IN WRITTEN FORM. ALL IN FAVOR SIGNIFY BY SAYING AYE.**

Voices:

Aye.

Tom Terwall:

Opposed? Motion carried.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Tom Terwall:

If you're here for an item that appears on the agenda as a matter for public hearing, we would ask that you hold your comments until that public hearing is called so we can incorporate your comments as a part of the official record. However, if you want to raise an issue that is not a public hearing or does not appear on the agenda now would be your opportunity. We'd ask you to step to the microphone and begin by your name and address. Anybody wishing to speak under citizens' comments? Anybody wishing to speak? See none, then, we'll move ahead.

Wayne Koessl:

Mr. Chairman, before we go into the agenda I notice Item B through E pertains to the same subject. Could we have the presentation for all four of them and then separate votes?

Tom Terwall:

Is there a second?

Judy Juliana:

Second.

Tom Terwall:

MOVED BY WAYNE KOESSL AND SECONDED BY JUDY JULIANA TO COMBINE ITEMS B THROUGH E FOR ONE PRESENTATION AND SEPARATE VOTES. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. Jean?

Jean Werbie-Harris:

We'll start with Item A.

A. PUBLIC HEARING AND CONSIDERATION OF A PRELIMINARY PLAT for the of John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision) for the development of 45 single family lots to be known as River Run at Heritage Valley.

Jean Werbie-Harris:

Item A is a public hearing and consideration of a Preliminary Plat for John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue which is south of the Heritage Valley Subdivision for the development of 45 single family lots to be known as River Run at Heritage Valley.

The petitioner is requesting approval then of a Preliminary Plat to develop two vacant properties south of the Heritage Valley Subdivision generally located south of 89th Place at 106th Avenue in the Village. This would be for 45 single family lots, and the subdivision would be known as River Run at Heritage Valley.

There have been some previous approvals for this development to date. On August 28, 2017, the Village Plan Commission held public hearings, and on September 18, 2017, the Village Board conditionally approved the following items related to the proposed single family residential development. First there was a Comprehensive Plan Amendment related to the Pleasant Farms Neighborhood Plan, Ordinance 17-43 as shown on the slide. Second a Conceptual Plan for the development. And third a floodplain boundary adjustment, and that was with Village Board Resolution 17-34.

As discussed at the aforementioned public hearings, the existing Heritage Valley Phase 1 Subdivision included 32 single family lots that were originally platted in 1993, with additional phases proposed for a total of 176 single family lots. Since 1993, the additional phases of Heritage Valley Subdivision as originally proposed have not been platted or developed.

The new developer, US Shelter Companies, LLC, recently purchased approximately 24 acres of the land for the residential development of 45 lots to be known as River Run at Heritage Valley. In looking at the bigger picture, the remaining vacant land, approximately 22 acres originally included in the subsequent phases of Heritage Valley Subdivision, but that is not owned by the petitioner but it could in the future with a subsequent developer be developed with an additional 49 additional single family lots. Therefore, the master plan for the original Heritage Valley Subdivision boundaries could eventually be developed with about 94 single family lots rather than the 140 lots as was originally proposed back in 1993.

River Run at Heritage Valley Preliminary Plat: As noted above, the petitioner is proposing to develop approximately 24 acres for 45 single family lots in three phases. Phase 1 includes 13 single family lots, Phase 2 23 single family lots and Phase 3 includes 9 single family lots.

The single family residential development: About 13.82 acres are proposed to be developed into lots and outlots. The single family lots range in size from 12,501 square feet to 17,757 square feet per lot with the average lot size of 13,379 square feet. The lots shall meet the minimum requirements of the R-4.5 Urban Single Family Residential District, which requires each lot to be a minimum of 12,500 square feet with 80 feet of lot width or street frontage. All lots shall have a minimum lot depth of at least 125 feet. The 32 lots in the existing Heritage Valley Subdivision do have an average lot size of about 14,799 square feet.

Outlots: All of the wetland, floodplain and storm water retention facilities for the development will be located within the outlots in the development. Outlots 1 and 4 are proposed to be

dedicated with a fee interest transfer to the Village and will be combined with the adjacent property, Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision that is owned currently by the Village. And that's at the very south/southeastern end of this plat. These outlot areas are primarily wetlands and 100-year floodplain. The outlots shall be labeled as Outlot 1 Dedicated by the Developer to the Village of Pleasant Prairie for Open Space, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes.

Outlot 2 is proposed to be retained by the developer. This outlot is not considered a buildable lot since it doesn't meet the 125 feet of lot depth at this time. This outlot would be subdivided as buildable lots if and when additional land is acquired from the adjacent landowner to meet the minimum lot depth requirements. The outlot shall be labeled Outlot 2 to be retained by the developer for possible future residential development.

Outlot 3 which is located in the southwestern corner of the development is proposed to be dedicated through fee interest transfer as common open space to the River Run and Heritage Valley Homeowner's Association, Inc. The outlot shall be labeled as Outlot 3 Dedicated by the Developer to the River Run and Heritage Valley Homeowner's Association, Inc. for Open Space, Storm Water, Drainage, Retention Basin, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes. The wetland areas shall be separately delineated and identified within the outlot. There shall be an easement over this same area of Outlot 3 granted to the Village for the same Open Space, Storm Water, Drainage, Retention Basin, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes.

The Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with an illustration which shall be prepared by the developer for the site grading and the construction of the sanitary sewer lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place. That's Tax Parcel Number 92-4-122-184-0450. Note: the Kenosha County Interactive Mapping system incorrectly references the abutting street as 89th Place. So that does need to get corrected.

Population projections for River Run at Heritage Valley Subdivision: Based on the 2010 census information for the Village, the average number of persons per household is 2.71. School age children between the ages of 5 and 19 make up 22.6 percent of the population. Therefore, based on the 45 lots shown it's projected that 122 persons could be added to the population at full buildout of this plat or the development. Pursuant to the information provided by the KUSD a total of up to 19 public school age children are likely to come from this development at its full buildout.

Next we have floodplain boundary adjustment information: The Village requires that all lots be created outside of the 100-year floodplain. As such, the developer will be adjusting the location of the 100-year floodplain to remove any floodplain from the lots and showing 100-year floodplain within the outlots. On September 18, 2017, the Board approved Resolution #17-34, and the developer has requested that the Federal Emergency Management Agency or FEMA approve a Conditional Letter of Map Revision so that the floodplain adjustment could commence.

Wetlands on the site: The wetlands were redelineated in 2016 by a Wisconsin Department of Natural Resources, and assured wetland delineator with R.A. Smith National, Inc. A number of

pocket wetlands now exist on the property. The Wisconsin DNR has exempted wetland area 3 from the state wetland regulations since this was a temporary basin constructed by the developer of Heritage Valley in 1993 as indicated in a letter dated May 17, 2017. The developer has also obtained approval from the Wisconsin DNR to fill wetland area 1 which is just over 1,800 square feet, and area 2 which is 553 square feet. And this is pursuant to a permit dated July 14, 2017. The Army Corps of Engineers will not be taking jurisdiction over these wetlands pursuant to the attached letter dated July 7, 2017. Wetlands 4 and 5 will be protected and will be located within outlots.

With respect to site access: This development will utilize two existing public access points onto County Trunk Highway C through 106th Avenue and 104th Avenue for access to the subdivision. Due to the location of existing development and environmental features no additional access to Highway 3 or Wilmot Road is feasible. At the August 28, 2017 public hearing, the neighbors expressed concern regarding the existing subdivision access to Country Highway C, and the existing traffic on Highway C. The Plan Commission requested that Village staff meet with Kenosha County to discuss the traffic on Highway C and come up with any alternatives to help alleviate the existing issues and future traffic concerns when the vacant land develops.

On September 6, 2017, the Village staff met with representatives of Kenosha County to further discuss the project. Kenosha County and the Village staff required that the developer prepare a limited Traffic Impact Analysis or TIA that was evaluated by Kenosha County and the Village to determine what, if any, possible solutions could assist in mitigating the perceived traffic problems. A TIA was completed by RA Smith to review the subdivision intersections at Highway C. The overall conclusion of the report and County recommendations are noted below:

This is from the County: The River Run and future off-site residential developments are expected to increase traffic and side street delay at the study intersections. However, traffic impacts are expected to be minor and all study intersection improvements were shown to operate well under capacity with the additional traffic. Therefore, no roadway improvements are recommended with the developments. The addition of turn lanes would not improve the LOS which is the level of service, and the intersection volumes are well below meeting the warrants for any type of traffic signal.

Kenosha County staff reviewed the TIA and concurs with the conclusions and is not requiring any improvements at this time. The Village also had an independent consultant, TADI which is Traffic Analysis and Design, Inc., review the TIA report. And TADI also concurred with the TIA analysis and its conclusions.

The Village then met with the Kenosha County Highway Commissioner to discuss the TIA and resident traffic concerns. Upon discussion, the County is aware of the traffic concerns and will continue to monitor the traffic conditions as traffic continues to grow in the future. The County agreed to work with the Village in planning and developing overall area traffic improvements as may be warranted within the Highway C corridor.

Construction access: Determining construction access to the River Run development has been somewhat challenging. The developer had made several attempts to acquire temporary gravel access driveways from an adjacent farmer landowner to the east and the landowner to the west without success. One final possible access location was determined at the southwestern corner of

the site through the Bethany Church property, but existing and future floodplain restricted the access.

As such, the Village Engineers and Public Work's Director recommended that the Village's 106th Avenue existing public roadway be used as construction access to the site. There would be limitations placed on the developer to limit the time of construction, reduce speeds and to take great care to keep the roadway free of debris, mud and stone during construction. If any damages occur to the existing roadways, it will be the developer's responsibility to repair all damages, at the developer's costs, upon inspection by the Village and to the Village's satisfaction. Prior to work commencing, the roadway will be photographed, videoed and inspected by the Village.

Public improvements: All public improvements shall be made by the developer at the developer's expense. The entire development shall be provided with and serviced by municipal roadways, sanitary sewer, water and storm sewer. A number of new streets are proposed to be developed with full public improvements which includes sewer, water, storm sewer, sidewalks, roadways, and street trees including the extension south of 105th and 106th Avenues, 107th Avenue, 90th Street and 91st Place. Specifically, the improvements include the following:

- First, municipal roadways shall be extended throughout the development pursuant to the Village's new development standard. For example, roadway pavement will be reduced from 37 feet to 33 feet back of curb to back of curb for all roadways. Also, public sidewalks shall be extended on both sides of each public street. Alternate side parking regulations will be in effect for the development. All streets except 90th Street that will be further extended with another phase or another development shall end in a temporary asphalt paved cul-de-sac. The locations shall be shown on the engineering plans. Off-site easements may be required at the temporary terminus of any street. The 90th Street roadway and utility improvements to the property limits will be required. A sign shall be placed which indicates that the roadway will be extended in the future. Temporary Type 3 roadway barricades shall be installed at the Developer's expense.
- Municipal water shall be extended throughout the development and shall connect to the existing municipal water in within the Heritage Valley Subdivision.
- Municipal sanitary sewer and lift station shall be extended from the existing sewer within Heritage Valley Subdivision. In addition, a lift station and brick constructed housing unit is required for the development for Phases 2 and 3 of the River Run development and future development to the west. The lift station is proposed to be located on Village property and shall not be constructed within any 100-year floodplain or wetlands. The developer is responsible to have these delineations completed.

In addition, the developer is responsible for designing and installing the sanitary sewer that will maintain the lift station. The Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with an illustration prepared by the developer for the site grading and construction of that lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place.

Under pedestrian path connection: At the August 28, 2017, Public Hearing, discussion was held related to a pedestrian connection to the existing Prairie Farms bike path. On September 6, 2017, the Village staff met with representatives from Kenosha County, and it was discussed that a paved multi-use path is planned to be installed along the south side of Highway C that will connect to the existing paths at 114th Avenue to the west and Prairie Farms Trail to the east. This path is being installed by Kenosha County in the summer of 2018 or 2019. And you can see the path connections on the screen.

Zoning Map Amendment: The single family lots are intended to be rezoned into the R-4.5, Urban Single Family Residential District. The wetlands to remain will be rezoned into the C-1, Lowland Resource Conservancy District. The non-wetland areas in the outlots will be rezoned into the PR-1, Neighborhood Park and Recreational District. And the 100-year floodplain, after the amendment, will be located within the FPO, Floodplain Overlay District.

The Zoning Map Amendment application shall be submitted and considered at the time that the Final Plat is considered. A separate Zoning Map Amendment would be required, again, specifically for that floodplain boundary adjustment grading work that has been completed, and final approval has been obtained from FEMA. In addition, each time that the Zoning Map is requested to be amended, an amendment to the Village's Comprehensive Land Use Map 9.9 will also be required in order to ensure that the Zoning Map and the land use plan map are consistent.

With that I would like to continue the public hearing and introduce representatives Mr. Sorenson from U.S. Shelter to see if they would like to make any further presentation at this time.

John Sorenson:

John Sorenson with US Shelter, the owner of the property that we are discussing here tonight. I think Jean did a very nice job explaining the property and what we're planning to do, so I'm happy to answer any questions.

Tom Terwall:

Give us your address for the record would you please?

John Sorenson:

31632 North Ellis Drive, Suite 213, Volo, Illinois.

Tom Terwall:

Thank you.

John Sorensen:

Thank you. And we do have a representative from RA Smith who had performed the traffic study for us here to take any questions. Thank you.

Tom Terwall:

Open it up, Jean?

Jean Werbie-Harris:

Mm-hm.

Tom Terwall:

Is there anybody else wishing to speak on this matter? Anybody wishing to speak? Yes, sir?

Dennis Zirkelbach:

So I'm Dennis Zirkelbach, 8995 105th Avenue. One thing that came out and which was just discussed was talking about the streets going from 37 feet to 33 feet wide. So I assume with the new extensions the streets would be four feet less wide. [Inaudible] the current turn width of the avenues.

Jean Werbie-Harris:

I will have our Village Engineer Matt Fineour answer that question, and then he'll also talk to you about how it transitions the type of road construction is now a concrete road, and we will have sidewalks in each side as well.

Matt Fineour:

So the roadway width that will look like it will transition with a taper. So you'll see the four feet difference taper in over the course of maybe 25 or 50 feet. I forgot the exact length but it will be tapered down. The new roadways are -- they'll look like an asphalt road because it will have asphalt on top, but it will have seven inches of concrete below it so it's a beefier road than our older standards if that answers the question.

Dennis Zirkelbach:

I'm a little concerned about how that will look. I mean I can conceptualize [inaudible] change. But another piece of that, too, is I know we brought up back in August 28th the meeting of the sidewalks and things that was mentioned at that point. The sidewalks would end or stop with the new construction area, right? So it would not be -- the sidewalks would not be extended into the current [inaudible], right?

Matt Fineour:

Correct. We'll go back to the road tapers. The road tapers on either side so you have 37 feet to 33 feet. Usually on each side it's a two foot difference so it's not that big. When you look at it over 25 feet it's not a very substantial change. The sidewalks they're not being extended into the overall subdivision. I think there's one road on 106th where there's one lot that it extends into

just to get into an intersection. But the remaining part of the subdivision won't have sidewalks at least at this time with this development.

Dennis Zirkelbach:

And then the other question I had [inaudible] in looking at the plot that was sent to our homes what's required by the Village the amount of space between a home and the edge of each of the individual lots [inaudible] I'm sure it meets Village standards but I don't know what [inaudible].

Jean Werbie-Harris:

So the street yard setback is 30 feet from the property line or the street right of way to the foundation of the home. The side yard setbacks are 10 feet, and the rear yard is 25 which is exact same as what's in the subdivision currently.

Dennis Zirkelbach:

[Inaudible]

Jean Werbie-Harris:

Ten feet, correct, just like in the existing phase.

[Inaudible]

Tom Terwall:

Thank you.

Eric Zenner:

Hi, I'm Eric Zenner, 8951 106th Avenue. I am the house that is going to get the sidewalk. I have lived in my 23 years. I have a sprinkler system. I have a dog fence. I've replaced trees on my tree line that will remove probably for the sidewalk. What does that do for me as a homeowner that I am part of this whole subdivision? That I am the original owner of this home. I don't like that -- it's the only house that will be affected by this sidewalk. I don't want a sidewalk. I like that Pleasant Prairie doesn't have sidewalks.

Matt Fineour:

The sidewalk at that location, the proposed subdivision is ending one lot short of the intersection. So the two options is you can leave a sidewalk at the end of the lot and not go to the intersection, or typically sidewalks if they're that close you want to get them to the intersection. The remaining portion of the subdivision won't have sidewalks at this time. That doesn't mean that sometime in the future that they couldn't have sidewalks going to a path, a nearby path for walkability. But the extension of that sidewalk in this particular case is because it is one lot short of an intersection. Typically you want to get into an intersection.

Michael Serpe:

Could I ask a question, Matt? I understand where she's coming from, and I think she has a legitimate complaint. Couldn't that -- where the sidewalks being put in just short of her house couldn't there be a piece going down to the street? Because right now people walk in the street over there.

Matt Fineour:

You could on both sides take it to the street on both sides, then they could walk on the street, not the sidewalk.

Eric Zenner:

That would make me happy. I mean I have invested a lot of money into a sprinkler system, and not that a dog [inaudible] is expensive, but I've had it fixed twice because I've broken the line. It cost me \$800 to fix that line. It adds up. And as a homeowner I've lived here a long time to not expect that I would have to -- and I replaced the stupid trees on that line as well because it was required by the Village to have tree lines. So I've put some money into my property. I just don't want a sidewalk. I want to be like the rest of my subdivision which does not have sidewalks.

Michael Serpe:

Could I just ask that we look at that?

Jean Werbie-Harris:

Yes.

Michael Serpe:

Okay.

Eric Zenner:

And also do we know a time line yet of when this is going to start after this project happens?

Jean Werbie-Harris:

You need to come up to the microphone.

John Sorenson:

So after this process we would plan on applying for the final plat and probably notices would go out I believe that's another hearing. And from there we would start [inaudible].

Tom Terwall:

Sometime this summer then you think?

John Sorenson:

Summer, late spring, early summer, yes.

Tom Terwall:

Thank you. Anybody else?

Dennis Zirkelbach:

[Inaudible] this is Dennis Zirkelbach again. When we met back on August 28th we talked about [inaudible] floodplains, and I expressed some concern. I've only been in the house for four years, but the previous owner was 20 some years, and they said they never had an issue with flooding basement. And with the floodplain being touched I have concerns. One of the things that was commented on last time was that the Army Corps of Engineers was going to be checking it and their expertise would be included [inaudible]. But you mentioned I think one or two of them the Army Corps of Engineers would be involved [inaudible]. Was there something there that I guess we can be assured that there's not going to be an issue with flooded basements coming down the road here with the Army Corps of Engineers not being involved [inaudible].

Jean Werbie-Harris:

So there's two different things that we're talking about. One is wetlands. Those are pocket wetlands. Peggy has just put up the slide. Due to grading or movement of the soil, those little pocket wetlands that have been created, she's going to circle a couple of them, they were just created by lack of proper grading from the previous developer. And so those are just pocket wetlands. And two of those, there was two of them, one was like 1,200 square feet, the other is 500 square feet. Those are going to be filled. So those little pockets of standing water are not going to be there anymore. The other large wetlands are within outlot areas. They are not going to be disturbed.

The second thing we talked about were floodplains. And at the very south end of the development what they're doing is a cut and fill. It's an engineering analysis where they're going to cut certain areas to create buildable lots, and then they're going to create floodplain elsewhere so it's a cut and fill. They're going to fill the lot areas, they're going to cut other areas at least in equal if not greater. And their engineer is here, he can talk about the specific numbers of how much. But the intent is not to create any additional floodplain -- not to create any additional flooding I should say for the residents within the development. And they are creating additional floodplain storage in order to store additional water at the south end of the development. Everything in this development is kind of really move to the south/southwest towards the river. But their engineer is here if he wants to add anything to that. Oh, the traffic engineer, sorry, then the developer can add to it. Wrong engineer.

John Sorenson:

I think Jean covered that. You can see the areas in green, those are the areas where we are going to be filling [inaudible] to create the two lots at the southeastern border. And then [inaudible] storm retention at the western [inaudible]. The blue will be cut, and this all goes through the Army Corps of Engineers [inaudible].

Jean Werbie-Harris:

Actually Army Corps only deals with wetlands, and the floodplain goes to the Federal Emergency Management Agency.

John Sorenson:

[Inaudible] so we have applied to FEMA for this map revision, and that's the LOMR map that she mentioned [inaudible]. And generally as Jean mentioned our site is lower than the existing subdivision. So the water currently runs generally to the south/southwest and we will continue that [inaudible].

John Skalbeck:

I've got a question. So when you fill that does that floodplain line actually change so that the lot and the road are no longer in the floodplain?

John Sorenson:

[Inaudible] the lot will no longer be in the floodplain, correct [inaudible] we'll make up the area elsewhere [inaudible].

Tom Terwall:

Anybody else?

Jeff --:

Jeff [inaudible] 10524 [inaudible] Place. The first [inaudible] the traffic concerns, it sounded like what you were talking about was long term that it wasn't going to be [inaudible]. But during the time of construction there will be temporary stops on [inaudible]?

Pat Hawley:

Pat Hawley with RA Smith. The existing traffic [inaudible] functionality of the [inaudible].

Jean Werbie-Harris:

We need your address for the record.

Pat Hawley: 16745 West Bluemound Road, Brookfield, Wisconsin, 53205.

Tom Terwall:

Thank you.

--:

[Inaudible] again I don't feel [inaudible] walkway to the intersection [inaudible]. Thank you for your time.

Tom Terwall:

Thank you. Anybody else? Anybody else? Comments and questions from Commissioners?

Michael Serpe:

Mr. RA Smith could you come to the podium please? I accept your traffic study, I just have a couple questions for you. Do you take into consideration the speed on Highway C on the traffic?

Pat Hawley:

It goes into as part of the analysis calculations.

Michael Serpe:

Okay, the speed on Highway C is quite significant. Okay, the speed limits in the city are being violated and they don't even exist anymore. The speed on Highway C is close to interstate speed at certain times of the day. I guess what I'm asking at least we have to give these people some type of safety that's heading west on Highway C that's going to make a left hand turn on 104th or 106th with bypass lanes. Otherwise we're going to be having accidents in that area that are going to be bad. And I don't know, do you take that into consideration in your study?

Pat Hawley:

It does to a certain extent. The traffic study all focuses on the traffic volumes, and the speed is an element of that. Whether or not people are [inaudible] to the speed limit [inaudible]. But as we look at the operations and the volumes and the amount of traffic specifically that's turning left, the geometry out there [inaudible]. As we alluded to initially are there issues along Highway C? [Inaudible] there's a long-term evaluation on behalf of the [inaudible] what needs to be done from 94 all the way to [inaudible].

Michael Serpe:

Yeah, we have a significant amount of cars that are going to be added to that subdivision that are going to be making a left hand turn from westbound into the subdivision. I just can't for the life of me -- we have an opportunity right now, we can have the developer pay for this if we put bypass lanes, at least a bypass lane in there. Give these people a chance. Because there's nothing worse than seeing somebody come up in your rearview mirror at about 65 miles an hour and it's

not going to stop. And it happens, and it happens all too often. I was a cop for 28 years in the City of Kenosha. I did my share of accident investigation. And right now we can do something to protect these people and we're not going to do it. And I'm sorry I'm opposed to that.

Wayne Koessl:

Mr. Chairman, since I've been on the Plan Commission we've always planned for orderly, well planned development that will enhance the Village of Pleasant Prairie and our residents. I'm not against the subdivision in itself, but I'm against the way the egress and ingress is going to be handled at 106th and Highway C. And I cannot vote for that subdivision. In fact, until that is resolved I'm going to ask the Commission to table it until the egress and ingress is resolved there. Because I can't see people getting killed trying to turn left into their driveway.

Jim Bandura:

I tend to agree with both Commissioners here. There's a definite problem. I use that Highway C, come down 104th. 104th there's a blind curve coming from the east. And to not have some kind of escape lane there it just doesn't stand to reason. One of the things that I noticed and, Jean, you mentioned in your report here that you had the report reviewed by TADI.

Jean Werbie-Harris:

TADI, hm-mm.

Jim Bandura:

I've had the opportunity to look at a number of reports through by occupation, and I know that a lot of times these reports can be written to sway one way or another. So I really want to see that this report really takes in account that there is a need for some kind of escape lane or whatever. Another problem I see on this is on 104th all the construction traffic is going to go down that skinny little drive, no?

Jean Werbie-Harris:

No, that's not the designated construction route, it's 106th.

Jim Bandura:

So it's going on 106th, okay, that's even worse.

Jean Werbie-Harris:

No, our engineers had determined that 104th is a much narrower road and 106th would be the main road. Again, this is not our highway. And I'll have our engineer discuss this further, but we brought this forth a couple of times back to the county highway department. And it's not our highway, it's not our decision. They have to approve of whatever is done. At this point I don't know that the developer has any objection, but the county said that no improvements are

warranted at this time. And so we can't make improvements on a county highway if the county says no improvements are warranted. So I don't know.

Michael Serpe:

Jean, this Village gets along with the county very well and especially since Jim Kreuser has become the County Executive. If I have to call for a special meeting or a special audience with Kreuser I'll do it. I'm adamant on this that this had to be addressed. Matt, let me ask you this, is there room for a bypass westbound on Highway C?

Wayne Koessl:

Mike, I agree with you. I would go along with meeting with the County Exec, too, with you.

Jim Bandura:

I would, too.

Wayne Koessl:

Because I think there has to be some resolution there on either a bypass lane or a roundabout there to handle that traffic. I feel very strongly on that. And I'm not going to back down the moving table until we get the egress and ingress resolved.

Michael Serpe:

I want to hear what Matt has to see.

Matt Fineour:

As far as the bypass lane we'd have to look at the existing right of way to see if there is enough room or not enough room. With the report we did have TADI which is somebody that we hired to peer review the report just so we had a comfort level of what the recommendations were. My conversations with the traffic engineer at TADI was that if you want a left turn lane, a designated left turn lane or something like that, from a safety aspect it might help from a safety aspect that you have a designated left turn lane. It does not improve anybody's time frame as far as a delay from getting out or anything like that.

Michael Serpe:

I understand that. I totally understand that. We're looking at safety here.

Matt Fineour:

And the only other recommendation that I had which was more of a larger improvement was somebody being able to take a left turn out of the subdivision would be some kind of major road improvement where you would have medians in Highway C where somebody could do a two stage turn.

Michael Serpe:

So we could fit a bypass lane there?

Matt Fineour:

I can't say we could. We'd have to look at the right of ways, if the right of way is adequate for an expansion of that type.

Jim Bandura:

Matt, TADI they didn't -- they really -- all they did was just review the report, correct? They weren't out there physically surveying it or anything?

Matt Fineour:

They reviewed the traffic counts, they reviewed everything that was in RA Smith's report and gave me their opinion if, one, it was done correctly to the recommendations are reasonable or correct. I wanted to make sure that it is looking at it from the Village's perspective, not necessarily the developer's perspective. They ended up concurring that, yeah, there really wasn't a whole lot that you could do to mitigate the traffic out there with turn lanes, some kind of minor stop signs like that.

Michael Serpe:

The representative from RA wants to talk.

Pat Hawley:

[Inaudible] your issues and everything else, but just also wanted to recognize [inaudible] for that movement that's generated by Bear Development is five vehicles entering in the morning and in the evening [inaudible] at most one every six minutes in terms of putting it in context. And then the other element is in terms of a bypass lane if we did not install a bypass lane at a four legged intersection [inaudible] so the magnitude of the improvements that would be required would be [inaudible] along Highway C [inaudible] both directions. So the scale of the improvements really starts to magnify again in proportion to [inaudible].

Michael Serpe:

And that makes all the sense in the world except we have one little problem. We might be restricted with the amount of room we have to work with. So if we can provide some type of safety, even as minimal as it could be, would be better than what we're proposing now which is nothing. And I think that's our concern here.

Tom Terwall:

Wayne?

Wayne Koessl:

Well, Mr. Chairman, I see they're going to have 93 lots if both of those are developed. To me that's about 300 cars that will be going in and out of that intersection every day. You figure two for each house and 100 for service vehicles and extra trips. And that doesn't include the future Haribo traffic going down Highway C. I'm not going to vote for it until it's solved.

Michael Serpe:

What do you think?

Jim Bandura:

RA Smith, you did both the environmental and the traffic study? This is just for my curiosity. Your company did both of them?

Pat Hawley:

Yes.

[Inaudible]

Jim Bandura:

Okay, okay.

[Inaudible]

Michael Serpe:

Don't look for Highway 50 to be worked on until 2022 or later. But it's going to happen, it's going to happen.

[Inaudible]

Michael Serpe:

This is a welcome subdivision. There's no question about it. It's going to enhance the Village, it's something we need. But at the same time we're asking for approval from this Commission to bring this forward. And I don't have a problem with that, but I think I want to do it right. And I don't want to sit here and then after this is built out to come back and find out that somebody was maimed, killed or whatever because they got ass ended. I don't want that to happen. And if we can avoid that -- I mean it's not going to guarantee it's not going to happen anyway, but at least we're giving somebody a half a chance to avoid an accident, and that's all I'm looking for. If that's unreasonable I guess I'm unreasonable, but I don't think it is.

Jim Bandura:

I don't think it is.

Wayne Koessl:

Would the Commission go for a 30 day delay until we could talk to the county?

Michael Serpe:

Do we have county representatives here? No. That would have been nice.

Tom Terwall:

Put it in the form of a motion.

Wayne Koessl:

I would move that we table this for 30 days.

Tom Terwall:

Is there a second?

Jim Bandura:

The only thing that bothers me with that is how soon can we get an audience with the county.

Wayne Koessl:

I think within a week we can do it.

Jim Bandura:

You think so?

Michael Serpe:

We can. I've got his phone number.

Wayne Koessl:

I've met with him numerous times.

Jim Bandura:

Okay, then I would be in favor of it then.

Wayne Koessl:

Are you seconding it?

Jim Bandura:

Yes, sorry.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JIM BANDURA TO DELAY THIS PROJECT FOR 30 DAYS FOR AN OPPORTUNITY TO MEET WITH THE COUNTY EXECUTIVE REGARDING TRAFFIC. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Jean Werbie-Harris:

So the exact date that you want is March 26th? I have several items on that agenda that night so it will be a several hour meeting. But for the notice purposes so that we're not going to renote everyone again we have March 26th.

Michael Serpe:

I'm going to ask for amendment on that. That night is going to be busy. If we can go --

Jean Werbie-Harris:

If I can get answers from the County Executive we'll put it on. If I can't we're going to put it for two weeks later and then we would table it again. But I just want to make sure it's noted that it would be March 26th at six o'clock.

Michael Serpe:

John, I'm sorry about this but we have concerns here. I don't mean to screw you guys up.

Jean Werbie-Harris:

We just have to get a voice with the county.

Wayne Koessl:

I'll call him in the morning.

Tom Terwall:

Jean, do you want to continue with Items B through E?

Jean Werbie-Harris:

So Items B, C, D and E are the next items on the agenda, and they're all related at this time. I'll be making one presentation, but we'll need separate actions.

- B. PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-05 FOR AN AMENDMENT TO THE VILLAGE COMPREHENSIVE PLAN** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to correct and show the location of the field delineated wetlands within the in the Park, Recreation and other Open Space Lands with a staked wetland land use designation (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources); and to remove the Urban Reserve land use designation from the vacant property. In addition, to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.
- C. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS AND AN AMENDMENT TO THE DIGITAL SECURITY IMAGING SYSTEM AND ASSOCIATED ACCESS EASEMENT** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.
- D. PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND TEXT AMENDMENTS** for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership to rezone the field delineated wetlands (excepting any wetlands that may receive an artificial exemption from the Wisconsin Department of Natural Resources) into the C-1, Lowland Resource Conservancy District and to rezone the vacant property from the R-2, Urban Single Family Residential District into the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. In addition, to amend the Lynch Chevrolet of Pleasant Prairie Planned Unit Development to include the expansion area.

E. Consider approval of a Certified Survey Map for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership.

Jean Werbie-Harris:

Item B is the public hearing and consideration of Plan Commission Resolution #18-05 for an amendment to the Village Comprehensive Plan for the request of Tim Lynch, P.E. of Lynch & Associates on behalf of Lynch Chevrolet for their properties located at 10901 75th Street and their vacant property to the west for the proposed expansion of the Lynch Chevrolet dealership. And this is to amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to correct and show the location of the field delineated wetlands within the Park, Recreation and other Open Space Lands with a staked wetland land use designation excepting any wetlands that may receive an artificial exemption from the Wisconsin DNR, and to remove the Urban Reserve land use designation from the vacant property. In addition, to update Appendix 10-3 of the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan to include said amendments.

Item C is also a public hearing and consideration of a Conditional Use Permit including site and operational plans and an amendment to the DSIS system and associated access easement. And, again, this is on behalf of Tim Lynch on behalf of Lynch Chevrolet for their properties at 10901 75th Street in Pleasant Prairie.

And the next item is Item D, public hearing and consideration of a Zoning Map and Text Amendment also at the same request of Tim Lynch for the property located at 10901 75th Street and the vacant property to the west. And this is to modify the zoning from the field delineated wetlands would be placed into the C-1, Lowland Resource Conservancy District, and the vacant property that is zoned currently R-2, Urban Single Family Residential District would be placed into the B-2 PUD, Community Business District with a Planned Unit Development Overlay District. And this would also be to amend the Lynch Chevrolet PUD in order to include the expansion area.

And then finally Item E is to consider approval of a Certified Survey Map also at the request of Tim Lynch of Lynch Chevrolet. And this is also at the property at 10901 75th Street and the vacant property to the west. Again, this would be for purposes of combining all the lots areas into one lot for the Certified Survey Map.

As a part of the public hearing comments and as part of the public hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request and are presented and described below:

Findings of Fact

1. The petitioner is requesting several approvals for the expansion of the Lynch Chevrolet Dealership located at 10901 75th Street in the Village. Lynch had recently purchased the 1.3 acres of property to the west and removed all of the structures from the property for the proposed expansion of the car lot display parking area for an additional 136 cars for the dealership. The expansion plans also include the construction of an additional

- parking lot behind the building with approximately 116 parking spaces and to expand the on-site stormwater basin to handle the additional runoff from the paved surfaces.
2. The approvals are being considered by the Plan Commission at this meeting that include a Conditional Use Permit, Site and Operational Plans, an amendment to the DSIS system Agreement and Access Easement, a Comprehensive Land Use Map Amendment, Zoning Map Amendment and Zoning Text Amendment. And this is for an amendment to the Lynch Chevrolet Planned Unit Development Overlay as well as a Certified Survey Map. These are provided as Exhibit 1 through 4 for a copy of all the applications and the plans.
 3. The properties are located in U.S. Public Land Survey Section 7, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin. The properties are identified as Tax Parcel Numbers 91-4-122-071-0027 and 91-4-122-071-0015.
 4. In September of 2011 the Village Plan Commission approved Conditional Use Permit #11-16 which is included as Exhibit 5 including Site and Operational Plans and a DSIS Agreement and Access Easement for Lynch Chevrolet to operate a sales center for new and used automobiles and an auto repair/maintenance facility, which included an approximate 31,000 square foot building and outdoor car display area.
 5. Site and Operational Plans and Conditional Use Permit Amendment: The proposed expansion includes the construction of two parking lots and an addition of storm water basin and drainage improvements. The parking lot expansion to the west will be used to display cars for sale and lease, and the existing storm water basin is being expanded to handle the additional run off. The existing driveway to Highway 50 on the western vacant property is being removed and the right-of-way restored by Lynch. A Wisconsin DOT permit is required for the driveway removal and restoration within the right-of-way.

The parking area to the rear of the building or the south side of the building will be used by employees and car storage for cars to be processed prior to being placed off the sales lot or being removed from the sales lot. To the west of this parking lot is a second storm water basin facility to handle drainage from this parking lot and areas to the northwest that do not drain to the existing basin.

The Village has some concerns with respect to the design of the existing proposed wet basin. And a meeting was held last week to discuss this matter with the applicant. There appears to be insufficient room to create a five foot deep pond. The current design shows a maximum three foot deep pond with a very small water pool surface. It is expected that this pond will have aquatic vegetation in a narrow area in the bottom of the basin and not be aesthetically pleasing and will create a nuisance condition. The pond shall be redesigned either as a dry basin or to provide a deeper pond.

Both new parking lot areas will be required to provide adequate lighting. The light standards shall be required that match the type of standard, color of light and height to the existing on-site parking lot lights on the site. All light standards shall be located within the required parking lot islands. Landscaped parking lot islands are required for the southern lot. A revised landscaping plan shall be provided to add and include additional

landscaping around the perimeter of the site, adjacent to Highway 50 and adjacent to the basins.

6. Amendment to the DSIS Agreement and Access Easement: The facility currently has a DSIS System pursuant to Chapter 410 of the Village Municipal Ordinance and is proposed to be amended to include camera coverage of the expanded areas. The DSIS affords the opportunity for the public safety departments such as the Police Department and Fire and Rescue Department to visually examine the entire area of the commercial establishment's building site entrances exits, parking lots and drive-thru areas and their sites that will provide emergency response personnel with a visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers.

The Amendment to the DSIS Agreement and the amended DSIS Access Easement shall be finalized and executed by the owner prior to the issuance of any permits. The DSIS camera system additions and an Access Easement modification shall include the additional areas and shall be required to be prepared and approved to include the new parking lots and storm water basin, and additional cameras and system updates are required by the Police Chief and the IT Technical Services Manager to cover all of the new parking lots and driveway areas.

Camera plans, specifications and contracts are required to be included. The additional cameras shall be installed by the owner, inspected and fully operational with live WiFi connection to the Village PD prior to completion of the expansion work. Following the owner's installation of the additional cameras, the Village will inspect the system and verify its accessibility. The amended DSIS Access Easement shall be provided to the Village for recording at the Kenosha County Register of Deeds Office. Again, that easement just needs to have the added legal description of the new area that we're including. And this information should be recorded at the deeds office prior to obtaining permits for the project.

7. Certified Survey Map: The proposed CSM will combine the properties into one parcel and will dedicate additional stormwater easements over the expanded basin and the new basin.
8. Wetlands: The three wetlands areas were field delineated by Wisconsin DNR Assured Biologist Ron Londre on May 17, 2017 as part of Exhibit 2 of the Plan Commission Resolution #18-05. Wetland 1 which is the existing stormwater basin that was constructed as part of the original development in 2012/2013 is an artificial wetland, and the petitioner is requesting a written exemption from the Wisconsin DNR and the Army Corps of Engineers wetland regulations so that the stormwater pond can be expanded.
9. Comprehensive Plan Amendments, Plan Commission Resolution #18-05: The Village 2035 Comprehensive Land Use Plan Map 9.9 is proposed to be amended or corrected to show the location of the field delineated wetlands within the Park, Recreation and other Open Space Lands with a staked wetland land use designation except for those that are getting the artificial exemption from the DNR, and to remove the Urban Reserve land use designation from the vacant property which is Tax Parcel Number 91-4-122-071-0015.

In addition, to update Appendix 10-3 of the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan to include these amendments.

10. Zoning Map and Text Amendments: The current facility property is zoned B-2 (PUD), Community Business District with a Planned Unit Development. The property that was purchased currently zoned R-2 is being combined for the expansion of the dealership and is proposed to be rezoned into the B-2 (PUD). In addition, the field delineated wetlands excepting any wetlands that are receiving the artificial exemption are proposed to be rezoned into the C-1, Lowland Resource Conservancy District. In addition, the existing Lynch Chevrolet PUD Ordinance is being amended to include the additional parcel with the PUD.

With that this is a series of public hearings, and we'll hold the public hearings at this time. And I'd encourage any additional comments at this time.

Tom Terwall:

If memory serve me correct when Lynch moved out there the understanding was that their access off of Highway 50 was only temporary. And with the widening of Highway 50 their access is going to enter in off of 104th. Is that at all affected in tonight's decision?

Jean Werbie-Harris:

It should not have any effect. All of those items are still part of the original memorandum of understanding that was executed between the Village and Lynch and the Wisconsin DOT. The exception that the road that lies to the east is 109th Avenue, and their direct access at some point when Highway 50 is under construction in 2020, 2021 some during that time period, that driveway, that main entrance will need to close off of Highway 50 and then 109th Avenue will be their main entrance to the facility.

Tom Terwall:

Thank you. This is a matter for public hearing. Yes, sir?

Kyle Kennedy:

Yes, Kyle Kennedy, address 3700 22nd Street, Kenosha, Wisconsin. My question I think for Matt possibly. You mentioned that [inaudible] you were suggesting dry storage [inaudible].

Matt Fineour:

The southern pond was just -- the size of it was small enough that they couldn't get a good wet, if you want to call it a wet pond, a good surface area for the water. So they were going to expand it a little bit to the north and make that water service a little bit bigger so it doesn't necessarily look like aquatic vegetation in the bottom, it was more of a wet pool.

Kyle Kennedy:

So my question with that then is when the discharge of that pond comes out is it going to discharge right out to the south, that southwest corner.

Matt Fineour:

That's correct.

Kyle Kennedy:

I'm very concerned that right now [inaudible] the roadway right now is there any concern [inaudible] stormwater discharge [inaudible] going down that hill. But I know [inaudible] flat lands and stuff like that on that roadway. I think that's 77th.

Jean Werbie-Harris:

Yes.

Kyle Kennedy:

Is there any concern for the additional water that's going to be discharged into that?

Matt Fineour:

Well, as 77th is constructed there will have to be a storm sewer that picks up that detention basin drainage. I mean it naturally flows down there right now. So when the road gets constructed if the storm sewer goes through there, their storm sewer discharge would have to be connected to a storm sewer.

Kyle Kennedy:

My question with that followup then I'm not necessarily opposed to that. But my suggestion would be [inaudible] is there a way that we could formulate an easement on the south side of that property to receive a storm water hike in the future in the event that we need it and into the actual right of way because of wetland issues? Because I know that on the Lynch side of that there's a lot less wetlands that you might be able to avoid the impacts whether they're primary or secondary impacts to get to the wetlands on the south side. As a [inaudible] in the issue it might help out. It doesn't hurt Lynch or they're not opposed to it [inaudible] consideration?

Matt Fineour:

I'm not following you. You want a easement on the south side of their property?

Jean Werbie-Harris:

Or in the right of way.

Kyle Kennedy:

No, it would be north of the right of way, the public right of way I mean like 20 feet off on the north side of 77th and the Lynch side of the property going from east to west in the event we have to do a discharge that's on the west side of that property [inaudible] the DOT pond to the east of it is getting introduced here in the near future, it might be a prudent plan if we could develop an easement [inaudible] I don't see any reason why we can't develop something in the right of way as part of it. And it might possibly be someplace that we allow for Lynch to discharge their pipe in the future. The only reason I ask is we've had this conversation in the past, and we didn't know necessarily if we could just [inaudible] in the right of way. My understanding [inaudible] outside of the right of way. It becomes an issue [inaudible] on the south side verses the north side if Lynch isn't opposed to it [inaudible].

Matt Fineour:

I guess your question leads to the development of the overall area. I know you've got an interest in the remaining portion of the land. That might be something that you can discuss with Lynch themselves as far as looking at the overall plan of the area. That road is either going to go in or -- ultimately it's going to go in or ultimately it's not going to go in, one or the other. If it goes in the stormwater will have to get picked up by the road because the road will be curb and guttered with the storm sewer system. If not I really don't know how the remaining portion of the area is going to be developed. Again, I guess the overall stormwater management of the area could be worked out between the proper owners as far as overall concept.

Kyle Kennedy:

The only reason I brought up here is [inaudible] phone call was that it was going to become a municipal easement for [inaudible] and ultimately be adopted by the Village. I didn't know if it made sense to have it in there in the Village right of way or Village easement for future stormwater discharge, or it made sense -- I mean I don't mind working with Lynch myself and doing it, but it's ultimately going to become [inaudible] Village of Pleasant Prairie easement and [inaudible] get it out of the way right away.

Jean Werbie-Harris:

So as shown on the Certified Survey Map, not on this one but on a subsequent page, they are required to grant easements to the Village, stormwater drainage, retention basin, access and maintenance easements. So both of their basins do have easements over them. Again, you can see the one, but you can't see the other one on this particular plan sheet. But they will be required to grant easements to the Village for the stormwater basin areas for stormwater easement purposes.

Kyle Kennedy:

So then [inaudible] kind of a blanket easement.

Jean Werbie-Harris:

It's a blanket easement over the stormwater basin areas that's granted to the Village.

Kyle Kennedy:

Does that mean that [inaudible] discharge [inaudible].

Jean Werbie-Harris:

Well, I think what you're trying to do is kind of set a record for the DNR so that if they determine, again, at some point in the future that their basins become wetlands that they're artificially created and that there can't be -- there's no restriction that's being placed on Lynch or on your future property that would say that they can't manipulate their basins in order to deal with the stormwater. I think that's what you're saying but I'm not --

Kyle Kennedy:

I'm not suggesting that [inaudible] DNR and Army Corps about [inaudible] right of way [inaudible] issue for utilities in the future as well as that roadway [inaudible] like in the heart of [inaudible] by SEWRPC. [Inaudible] and they can't get a permit but there's already issues with that right of way that's back there in 77th. I just thought if there's high ground there that Lynch isn't using it's a joint effort to just try and get water off the property --

Jean Werbie-Harris:

No, I think they're using --

Kyle Kennedy:

[Inaudible] address it right away [inaudible]. It doesn't look like Lynch is using that portion of the property. It would be for their benefit, our benefit, the Village's benefit. I just don't know why we couldn't incorporate it right away so that it's not an issue. I'm not saying Lynch isn't opposed to it. I just thought [inaudible] but I wanted to bring it up in a meeting to see if the Village [inaudible] in the event [inaudible] end of being a Village of Pleasant Prairie easement. Kind of like negotiate it and get it done [inaudible] doesn't seem like it makes sense to go through that [inaudible] why not just put it in place.

Michael Serpe:

I'm just curious, are you a developer, are you a owner of property over there.

Kyle Kennedy:

Yeah, I control the property all around Lynch.

Michael Serpe:

Oh, okay, I understand your concern.

Kyle Kennedy:

[Inaudible] moving forward on the south side of the property. If everything goes well you guys will be seeing some new plans here in the future, near future. So I do have concern for that, that part of the roadway. Other than that on that section of it the only other concern I had was for lighting. Is this lighting going to be [inaudible] off of the parking lot [inaudible] property is zoned residential, stated residential or multifamily or something different in the future lighting will be a concern. I mean not now, I just want to know what [inaudible] it would be nice to have it addressed up front. Maybe it is already, I don't know.

Jim Bandura:

What was your discussion with the DNR with the lane --

Kyle Kennedy:

With the wetlands?

Jim Bandura:

Yes.

Kyle Kennedy:

Various. Anything in particular or --

Jim Bandura:

You're talking about development from Highway 50 south to 79th Street, am I correct?

Kyle Kennedy:

Everything you see that's vacant out there is what I [inaudible].

Jim Bandura:

So what was your discussion close to the properties on 79th?

Kyle Kennedy:

We had lots of discussions all for different reasons, anything from [inaudible] discharge water off the property to development to permitting to [inaudible], lots of discussions we had.

Jim Bandura:

The reason I'm asking is because I live on 79th and that's a disaster back there. It is. And for a developer and nothing to come about on that it's not good. It's just not good. So my question to Jean is you'd actually have to -- for any kind of easement on that street you would have to have all of the property owners, correct, all the way on 77th? Now, do you own property on --

Kyle Kennedy:

[Inaudible] everything. So the only part I'm talking about would be on the back of Lynch which they own the whole property. I have a plan that we put in place a while back about diverting the stormwater, the water that discharged on the property across Highway 50 right there in front of that little blue house. It just dumps water on the property, and it kind of goes [inaudible] wherever it wants in the rest of the property.

Jim Bandura:

Into my backyard.

Kyle Kennedy:

Hopefully in the near future here we're going to have a solution and fix that site, and you'll get to see that hopefully soon. But the plan at one time was to take that water and just let it discharge right across the property and bypass the wetlands and get it into the Kilbourn ditch. And when we had those discussions the thought process was either we go right to the middle of that wetlands which creates permitting issues both long term and short term and also right of way issues. The right of way issues are a concern because I can't put it in the right of way, I have to have someplace to put it [inaudible] divert water off the property and clean that site up. And just through planning if there's a way to go north it's more of a straight run for the wetlands. If you look at the wetland delineation that was done by SEWRPC dating back to 2012 [inaudible] when the [inaudible] was originally introduced. [Inaudible] so they're trying to get around the wetland or go through the middle of it just creates permanent issues. It can be very difficult. So if we can find an easy way to work together to divert stormwater and take discharged water -- the DOT [inaudible] that southeast corner. I'm not sure if you've seen the drawings of the DOT ponds.

Jim Bandura:

I probably have, yeah, numerous times.

Kyle Kennedy:

The proposed DOT pond is going to be put in there, and then another pond is going to discharge on the property. Whether it's acceptable stormwater rates, the discharge rates or not doesn't really matter to me because the [inaudible] onto the property. I'm trying to figure out a way to contain it [inaudible] my legal rights [inaudible] so that it doesn't damage the property any further than it already is. So I'm just trying to do some planning [inaudible] items addressed anytime that I can.

Jean Werbie-Harris:

The east/west roadway in the Chateau Eau Plaines Subdivision is 77th Street. And it goes from basically the Eau Plaines Parkway all the way east all the way to 104th. That area and a number of sections of that, even though the Village has municipal sewer and water, and we've talked about this several times over the last five to seven years, pocket wetlands and then now longer wetlands have started to develop and bring water through and down through 77th Street. We made several attempts ourselves as a Village to try to get those areas permitted to put in 77th Street in order to accommodate Lynch and his development and just to be able to convey traffic east/west on the northern end of the Chateau area. But we were shot down each time. And basically we were told that there's no justification. You have to look at some alternatives analysis.

What Kyle's concerned about is that there are these long, linear wetlands that are basically right in the right of way of the Village's dedicated right of way that was platted back in the late '70s. Well, if you move north on Lynch's property where Peggy's kind of done an east/west red line there, that's where those wetlands start. They start there, and they consume the entire width of our right of way. So because of that we can't go into our right of way. We can't excavate, we can't put in storm sewer at this time. We can't do anything to remove those wetlands that have been created. Just as Lynch can't do anything further south or can't tie into the right of way because of the wetlands. So they're hampered, and that's why their development is the way it is with respect to the basin.

I trust that our discussion and conversation with respect to these wetlands and 77th Street and the Chateau Eau Plaines and the flooding out there is not going to finish this evening. This is something we've been talking about for years and years out there. But it has been made worse by the inability to repair tile lines, to be able to fill in wetlands and to be able to do any development out in this area. So I understand what Kyle is saying, and we're doing what we can in order to have flowage easements or stormwater easements and things like that to protect these areas and to be able to work with them in the future. But the situation is today the state DNR and the Corps of Engineers has made some decisions with respect to keeping Pleasant Prairie from filling any wetlands or adjusting anything or putting in 77th Street. And both Lynch as well as Kyle have had to deal with that because it's made them really think hard of how they could actually continue to develop their property or even start to develop their property. So we're not going to reach any conclusions on that today because there's agencies outside of the Village that have control over the wetland filling.

Jim Bandura:

I agree, but there needs to be discussion with the property owners to the south on 79th Street and everybody.

Jean Werbie-Harris:

Okay, that's a whole different --

Jim Bandura:

It is.

Jean Werbie-Harris:

And Matt he can talk to you about that. I mean if we have the time he has been working with the DNR, and I think they've finally been successful with respect to being able to move that project forward with respect to a stormwater management project at least from the state's perspective. But that's different than what is being requested today. So there's two different issues. I don't if, Matt, you want to take just a minute or two to talk about where you are with respect to the 79th Street Chateau Eau Plaines property which is a couple blocks south of this.

Matt Fineour:

Just briefly, regarding 79th Street and the stormwater project we've been working on there for a number of years I guess at this point in time. We have obtained in our permitting and we have now just obtained Army Corps permitting for that project. So after all this back and forth and fighting with them they basically have now issued the permit. So that project in itself can here shortly start moving forward. That does not necessarily -- all the stormwater up in this project does not drain down there. It drains to the west. It doesn't get down to the existing subdivision. But anytime you're dealing with wetlands it's a battle with the DNR and Army Corps.

Jim Bandura:

So behind Lynch the 77th you're looking to go towards the Kilbourn ditch?

Matt Fineour:

This area right now drains to basically the right of way. It goes west. There's field tiles through this vacant land. It eventually gets to the Kilbourn ditch here without going to the existing subdivision. There's a divide between Lynch and the existing subdivision. The drainage north of that divide goes to the Des Plaines, south of it goes kind of where the wetland is behind your property and down that way.

Michael Serpe:

Matt, real quick, this is another issue but it involves the Kilbourn ditch. There's something going on in Racine County that's going to affect the Kilbourn ditch maybe severely in Pleasant Prairie and the city.

[Inaudible]

Michael Serpe:

Well, where the water's going to drain at.

[Inaudible]

Michael Serpe:

That's another matter.

Jim Bandura:

A question to Matt. Just out of curiosity is there any reason they couldn't tie the two basins together, the retention together?

Matt Fineour:

Yeah, there is actually. It's elevation difference on the property. The developer was directed to -
- the north basin drains north to a storm sewer on Highway 50 that goes just to the west and eventually discharges out I think in the road ditch down there. There is an elevation difference between the south pond and the north pond so they can't everything -- like the south parking lot they can't drain to the north so one pond is higher than the other.

Kyle Kennedy:

That's all I had.

Tom Terwall:

Thank you. Sir?

Kurt Petrie:

Kurt Petrie, I'm the President of Lynch Companies, 30614 Durand Avenue, Burlington. When we started our initial [inaudible] the water came across [inaudible] come across Highway 50 from Aurora, the apartment building and the church. Part of the requirements then as we caught it on the right side of our driveway or to the east side of our driveway, put it underground, transported it past the [inaudible] that we're talking about to the west. That goes into the ditch of Highway 50 and goes out. So we caught everything up from across our existing parcel, and then right now we retain everything from our parcel that goes down to Highway 50. The lot used to shift on a diagonal, all the water would come across it and come up the other corner kind of where [inaudible] and where the water's coming out of the existing [inaudible] south.

So the only water we're going to discharge to the south right now is that lower lot, the south lot. And that's going to be retained and discharged at the same rate it's being discharged now. That lot is much lower than the elevation there [inaudible]. In addition, we're picking up half of the new property where we tore the house down, and that's going to go to our old abandoned [inaudible]. We're taking half of the last lot and [inaudible] towards 50. So, yeah, we've diverted about three times as much water out of there as what will even get put in at the [inaudible].

The pond I think we've worked out a decent solution with the Village [inaudible]. And that's about it. Can you go to the Certified Survey Map please? Jean, when we had our meeting is there a need for the emergency cross-access anymore? Because that was put in to service the

house that we tore down [inaudible]. Take a peek at that. I'm assuming any development is going to have new access.

Jean Werbie-Harris:

I don't know that it's necessary to keep that cross-access any longer? That ends into another expansion of their parking lot. I think that that's a decision the Plan Commission and Board can make if they would like to remove that cross-access. Again, at that time there was an existing home and existing property to the west. I don't know that it's really a great idea to have cross-access cutting through a parking lot. Obviously we would use it for emergency access now, but the fire department can go through wherever in that lot. But it's up to the Plan Commission and the Board. I'm trying to think of a good reason why to keep it at this point. Eventually their access to Highway 50 is going to be gone. But I don't know that it's really necessary to keep that.

[Inaudible]

Jean Werbie-Harris:

It would have to be vacated, Kurt. I mean it can't just be an action of the Plan Commission tonight. There would have to be a vacation document drafted and would have to be officially vacated and removed from the CSM.

[Inaudible]

Tom Terwall:

Thank you.

Jim Bandura:

Jean, that's just going to his new pavement over there.

Jean Werbie-Harris:

Correct. They just purchased that property last fall. And it was a different landowner at that time. And if it would have developed for a different commercial use then it might have needed that cross-access similar to what we have west of Highway H south of 50 where there's cross-access through the commercial properties. This is kind of a little bit different circumstance. Their product if you will is all outside. And the only benefitting landowner would be the one to the west and they bought that property. So the question is whether or not it's necessary to have an emergency cross-access going through your property to get to your property.

Jim Bandura:

Yeah, that I can see. So if whoever owns the property to the west of the recently purchased one, if a cross-access easement is required that can be taken care of at a later time then?

Jean Werbie-Harris:

Well, we can take a look at that to see if that's of any concern or if they could get access to the west or not.

Jim Bandura:

Yeah, I don't have a problem with vacating it.

Jean Werbie-Harris:

If nobody needs that access and they're the only ones benefitting from that access then I think we can move towards that end. But we just need to take a look at that property to the west just to make sure that they have access because they can't get a commercial access to Highway 50. Those access rights have been taken away by the state. So we need to make sure that that property can continue to get access.

Tom Terwall:

Anybody else wishing to speak? If not I'm going to close the public hearing. Any comments or questions from staff?

[Inaudible]

Tom Terwall:

Discuss it with Mr. Kreuser when you see him.

Jim Bandura:

I'll move for approval.

Wayne Koessl:

Are approving Item B?

Jim Bandura:

I'm approving Item B, yes.

Michael Serpe:

Second.

Tom Terwall:

It's been moved and seconded to approve the Plan Commission Resolution 18-05 and send a favorable recommendation to the Village Board subject to the terms and conditions outlined in the staff memorandum. All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Michael Serpe:

Move approval of the Conditional Use Permit.

Jim Bandura:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA TO APPROVE THE CONDITIONAL USE PERMIT INCLUDING SITE AND OPERATIONAL PLANS. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? Motion carried.

Jean Werbie-Harris:

Mr. Chairman, I think that you want to add to that one with the condition that a recommendation from the Plan Commission that consideration be given for the vacation of that 24 foot wide access.

Tom Terwall:

Pardon me?

Jean Werbie-Harris:

In part of the recommendation of the motion you want to include a provision or a statement that talks about the potential vacation of that 24 foot wide access between the properties. That was not in the staff comments.

Michael Serpe:

Yes, we'll include that.

Tom Terwall:

Include in the motion?

Michael Serpe:

Yes, in my motion.

Tom Terwall:

Included in the second?

Jim Bandura:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

Wayne Koessl:

Mr. Chairman, I'd approve Item D.

Judy Juliana:

Second.

Tom Terwall:

IT'S BEEN MOVED BY WAYNE KOESSL AND SECONDED BY JUDY JULIANA TO APPROVE THE ZONING MAP AND TEXT AMENDMENT SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered. And Item E, the CSM?

Judy Juliana:

Move to approve.

Wayne Koessl:

Second.

Tom Terwall:

IT'S BEEN MOVED BY JUDY JULIANA AND SECONDED BY WAYNE KOESSL TO APPROVE THE CSM SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

F. Consider the request of David and Elizabeth Janz, owners of the property located at 3840 107th Street for approval of a Certified Survey Map to subdivide the property into three (3) parcels.

Jean Werbie-Harris:

Mr. Chairman and members of the Plan Commission, this is to consider the request of David and Elizabeth Janz, owners of the property located at 3840 107th Street for approval of a Certified Survey Map to subdivide the property into three parcels.

The petitioners are requesting to subdivide the property located at 3840 107th Street, Tax Parcel Number 92-4-122-252-0495, into three parcels. The property is currently zoned R-4, Urban Single Family Residential District, which requires lots to have a minimum frontage of 90 feet on a public road and a minimum lot area of 15,000 square feet per lot.

Lot 1 is proposed to be 72,450 square feet with 229 feet of frontage on 107th Avenue and 316 feet of frontage on 39th Avenue. That should be 107th Street, not 107th Avenue. Lot 1 has an existing home on the property with direct driveway access from 107th Street. There is no direct driveway access allowed to Lot 1 from 39th Avenue. Lots 2 and 3 are proposed to be both 30,086 square feet each with 95.11 feet of frontage on 107th Street. Municipal sanitary sewer and water mains and laterals are available to service the new lots on 107th Street.

A stormwater grading and drainage plan was reviewed and approved by the Village Engineering Department to handle the storm water for the three lots. Dedicated Public Storm Water Drainage, Access and Maintenance Easements are being provided over these drainage areas as shown on the CSM. The Lot 1 owner or the petitioner will be responsible for installing the drainage swales along the northern property lines within the easement areas.

This grading work shall be completed and inspected by the Village pursuant to the existing erosion control permit issued with the construction of the new home under construction or just completed on Lot 1 prior to the issuance of any building permits on Lots 2 and 3. The owners of lots, respectively, will be responsible for maintaining the rear drainage swales, and the owners of Lots 2 and 3 will be responsible for completing the specific grading on each of their Lots 2 and 3 at the time the lots are developed.

The proposed land division conforms with the minimum regulations of the R-4 Zoning District requirements related to lot area and lot frontage, and the requirements of the Land Division and Development Control Ordinance. The staff recommends approval subject to the comments and conditions as outlined in the staff memorandum.

Michael Serpe:

Move approval of the CSM.

Jim Bandura:

Second.

Tom Terwall:

IT'S BEEN MOVED BY MICHAEL SERPE AND SECONDED BY JIM BANDURA TO APPROVE THE CSM SUBJECT TO THE TERMS AND CONDITIONS OUTLINED IN THE STAFF MEMORANDUM. ALL IN FAVOR SIGNIFY BY SAYING AYE.

Voices:

Aye.

Tom Terwall:

Opposed? So ordered.

7. ADJOURN.

Judy Juliana:

Move to adjourn.

Wayne Koessl:

Second.

Tom Terwall:

All in favor signify by saying aye.

Voices:

Aye.

Tom Terwall:

Opposed? We stand adjourned.

Meeting Adjourned: 7:30 p.m.

- A. **TABLED AND CONTINUED PUBLIC HEARING AND CONSIDERATION OF A PRELIMINARY PLAT** for the request of John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision) for the development of 45 single family lots to be known as River Run at Heritage Valley.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the **Preliminary Plat** subject to the comments and conditions of the March 26, 2018 Village Staff Report.

At the February 26, 2018 Plan Commission meeting, the Plan Commission tabled the Preliminary Plat request in order for the Village staff to contact Kenosha County to discuss and CTH C road marking or signage improvements that could be made at the CTH C and 106th Avenue intersection into the development. The Plan Commission was concerned with the safety of the left turn movements and would like to have the engineers re-examine dedicated turn lanes or by-pass lanes and flashing signage to help reduce potential rear end collisions.

On February 28, 2018 the staff discussed the issues with the Kenosha County Executive. The Village Engineer emailed the developers traffic engineer on March 2, 2018 with the possible solutions to investigate regarding traffic safety on CTH C. On March 13, 2018 the developers engineer emailed the Village with possible solutions. The Village staff has reviewed and discussed the information. The staff recommends that the Developer add advanced warning signs and also improve the intersection street lighting. The Village will look into the existing intersection lights and see if they can be upgraded and/or if another street light is needed. The exact advance warning signs type, locations, and lighting improvements will be finalized as they continue to move forward with the subdivision design and coordinated with the County. (See **attached** emails noted above).

VILLAGE STAFF REPORT OF MARCH 26, 2018

CONSIDERATION OF A PRELIMINARY PLAT for the request of John Sorenson, agent for US Shelter Companies, LLC, owners of the vacant properties generally located south of 89th Place at 106th Avenue (south of the Heritage Valley Subdivision) for the development of 45 single family lots to be known as River Run at Heritage Valley.

The petitioner is requesting approval of a Preliminary Plat to develop two vacant properties south of the Heritage Valley Subdivision generally located south of 89th Place at 106th Avenue in the Village into 45 single family lots to be known as River Run at Heritage Valley.

PREVIOUS APPROVALS: On August 28, 2017, the Village Plan Commission held public hearings and on September 18, 2017 the Village Board conditionally approved the following items related to the proposed single family residential development:

- Comprehensive Plan Amendment related to the Pleasant Farms Neighborhood Plan (Ord. #17-43).
- Conceptual Plan.
- Floodplain Boundary Adjustment (Village Board Resolution #17-34).

As discussed at the aforementioned public hearings, the existing Heritage Valley (Phase 1) Subdivision included 32 single family lots that were originally platted in 1993, with additional phases proposed for a total of 176 single family lots. Since 1993, the additional phases of Heritage Valley Subdivision as originally proposed have not been platted or developed.

A new developer, US Shelter Companies, LLC recently purchased approximately 24 acres of land for the residential development of 45 single family lots to be known as River Run at Heritage Valley. In looking at the bigger picture, the remaining vacant land (approximately 22 acres) originally included in the subsequent phases of Heritage Valley Subdivision that is not owned by the petitioner could also be developed with 49 additional single family lots. Therefore, the master plan for the original Heritage Valley Subdivision boundaries could eventually be developed with about 94 single family lots rather than 140 single family lots as was originally proposed in 1993.

RIVER RUN AT HERITAGE VALLEY PRELIMINARY PLAT. As noted above, the petitioner is proposing to develop approximately 24 acres for 45 single family lots in three (3) phases to be known as River Run at Heritage Valley. Phase 1 includes 13 single family lots, Phase 2 includes 23 single family lots and Phase 3 includes 9 single family lots.

SINGLE FAMILY RESIDENTIAL DEVELOPMENT: About 13.82 acres are proposed to be developed into 45 single-family lots and four (4) Outlots. The single family lots range in size from 12,501 square feet to 17,757 square feet per lot with the average lot size of 13,379 square feet. The lots shall meet the minimum requirements of the R-4.5 Urban Single Family Residential District, which requires each lot to be a minimum of 12,500 square feet with 80 feet of lot width or street frontage (the frontage can be reduced to 45 feet on a curve or cul-de-sac). All lots shall have a minimum lot depth of at least 125 feet. (The 32 lots in the existing Heritage Valley Subdivision have an average lot size of 14,799 sq. ft.).

OUTLOTS: *All of the wetland, floodplain and storm water retention facilities for the development will be located within the Outlots in the development.*

Outlots 1 and 4 are proposed to be dedicated (fee interest transfer) to the Village and will be combined with the adjacent property (Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision that is owned by the Village. These Outlot areas are primarily wetland and 100-year floodplain. The Outlots shall be labeled as "Outlot 1 Dedicated by the Developer to the

Village of Pleasant Prairie for Open Space, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes”.

Outlot 2 is proposed to be retained by the Developer. This Outlot is not considered a buildable lot since the lot depth of 125 feet is not being met. This Outlot could be subdivided as buildable lots if and when additional land is acquired from the adjacent land owner to meet the minimum lot depth requirements. The Outlot shall be labeled “Outlot 2 to be retained by the Developer for possible future residential development”.

Outlot 3 is proposed to be dedicated (fee interest transfer) as common open space to the River Run and Heritage Valley Homeowner’s Association, Inc. The Outlot shall be labeled as “Outlot 3 Dedicated by the Developer to the River Run and Heritage Valley Homeowner’s Association, Inc for Open Space, Storm Water, Drainage, Retention Basin, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes”. The wetland areas shall be separately delineated and identified within the outlots. There shall also be an easement over this same area of Outlot 3 granted to the Village for the same Open Space, Storm Water, Drainage, Retention Basin, Floodplain and Wetland Preservation and Protection, Access and Maintenance Purposes.

The Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with illustration (which shall be prepared by the Developer) for the site grading and construction of a sanitary sewer lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place (Tax Parcel Number 92-4-122-184-0450). Note: the Kenosha County Interactive Mapping incorrectly references the abutting street as 89th Place.

POPULATION PROJECTIONS FOR RIVER RUN AT HERITAGE VALLEY SUBDIVISION:

Based on the 2010 Census information for the Village of Pleasant Prairie, the average number of persons per household is 2.71. School age children between the ages of 5 and 19 make up 22.6% of the population. Therefore, based on the currently shown 45 lots it is projected that **122 persons** could be added to the population upon full build-out of this development. Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie (.42 x number of dwelling units), **19 public school age children** are likely to come from this development at full build-out. [Note: The Village continues to provide copies of proposed developments to the Kenosha Unified School District to assist in their school enrollment projections, school facility planning efforts and school boundary adjustments.]

FLOODPLAIN BOUNDARY ADJUSTMENT: The Village requires that all lots be created outside of 100-year floodplain. As such, the developer will be adjusting the location of the 100-year floodplain to remove any floodplain from the lots and showing 100-year floodplain within the Outlots. On September 18, 2017 the Village Board approved Resolution #17-34 and the developer has requested that the Federal Emergency Management Agency (FEMA) approve a Conditional Letter of Map Revision (CLOMR) so that the floodplain adjustment can commence.

WETLANDS: The wetlands were re-delineated in 2016 by a Wisconsin Department of Natural Resources (WI DNR) assured wetland delineator with R.A. Smith National, Inc. A number of pocket wetlands now exist on the property. The WI DNR has exempted wetland area 3 from State wetland regulations, since this was a temporary basin constructed by the developer of Heritage Valley in 1993 as indicated in the **attached** letter dated May 17, 2017. The developer has also obtained approval from the WI DNR to fill wetland area 1 (1,824 square feet) and area 2 (553 square feet) pursuant to the **attached** permit dated July 14, 2017. The ACOE will not be taking jurisdiction over these wetland area pursuant to the **attached** letter dated July 7, 2017. Wetlands 4 and 5 will be protected and located within Outlots.

SITE ACCESS: This development will utilize two (2) existing public access points onto CTH C (Wilmot Road) through 106th Avenue and 104th Avenue for access to the Subdivision. Due to the location of existing development and environmental features no additional access to CTH C (Wilmot Road) is feasible. At the August 28, 2017 Public Hearing, the neighbors expressed concern regarding the existing subdivision access to CTH C and the existing traffic on CTH C. The Plan Commission requested that Village staff meet with the Kenosha County to discuss the traffic on CTH C and any alternatives to help alleviate the existing issues and future traffic concerns when the vacant land develops. On September 6, 2017 the Village staff met with representatives from Kenosha County to discuss the project. Kenosha County and the Village staff required that the developer prepare a limited Traffic Impact Analysis (TIA) that was evaluated by Kenosha County and the Village to determine what, if any, possible solutions could assist in mitigating the perceived traffic problems. A TIA was completed by RA Smith to review the subdivision intersections at CTH C. The overall conclusion of the report and County recommendations are noted below:

“The River Run and future off-site residential developments are expected to increase traffic and side street delay at the study intersections. However, traffic impacts are expected to be minor and all study intersection movements were shown to operate well under capacity with the additional traffic. Therefore, no roadway improvements are recommended with the developments. The addition of turn lanes would not improve the LOS (level of service), and the intersection volumes are well below meeting the warrants for traffic signals.”

Kenosha County staff reviewed the TIA and concurs with the conclusions and is not requiring any improvements at this time. The Village had an independent consultant, TADI (Traffic Analysis and Design, Inc.) review the TIA report. TADI also concurred with the TIA analysis and conclusions.

The Village met with the Kenosha County Highway Commissioner to discuss the TIA and resident traffic concerns. Upon discussion, the County is aware of the traffic concerns and will continue to monitor the traffic conditions as traffic continues to grow in the future. The County agreed to work with the Village in planning and developing overall area traffic improvements as warranted within the CTH C corridor.

At the February 26, 2018 Plan Commission meeting, the Plan Commission tabled the Preliminary Plat request in order for the Village staff to contact Kenosha County to discuss and CTH C road marking or signage improvements that could be made at the CTH C and 106th Avenue intersection into the development. The Plan Commission is concerned with the safety of the left turn movements and would like to have the engineers re-examine dedicated turn lanes or by-pass lanes and flashing signage to help reduce potential rear end collisions.

On February 28, 2018 the staff discussed the issues with the Kenosha County Executive. The Village Engineer emailed the developers traffic engineer on March 2, 2018 with the possible solutions to investigate regarding traffic safety on CTH C. On March 13, 2018 the developers engineer emailed the Village with possible solutions. The Village staff has reviewed and discussed the information. The staff recommends that the Developer add advanced warning signs and also improve the intersection street lighting. The Village will look into the existing intersection lights and see if they can be upgraded and/or if another street light is needed. The exact advance warning signs type, locations, and lighting improvements will be finalized as they continue to move forward with the subdivision design and coordinated with the County. (See **attached** emails noted above).

CONSTRUCTION ACCESS: Determining construction access to the River Run development has been challenging. The Developer has made several attempts to acquire a temporary gravel access driveway from adjacent farmer landowner to the east and the landowner to the west (Mehta) without success. One final possible access location was determined to be at the southwestern corner of the site through the Bethany Church property but existing and future floodplain would restrict the access. As such, the Village Engineers and Public Work's Director recommended that the Village 106th Avenue existing public roadway be used as construction access to the site. There would be limitations placed on the developer to limit time of construction, reduce speeds and to take great care to keep the roadway free of debris, mud and stone. If any damages occur to the existing roadway, it will be the developer's responsibility to repair all damages, at the Developer's costs, upon inspection by the Village and to the Village's satisfaction. Prior to work commencing the roadway will be photographed, videoed and inspected by the Village.

PUBLIC IMPROVEMENTS: All public improvements shall be made by the Developer at the Developer's expense. The entire development shall be provided with and serviced by municipal roadways, sanitary sewer, water and storm sewer. A number of new streets are proposed to be developed with full public improvements (sewer, water, storm sewer, sidewalks, roadways, and street trees) including the extension south of 105th and 106th Avenues, 107th Avenue, 90th Street and 91st Place. Specifically, the improvements include:

- **Municipal roadways** shall be extended throughout the development pursuant to the Village's new development standard (e.g. roadway pavement will be reduced from 37' to 33' b/c to b/c) for all roadways. Also public sidewalks shall be extended on both sides of each public street. Alternate side parking regulations will be in effect for the development. All streets except 90th Street that will be further extended with another phase or another development shall end in a temporary asphalt paved cul-de-sac. The locations shall be shown on the engineering plans. Off-site easements may be required at the temporary terminus of any streets. The 90th Street roadway and utility improvements to the property limits will be required. A sign shall be placed which indicated that the roadway will be extended in the future. Temporary Type 3 roadway barricades shall be installed at the Developer's expense.
- **Municipal water** shall be extended throughout the development and shall connect to the existing municipal water in within the existing Heritage Valley Subdivision.
- **Municipal sanitary sewer and lift station** shall be extended from the existing sewer within Heritage Valley Subdivision. In addition, a lift station and brick constructed housing unit is required for the development of Phases 2 and 3 of the River Run development and future development to the west. The lift station is proposed to be located on Village property and shall not be constructed within any 100-year floodplain or wetlands. The developer is responsible to have these delineations competed. In addition, the developer is responsible for designing and installing the sanitary sewer lift station. Upon the Village inspection and acceptance of the lift station, the Village will maintain the lift station. The Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with illustration (which shall be prepared by the Developer) for the site grading and construction of a sanitary sewer lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place (Tax Parcel Number 92-4-122-184-0450). Note: the Kenosha County Interactive Mapping incorrectly references the abutting street as 89th Place.

PEDESTRIAN PATH CONNECTION: At the August 28, 2017 Public Hearing, discussion was held related to a pedestrian connection to the existing Village Prairie Farms bike path. On September 6, 2017, the Village staff met with representatives from Kenosha County and

it was discussed that a paved multi-use path is planned to be installed along the south side of CTH C that will connect to the existing paths at 114th Avenue to the west and Prairie Farms Trail to the east (see **attached**). This path is being installed by Kenosha County in the summer of 2018 or 2019.

ZONING MAP AMENDMENT: The single family lots are intended to be rezoned into the R-4.5, Urban Single Family Residential District, the wetlands to remain will be rezoned into the C-1, Lowland Resource Conservancy District, the non-wetland areas in the Outlots will be rezoned into the PR-1, Neighborhood Park and Recreational District and the 100-year floodplain, after the amendment, will be located within the FPO, Floodplain Overlay District.

The Zoning Map Amendment application shall be submitted and considered at the time that the Final Plat is considered. A separate Zoning Map Amendment will be required when the floodplain boundary adjustment grading work has been completed and final approval has been obtained from FEMA. In addition, each time that the Zoning Map is requested to be amended, an amendment to the Village Comprehensive Land Use Map 9.9 will also be required to ensure that the Zoning Map and the land use plan are consistent.

The Village staff recommends conditional approval of the Preliminary Plat subject to the above comments and the following conditions:

1. The following changes shall be incorporated on the Final Plat(s):
 - a. The legal description of the wetland areas to remain shall be included on the Final Plat.
 - b. All outlots shall be labeled as noted in the above comments.
 - c. The exact location and size of utility easements shall be verified with We Energies and included on the Final Plat. All utility easements shall be labeled as "Dedicated Utility Easements". The Homeowners are collectively responsible for the ongoing maintenance and facility usage charges as imposed by We Energies. Pursuant to current Village procedures, the Village will coordinate billing for these charges to the Association/homeowners.
 - d. Detailed Dedication and Easement Provisions and Restrictive Covenants as drafted by the Village shall be reviewed by the developer related to easements, dedications and obligations and restrictive covenants for the lots and included on the Plat.
 - e. Note on the plat that the Village shall grant a Temporary Sanitary Sewer Lift Station, Access and Maintenance Easement with illustration (which shall be prepared by the Developer) for the site grading and construction of a sanitary sewer lift station to serve the residential development. This easement will be located within Outlot 1 of the Heritage Valley Phase 1, Unit 1 Subdivision and adjacent to 91st Place (Tax Parcel Number 92-4-122-184-0450). Note: the Kenosha County Interactive Mapping incorrectly references the abutting street as 89th Place.
2. The following comments/changes relate to the engineering plans:
 - a. All easements shown and dedicated on the Final Plat shall be shown and labeled the same on the Engineering Plans.
 - b. Subject to compliance with the **attached** comments in the February 9, 2018 staff memorandum from the Village Engineer.
 - c. Eliminate backyard swales and install pipe.
 - d. The list station pump, vault, generator, SCADA controls shall be located

within a building with architecture matching/compatible with the single family homes.

3. See the **attached** comments related to the Declaration of Restrictions, Covenants and Easements and By-Laws.
4. Subject to compliance with the **attached** comments in the February 9, 2018 staff memorandum from the Village Building Inspection Department
5. The following changes shall be made to the Landscape Plans:
 - a. The Landscaping Plan shall utilize the grading plan as its base map and shall show the location of all easements pursuant to the Plat.
 - b. Areas outside of wetland and 100-year floodplain within Outlot 3 shall be landscaped.
6. The Preliminary Plat shall only be valid for two (2) years from the Village Board's conditional approval, during which all conditions must be satisfied and the Final Plat shall be submitted. If the property is not final platted within the two (2) years of the Village Board's approval, the Village shall require that the plat be resubmitted for a new Preliminary Plat approval along with the appropriate filing fees.
7. **Upon approval of the Preliminary Plat** the following paper documents and electronic copy (pdf) of the following documents shall be submitted to the Village for staff review prior to the Village accepting the Final Plat application and related documents and application fee.
 - a. Two (2) draft copies of the Final Plat.
 - b. A revised draft of the Declarations of Restrictions, Covenants and Easements and By-laws. These documents shall be in final form prior to consideration of the Final Plat by the Plan Commission.
 - c. Two (2) revised copies of the Public Street Lighting Plan, including a copy of the We Energies electrical distribution system plan and contract.
 - d. Two (2) revised draft copies of the Landscaping Plan.
 - e. Two (2) revised copies of the Engineering Plans, Profiles and Specifications.
8. Upon Village staff review of the draft Final Plat and other documents as specified above, the Final Plat application, application fee and related documents shall be submitted to the Village so that the required hearing can be scheduled. The required Zoning Map Amendment and Comprehensive Plan Amendment application and application fees shall also be submitted. In addition, a colored rendering shall be submitted to the Village of the Final Plat and Landscaping Plan. The colored renderings shall clearly show the wetlands to be preserved, the location of retention basins and the location of the 100-year floodplain (after the amendment is completed).
9. Upon Village approval of the Engineering Plans, Profiles and Specifications, the Developer shall submit two (2) copies of the final Village approved plans and specifications so that the Village can request approval from the Kenosha Water Utility (KWU).
10. Upon written utility plan approval from the KWU, the Developer shall obtain written approval from the WI DNR.
11. Upon Village approval of the Final Engineering Plans and Specifications, Landscaping Plan and Street Lighting Plan the following **shall be submitted to the Village**

(paper copies and pdf copy) for staff final review so that the Development Agreement can be prepared by the Village:

- a. A copy of the required wetland fills, N.O.I.
 - b. A copy of the FEMA's CLOMR shall be submitted prior to any grading related to the floodplain boundary adjustment (this may occur with the Phase 2.)
 - c. A copy of the Public sanitary sewer and water approval letters from the KWU, WI DNR, and SEWRPC.
 - d. The required lift station plans and designs shall be approved prior to consideration of the Final Plat for phases 2 or 3.
 - e. LLC Ownership verification documents.
 - f. A copy of the signed contracts, certificates of insurance, and performance and payment bonds. The contracts shall have the Developer's name as shown on the title of the property. The certificates of insurance shall also list the Village of Pleasant Prairie as an insured party.
 - g. A Policy of Title Commitment equal to the cost of public improvements. The title policy shall indicate that the right-of-way is being dedicated free and clear of any encumbrance liens or judgments.
 - h. Copies of the signed public street tree/landscaping contract, Street Tree/Landscaping Plan and certificate of insurance.
 - i. A copy of the signed We Energies contract and Street Lighting Plan.
 - j. The Erosion Control Permit application, plans and application fee.
 - k. The Work in the Right-of-Way application, plans and application fee.
 - l. The Street Sweeping Cash Deposit.
 - m. Three (3) full size paper copies of the Final Engineering Plans, Profiles and Specifications.
 - n. Three (3) full size paper copies of the Landscaping Plan.
 - o. Three (3) full size paper copies of the Street Lighting Plan, including a copy of the We Energies electrical distribution system plan.
 - p. A "draft" LOC shall be provided to the Village for staff review. (See comment below related to the LOC.)
12. Upon staff review and approval of all of the requirements listed above, the Final Plat application, application materials and application fee shall be submitted for Village to schedule the required public hearing before the Village Plan Commission.
13. At least two weeks prior to Village Board consideration of the Final Plat, Development Agreement and related documents the following paper and pdf copies shall be finalized and submitted:
- a. The Original Final Plat, 5 full-size copies and the State DOA approval letter. The plat shall be provided in a digital format –See comment below for format.
 - b. Final Memorandum of Development Agreement (to be drafted by the Village and reviewed by the Developer).
 - c. Final Development Agreement (to be drafted by the Village and reviewed by the Developer).

- d. Recorded Articles of Incorporation for the Community's Association.
 - e. Final Declaration of Restrictions, Covenants and Easements.
 - f. Final Community's Association By-Laws.
 - g. Title Report Commitment, updated the day before closing and again within 7 days after closing and recording of the documents.
 - h. Verification of taxes and outstanding special assessments being paid. Any outstanding taxes, special assessments or invoices shall be paid prior to recording the Final Plat and Memorandum of Development Agreement.
14. A one year minimum Irrevocable Letter of Credit (LOC) to the Village, in the amount of 115% of the total cost of public related improvements, including street trees, street lights, street signs, field staking, inspections and construction related services (including sanitary sewer, and storm sewer cleaning and televising), shall be submitted to the Village. The Itemized Cost Breakdown Exhibit will be prepared by the Village staff to determine the amount of the Letter of Credit and the cash payments. *IMPORTANT: A draft Letter of Credit equal to the cost breakdown analysis (need to verify proper format and dollar amount of Letter of Credit prior submitting the Original Letter of Credit. The Cash payments and the "Final" LOC shall be provided prior to the Village at the closing.*
 15. If any of the houses are proposed to be used as a model or marketing office, a Conditional Use Permit application will be required to be submitted for consideration by the Plan Commission.
 16. The Final Engineering Plans and Final Plat shall be submitted to the Village in electronic format which satisfies the following acceptance criteria specified in Chapter 405 of the Village Municipal Code.
 17. Upon Village Board approval of the Final Plat and within seven (7) days of said approval the Village will host a closing to have the Plat(s) and all of the Development Agreement documents signed. The Developer shall be responsible for recording all required documents at the Kenosha County Register of Deeds Office and provide proof of recording to the Village within 72 hours of closing with the Village.
 18. Following the closing, the Developer's engineer shall conduct a pre-construction meeting (**coordinate date and time with Jean Werbie-Harris when all of the required Final Plat documents and Development Agreement is complete**). The Design Engineer of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting. At a minimum the GC and Utility Contractors shall attend the pre-construction meeting. The Design Engineer of Record shall prepare and distribute the following items to all attendees (owners, engineer, contractors, utilities, and Village staff) at the pre-construction meeting:
 - a. Pre-construction agenda (A sample agenda, if needed, will be provided by the Village to Design Engineer to modify for the meeting)
 - b. Project construction schedule
 - c. List of all contractors
 - d. Emergency contact information for all – project superintendent, owner, architect, contractors etc.

The Design Engineer/Architect of Record shall email and distribute the minutes to all attendees within 7 days of the pre-construction meeting.

19. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
20. All Village fees incurred by the Village Community Development Department and Village Engineers and/or expert assistant required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
21. Impact fees are due at the time building permits are issued. Currently, these fees are \$1,490 per housing unit.
22. All public and private improvements shall be completed, inspected, and Village approved including having sanitary sewer and storm sewer televised, water sampled with safe samples, roadways completed, electric and gas utilities installed, signage installed and as-built utility and grading plans submitted prior to the issuance of any building permits in accordance with the Development Agreement on file with the Village.

From: Matt Fineour
Sent: Tuesday, March 20, 2018 4:49 PM
To: 'Hawley, Pat'; Raasch, Gary
Cc: Jean Werbie-Harris; Clement Abongwa; John Sorenson; Jack Sorenson; Peggy Herrick
Subject: RE: River Run Subdivision Traffic

Pat,

Village staff has reviewed and discussed the information you provided. We will require that Developer add advance warning signs and also improve the intersection lighting. We will look into the existing intersection lights and see if they can be upgraded and/or another light is needed. The exact advance warning signs type, locations, and lighting improvements can be finalized as you move forward with the subdivision design and coordinated with the County.

Let me know if you have any questions,

Matthew Fineour, P.E.

Village Engineer

VILLAGE OF PLEASANT PRAIRIE

P: 262.925.6778

mfineour@plprairiewi.com | www.PleasantPrairieOnline.com



From: Hawley, Pat <Pat.Hawley@raSmith.com>
Sent: Tuesday, March 13, 2018 1:58 PM
To: Matt Fineour <mfineour@plprairiewi.com>; Raasch, Gary <Gary.Raasch@raSmith.com>
Cc: Jean Werbie-Harris <jwerbie@plprairiewi.com>; Clement Abongwa <Clement.Abongwa@kenoshacounty.org>; John Sorenson <john@usshelter.com>; Jack Sorenson <jack@usshelter.com>
Subject: RE: River Run Subdivision Traffic

Hi Matt,

I attached two pdf's for your use. The first pdf is the long-term left-turn-lane option for County C. It should be noted it is only a preliminary concept of the horizontal geometry. We didn't create sketches of any pavement marking concepts, as there is not sufficient width to develop a turn lane *in advance of the intersection*. However, under the existing conditions, left-turn vehicles pull into the intersection before turning onto 106th or 107th. This creates sufficient lateral width for through vehicles to maneuver around the turning vehicle. The second pdf shows this condition.

As discussed previously, a few other viable considerations would be adding Caution Intersection Ahead signing or lowering the speed limit along County C.

We looked up crash data in the study area along County C from 2012-2016 (five most recent years of available data). Only two crashes occurred over the past five years. One crash occurred at the 104th Avenue intersection and one crash occurred midway between the 104th and 106th/107th Avenue intersections. No crashes were recorded at the 106th/107th Avenue intersection. Given the minimal traffic expected to be generated by the proposed 45-unit subdivision, we do not expect an increase in crashes.

Pat Hawley, P.E., PTOE, Associate

Assistant Director of Transportation Services
Senior Traffic Project Manager



direct: 262-317-3204
mobile: 414-405-2725

From: Matt Fineour <mfineour@plprairiewi.com>
Sent: Thursday, March 08, 2018 7:59 AM
To: Hawley, Pat <Pat.Hawley@raSmith.com>; Raasch, Gary <Gary.Raasch@raSmith.com>
Cc: Jean Werbie-Harris <jwerbie@plprairiewi.com>; Clement Abongwa <Clement.Abongwa@kenoshacounty.org>; John Sorenson <john@usshelter.com>; Jack Sorenson <jack@usshelter.com>
Subject: RE: River Run Subdivision Traffic

Pat,

Please provide a sketch of the longer term solution you mention.

Also, if you have any sketches of the pavement marking attempts that were looked you can send over as well... would be helpful for internal discussion and explanations.

Thank you,

Matthew Fineour, P.E.

Village Engineer

VILLAGE OF PLEASANT PRAIRIE

P: 262.925.6778

mfineour@plprairiewi.com | www.PleasantPrairieOnline.com



From: Hawley, Pat [<mailto:Pat.Hawley@raSmith.com>]

Sent: Wednesday, March 07, 2018 3:51 PM

To: Matt Fineour <mfineour@plprairiewi.com>; Raasch, Gary <Gary.Raasch@raSmith.com>
Cc: Jean Werbie-Harris <jwerbie@plprairiewi.com>; Clement Abongwa <Clement.Abongwa@kenoshacounty.org>; John Sorenson <john@usshelter.com>; Jack Sorenson <jack@usshelter.com>
Subject: RE: River Run Subdivision Traffic

Hi Matt,

We looked at a variety of potential options to address the existing intersection issues along County C. There is not enough pavement to create left turn lanes or even a bypass lane type of configuration through pavement markings, and these options are not recommended. A few other low cost options would be adding Caution Intersection Ahead signing or lowering the speed limit along County C. These lower cost solutions would be viable considerations.

We also looked at the longer term solution of constructing left turn lanes along County C to address the existing intersection issues. The construction limits would extend about 1200 feet along C and have a high cost. Although the turn lane option would effectively address the village's safety concern, our client could not absorb this significant cost for their 45-unit subdivision. – Please provide a sketch of this layout. Thanks.

Pat Hawley, P.E., PTOE, Associate

Assistant Director of Transportation Services
Senior Traffic Project Manager



direct: 262-317-3204
mobile: 414-405-2725

From: Matt Fineour [<mailto:mfineour@plprairiewi.com>]
Sent: Friday, March 2, 2018 9:16 AM
To: Hawley, Pat <Pat.Hawley@raSmith.com>; Raasch, Gary <Gary.Raasch@raSmith.com>
Cc: Jean Werbie-Harris <jwerbie@plprairiewi.com>; Clement Abongwa <Clement.Abongwa@kenoshacounty.org>
Subject: River Run Subdivision Traffic

Hi Pat,

The Village is requesting that the 106th / CTH "C" intersection be reviewed to see if improvements can be made with the existing geometrics and reconfigure with traffic markings. The desire is to see if designated left turn lane(s) can be made or some way just to make turning movements safer. It was also requested to see if additional signage can be used as well.

I would request that RA Smith as the Developers' engineer evaluate this potential and provide options for consideration. The County is working on a multi-use path along the south side of CTH C. Due to right-of-way restrictions, they were considering making some of the south side of CTH "C" a curb

section. Please coordinate with the County regarding any work they may be doing that effects the roadway section that you may need to consider.

Feel free to call me with any questions or concerns.

Matthew Fineour, P.E.

Village Engineer

VILLAGE OF PLEASANT PRAIRIE

P: 262.925.6778

mfineour@plprairiewi.com | www.PleasantPrairieOnline.com



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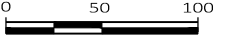


LEGEND



THROUGH VEHICLE
LEFT TURNING VEHICLE
EXISTING RIGHT-OF-WAY

SCALE, FEET



CTH C AND 107TH/106TH AVENUE
EXISTING CONDITION
MARCH 12, 2018
raSmith



LEGEND

PAVEMENT WIDENING
EXISTING RIGHT-OF-WAY

SCALE, FEET 0 50 100



CTH C AND 107TH/106TH AVENUE
CONCEPTUAL IMPROVEMENTS
MARCH 12, 2018
raSmith



July 14, 2017

GP-SE-2017-30-02203

U.S. Shelter Homes L.C.C.
c/o John Sorenson
31632 N. Ellis Drive, Unit 213
Volo, IL 60073

RE: Coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, located in the Village of Pleasant Prairie, Kenosha County, also described as being in the SE1/4 of the NE1/4 of Section 18, Township 1 North, Range 22 East.

Dear Mr. Sorenson:

Thank you for submitting an application for coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, s. 281.36, Wis. Stats.

You have certified that your project meets the eligibility criteria and conditions for this activity. Based upon your signed certification you may proceed with your project to fill 0.05 acres of wetlands. Please take this time to re-read the permit eligibility standards and conditions. The eligibility standards can be found on your application checklist or in the statewide general permit WDNR-GP1-2012 (found at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html>). The permit conditions are attached to this letter. You are responsible for meeting all general permit eligibility standards and permit conditions. This includes notifying the Department before starting the project, and submitting photographs within one week of project completion. Please note your coverage is valid for 5 years from the date of the department's determination or until the activity is completed, whichever occurs first. This permit coverage constitutes the state of Wisconsin's wetland water quality certification under USCS s. 1341 (Clean Water Act s. 401).

The Department conducts routine and annual compliance monitoring inspections. Our staff may follow up and inspect your project to verify compliance with state statutes and codes. If you need to modify your project please contact your local Water Management Specialist, Elaine Johnson at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov to discuss your proposed modifications.

The Department of Natural Resources appreciates your willingness to comply with wetland regulations, which help to protect the water quality, fish and wildlife habitat, natural scenic beauty and recreational value of Wisconsin's wetland resources for future generations. Please be sure to obtain any other local, state or federal permits that are required before starting your project.

For project details, maps, and plans related to this decision, please see application number WP-GP-SE-2017-30-X06-28T13-35-49 on the Department's permit tracking website at <https://permits.dnr.wi.gov/water/SitePages/Permit%20Search.aspx>.

We are committed to service excellence.

Visit our survey at <http://dnr.wi.gov/customersurvey> to evaluate how I did.

If you have any questions, please call me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov.

Sincerely,



Elaine Johnson
Water Management Specialist

cc: Gary Raasch, R. A. Smith National, Inc.
Rachel Nuetzel, U.S. Army Corps of Engineers
Village of Pleasant Prairie

WDNR-GP1-2012 Permit Conditions – Residential/Commercial/Industrial

You agree to comply with the following conditions:

1. **Application.** You shall submit a complete application package to the Department as outlined in the application materials and section 2 of this permit. If requested, you shall furnish the Department, within a reasonable timeframe, any information the department needs to verify compliance with the terms and conditions of this permit.
2. **Certification.** Acceptance of general permit WDNR-GP1-2012 and efforts to begin work on the activities authorized by this general permit signifies that you have certified the project meets all eligibility standards outlined in Section 1 of this permit and that you have read, understood and have agreed to follow all terms and conditions of this general permit.
3. **Reliance on Applicant's Data.** The determination by this office that a confirmation of authorization is not contrary to wetland water quality standards will be based upon the information provided by the applicant and any other information required by the DNR.
4. **Project Plans.** This permit does not authorize any work other than what is specifically described in the notification package and plans submitted to the Department and you certified is in compliance with the terms and conditions of WDNR-GP1-2012
5. **Expiration.** This WDNR-GP1-2012 expires on October 9, 2017. The time limit for completing work authorized by the provisions of WDNR-GP1-2012 ends 5 years after the date on which the discharge is considered to be authorized under WDNR-GP1-2012 or until the discharge is completed, whichever occurs first.
6. **Other Permit Requirements.** You are responsible for obtaining any other permit or approval that may be required for your project by local zoning ordinances, other local authority, other state permits and by the U.S. Army Corps of Engineers before starting your project.
7. **Authorization Distribution.** You must supply a copy of the permit coverage authorization to every contractor working on the project.
8. **Project Start.** You shall notify the Department before starting construction.
9. **Permit Posting.** You must post a copy of this permit coverage letter at a conspicuous location on the project site prior to the execution of the permitted activity, and remaining at least five days after stabilization of the area of permitted activity. You must also have a copy of the permit coverage letter and approved plan available at the project site at all times until the project is complete.
10. **Permit Compliance.** The department may modify or revoke coverage of this permit if the project is not constructed in compliance with the terms and conditions of this permit, or if the Department determines the project will be detrimental to wetland water quality standards. Any act of noncompliance with this permit constitutes a permit violation and is grounds for enforcement action. Additionally, if any applicable conditions of this permit are

found to be invalid or unenforceable, authorization for all activities to which that condition applies is denied.

11. **Construction Timing.** Once wetland work commences, all wetland construction activities must be continuous until the permitted activity is completed and the site is stabilized.
12. **Construction.** No other portion of the wetland may be disturbed beyond the area designated in the submitted plans.
13. **Project Completion.** Within one week of completion of the regulated activity, you shall submit to the Department a statement certifying the project is in compliance with all the terms and conditions of this permit, and photographs of the activities authorized by this permit. This statement must reference the Department-issued docket number, and be submitted to the Department staff member that authorized coverage.
14. **Proper Maintenance.** You must maintain the activity authorized by WDNR-GP1-2012 in good condition and in conformance with the terms and conditions of this permit utilizing best management practices. Any structure or fill authorized shall be properly maintained to ensure no additional impacts to the remaining wetlands.
15. **Site Access.** Upon reasonable notice, you shall allow access to the site to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance with the terms and conditions of WDNR-GP1-2012 and applicable laws.
16. **Erosion and siltation controls.** The project site shall implement erosion and sediment control measures that adequately control or prevent erosion, and prevent damage to wetlands as outlined in NR 151.11(6m), Wis. Adm. Code.
17. **Equipment use.** The equipment used in the wetlands must be low ground weight equipment as specified by the manufacturer specifications.
18. **Invasive Species.** All project equipment shall be decontaminated for removal of invasive species prior to and after each use on the project site by utilizing other best management practices to avoid the spread of invasive species as outlined in NR 40, Wis. Adm. Code. For more information, refer to <http://dnr.wi.gov/topic/Invasives/bmp.html>.
19. **Federal and State Threatened and Endangered Species.** WDNR-GP1-2012 does not affect the DNR's responsibility to insure that all authorizations comply with Section 7 of the Federal Endangered Species Act, s. 29.604, Wis. Stats and applicable State Laws. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. No activity is authorized which is likely to jeopardize the continued existence of a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act and/or State law or which is likely to destroy or adversely modify the critical habitat of a species as identified under the Federal Endangered Species Act.
20. **Special Concern Species.** If the Wisconsin National Heritage Inventory lists a known special concern species to be present in the project area you will take reasonable action to prevent significant adverse impacts or to enhance the habitat for the species of concern.

21. **Historic Properties and Cultural Resources.** WDNR-GP1-2012 does not affect the DNR's responsibility to insure that all authorizations comply with Section 106 of the National Historic Preservation Act and s. 44.40, Wis. Stats. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. Information on the location and existence of historic resources can be obtained from the State Historic Preservation Office and the National Register of Historic Places. If cultural, archaeological, or historical resources are unearthed during activities authorized by this permit, work must be stopped immediately and the State Historic Preservation Officer must be contacted for further instruction.
22. **Preventive Measures.** Measures must be adopted to prevent potential pollutants from entering a wetland or waterbody. Construction materials and debris, including fuels, oil, and other liquid substances, will not be stored in the construction area in a manner that would allow them to enter a wetland or waterbody as a result of spillage, natural runoff, or flooding. If a spill of any potential pollutant should occur, it is the responsibility of the permittee to remove such material, to minimize any contamination resulting from this spill, and to immediately notify the State Duty Officer at **1-800-943-0003**.
23. **Suitable fill material.** All fill authorized under this permit must consist of clean suitable soil material, as defined by s. NR 500.03(214), Wis. Admin. Code, free from hazardous substances as defined by s. 289.01(11), Wis. Stats., and free from solid waste as defined by s. 289.01(11) and (33), Wis. Stats.
24. **Standard for Coverage.** Wetland impacts from the project will cause only minimal adverse environmental impacts as determined by the Department.
25. **Transfers.** Coverage under this permit is transferable to any person upon prior written approval of the transfer by the Department.
26. **Limits of State Liability.** In authorizing work, the State Government does not assume any liability, including for the following:
- Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the State in the public interest.
 - Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - Design or construction deficiencies associated with the permitted work.
 - Damage claims associated with any future modification, suspension, or revocation of this WDNR-GP1-2012.
27. **Reevaluation of Decision.** The Department may suspend, modify or revoke authorization of any previously authorized activity and may take enforcement action if any of the following occur:
- The applicant fails to comply with the terms and conditions of WDNR-GP1-2012.
 - The information provided by the applicant in support of the permit application proves to have been false, incomplete, or inaccurate.
 - Significant new information surfaces which this office did not consider in reaching the original public interest decision.



DEPARTMENT OF THE ARMY
ST. PAUL DISTRICT, CORPS OF ENGINEERS
180 FIFTH STREET EAST, SUITE 700
ST. PAUL, MN 55101-1678

REPLY TO ATTENTION OF
REGULATORY BRANCH

JUL 07 2017

Regulatory File No. MVP-2017-01066-RAN

U.S. Shelter Homes, LLC
c/o John Sorenson
31632 North Ellis Drive, Unit 123
Volo, Illinois 60073

Dear Mr. Sorenson:

This letter is in response to your request for an approved jurisdictional determination (AJD) for a stormwater detention basin (Wetland 3) within an approximately 0.3-acre project area in the Village of Pleasant Prairie located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 18, Township 1 North, Range 22 East, Kenosha County, Wisconsin. The review area for our jurisdictional determination is identified on the enclosed figure labeled MVP-2017-01066-RAN Page 1 of 1.

We have completed an AJD for the stormwater detention basin (Wetland 3) as shown on the enclosed figure. The stormwater detention basin was constructed in uplands and is not subject to Corps of Engineers jurisdiction. Therefore, you are not required to obtain Department of the Army authorization to discharge dredged or fill material within this area. The rationale for this determination is provided in the attached Approved Jurisdictional Determination form.

If you object to this AJD, you may request an administrative appeal under Corps regulations at 33 CFR 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination, you must submit a completed RFA form to the Mississippi Valley Division Office at the address shown on the form.

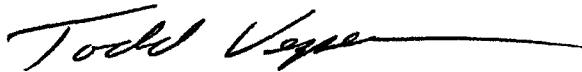
In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR 331.5, and that it has been received by the Division Office within 60 days of the date of the attached NAP. It is not necessary to submit an RFA form to the division office if you do not object to the determination in this letter.

This AJD may be relied upon for five years from the date of this letter. However, the Corps reserves the right to review and revise the determination in response to changing site conditions, information that was not considered during our initial review, or off-site activities that could indirectly alter the extent of wetlands and other resources on-site. This determination may be renewed at the end of the five year period provided you submit a written request and our staff are able to verify that the limits established during the original determination are still accurate.

Regulatory Branch (File No. MVP-2017-01066-RAN)

If you have any questions, please contact Rachel Nuetzel in our Brookfield office at (651) 290-5729 or Rachel.A.Nuetzel@usace.army.mil. In any correspondence or inquiries, please refer to the Regulatory file number shown above.

Sincerely,

A handwritten signature in black ink, appearing to read "Todd Vesperman", with a long horizontal flourish extending to the right.

Todd Vesperman
Chief, Southeast Section

Enclosures

Electronic copy furnished:
Elaine Johnson – WDNR
Gary Raasch – R.A. Smith National



APPROVED JURISDICTIONAL DETERMINATION FORM
U.S. Army Corps of Engineers

This form should be completed by following the instructions provided in Section IV of the JD Form Instructional Guidebook.

SECTION I: BACKGROUND INFORMATION

A. REPORT COMPLETION DATE FOR APPROVED JURISDICTIONAL DETERMINATION (JD): JUL 07 2017

B. ST PAUL, MN DISTRICT OFFICE, FILE NAME, AND NUMBER: U.S. Shelter Homes (Wetland 3), MVP-2017-01066-RAN

C. PROJECT LOCATION AND BACKGROUND INFORMATION:

State: WI County/parish/borough: Kenosha City: Village of Pleasant Prairie
Center coordinates of site (lat/long in degree decimal format): Lat. 42.54592° N, Long. 87.93438° W.
Universal Transverse Mercator: X:423281.78 Y: 4710815.48

Name of nearest waterbody: Pleasant Prairie Tributary

Name of watershed or Hydrologic Unit Code (HUC): Upper Mississippi Region (07120004)

- ☒ Check if map/diagram of review area and/or potential jurisdictional areas is/are available upon request.
☐ Check if other sites (e.g., offsite mitigation sites, disposal sites, etc...) are associated with this action and are recorded on a different JD form.

D. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):

- ☒ Office (Desk) Determination. Date: July 6, 2017
☐ Field Determination. Date(s):

SECTION II: SUMMARY OF FINDINGS

A. RHA SECTION 10 DETERMINATION OF JURISDICTION.

There are no "navigable waters of the U.S." within Rivers and Harbors Act (RHA) jurisdiction (as defined by 33 CFR part 329) in the review area.

B. CWA SECTION 404 DETERMINATION OF JURISDICTION.

There are no "waters of the U.S." within Clean Water Act (CWA) jurisdiction (as defined by 33 CFR part 328) in the review area.

1. Waters of the U.S.: N/A

2. Non-regulated waters/wetlands (check if applicable):¹

- ☒ Potentially jurisdictional waters and/or wetlands were assessed within the review area and determined to be not jurisdictional.
Explain: **One stormwater detention basin (Wetland 3) was reviewed within the approximate 0.3-acre project area. The stormwater detention basin, approximately 0.12 acre, was constructed in uplands around 1993 and is not a water of the U.S. This was confirmed by reviewing aerial photographs dated 1937, 1963, 1967, 1970, 1975, 1980, 1985, 1990, and 1995, WWI, and the NRCS Soil Survey data. A 1993 grading plan was provided by the applicant that shows the proposed grading and other associated structures associated with a stormwater detention basin. The non-jurisdictional determination for this stormwater detention basin is in accordance with the preamble to the 1986 Corps Regulations (33 CFR Parts 320-330), which states that the Corps does not generally consider the following to be waters of the U.S.; artificial lakes or ponds created by excavating and/or diking dry land to collect and retain water and which are used exclusively for such purposes as stock watering, irrigation, settling basins or rice growing.**

SECTION III: CWA ANALYSIS

A. TNWs AND WETLANDS ADJACENT TO TNWs: N/A

B. CHARACTERISTICS OF TRIBUTARY (THAT IS NOT A TNW) AND ITS ADJACENT WETLANDS (IF ANY): N/A

C. SIGNIFICANT NEXUS DETERMINATION: N/A

D. DETERMINATIONS OF JURISDICTIONAL FINDINGS. THE SUBJECT WATERS/WETLANDS ARE (CHECK ALL THAT APPLY): N/A

¹ Supporting documentation is presented in Section III.F.

E. ISOLATED [INTERSTATE OR INTRA-STATE] WATERS, INCLUDING ISOLATED WETLANDS, THE USE, DEGRADATION OR DESTRUCTION OF WHICH COULD AFFECT INTERSTATE COMMERCE, INCLUDING ANY SUCH WATERS (CHECK ALL THAT APPLY): N/A

F. NON-JURISDICTIONAL WATERS, INCLUDING WETLANDS (CHECK ALL THAT APPLY):

- ☐ If potential wetlands were assessed within the review area, these areas did not meet the criteria in the 1987 Corps of Engineers Wetland Delineation Manual and/or appropriate Regional Supplements.
- ☐ Review area included isolated waters with no substantial nexus to interstate (or foreign) commerce.
 - ☐ Prior to the Jan 2001 Supreme Court decision in "SWANCC," the review area would have been regulated based solely on the "Migratory Bird Rule" (MBR).
- ☐ Waters do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction. Explain:
- ☒ Other (explain, if not covered above): **The stormwater detention basin (Wetland 3) is not a water of the U.S.**

pursuant to the preamble to the Corps 1986 regulations (33 CFR Parts 320-330).

Provide acreage estimates for non-jurisdictional waters in the review area, where the sole potential basis of jurisdiction is the MBR factors (i.e., presence of migratory birds, presence of endangered species, use of water for irrigated agriculture), using best professional judgment (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☐ Wetlands: acres.

Provide acreage estimates for non-jurisdictional waters in the review area that do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet, width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☐ Wetlands: acres.

SECTION IV: DATA SOURCES.

A. SUPPORTING DATA. Data reviewed for JD (check all that apply - checked items shall be included in case file and, where checked and requested, appropriately reference sources below):

- ☒ Maps, plans, plots or plat submitted by or on behalf of the applicant/consultant: R.A. Smith National Wetland Delineation Report dated 10-25-2016 and grading plans for Heritage Valley Unit 1-Phase 1 dated 5-21-93
- ☐ Data sheets prepared/submitted by or on behalf of the applicant/consultant.
 - ☐ Office concurs with data sheets/delineation report.
 - ☐ Office does not concur with data sheets/delineation report.
- ☐ Data sheets prepared by the Corps:
- ☐ Corps navigable waters' study:
- ☐ U.S. Geological Survey Hydrologic Atlas:
 - ☐ USGS NHD data.
 - ☐ USGS 8 and 12 digit HUC maps.
- ☒ U.S. Geological Survey map(s). Cite scale & quad name: 1:24K WI-PLEASANT PRAIRIE
- ☒ USDA Natural Resources Conservation Service Soil Survey. Citation: Kenosha County
- ☐ National wetlands inventory map(s). Cite name:
- ☒ State/Local wetland inventory map(s): Wisconsin Wetland Inventory
- ☐ FEMA/FIRM maps:
- ☐ 100-year Floodplain Elevation is: (National Geodetic Vertical Datum of 1929)
- ☒ Photographs: ☒ Aerial (Name & Date): Kenosha County 1937, 1963, 1967, 1970, 1975, 1980, 1985, 1990, and 1995
or ☐ Other (Name & Date):
- ☐ Previous determination(s). File no. and date of response letter:
- ☐ Applicable/supporting case law:
- ☐ Applicable/supporting scientific literature:
- ☒ Other information (please specify): WDNR Exemption Letter dated May 17, 2017.

B. ADDITIONAL COMMENTS TO SUPPORT JD: The stormwater detention basin (Wetland 3) was constructed in uplands and is not a water of the U.S. as detailed in Section II.B.2.

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND
REQUEST FOR APPEAL**

Applicant: John Sorenson

File No.: MVP-2017-01066-RAN

Date: JUL 07 2017

Attached is:

See Section below

	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
	PERMIT DENIAL	C
X	APPROVED JURISDICTIONAL DETERMINATION	D
	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://usace.army.mil/inet/functions/cw/cecwo/reg> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

Rachel Nuetzel
U.S. Army Corps of Engineers, Regulatory Branch
250 N. Sunnyslope Road
Suite 296
Brookfield, Wisconsin 53005

Telephone (651) 290-5729

If you only have questions regarding the appeal process you may also contact the Division Engineer through:

Administrative Appeals Review Officer
Mississippi Valley Division
P.O. Box 80 (1400 Walnut Street)
Vicksburg, MS 39181-0080
601-634-5820 FAX: 601-634-5816

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number:



DEPARTMENT OF THE ARMY
ST. PAUL DISTRICT, CORPS OF ENGINEERS
180 FIFTH STREET EAST, SUITE 700
ST. PAUL, MN 55101-1678

REPLY TO ATTENTION OF
REGULATORY BRANCH

AUG 07 2017

Regulatory File No. MVP-2017-01066-RAN

U.S. Shelter Homes, LLC
c/o John Sorenson
31632 North Ellis Drive, Unit 213
Volo, Illinois 60073

Dear Mr. Sorenson:

This letter is in response to your request for an approved jurisdictional determination (AJD) for Wetlands 1 and 2 within an approximately 1-acre project area in the Village of Pleasant Prairie located in the SE $\frac{1}{4}$ of the NE $\frac{1}{4}$ of Section 18, Township 1 North, Range 22 East, Kenosha County, Wisconsin. The review area for our jurisdictional determination is identified on the enclosed figure labeled MVP-2017-01066-RAN Page 1 of 1.

The review area contains no waters of the United States subject to Corps of Engineers jurisdiction. Therefore, you are not required to obtain Department of the Army authorization to discharge dredged or fill material within this area. The rationale for this determination is provided in the attached Approved Jurisdictional Determination form. This determination is only valid for the review area shown on the enclosed figure.

If you object to this AJD, you may request an administrative appeal under Corps regulations at 33 CFR 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination, you must submit a completed RFA form to the Mississippi Valley Division Office at the address shown on the form.

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR 331.5, and that it has been received by the Division Office within 60 days of the date of the attached NAP. It is not necessary to submit an RFA form to the division office if you do not object to the determination in this letter.

This AJD may be relied upon for five years from the date of this letter. However, the Corps reserves the right to review and revise the determination in response to changing site conditions, information that was not considered during our initial review, or off-site activities that could indirectly alter the extent of wetlands and other resources on-site. This determination may be renewed at the end of the five year period provided you submit a written request and our staff are able to verify that the limits established during the original determination are still accurate.

Regulatory Branch (File No. MVP-2017-01066-RAN)

If you have any questions, please contact Rachel Nuetzel in our Brookfield office at (651) 290-5729 or Rachel.A.Nuetzel@usace.army.mil. In any correspondence or inquiries, please refer to the Regulatory file number shown above.

Sincerely,

A handwritten signature in black ink, appearing to read "Todd Vesperman", followed by a horizontal line.

Todd Vesperman
Chief, Southeast Section

Enclosures

Electronic copy furnished:

Elaine Johnson – WDNR (GP-SE-2017-30-02203)

Gary Raasch – R.A. Smith National



APPROVED JURISDICTIONAL DETERMINATION FORM
U.S. Army Corps of Engineers

This form should be completed by following the instructions provided in Section IV of the JD Form Instructional Guidebook.

SECTION I: BACKGROUND INFORMATION

A. REPORT COMPLETION DATE FOR APPROVED JURISDICTIONAL DETERMINATION (JD):

AUG 07 2017

B. ST PAUL, MN DISTRICT OFFICE, FILE NAME, AND NUMBER: U.S. Shelter Homes (Wetlands 1 and 2), MVP-2017-01066-RAN

C. PROJECT LOCATION AND BACKGROUND INFORMATION:

State: WI County/parish/borough: Kenosha City: Village of Pleasant Prairie
Center coordinates of site (lat/long in degree decimal format): Lat. 42.54675° N, Long. 87.93484° W.
Universal Transverse Mercator: X:423244.48 Y: 4710908.06

Name of nearest waterbody: Pleasant Prairie Tributary

Name of watershed or Hydrologic Unit Code (HUC): Upper Mississippi Region (07120004)

- ☒ Check if map/diagram of review area and/or potential jurisdictional areas is/are available upon request.
☐ Check if other sites (e.g., offsite mitigation sites, disposal sites, etc...) are associated with this action and are recorded on a different JD form.

D. REVIEW PERFORMED FOR SITE EVALUATION (CHECK ALL THAT APPLY):

- ☒ Office (Desk) Determination. Date: July 6, 2017
☐ Field Determination. Date(s):

SECTION II: SUMMARY OF FINDINGS

A. RHA SECTION 10 DETERMINATION OF JURISDICTION.

There are no "navigable waters of the U.S." within Rivers and Harbors Act (RHA) jurisdiction (as defined by 33 CFR part 329) in the review area.

B. CWA SECTION 404 DETERMINATION OF JURISDICTION.

There are no "waters of the U.S." within Clean Water Act (CWA) jurisdiction (as defined by 33 CFR part 328) in the review area.

1. Waters of the U.S.: N/A

2. Non-regulated waters/wetlands (check if applicable):¹

- ☒ Potentially jurisdictional waters and/or wetlands were assessed within the review area and determined to be not jurisdictional.
Explain: **The review area contains two wetlands (Wetland 1 and 2). Wetland 1 is a 0.04 acre forested wetland and Wetland 2 is a 0.01 acre wet meadow. Both wetlands are located in the somewhat poorly drained Beecher silt loam. Neither wetland is mapped on the Wisconsin Wetland Inventory. The nearest waterbody is the Pleasant Prairie tributary which is approximately 1,400 feet to the south. Wetlands 1 and 2 are shallow depressional basins with no inlet or outlets and are not adjacent (bordering, neighboring or contiguous) to another WOUS. Additionally, the basins do not support a link to interstate or foreign commerce; are not known to be used by interstate or foreign travelers for recreation or other purposes; do not produce fish or shellfish that could be taken or sold in interstate or foreign commerce; and are not known to be used for industrial purposes by industries in interstate commerce. Therefore, it has been determined that Wetlands 1 and 2 are hydrologically isolated and are not regulated by the Corps under Section 404 of the Clean Water Act.**

SECTION III: CWA ANALYSIS

A. TNWs AND WETLANDS ADJACENT TO TNWs: N/A

B. CHARACTERISTICS OF TRIBUTARY (THAT IS NOT A TNW) AND ITS ADJACENT WETLANDS (IF ANY): N/A

C. SIGNIFICANT NEXUS DETERMINATION: N/A

D. DETERMINATIONS OF JURISDICTIONAL FINDINGS. THE SUBJECT WATERS/WETLANDS ARE (CHECK ALL THAT APPLY): N/A

¹ Supporting documentation is presented in Section III.F.

E. **ISOLATED [INTERSTATE OR INTRA-STATE] WATERS, INCLUDING ISOLATED WETLANDS, THE USE, DEGRADATION OR DESTRUCTION OF WHICH COULD AFFECT INTERSTATE COMMERCE, INCLUDING ANY SUCH WATERS (CHECK ALL THAT APPLY):** N/A

F. **NON-JURISDICTIONAL WATERS, INCLUDING WETLANDS (CHECK ALL THAT APPLY):**

- ☐ If potential wetlands were assessed within the review area, these areas did not meet the criteria in the 1987 Corps of Engineers Wetland Delineation Manual and/or appropriate Regional Supplements.
- ☒ Review area included isolated waters with no substantial nexus to interstate (or foreign) commerce.
 - ☒ Prior to the Jan 2001 Supreme Court decision in "SWANCC," the review area would have been regulated based solely on the "Migratory Bird Rule" (MBR).
- ☐ Waters do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction. Explain:
- ☐ Other (explain, if not covered above):

Provide acreage estimates for non-jurisdictional waters in the review area, where the sole potential basis of jurisdiction is the MBR factors (i.e., presence of migratory birds, presence of endangered species, use of water for irrigated agriculture), using best professional judgment (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☒ Wetlands: 0.05 acres.

Provide acreage estimates for non-jurisdictional waters in the review area that do not meet the "Significant Nexus" standard, where such a finding is required for jurisdiction (check all that apply):

- ☐ Non-wetland waters (i.e., rivers, streams): linear feet, width (ft).
- ☐ Lakes/ponds: acres.
- ☐ Other non-wetland waters: acres. List type of aquatic resource: .
- ☐ Wetlands: acres.

SECTION IV: DATA SOURCES.

A. **SUPPORTING DATA. Data reviewed for JD (check all that apply - checked items shall be included in case file and, where checked and requested, appropriately reference sources below):**

- ☒ Maps, plans, plots or plat submitted by or on behalf of the applicant/consultant: R.A. Smith National Wetland Delineation Report dated 10-25-2016
- ☐ Data sheets prepared/submitted by or on behalf of the applicant/consultant.
 - ☐ Office concurs with data sheets/delineation report.
 - ☐ Office does not concur with data sheets/delineation report.
- ☐ Data sheets prepared by the Corps:
- ☐ Corps navigable waters' study:
- ☐ U.S. Geological Survey Hydrologic Atlas:
 - ☐ USGS NHD data.
 - ☐ USGS 8 and 12 digit HUC maps.
- ☒ U.S. Geological Survey map(s). Cite scale & quad name: 1:24K WI-PLEASANT PRAIRIE
- ☒ USDA Natural Resources Conservation Service Soil Survey. Citation: Kenosha County
- ☐ National wetlands inventory map(s). Cite name:
- ☒ State/Local wetland inventory map(s): Wisconsin Wetland Inventory
- ☐ FEMA/FIRM maps:
- ☐ 100-year Floodplain Elevation is: (National Geodetic Vertical Datum of 1929)
- ☒ Photographs: ☒ Aerial (Name & Date): Kenosha County 1937, 1963, 1967, 1970, 1975, 1980, 1985, 1990, 1995, 2000, 2005, 2010, and 2015
or ☐ Other (Name & Date):
- ☐ Previous determination(s). File no. and date of response letter:
- ☐ Applicable/supporting case law:
- ☐ Applicable/supporting scientific literature:
- ☐ Other information (please specify):

B. **ADDITIONAL COMMENTS TO SUPPORT JD:** Wetlands 1 and 2 are hydrologically isolated and have no surface or shallow subsurface connections to any water of the U.S.

**NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND
REQUEST FOR APPEAL**

Applicant: John Sorenson

File No.: MVP-2017-01066-RAN

Date: **AUG 07 2017**

Attached is:

See Section below

	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
	PERMIT DENIAL	C
X	APPROVED JURISDICTIONAL DETERMINATION	D
	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://usace.army.mil/inet/functions/cw/cecwo/reg> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

Rachel Nuetzel
U.S. Army Corps of Engineers, Regulatory Branch
250 N. Sunnyslope Road
Suite 296
Brookfield, Wisconsin 53005

Telephone (651) 290-5729

If you only have questions regarding the appeal process you may also contact the Division Engineer through:

Administrative Appeals Review Officer
Mississippi Valley Division
P.O. Box 80 (1400 Walnut Street)
Vicksburg, MS 39181-0080
601-634-5820 FAX: 601-634-5816

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number:



MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: River Run at Heritage Valley
Preliminary Plat and Engineering Plans

DATE: February 9, 2018

Peggy,

The Engineering Department has reviewed the submitted preliminary plat and engineering plans for the proposed River Run at Heritage Valley subdivision. We have the following comments listed below and noted on the attached mark-up plan. Refer to both this memo and mark-up plan sheets for all engineering comments. Prior to the Final Plat submittal a revised set of engineering plans addressing Village comments shall be provided for further review.

See comments on attached mark-up plan sheets.

1. Only plan sheets with comments are included.
2. Comments that apply to multiple locations are not repeated for every occurrence.

General Items

3. Project phasing plans shall be more detailed. Exact phasing limits and temporary utility terminations need to be clarified and clearly shown/noted. Also, grading/erosion control plans need to be further defined by phase.
4. Phasing limits and temporary cul-de-sac locations are inconsistent throughout the plans. Correct as needed.
5. Lot 13 shall be developed as part of phase 2, not phase 1.
6. Lot 34 shall be undevelopable until 107th Avenue is extended in the future and the temporary cul-de-sac is removed.
7. We recommend reviewing the proposed phase 2 limit at 91st place. Consider utility construction needs.
8. Provide plans for gas and electric placement and easement locations. Gas and electric facilities shall not be located within drainage swales.
9. A construction and specification manual shall be provided for review.

10. An estimate of the amount of import or export of fill needed for the site grading plan shall be provided.

Roadway

11. A geotechnical soils report, including geotechnical recommendations shall be prepared and submitted for the roadway design. Borings shall be performed at a minimum of 500-foot intervals along the roadway. (Geotechnical report shall also be provided for the retention pond location)
12. Roadway cross-sections shall be provided in the plans.
13. A concrete jointing plan and details shall be provided. The design engineer can provide this with the plans or require a submittal by the contractor. If the contractor is to be responsible then an appropriate note shall be placed on the plans specifying the requirements.
14. A street lighting and signage plan shall be provided for review.
15. The design engineer shall evaluate the extension of 90th Street to determine if the proposed slope meeting existing grade at the lot line will adequately serve for the future extension/development needs of the adjacent property or if the road and adjacent lot grading needs to be raised or adjusted.
16. Drainage from 90th Street is proposed to flow onto the adjacent property (Kevek). The developer shall discuss the plan with the adjacent landowner and obtain a written flowage easement regarding the acceptance the proposed discharge.

Grading / Storm Water / Erosions Control

17. The design of rear yard drainage between 106th/105th Avenue and 106th/107th Avenue shall be revised. Provide additional rear yard storm sewer inlets, eliminate the hard ditch line; and provide overland gradient(s) meeting a minimum gradient of 1.0-percent.
18. Confirm that the entire site is being mass graded as part of phase 1 improvements and/or provide further clarification if this is not the intent.
19. Clarify restoration requirements of lots and roadway areas in phase 2 and 3 upon completion of mass grading.
20. Side yard swales shall be placed on lot lines. Also, grading shall accommodate potential buildings at set back lines or place restrictions if building at an allowable set back line will cause a grading problem. Maximum allowable slopes are 4:1. The design engineer shall review lot grading and revise, as needed.
21. The temporary flat ditch associated with phase 1 is not acceptable. An alternate design and means of storm water conveyance shall be provided for phase 1.
22. Design engineer shall check grading for accuracy, errors and to ensure positive drainage. Examples are pointed out in the plan mark-up.
23. The designer shall provide a conceptual plan of how off-site storm water north of 107th Avenue terminus (Area PR-2 in storm water report) can be managed for future lot development as it appears that the River Run pond should manage these flows.

24. Provide phase 1, 2, and 3 grading and erosion control plans with all necessary information for each individual phase.
25. Plan/profiles are required for all public storm sewers.
26. The pond is required to have aerator(s) or pond fountain(s). The plans shall note the requirement and aerator/fountain information shall be provided.
27. A more project specific/detailed construction sequence plan shall be provided for erosion control. Also, show temporary diversion berms etc. where needed. Separate tracking pads need for phase 2 and 3?

Sanitary Sewer and Water Main

28. Water profile information is missing on all sheets and was not reviewed.
29. Provide lift station plans and design report for review.
30. Provide completed WDNR sewer and water extension forms.
31. Upon Village approval of the public sanitary sewer and water main plans, the Village will submit plans to the City of Kenosha Water/Wastewater Utility (KWWU) for their system level review and approval.
32. Upon approval of the Village and KWWU, the Developer shall submit sanitary plans to SEWRPC and WDNR for approval and water main plans to the WDNR for their approval. A copy of the agency approvals shall be provided to the Village.

Traffic Impact Analysis

A traffic impact analysis was completed by RA Smith to review the subdivision intersections at County Trunk Highway “C”. The overall conclusion of the report is noted below:

“The River Run and future off-site residential developments are expected to increase traffic and side street delay at the study intersections. However, traffic impacts are expected to be minor and all study intersections movements were shown to operate well under capacity with the additional traffic. Therefore, no roadway improvements are recommended with the developments. The addition of turn lanes would not improve the LOS, and the intersection volumes are well below meeting the warrants for traffic signals.”

Kenosha County reviewed the TIA and concurs with the conclusions and is not requiring any improvements. The Village had an independent review of the TIA by TADI (Traffic Analysis and Design, Inc.). TADI also concurred with the TIA analysis and conclusions.

The Village met with the County Highway Commissioner to discuss the TIA and resident traffic concerns. Upon discussion, the County is aware of the traffic concerns and will continue to monitor the traffic conditions as traffic continues to grow in the future and work with the Village in planning and developing overall area traffic improvements as warranted within the CTH “C” corridor.

As the topic is of concern to area residents, the Developer’s traffic engineer is requested to be at the Plan Commission meeting to answer traffic related questions that may arise.

Proposed Lift Station Cost Recovery

1. The following shall be provided to review the proposed cost recovery:
 - a. Provide the preliminary cost estimate for the lift station. The Village needs to understand the cost impacts to all properties involved, prior to proceeding with a recovery agreement.
 - b. The average design flow for the future church shall be revised to reflect the church as opposed to 60-homes. The design engineer shall provide information as to the lift station/force main design considerations and/or needed upgrades if the church property converted back to residential.
 - c. Provide a service area map.

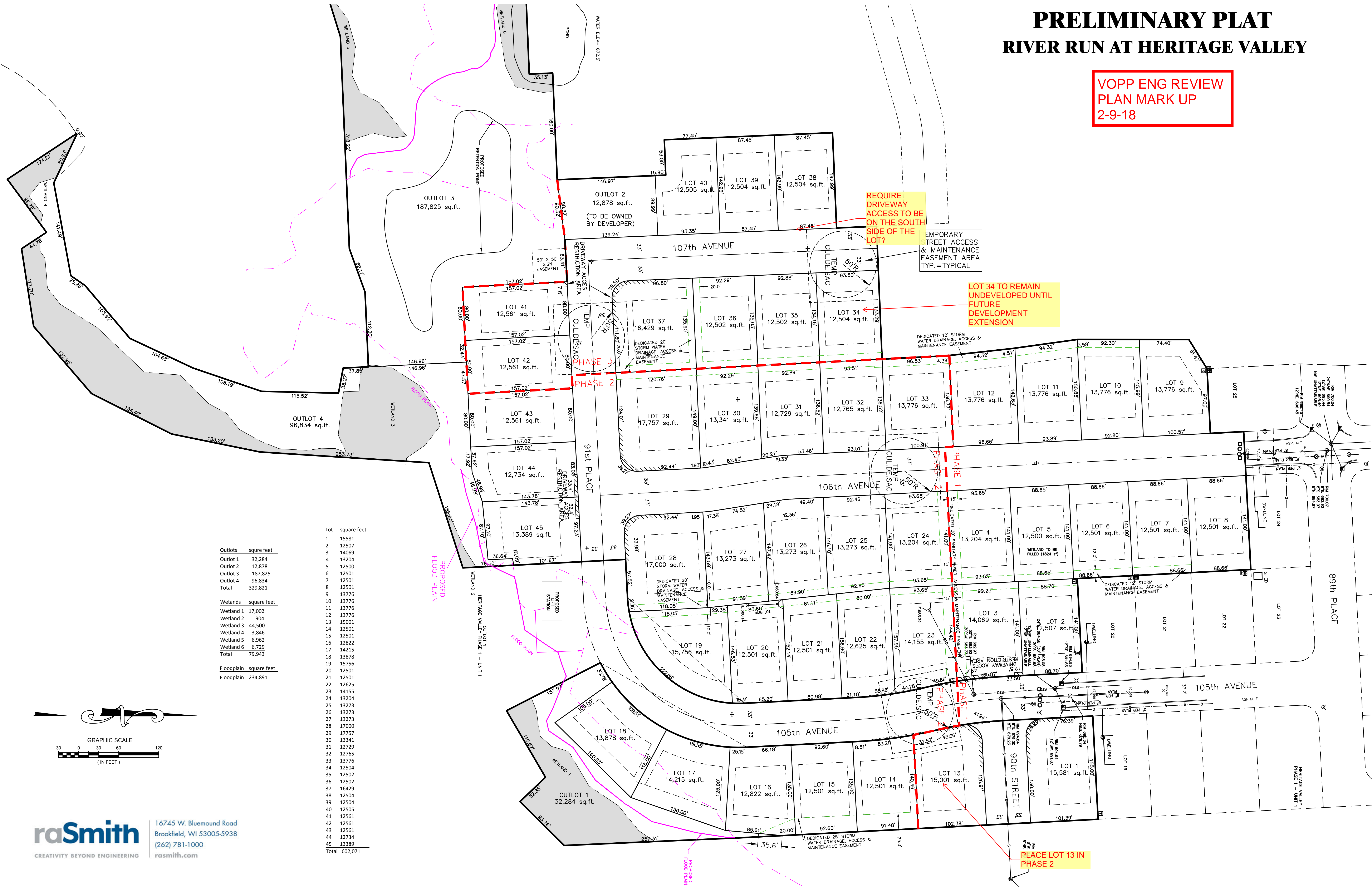
Proposed Storm Water Management Plan / Pond Cost Recovery

1. The management plan reduces the offsite area PR-2 future post-developed discharge rate for the 2-year and 100-year storms to existing condition discharge rates and the report the states “Sub-basins PR-2 and PR-6 are also offsite areas that would require rate reduction in the future if developed”. The development of offsite areas will be required to reduce runoff rates per Village requirements. The evaluation shall be revised to provide:
 - a. Incorporate development of the offsite areas peak flow reduction in River Run retention pond design and/or show how the pond can be easily modified in the future for the future development.
 - b. The offsite drainage area(s) shall be modified to incorporate anticipated area draining the River Run pond via the neighborhood plan layout. If additional ponds are needed or anticipated, then this need and potential locations shall be identified.
 - c. If the pond is designed and built to accommodate offsite areas under developed conditions, then a cost recovery may be considered. The cost of relocating the existing retention basin servicing Heritage Valley Unit 1 is entirely associated with River Run, hence under the submitted calculation, the area should be included in the overall tributary area to the pond for cost calculation purposes.
2. Show the neighborhood layout on the developed drainage area map(s) and delineate post developed drainage for the storm sewer and pond design with future development drainage expectations.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and as additional information is provided.

PRELIMINARY PLAT
RIVER RUN AT HERITAGE VALLEY

VOPP ENG REVIEW
PLAN MARK UP
2-9-18



LEGEND
(PROPOSED FEATURES)

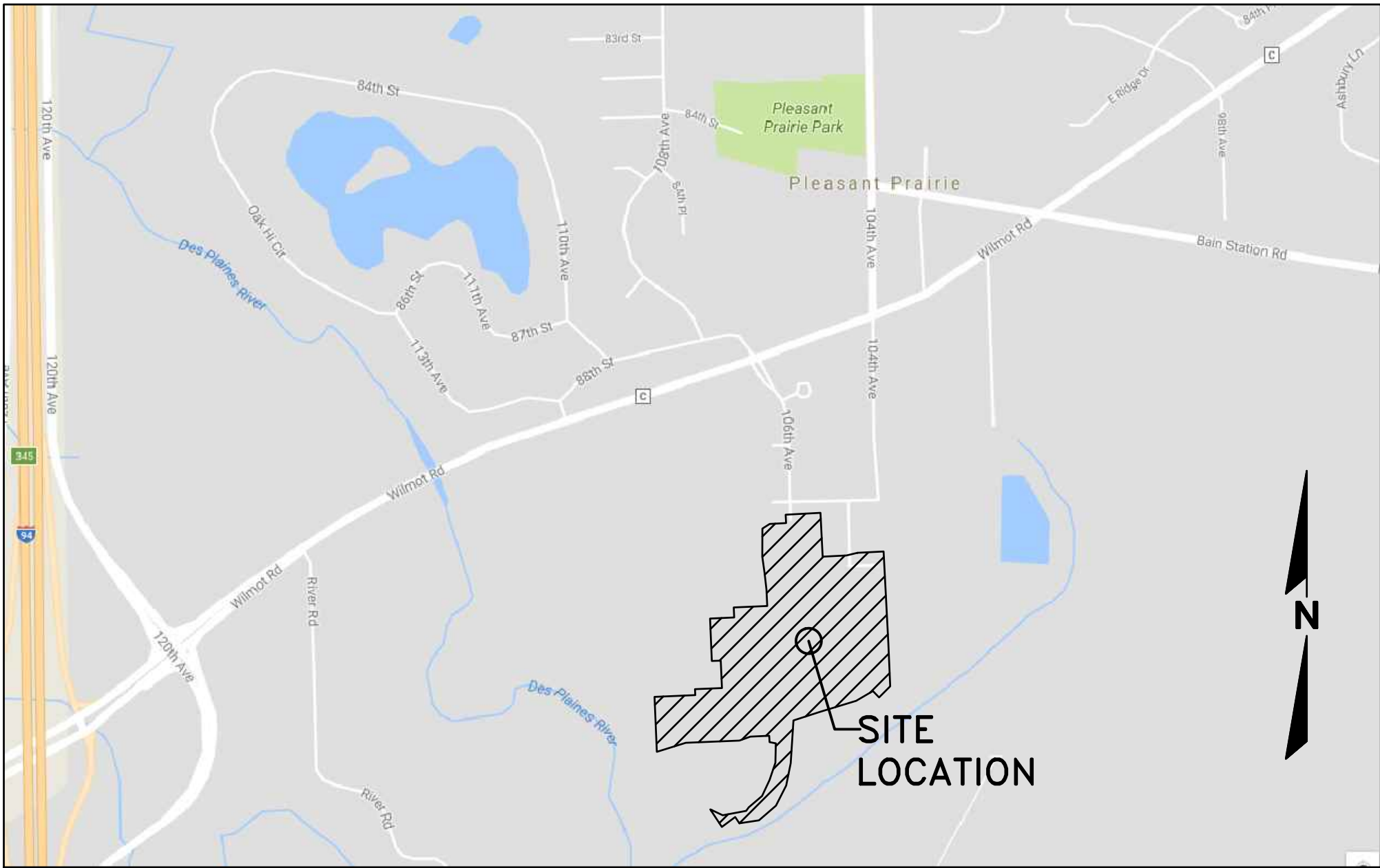
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED ACCESSIBLE PAVEMENT MARKING VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE @ THRESHOLD
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, "LOG" DENOTES GROUND LEVEL FOR LOOK OUT.
	"WO" DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
1"	DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
1"	DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
O	BOLLARD
+	SOIL BORING/MONITORING WELL
+	FLAGPOLE
+	MAILBOX
+	SIGN
+	BILLBOARD
A	AIR CONDITIONER
B	CONTROL BOX
T	TRAFFIC SIGNAL
X	RAILROAD CROSSING SIGNAL
C	CABLE PEDESTAL
P	POWER POLE
G	GUY POLE
G	GUY WIRE
L	LIGHT POLE
S	SPOT/YARD/PEDESTAL LIGHT
H	HANDICAPPED PARKING
E	ELECTRIC MANHOLE
E	ELECTRIC PEDESTAL
X	ELECTRIC METER
T	ELECTRIC TRANSFORMER
T	TELEPHONE MANHOLE
T	TELEPHONE PEDESTAL
F	MARKED FIBER OPTIC
V	GAS VALVE
M	GAS METER
W	GAS WARNING SIGN
S	STORM MANHOLE
R	ROUND INLET
S	SQUARE INLET
S	STORM SEWER END SECTION
S	SANITARY MANHOLE
S	SANITARY CLEANOUT OR SEPTIC VENT
S	SANITARY INTERCEPTOR MANHOLE
M	MISCELLANEOUS MANHOLE
V	WATER VALVE
H	HYDRANT
S	WATER SERVICE CURB STOP
W	WATER MANHOLE
W	WELL
W	WATER SURFACE
W	WETLANDS FLAG
M	MARSH
C	CONIFEROUS TREE
D	DECIDUOUS TREE
S	SHRUB
---	EDGE OF TREES
-S-	SANITARY SEWER
-ST-	STORM SEWER
-W-	WATER MAIN
-G-	MARKED GAS MAIN
-E-	MARKED ELECTRIC
-OHW-	OVERHEAD WIRES
-B-	BUREAU ELEC. SERV.
-T-	MARKED TELEPHONE
-TV-	MARKED CABLE TV LINE
-FO-	MARKED FIBER OPTIC
---	INDICATES EXISTING CONTOUR ELEVATION
---	INDICATES EXISTING SPOT ELEVATION
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE

PRELIMINARY PLANS
FOR
RIVER RUN AT HERITAGE VALLEY
SUBDIVISION
PLEASANT PRAIRIE, WI

VICINITY MAP



BENCHMARKS

- NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
- SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
- SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

AT&T
JAY BULANEK
262-896-7669

VOPP ENG REVIEW
PLAN MARK UP
2-9-18

PLAN INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE PLAN
3-5	EROSION CONTROL PLANS
6-9	MASTER GRADING PLANS
10-13	CONSTRUCTION PHASING
14	OVERALL UTILITY PLAN
15-19	SANITARY & WATER MAIN PLAN AND PROFILE
20-23	ROADWAY & STORM SEWER PLAN AND PROFILE
24	LIFT STATION SITE PLAN
25-31	PROJECT DETAILS

OWNER:

U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:

R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:

VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.



Call 811 3 Work Days Before You Dig
or Toll Free (800) 242-8511
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

TITLE SHEET



© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: NONE
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG
CHECKED BY: GER

SHEET NUMBER
1

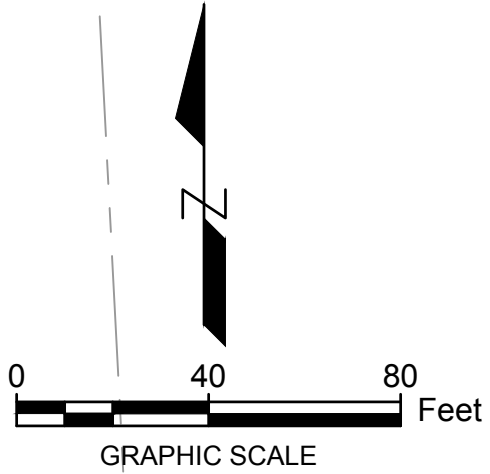
EROSION CONTROL DETAILS AND NOTES ARE SHOWN ON SHEETS 26 & 27

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

XXX.X - YARD GRADE

SET BM, NW FLANGE BOLT
ON HYDRANT EL = 698.17



SHOW EXISTING
CONTOURS ON
ALL EROSION
CONTROL PLAN
SHEETS

SITE BOUNDARY

TRACKING PAD
(SEE DETAIL)

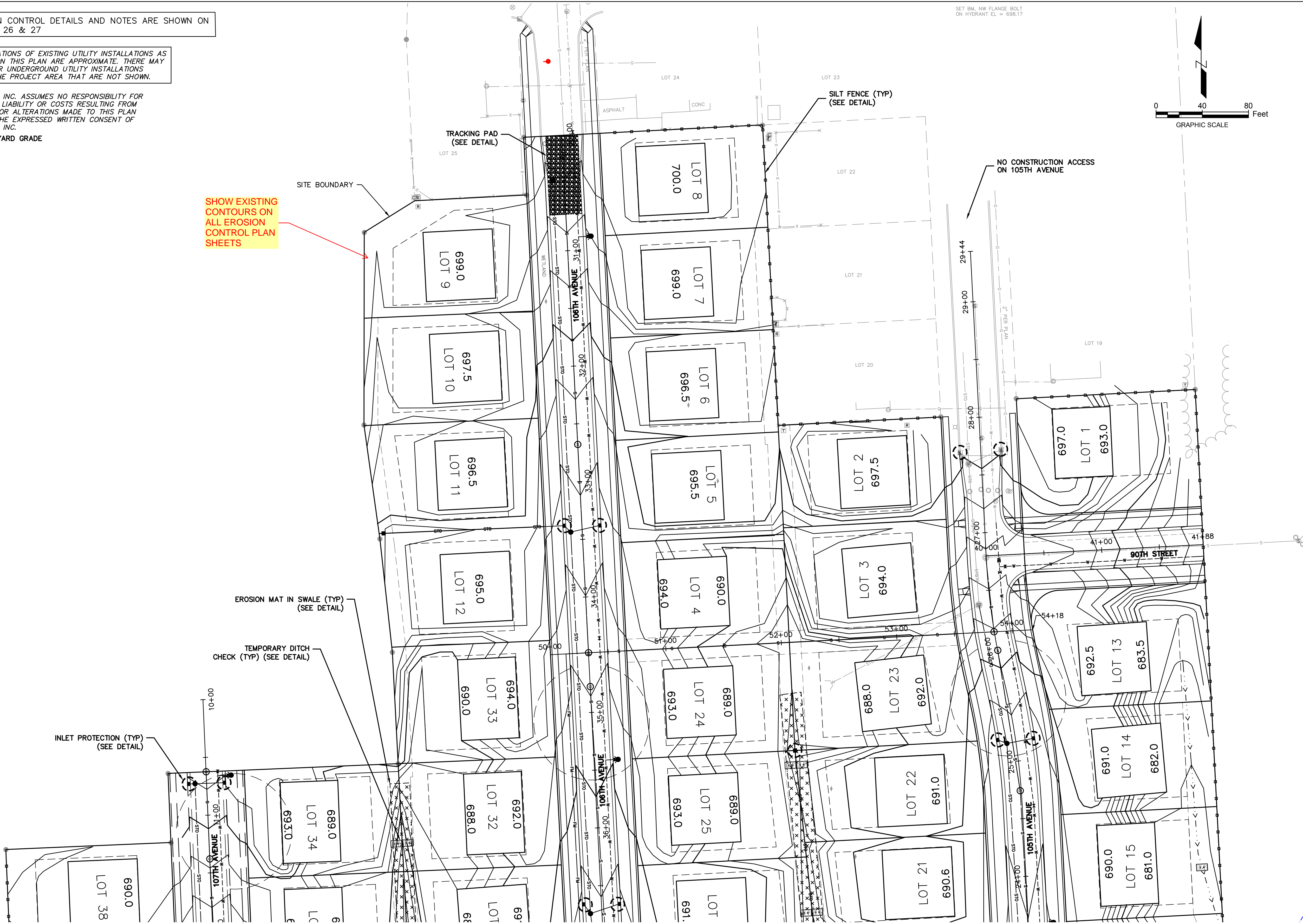
SILT FENCE (TYP)
(SEE DETAIL)

NO CONSTRUCTION ACCESS
ON 105TH AVENUE

EROSION MAT IN SWALE (TYP)
(SEE DETAIL)

TEMPORARY DITCH
CHECK (TYP) (SEE DETAIL)

INLET PROTECTION (TYP)
(SEE DETAIL)



RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

EROSION CONTROL PLAN
NORTH

PRELIMINARY
NOT FOR
CONSTRUCTION

© COPYRIGHT 2018
R.A. Smith, Inc.
DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG

CHECKED BY: GER

SHEET NUMBER

3

DESCRIPTION

DATE

XXX.X - YARD GRADE

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

DESIGN ENGINEER SHALL CHECK ALL SPOT GRADES...CURRENT ERRORS THROUGHOUT. GRADES SHALL BE AT EVERY HIGH POINT, LOW POINT, PROPERTY CORNERS AND 25' MAX BETWEEN.

PROVIDE SPOT GRADES ALONG SWALE CENTERLINE (TYP)

SHIFT INLET AND DEPRESS TO CAPTURE DRAINAGE

DELINEATE OFFSITE AREAS DRAINING TO SUBDIVISION BOUNDARIES AND ADDRESS DRAINAGE

LABEL CONTOURS

GRADING SHOULD ACCOMMODATE POTENTIAL BUILDING AT SET BACK LINE (TYP) 5,381 SF. WETLAND TO BE FILLED PER WDNR PERMIT. NO USACE JURISDICTION.

INCREASE DRAINAGE EASEMENT TO COVER ENTIRE DRAINAGE WAY AREA (TYP)

EXISTING GRADES OR PROPOSED? PROVIDE ADDITIONAL TOPOGRAPHIC INFORMATION

PROVIDE EXISTING SPOT GRADES

INSTALL DRAINAGE SWALE IN THIS DEVELOPMENT OR OBTAIN EASEMENT FROM ADJACENT LAND OWNERS TO PLACE THE SWALE ON THE PROPERTY LINE. 1% MIN SLOPE. (VILLAGE HAS RECIEVED DRAINAGE COMPLAINTS WITH RESECT TO THE EXISTING REAR YARD AREA NOT DRAINING WELL)

PROVIDE POSITIVE DRAINAGE

PROVIDE EXISTING SPOT GRADES ALONG COMMON LOT LINE (TYP)

GRADING CROSS PROPERTY LINE-REVISED OR PROVIDE OFFSITE GRADING EASEMENT AGREEMENT

PROVIDE ADDITIONAL REAR YARD INLET

GRADING AT SIDEWALK IS SHOWN INCORRECTLY

EVALUATE FUTURE EXTENSION FOR ROAD GRADE DESIGN; OBTAIN APPROVAL FROM ADJACENT LANDOWNER FOR STORM WATER RUNOFF.

TOO STEEP 4:1 MAX SLOPE IN LAWNS

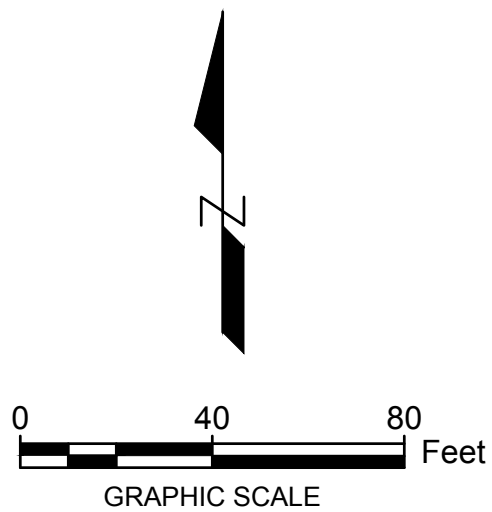
LABEL DRAINAGE EASEMENTS

IF POSSIBLE MOVE THE DRAINAGE SWALE CLOSER TO THE REAR LOT LINE AND NARROW THE DRAINAGE EASEMENT

NEEDS TO LOWER THAN THE HOME

DRAINAGE SWALES SHALL BE ALONG THE LOT LINE (TYP)

SEE SHEET 8



DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY

VILLAGE OF PLEASANT PRAIRIE

MASTER GRADING PLAN

NORTH LOTS

PRELIMINARY

NOT FOR

CONSTRUCTION

© COPYRIGHT 2018

R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGER:

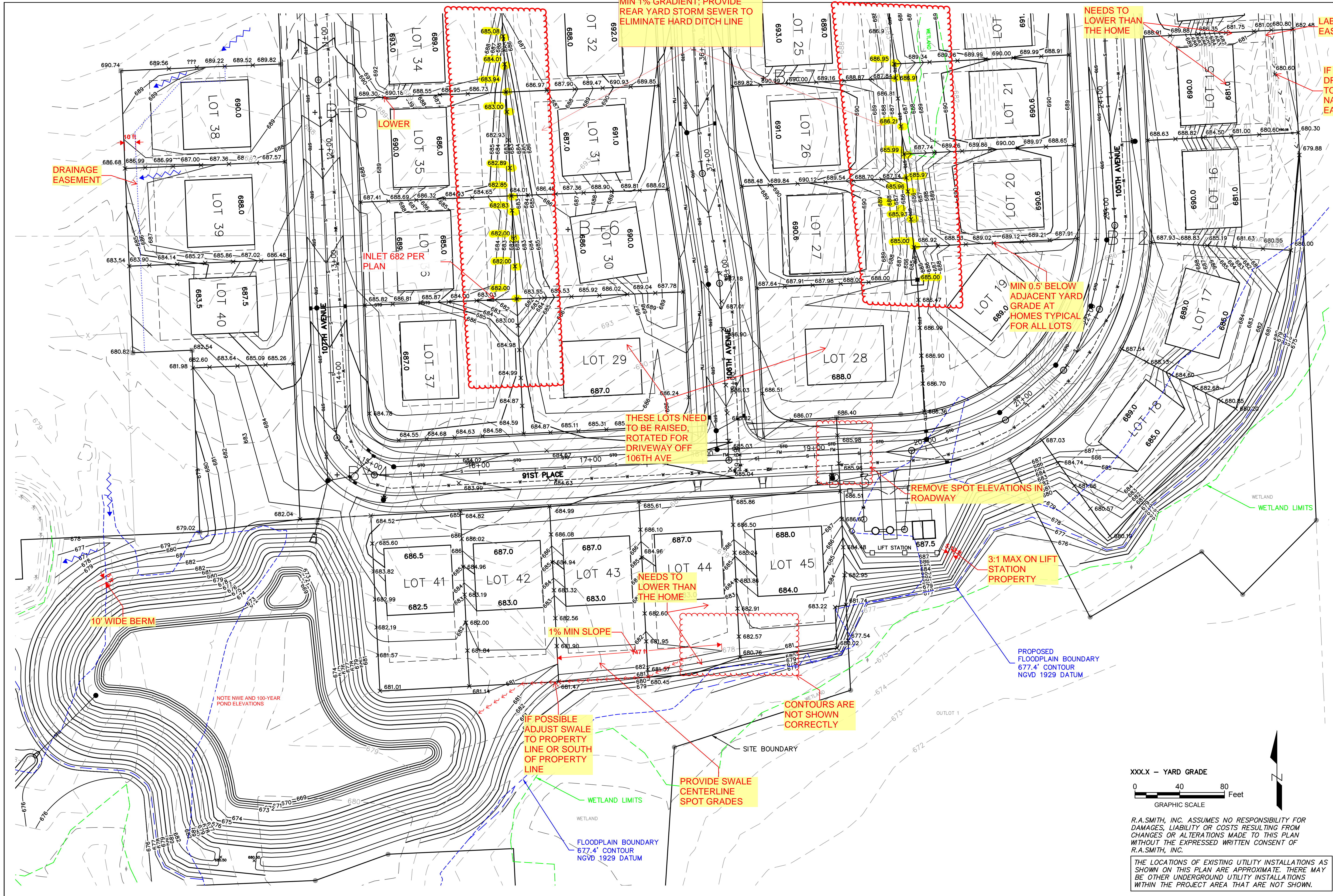
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: GER

SHEET NUMBER

7



REAR YARD DRAINAGE DESIGN IS NOT ACCEPTABLE. PROVIDE MIN 1% GRADIENT; PROVIDE REAR YARD STORM SEWER TO ELIMINATE HARD DITCH LINE

NEEDS TO LOWER THAN THE HOME

LABEL DRAINAGE EASEMENTS

IF POSSIBLE MOVE THE DRAINAGE SWALE CLOSER TO THE REAR LOT LINE AND NARROW THE DRAINAGE EASEMENT

MIN 0.5' BELOW ADJACENT YARD GRADE AT HOMES TYPICAL FOR ALL LOTS

THESE LOTS NEED TO BE RAISED, ROTATED FOR DRIVEWAY OFF 106TH AVE

REMOVE SPOT ELEVATIONS IN ROADWAY

3:1 MAX ON LIFT STATION PROPERTY

NEEDS TO LOWER THAN THE HOME

1% MIN SLOPE

IF POSSIBLE ADJUST SWALE TO PROPERTY LINE OR SOUTH OF PROPERTY LINE

CONTOURS ARE NOT SHOWN CORRECTLY

PROVIDE SWALE CENTERLINE SPOT GRADES

FLOODPLAIN BOUNDARY 677.4' CONTOUR NGVD 1929 DATUM

DATE

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RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE

MASTER GRADING PLAN

SOUTH LOTS

PRELIMINARY NOT FOR CONSTRUCTION

© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: MJG CHECKED BY: GER

SHEET NUMBER

8



IS THE ENTIRE SITE BEING MASS GRADED IN PHASE 1?

PROVIDE TEMPORARY TOPSOIL STOCKPILE LOCATION(S) AND REMOVAL TIMELINE.

EXISTING CONTOURS NEED TO BE SHOWN ON ALL SHEETS WHICH SHOW PROPOSED CONTOURS

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

CONSTRUCTION PHASING
PHASE 1

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DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG

CHECKED BY: GER
SHEET NUMBER

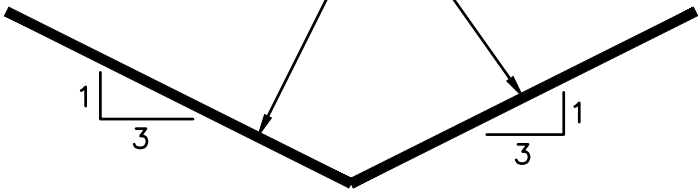
DATE	DESCRIPTION

XXX.X – YARD GRADE

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RESTORE WITH 4" MIN. TOP SOIL, GRASS SEED AND CLASS 1 TYPE B EROSION MAT




TEMPORARY DIVERSION SWALE SECTION

SITE BOUNDARY



DESCRIPTION

DATE



CREATIVITY BEYOND ENGINEERING

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RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

CONSTRUCTION PHASING
PHASEE 1 - SWALE TO POND

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DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

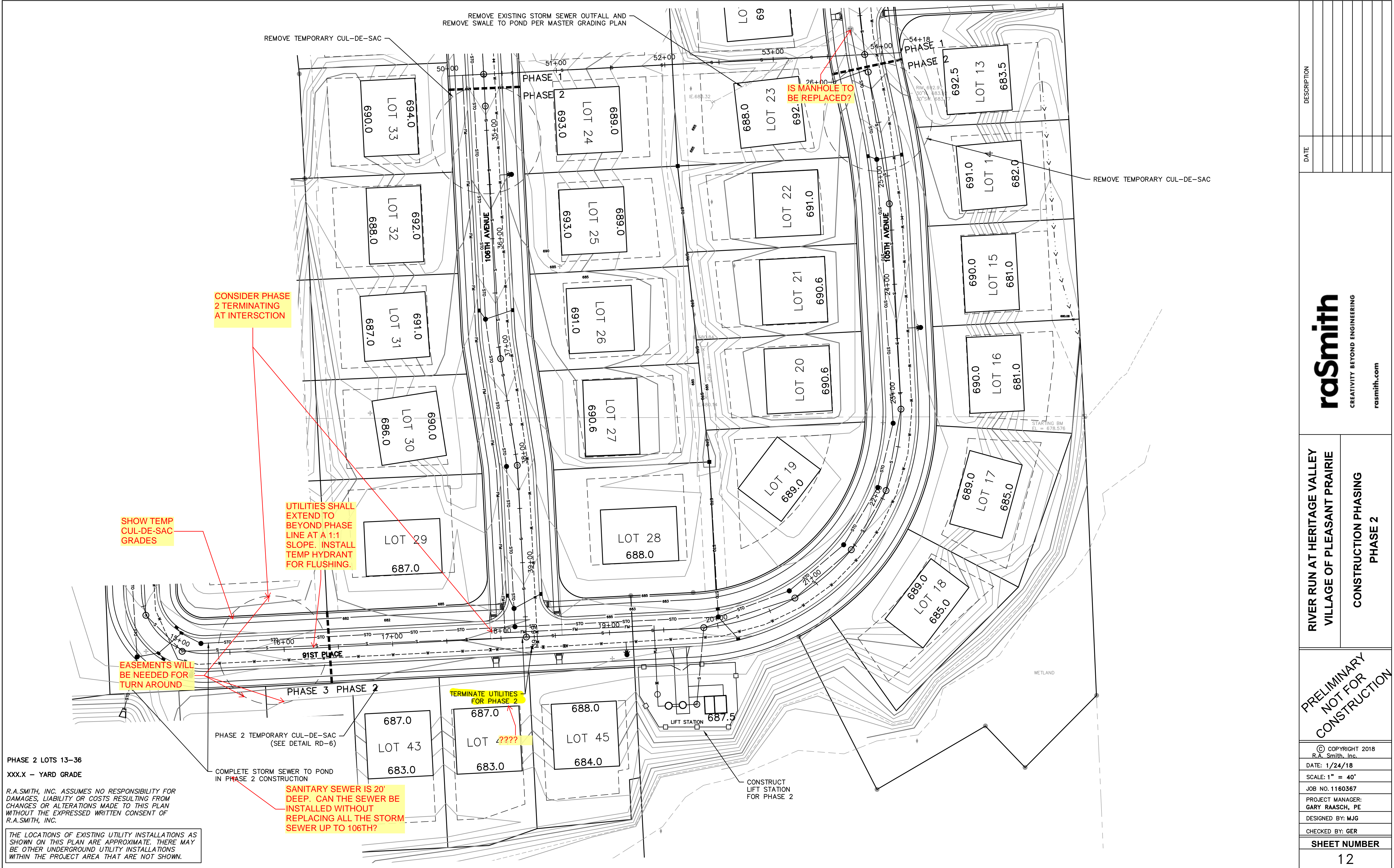
PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: GER

SHEET NUMBER

11



PROPOSED WATER MAIN ———— W ————

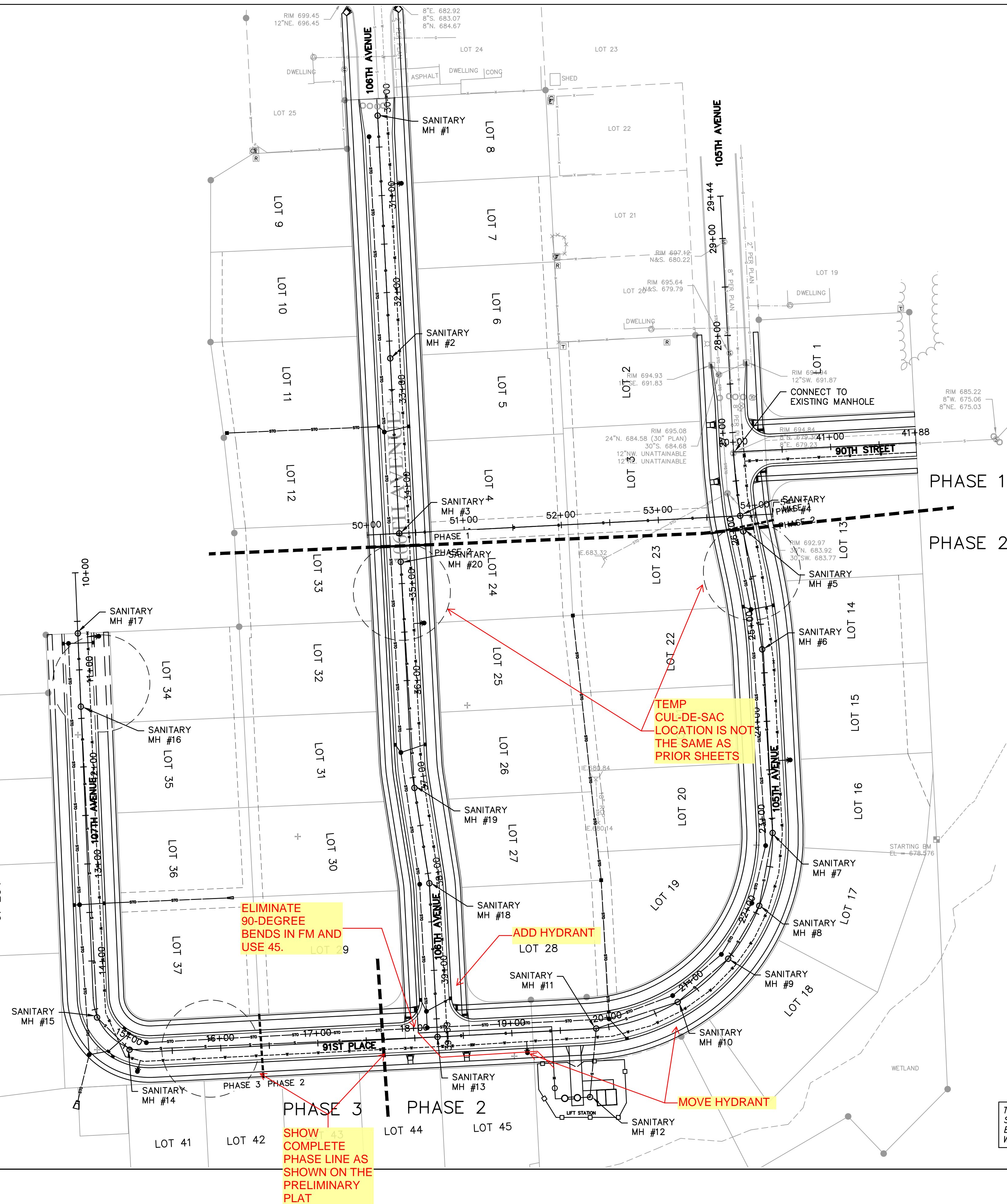
PROPOSED STORM SEWER ———— STO ————

PROPOSED SANITARY SEWER ———— S ————

PROPOSED FORCE MAIN ———— FM ————

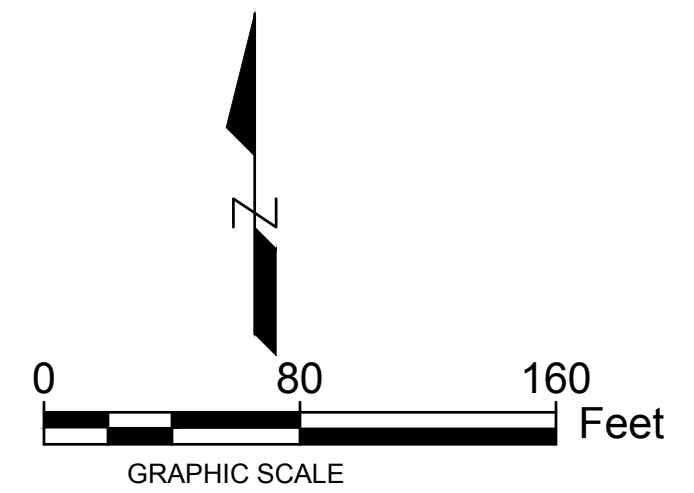
LOTS 1 – 12 ARE SERVED BY GRAVITY SEWER.

LOTS 12 – 45 ARE SERVED BY LIFT STATION.



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NOTHING

1

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OVERALL UTILITY PLAN

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DATE: 1/24/18

SCALE: 1" = 60'

JOB NO. 1160367

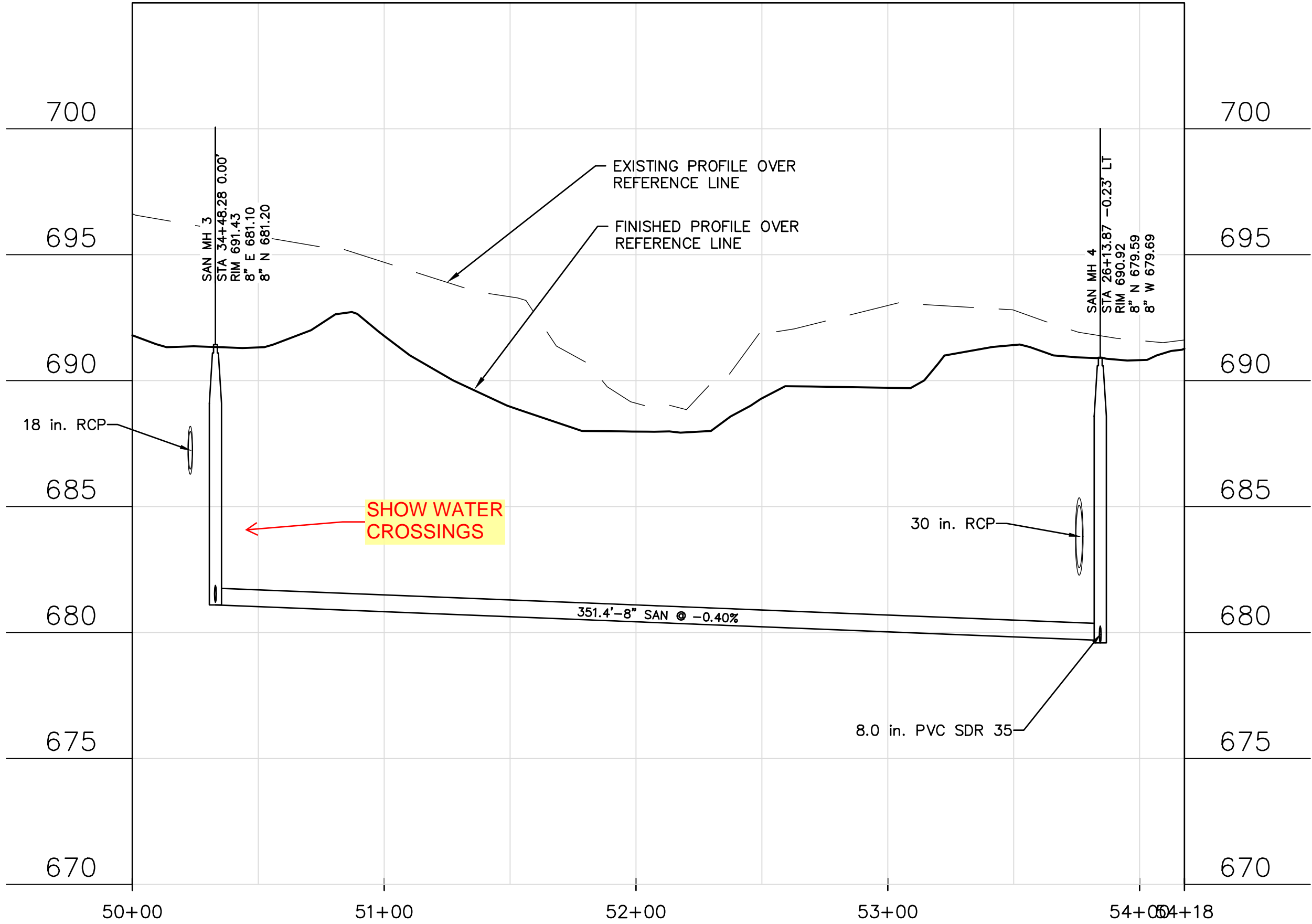
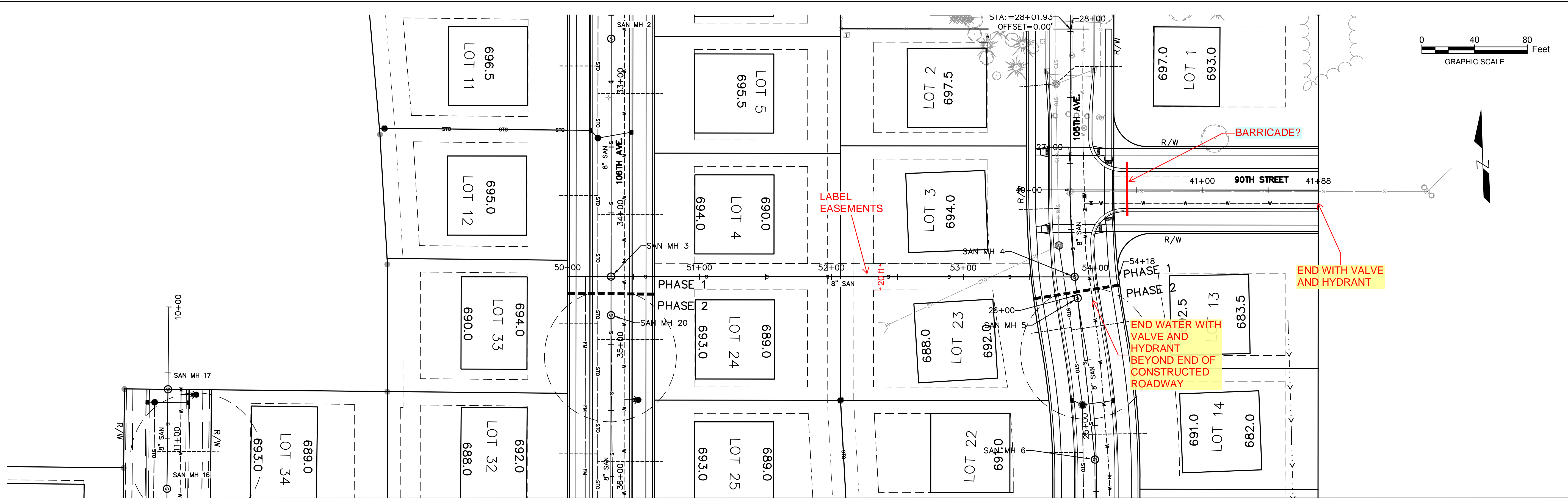
PROJECT MANAGER:

GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: GER

4



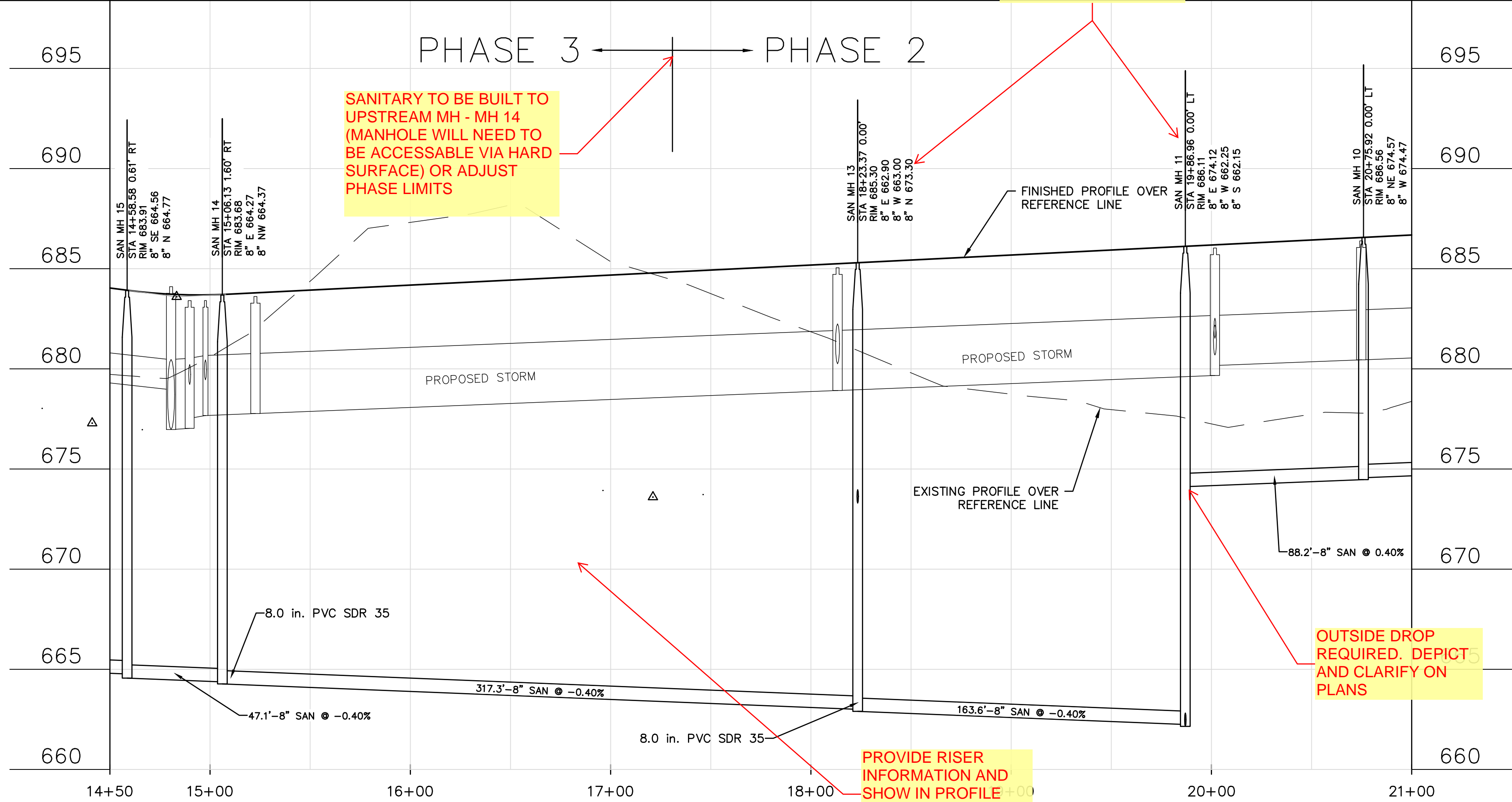
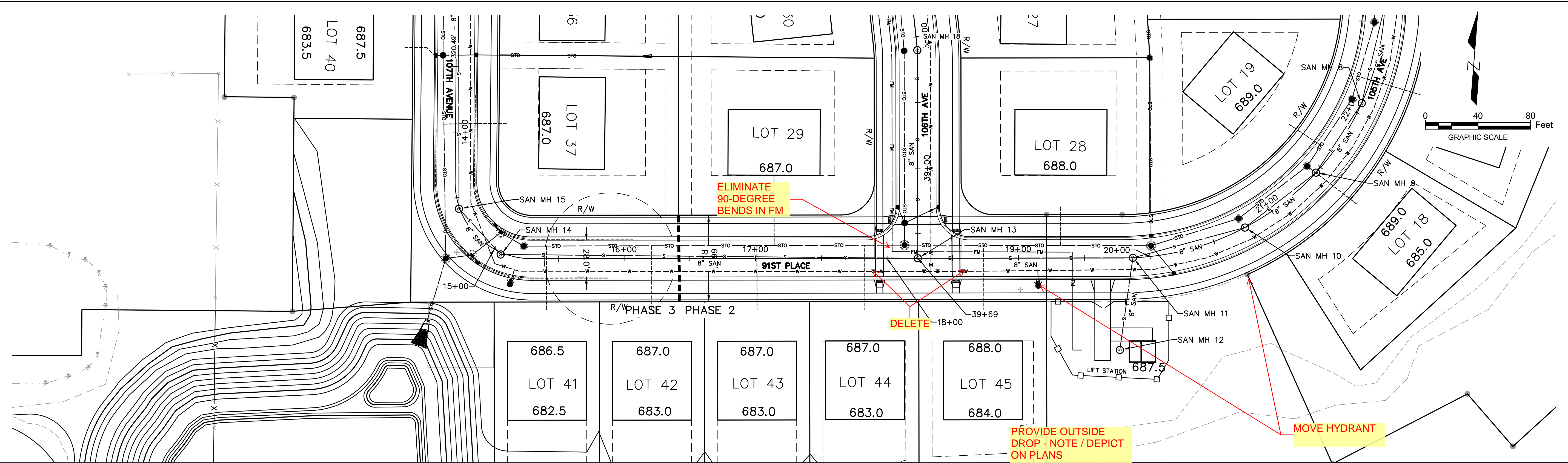
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PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 105TH AVENUE TO 106TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
15	



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DESCRIPTION

DATE

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CREATIVITY BEYOND ENGINEERING
rasmith.com

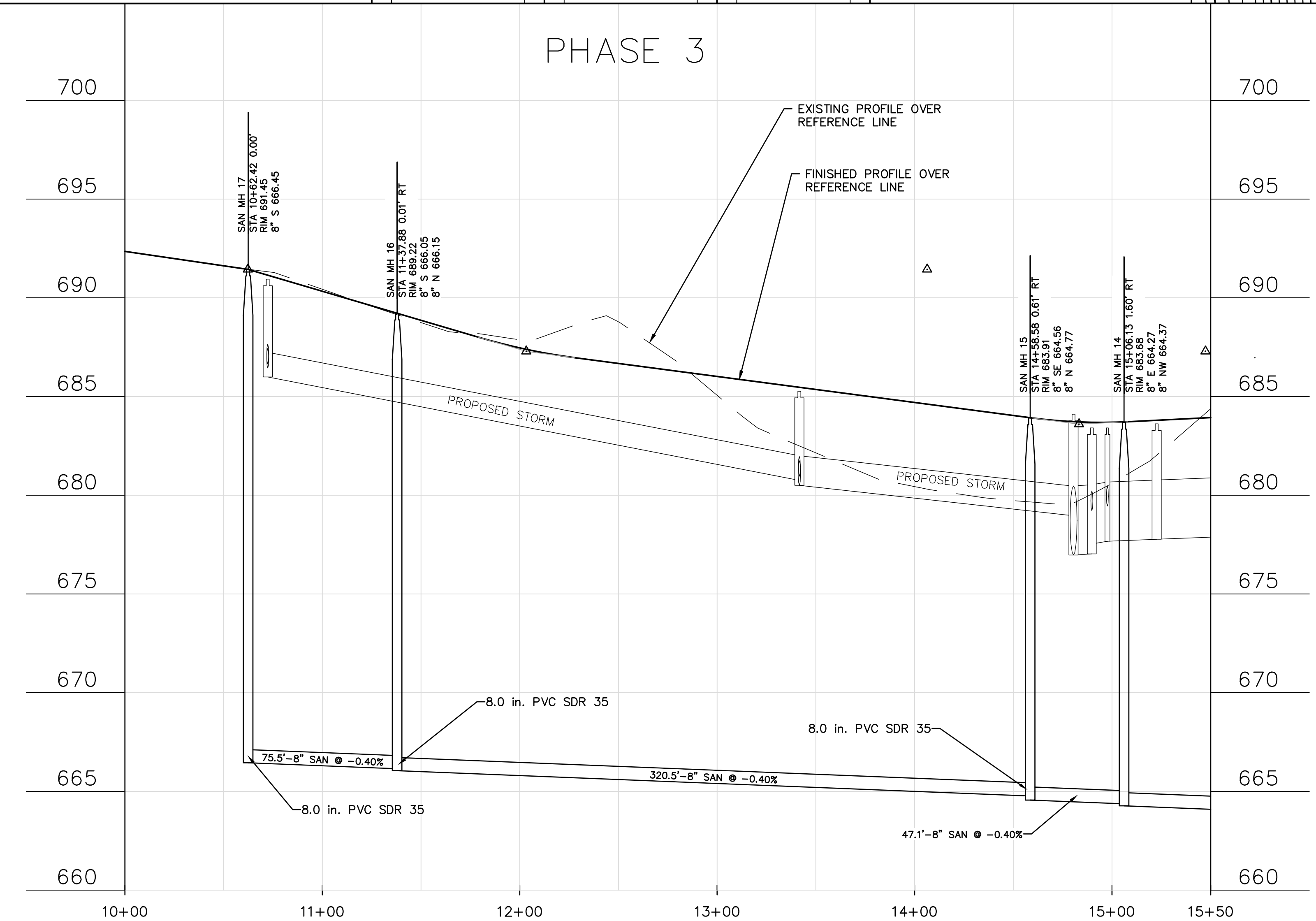
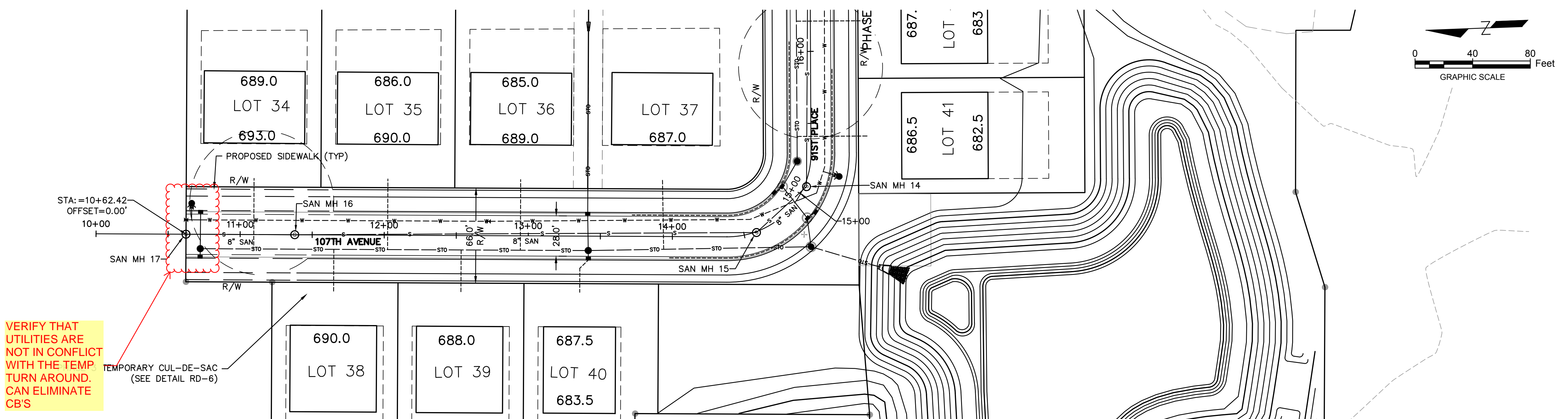
RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE
SANITARY & WATER MAIN
PLAN AND PROFILE
91ST PLACE

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.
DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG

CHECKED BY: GER
SHEET NUMBER

18



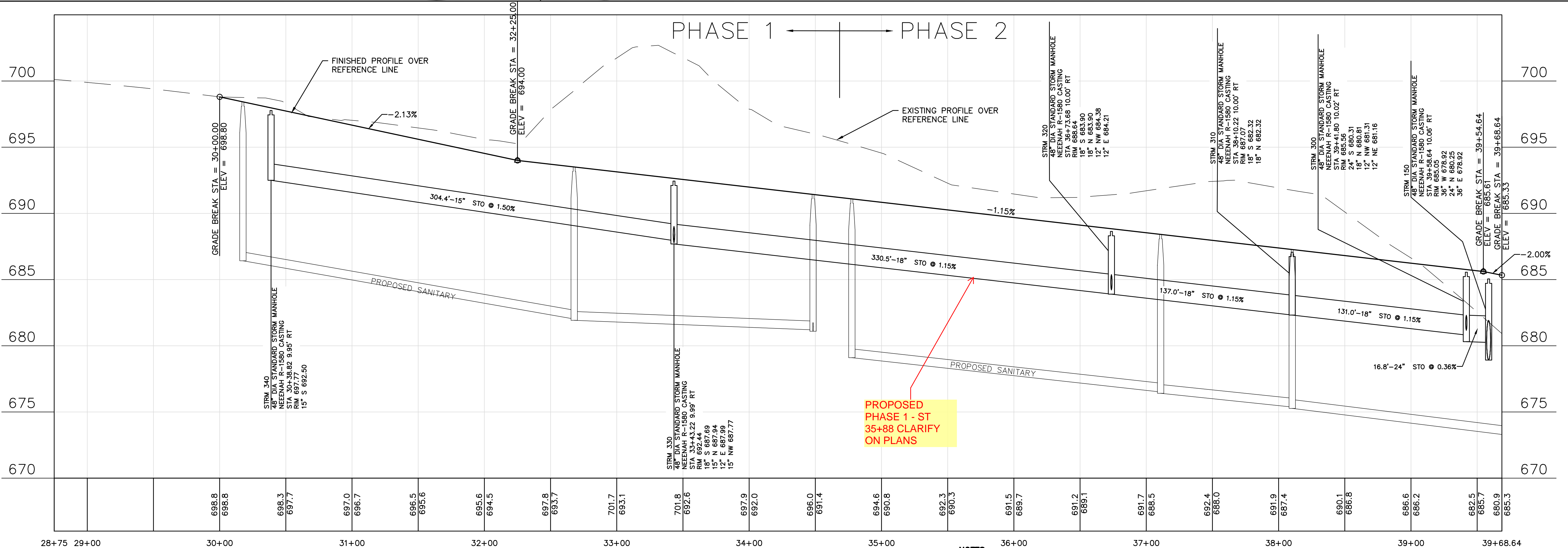
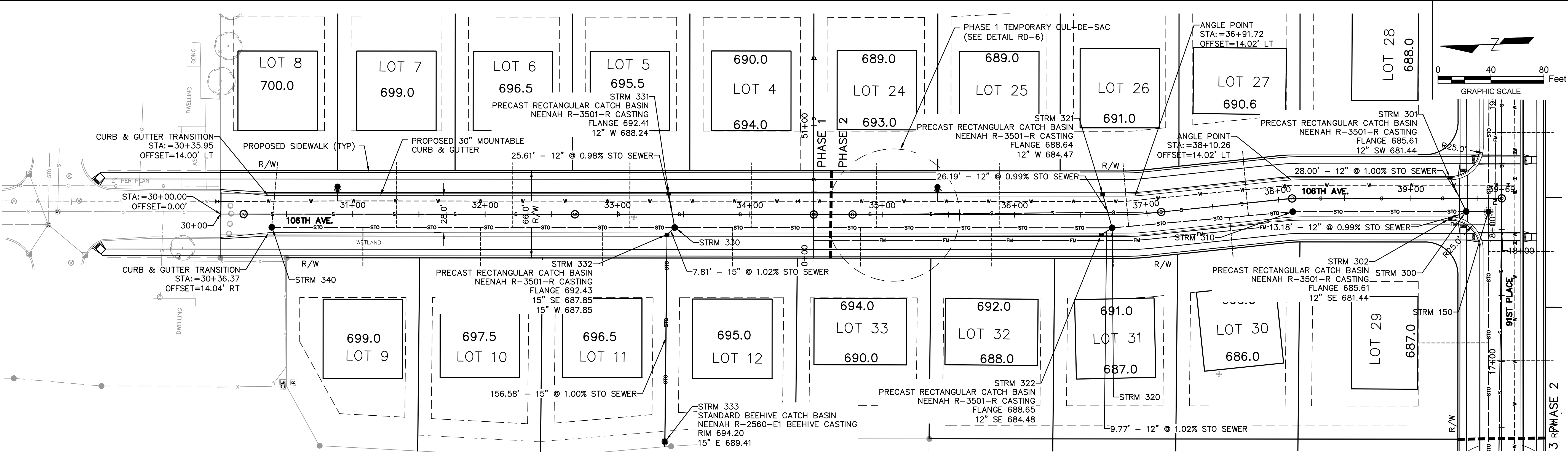
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DESCRIPTION	DATE	 CREATIVITY BEYOND ENGINEERING rasmith.com
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 89TH PLACE		
PRELIMINARY NOT FOR CONSTRUCTION		
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: MJG CHECKED BY: GER SHEET NUMBER 19		



THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

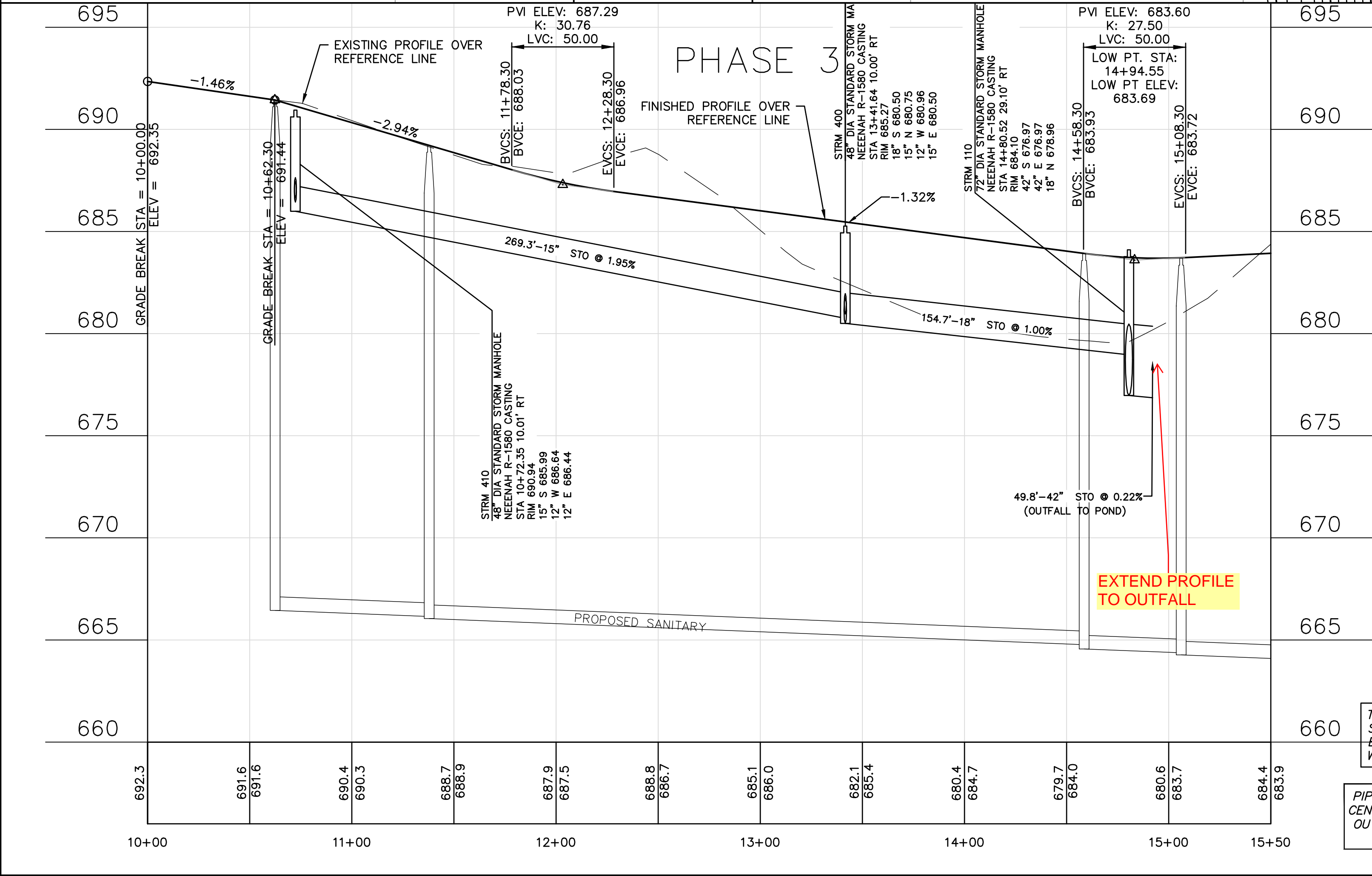
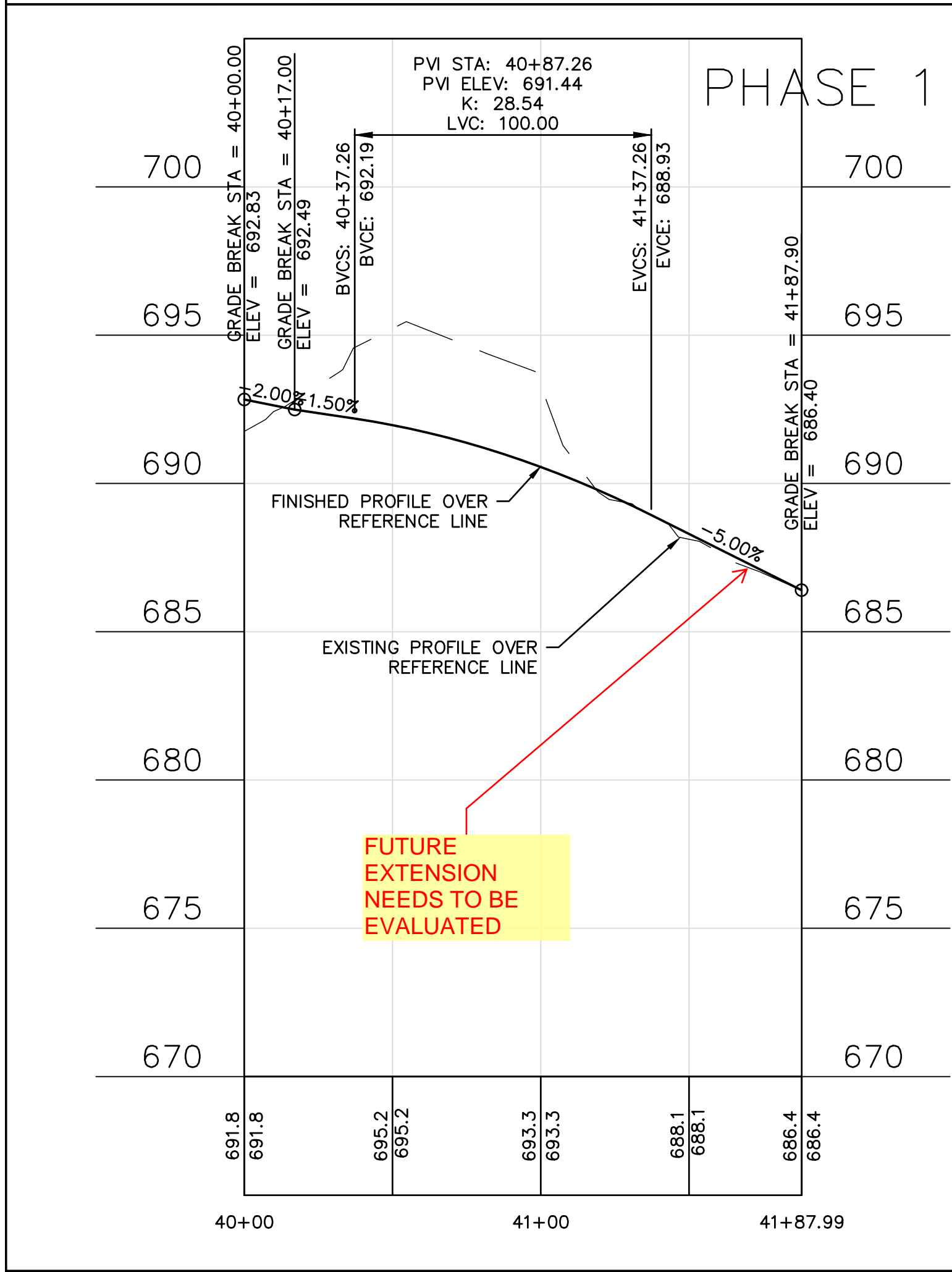
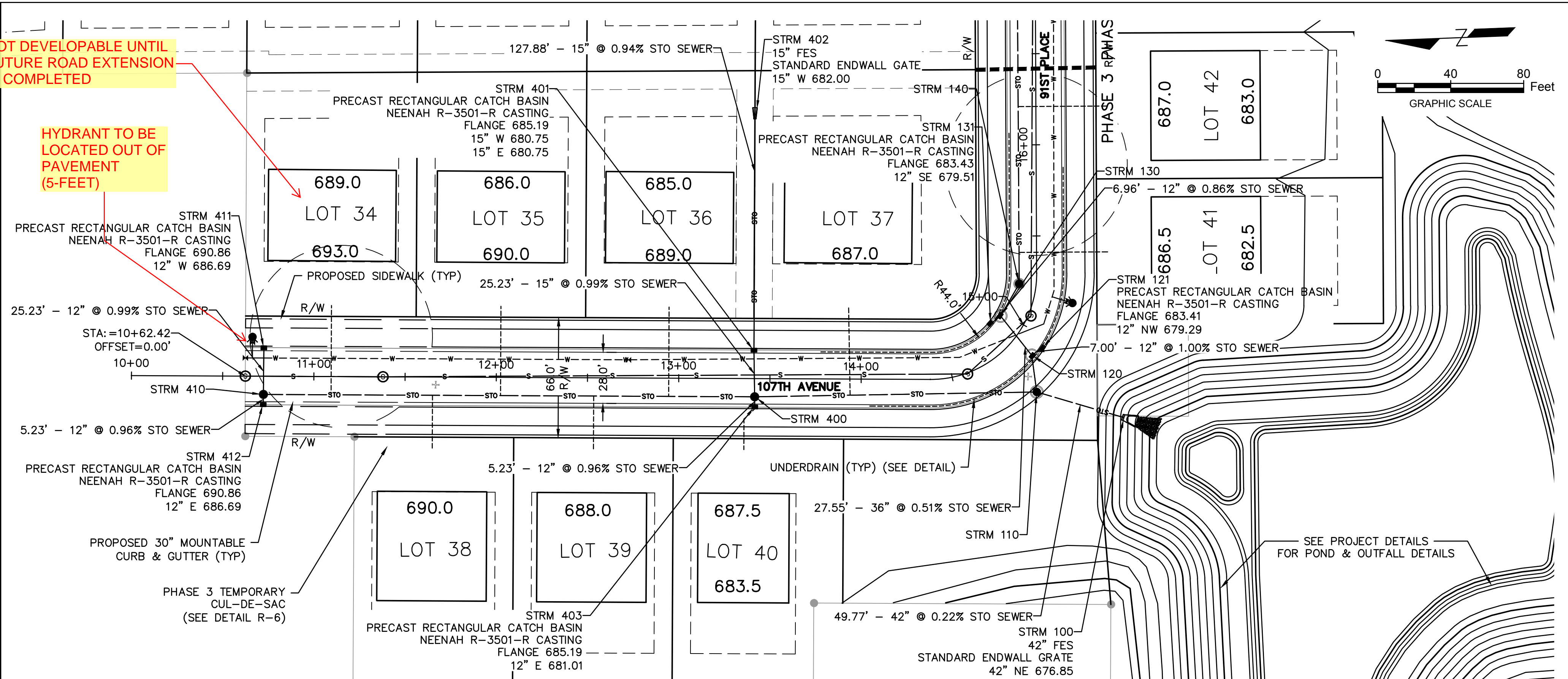
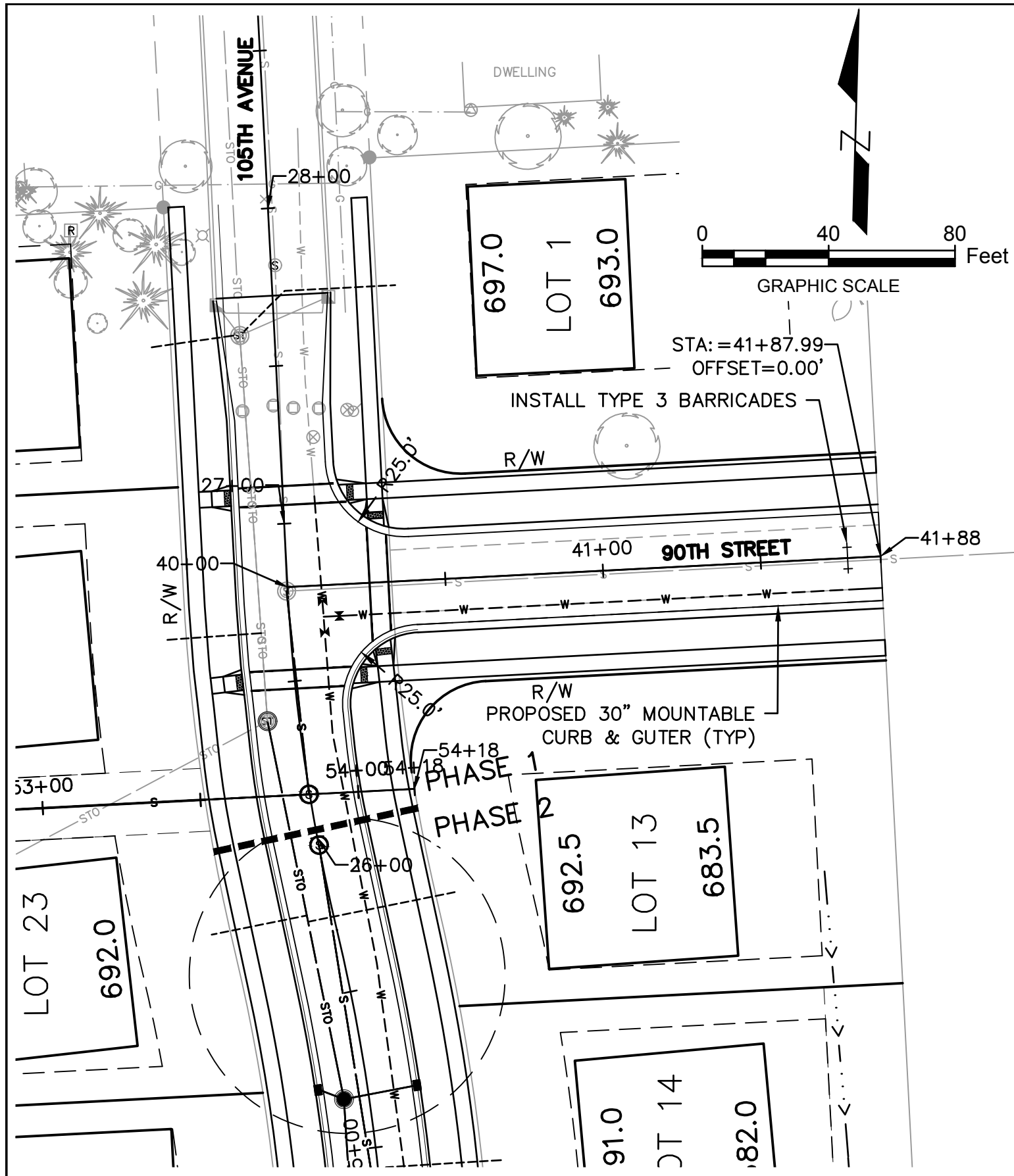
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NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS.
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 106TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
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DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
21	



NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

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DESCRIPTION

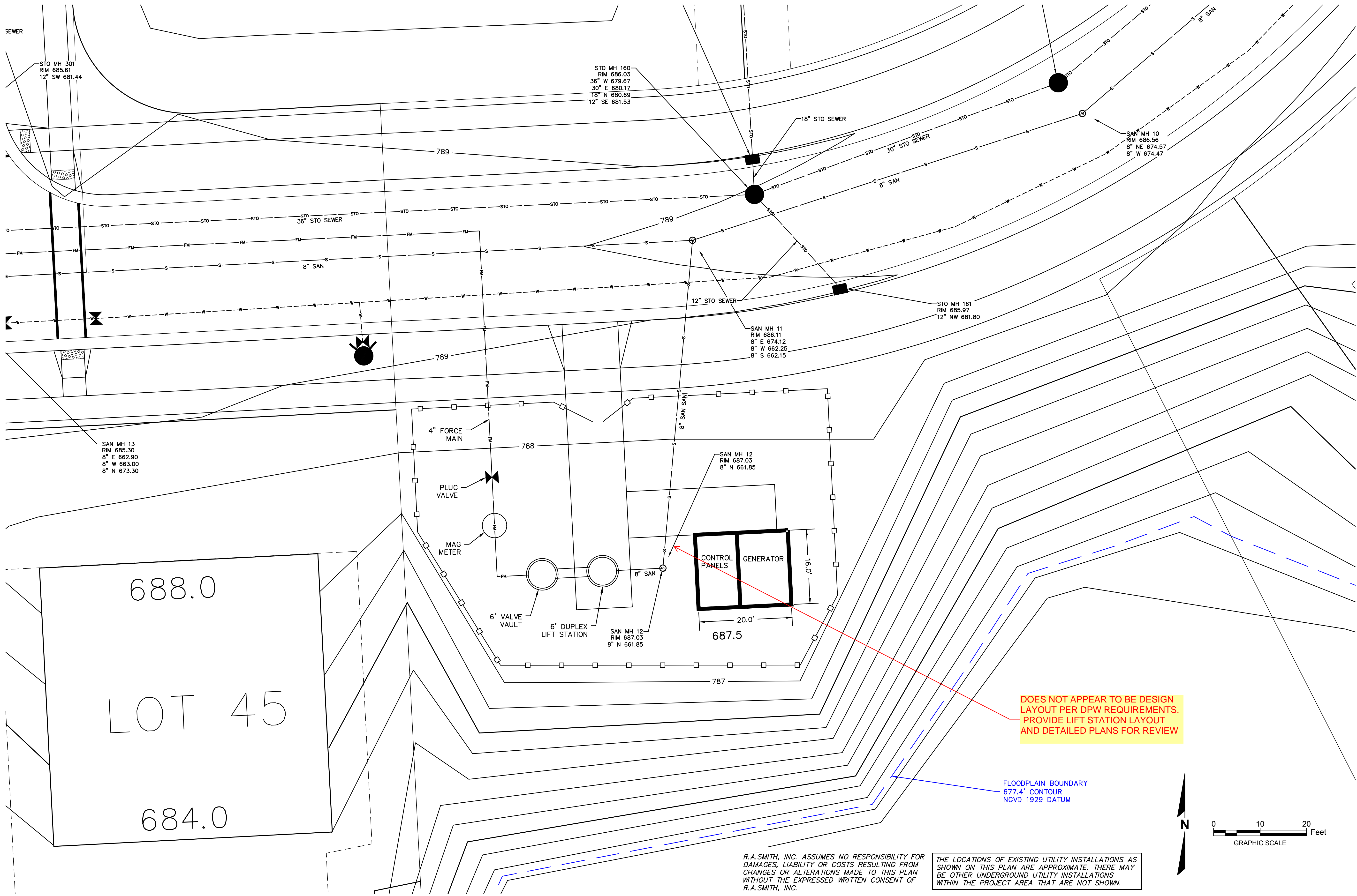
DATE

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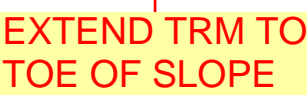
RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE
ROADWAY AND STORM SEWER
PLAN AND PROFILE
90TH PLACE AND 107TH AVENUE

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.
DATE: 1/24/18
SCALE: 1" = 40'
JOB NO. 1160367
PROJECT MANAGER:
GARY RAASCH, PE
DESIGNED BY: MJG
CHECKED BY: GER
SHEET NUMBER
23




<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>			
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE		LIFT STATION	
		SITE PLAN	
PRELIMINARY NOT FOR CONSTRUCTION			
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DATE: 1/24/18			
SCALE: NTS			
JOB NO. 1160367			
PROJECT MANAGER: GARY RAASCH, PE			
DESIGNED BY: BAF			
CHECKED BY: ----			
SHEET NUMBER			
24			



1. LINER MAY BE ELIMINATED WHERE NATIVE SUBGRADE MEETS WDNR TECHNICAL STANDARD 1001 REQUIREMENTS FOR TYPE B CLAY POND LINER.
2. IF SILT OR SAND SEAMS ARE ENCOUNTERED, THEY SHALL BE REMOVED TO A DEPTH OF TWO FEET AND BE REPLACED WITH A LEAN CLAY FILL SUITABLE FOR CLAY LINER USE. ANY CLAY FILL PLACED FOR LINER MATERIAL SHALL BE PLACED IN ONE FOOT LAYS OR LESS WITH EACH LIFT COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR (ASTM D698) MAXIMUM DRY DENSITY.



<div style="text-align: center;">  <p>raSmith</p> <p>CREATIVITY BEYOND ENGINEERING</p> <p>rasmith.com</p> </div>		DATE	DESCRIPTION
<div style="text-align: center;"> <p>RIVER RUN AT HERITAGE VALLEY</p> <p>VILLAGE OF PLEASANT PRAIRIE</p> </div>		<div style="text-align: center;"> <p>PROJECT DETAILS</p> <p>POND DETAIL</p> </div>	
<p>PRELIMINARY</p> <p>NOT FOR</p> <p>CONSTRUCTION</p>			
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DATE: 1/24/18			
SCALE: NTS			
JOB NO. 1160367			
PROJECT MANAGER: GARY RAASCH, PE			
DESIGNED BY: MJG			
CHECKED BY: ----			
SHEET NUMBER			
25			



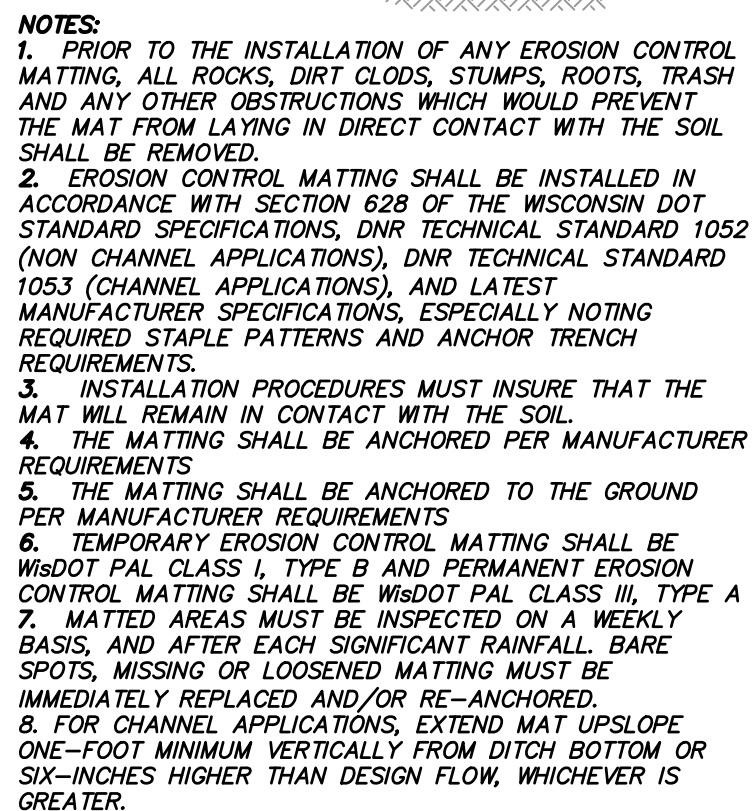
SCALE: NTS



DETAIL: STM - 5

CREATED: 11-01-13

APPROVED BY: MATT FINEOUR



EROSION CONTROL MATTING DETAIL



NOTES

1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION AND MNR TECHNICAL STANDARD 1062.
2. TEMPORARY DITCH CHECKS OF A SINGLE ROW OF EROSION BALES ARE NOT PERMITTED.
3. SEDIMENT BALE BARRIERS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
4. DAMAGED OR DECOMPOSED SEDIMENT BALE BARRIERS, AND UNDERCUTTING, OR FLOW CHANNELS ALONG THE END OF THE SEDIMENT BALE BARRIERS SHALL BE REPAIRED.
5. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT BALE BARRIER.
6. SEDIMENT BALE BARRIERS AND ANCHORING DEVICES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
7. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
8. EFFECTIVENESS OF BALES IS LESS THAN 3 MONTHS.



1. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
2. THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
3. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

NOTES

WORKING PAD:

1. TRACKING PAD TO CONFORM TO WQWR CONSERVATION PRACTICE STANDARD 1057.
2. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3" - 6" CLEAR OR WASHED STONE. ALL MATERIAL SHALL BE RETAINED ON A 1/2-INCH SIEVE.
4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK, ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
6. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING VARIOUS TYPES OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
7. **MAINTENANCE**
8. ROCKS LODGED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
9. TRACKING PADS AND THE WASHING STATIONS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR THE DURING 24-HOUR PERIOD.
10. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
11. A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

STONE TRACKING PAD DETAIL

[illegible]

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CREATIVITY BEYOND ENGINEERING

rasmith.com

**RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE**

PROJECT DETAILS

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NTS

JOB NO. 110



PROJECT MANAGER:

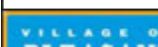

DESIGNED BY: MJG



CHECKED BY: -----

SHEET NUMBER

27

	STANDARD SANITARY MANHOLE		DETAIL: SAN - 1	
	CREATED: 11-21-12	APPROVED BY: MATT FINEOUR		
	REVISED: 11-10-15			

	STANDARD STORM MANHOLE		DETAIL: STM - 1	
	CREATED: 11-21-12	APPROVED BY: MATT FINEOUR		
	REVISED: 12-1-15			

	STANDARD STORM MANHOLE WITH CURB INLET		DETAIL: STM - 2	
	CREATED: 9-23-04	APPROVED BY: MATT FINEOUR		
	REVISED: 12-1-15			

DESCRIPTION

DATE _____

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

**RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE**

PROJECT DETAILS

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DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

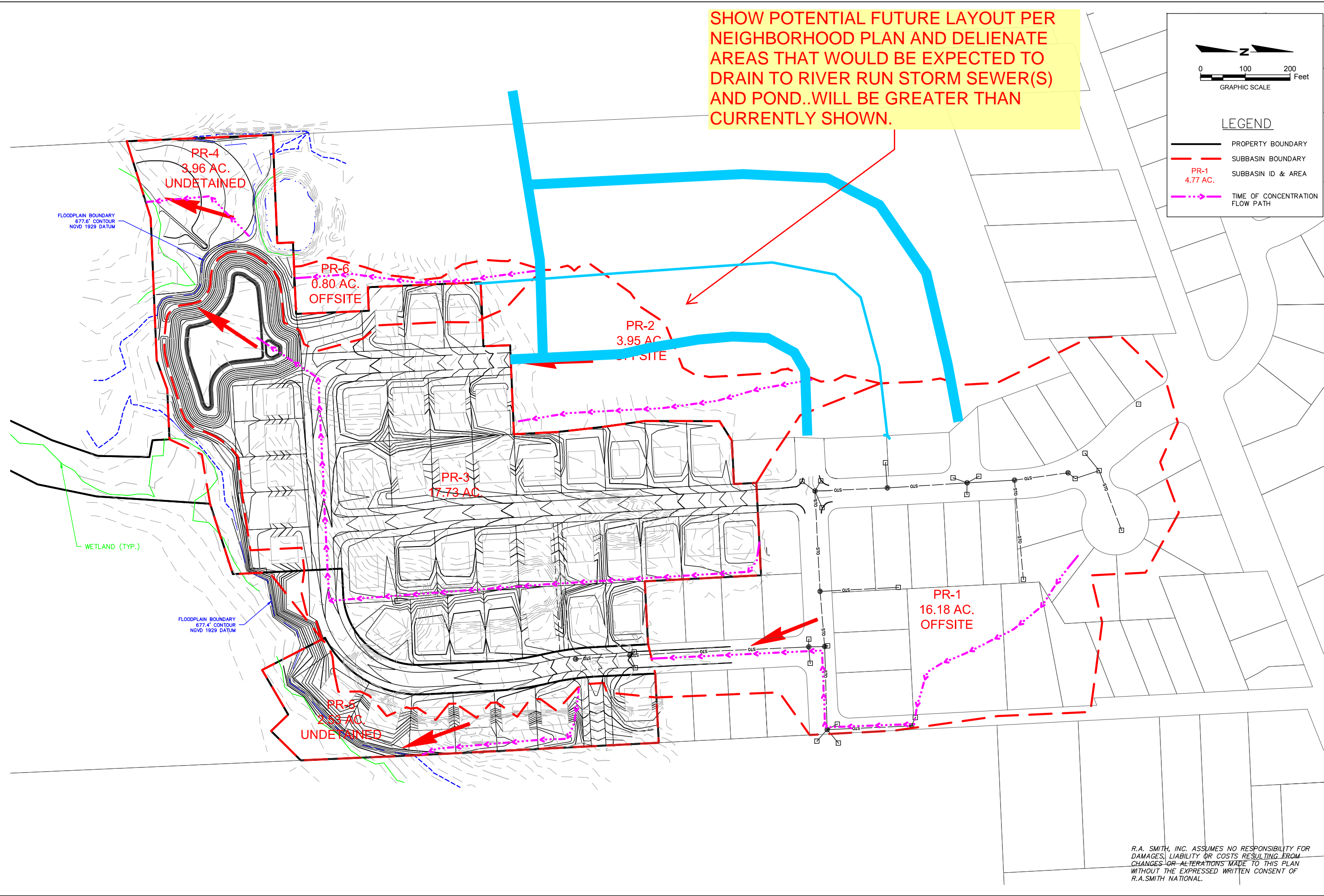
DESIGNED BY: MJG

CHECKED BY: ----

SHEET NUMBER

29

SHOW POTENTIAL FUTURE LAYOUT PER NEIGHBORHOOD PLAN AND DELIENATE AREAS THAT WOULD BE EXPECTED TO DRAIN TO RIVER RUN STORM SEWER(S) AND POND..WILL BE GREATER THAN CURRENTLY SHOWN.

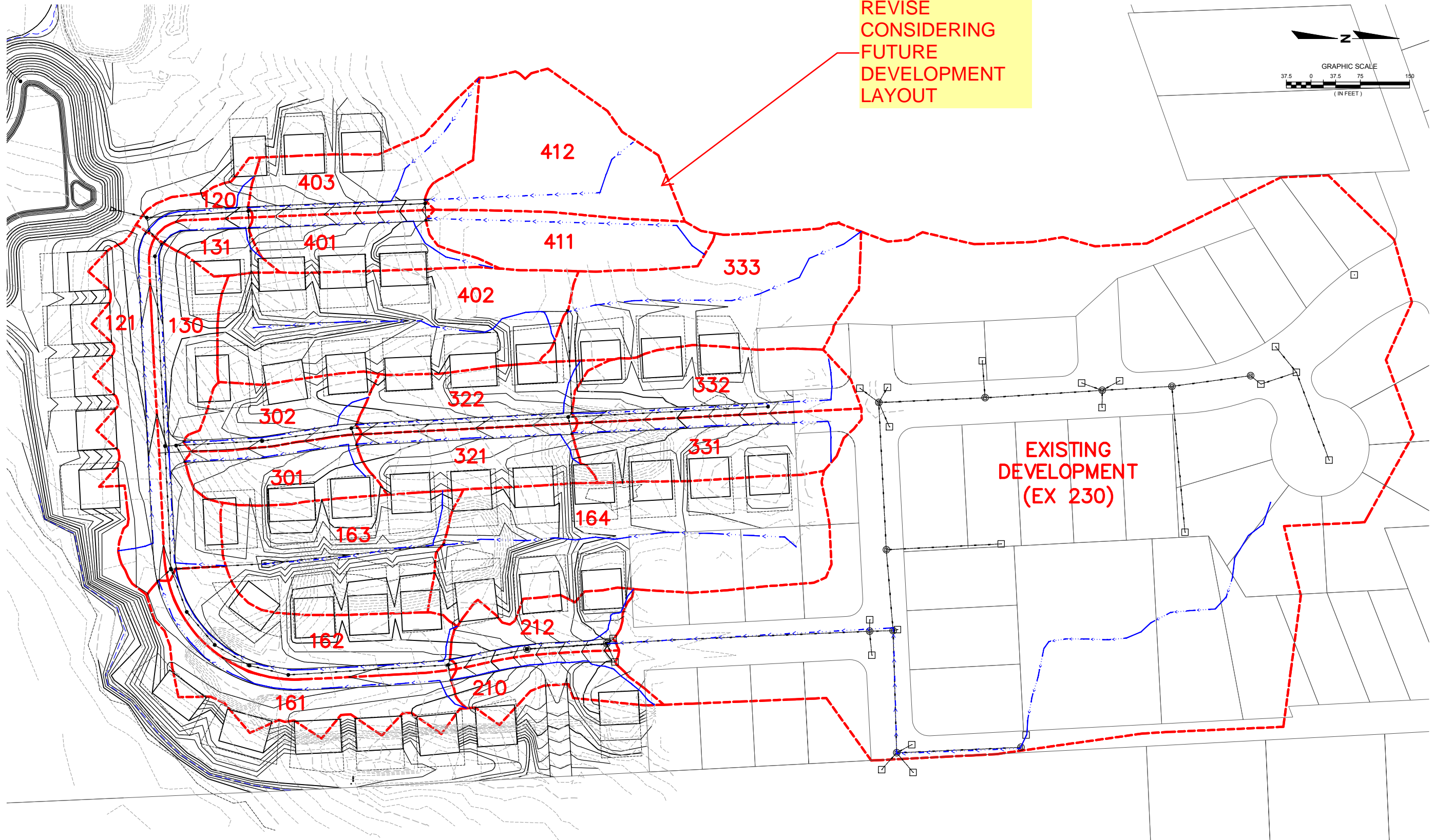


LEGEND

- PROPERTY BOUNDARY
- SUBBASIN BOUNDARY
- PR-1 4.77 AC. SUBBASIN ID & AREA
- TIME OF CONCENTRATION FLOW PATH

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	STORMWATER MANAGEMENT PLAN PROPOSED CONDITIONS
© COPYRIGHT 2017 R.A. Smith, Inc. DATE: 11/15/17 SCALE: 1" = 100' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: GER CHECKED BY: CVD	
SHEET NUMBER	
B	

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LEGEND

--- CATCHMENT BOUNDARY

->->->- TIME OF CONCENTRATION FLOWPATH

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DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
PROPOSED STORM SEWER HYDRAFLOW CATCHMENTS	
© COPYRIGHT 2017 R.A. Smith, Inc.	
DATE: 11/08/17	
SCALE: 1" = 150'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: RRS	
CHECKED BY: ---	
SHEET NUMBER	
##	

LEGEND
(PROPOSED FEATURES)

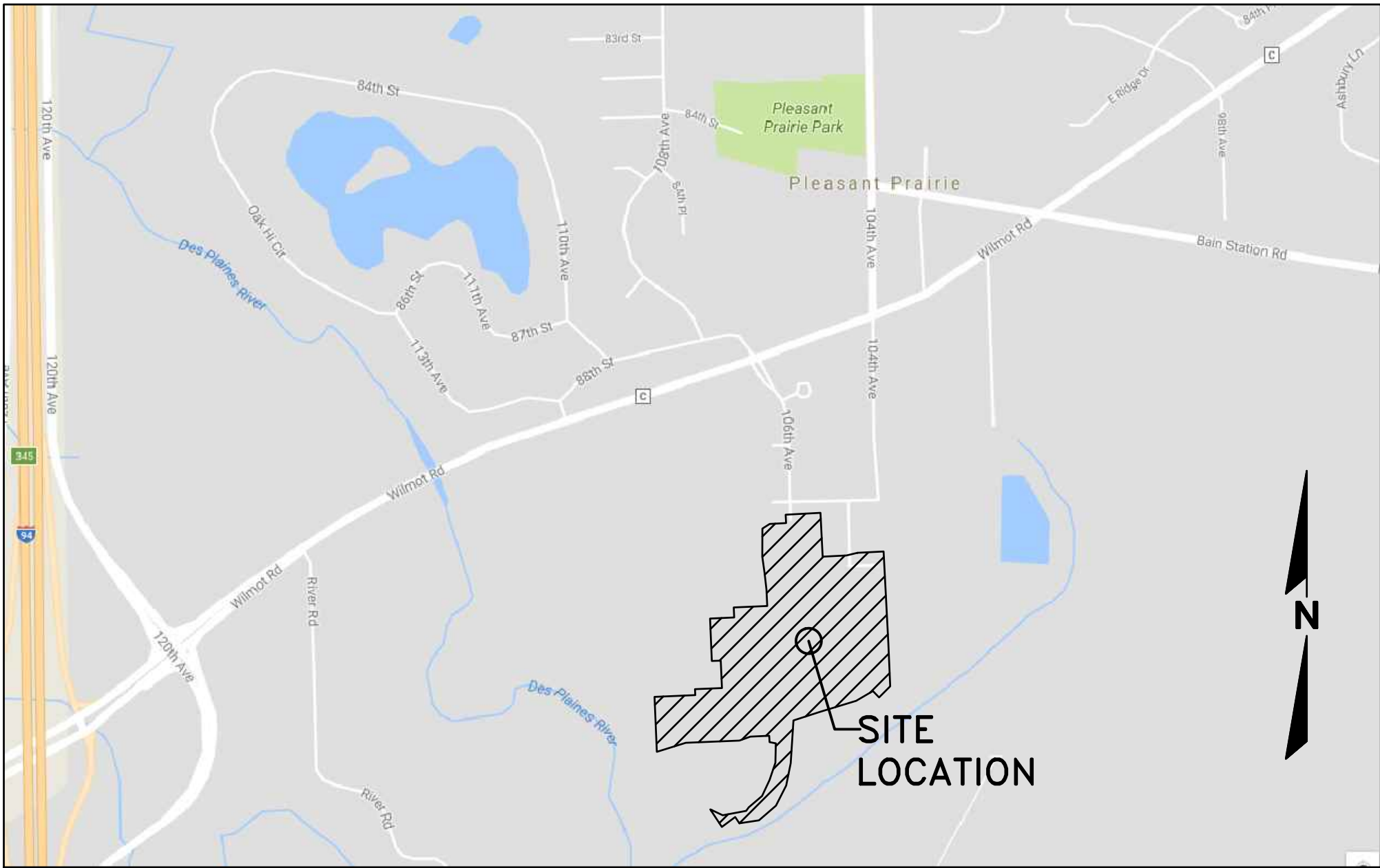
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED ACCESSIBLE PAVEMENT MARKING VAN
	VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE ● THRESHOLD
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, 'LOG' DENOTES GROUND LEVEL FOR LOOK OUT. 'WOG' DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
1"	DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
1"	DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
O	BOLLARD
+	SOIL BORING/MONITORING WELL
F	FLAGPOLE
M	MAILBOX
S	SIGN
B	BILLBOARD
A	AIR CONDITIONER
C	CONTROL BOX
T	TRAFFIC SIGNAL
X	RAILROAD CROSSING SIGNAL
C	CABLE PEDESTAL
P	POWER POLE
G	GUY POLE
G	GUY WIRE
L	LIGHT POLE
S	SPOT/YARD/PEDESTAL LIGHT
H	HANDICAPPED PARKING
E	ELECTRIC MANHOLE
E	ELECTRIC PEDESTAL
X	ELECTRIC METER
T	ELECTRIC TRANSFORMER
T	TELEPHONE MANHOLE
T	TELEPHONE PEDESTAL
F	MARKED FIBER OPTIC
V	GAS VALVE
G	GAS METER
G	GAS WARNING SIGN
S	STORM MANHOLE
R	ROUND INLET
S	SQUARE INLET
S	STORM SEWER END SECTION
S	SANITARY MANHOLE
S	SANITARY CLEANOUT OR SEPTIC VENT
S	SANITARY INTERCEPTOR MANHOLE
M	MISCELLANEOUS MANHOLE
V	WATER VALVE
H	HYDRANT
S	WATER SERVICE CURB STOP
M	WATER MANHOLE
W	WELL
S	WATER SURFACE
W	WETLANDS FLAG
M	MARSH
C	CONIFEROUS TREE
D	DECIDUOUS TREE
S	SHRUB
---	EDGE OF TREES
-S	SANITARY SEWER
-ST	STORM SEWER
-W	WATERMAIN
-G	MARKED GAS MAIN
-E	MARKED ELECTRIC
-OHW	OVERHEAD WIRES
-B	BUREAU ELEC. SERV.
-T	MARKED TELEPHONE
-TV	MARKED CABLE TV LINE
-FO	MARKED FIBER OPTIC
-780	INDICATES EXISTING CONTOUR ELEVATION
-x 780.55	INDICATES EXISTING SPOT ELEVATION
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE

LANDSCAPE PLANS
FOR
RIVER RUN AT HERITAGE VALLEY
SUBDIVISION
PLEASANT PRAIRIE, WI

VICINITY MAP



VOPP ENG REVIEW
PLAN MARK UP
2-9-18

PLAN INDEX

SHEET NO.

- 1
- 2
- 3
- 4

DESCRIPTION

- TITLE SHEET
- OVERALL LANDSCAPE PLAN & DETAILS
- LANDSCAPE PLAN NORTH
- LANDSCAPE PLAN SOUTH

OWNER:

U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:

R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:

VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

- NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
- SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
- SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

AT&T
JAY BULANEK
262-896-7669

PLAN DATE: 1/24/18

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NONE

JOB NO. 1160367

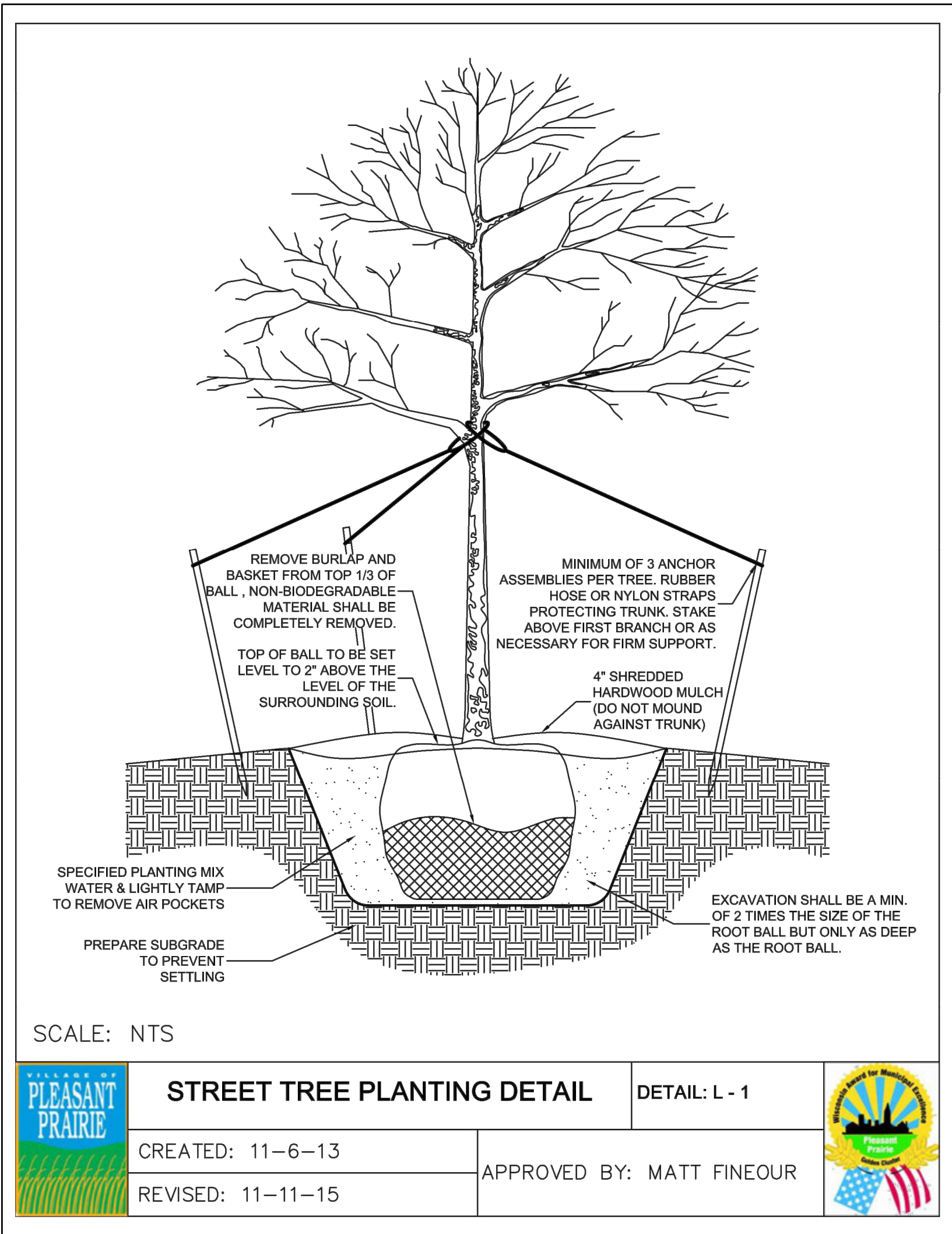
PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: LJH/NPW

CHECKED BY: GER

SHEET NUMBER

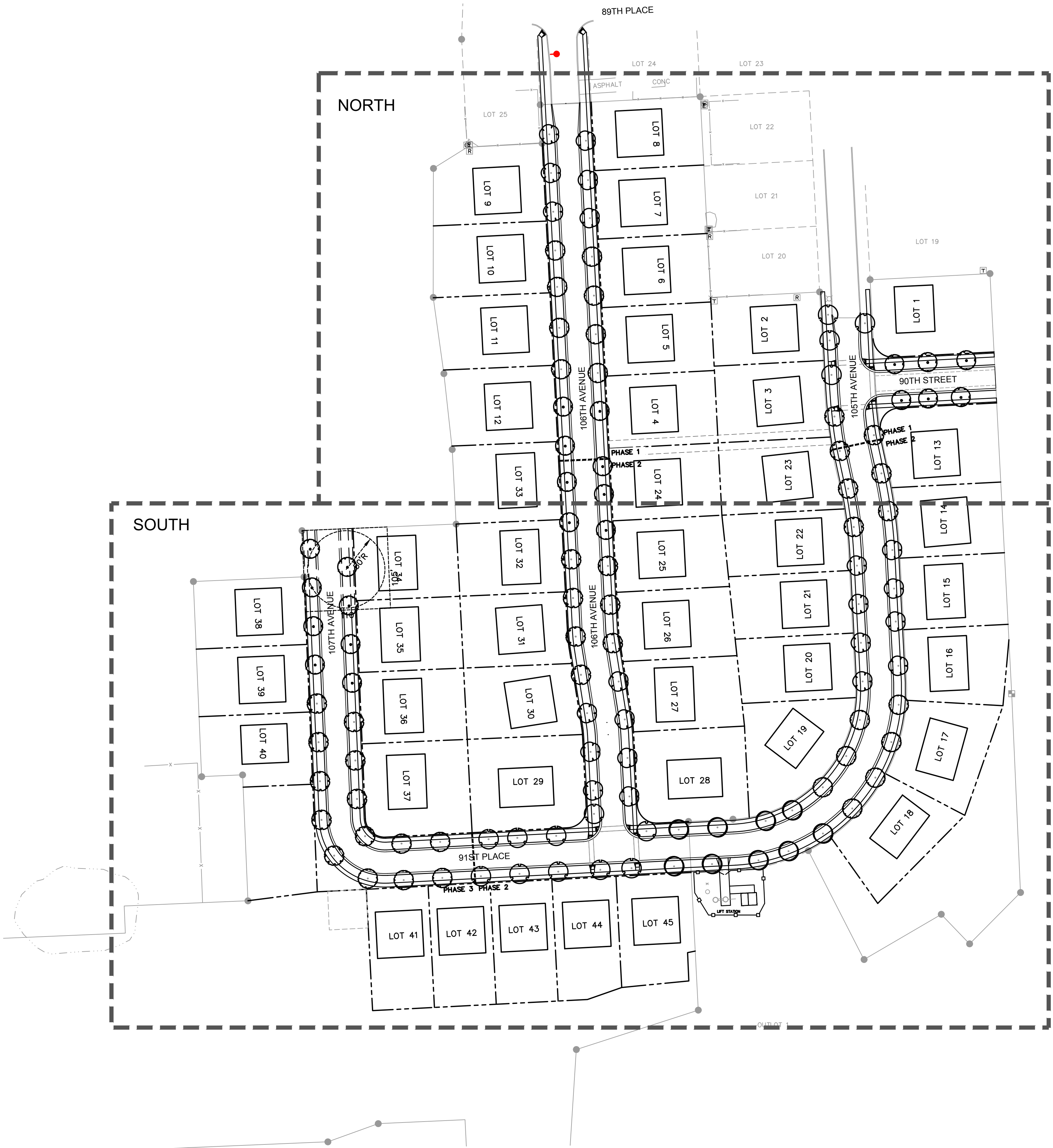
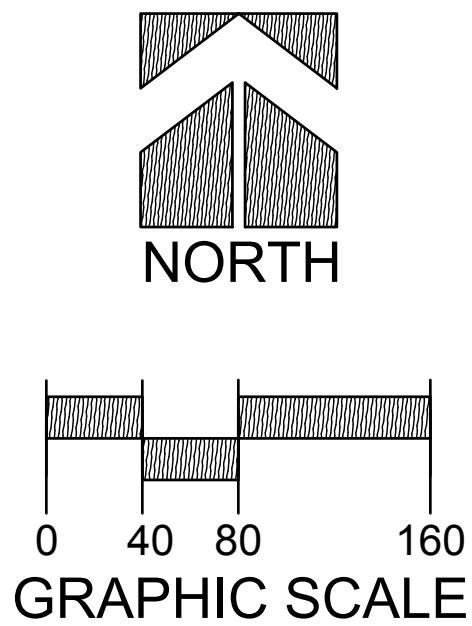
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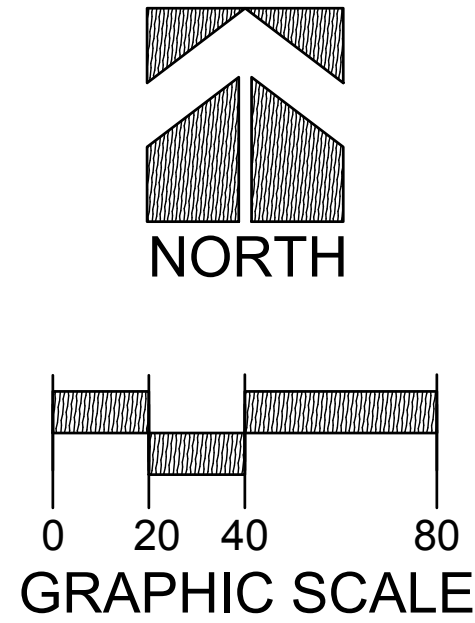


- NOTES:
- All street trees to be planted in accordance with planting details and specifications as listed in Pleasant Prairie Village Standard Construction Specifications VS-0700 Street Trees.
 - Street tree locations are general. Actual locations will be staked by contractor based on field conditions for Village review and concurrence prior to installation.
 - Street trees should generally be spaced 50-feet on center, 7-feet back of curb, 10-feet from any fire hydrant and 7-feet from any driveway.
 - Street trees shall not be placed on the common lot line between two properties.
 - Provide a 4" deep, 3 ft. diameter shredded hardwood bark mulch ring around all lawn trees. Do not build up any mulch onto trunk of any tree.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.





PLANT SCHEDULE NORTH

STREET TREES	QTY	COMMON NAME	BOTANICAL NAME	MIN. PLANTING SIZE	MATURE SIZE	ROOT	REMARKS
ABM	12	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" CAL / 6' HT	40' HT x 40' SPD	B&B	Full, matching heads
SMM	4	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
KCE	8	Espresso Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" CAL / 6' HT	50' HT x 50' SPD	B&B	Full, matching heads
SVL	6	Silver Linden	Tilia tomentosa	2" CAL / 6' HT	40' HT x 30' SPD	B&B	Full, matching heads
ACE	5	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	2" CAL / 6' HT	60' HT x 40' SPD	B&B	Full, matching heads

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY

VILLAGE OF PLEASANT PRAIRIE

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PRELIMINARY

NOT FOR

CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGER:

GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: TTH

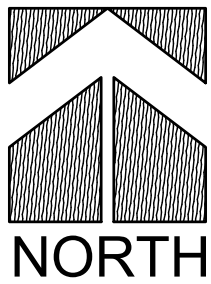
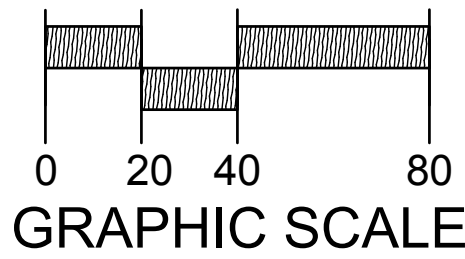
SHEET NUMBER

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.



PLANT SCHEDULE SOUTH

STREET TREES	QTY	COMMON NAME	BOTANICAL NAME	MIN. PLANTING SIZE	MATURE SIZE	ROOT	REMARKS
ABM	10	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" CAL / 6' HT	40' HT x 40' SPD	B&B	Full, matching heads
SMM	10	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
SL	9	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
KCE	12	Espresso Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" CAL / 6' HT	50' HT x 50' SPD	B&B	Full, matching heads
SVL	15	Silver Linden	Tilia tomentosa	2" CAL / 6' HT	40' HT x 30' SPD	B&B	Full, matching heads
ACE	18	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	2" CAL / 6' HT	60' HT x 40' SPD	B&B	Full, matching heads

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY

VILLAGE OF PLEASANT PRAIRIE

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PRELIMINARY

NOT FOR

CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGER:

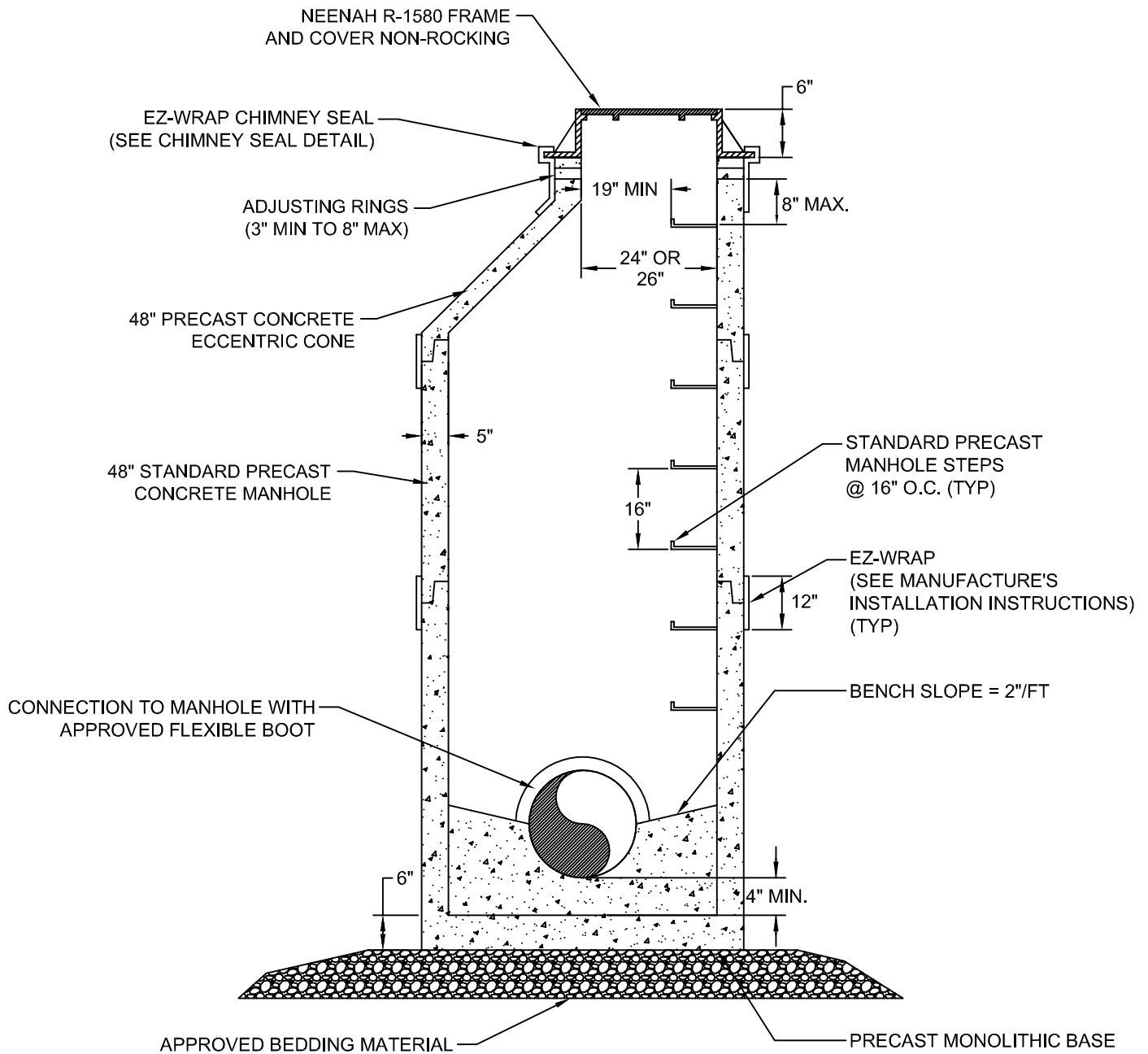
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: TTH

SHEET NUMBER

##



NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY SEWER.

SCALE: NTS

STANDARD SANITARY MANHOLE

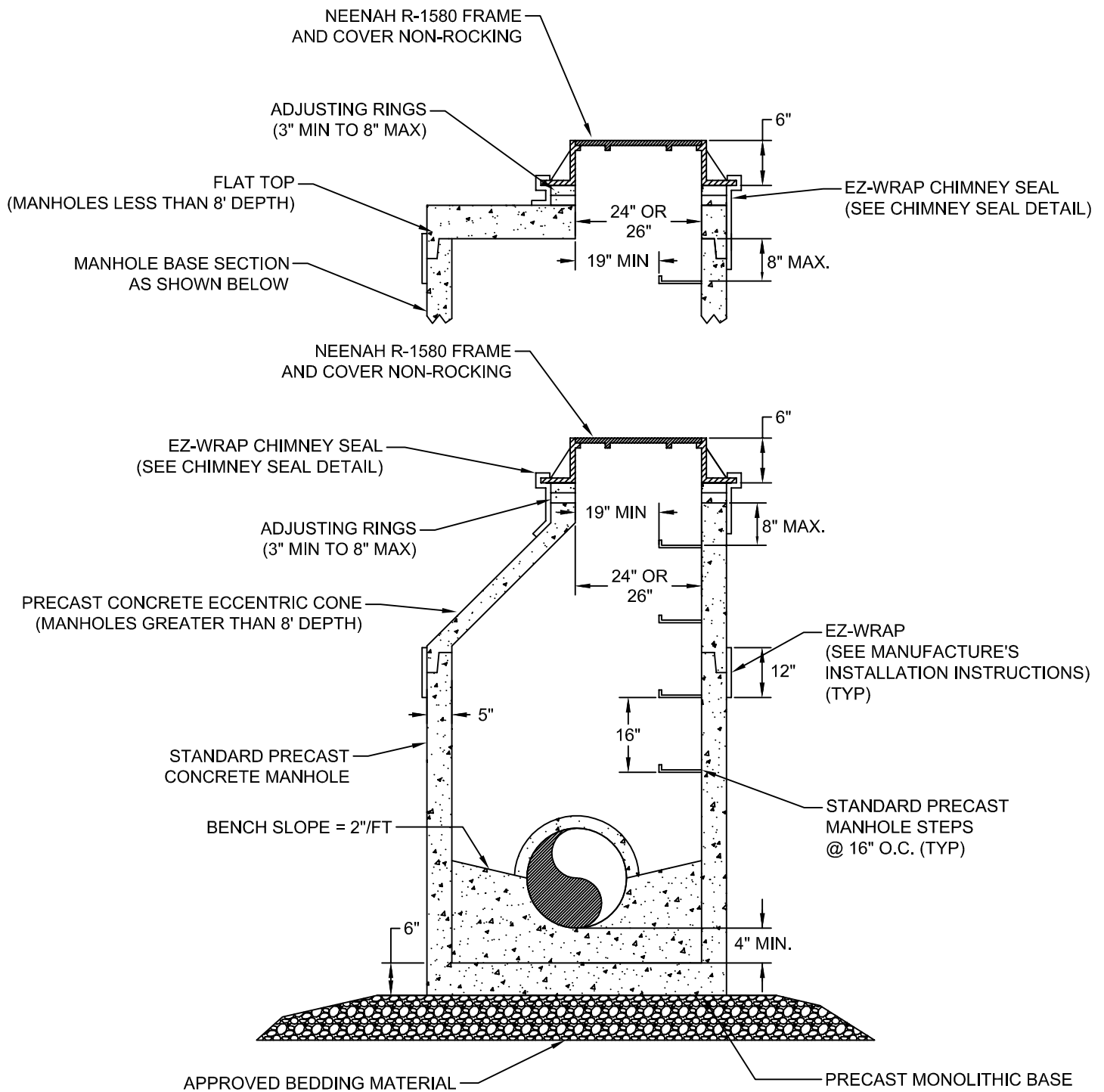
DETAIL: SAN - 1

CREATED: 11-21-12

REVISED: 10-30-17

APPROVED BY: MATT FINEOUR





NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER.

SCALE: NTS

STANDARD STORM MANHOLE

DETAIL: STM - 1

CREATED: 11-21-12

REVISED: 10-30-17

APPROVED BY: MATT FINEOUR



NEENAH R-3067 CURB INLET FRAME, TYPE "L" GRATE OR
NEENAH R-3501-R FRAME AND GRATE , MOUNTABLE CURB

EZ-WRAP CHIMNEY SEAL
(SEE CHIMNEY SEAL DETAIL)

ADJUSTING RINGS
(3" TO 12") WITH
MAXIMUM OF 4 RINGS

TOP SECTION WITH
RECTANGULAR OPENING
SIZED TO MATCH
SPECIFIED FRAME AND
GRATE

48" STANDARD
PRECAST CONCRETE
MANHOLE

LEAD
(24" MAX)

STANDARD PRECAST
MANHOLE STEPS
@ 16" O.C. (TYP)

EZ-WRAP
(SEE MANUFACTURE'S
INSTALLATION INSTRUCTIONS)
(TYP)

APPROVED BEDDING MATERIAL

PRECAST MONOLITHIC BASE

NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER

SCALE: NTS

STANDARD STORM MANHOLE WITH CURB INLET

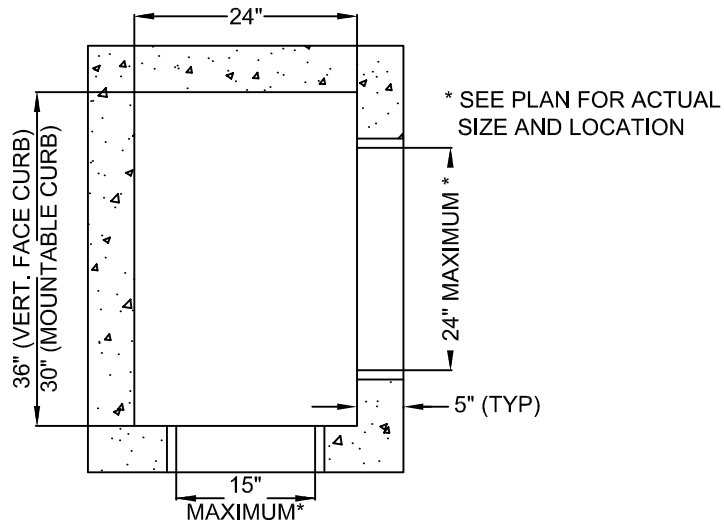
DETAIL: STM - 2

CREATED: 9-23-04

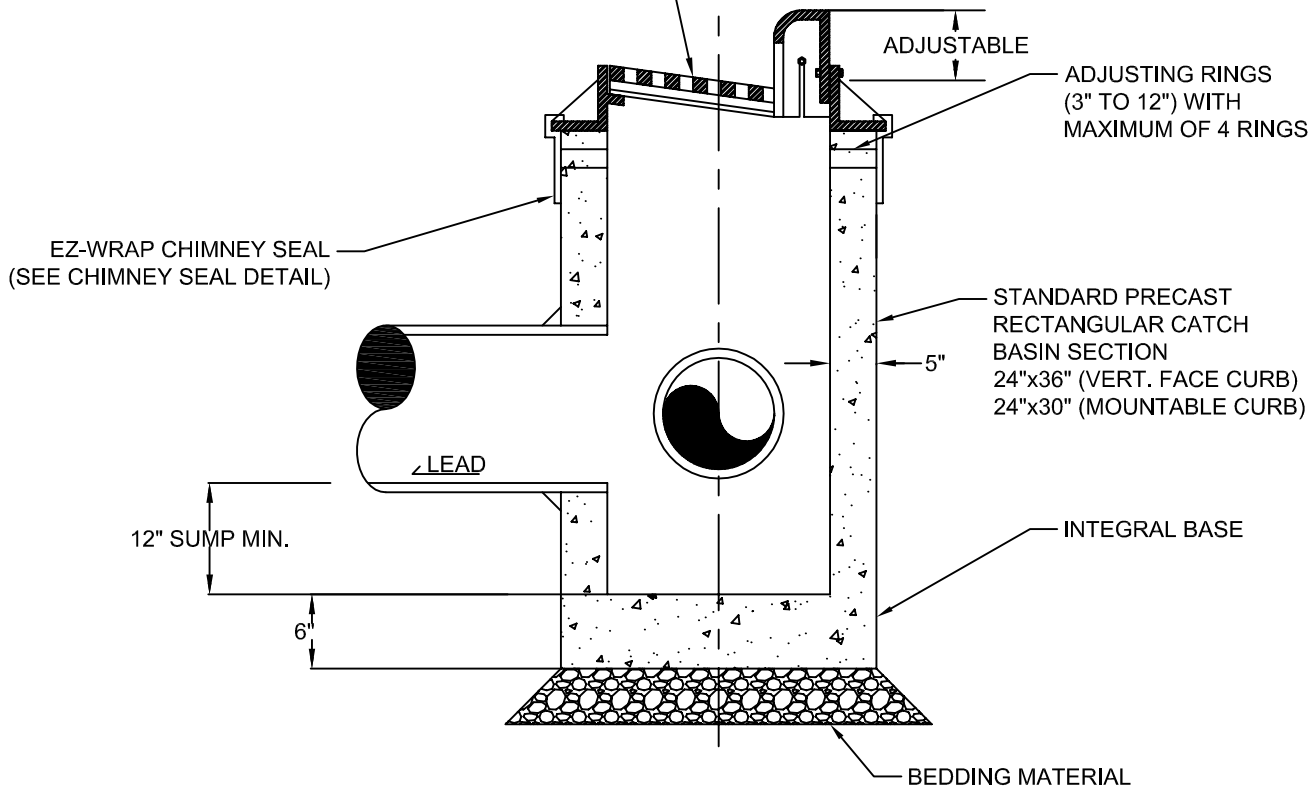
REVISED: 10-30-17

APPROVED BY: MATT FINEOUR





NEENAH R-3067 CURB INLET FRAME, TYPE "L" GRATE OR
NEENAH R-3501-R FRAME AND GRATE , MOUNTABLE CURB



NOTES:

1. NON-SHRINKING MOTAR REQUIRED (TYP)-STORM CONNECTIONS, ADJUSTING RINGS, ECT.
2. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER

SCALE: NTS

PRECAST RECTANGULAR CATCH BASIN

DETAIL: STM - 3

CREATED: 12-14-04

REVISED: 6-23-17

APPROVED BY: MATT FINEOUR



NEENAH R-2560-E1 BEEHIVE
FRAME AND GRATE IN LAWN AREAS

ADJUSTING RINGS
(3" - 12") WITH
MAXIMUM OF 4 RINGS

PRECAST CONCRETE
ECCENTRIC CONE

EZ-WRAP (SEE MANUFACTURE'S
INSTALLATION INSTRUCTIONS)
(TYP)

EZ-WRAP CHIMNEY SEAL
(SEE CHIMNEY SEAL DETAIL)
(TYP)

FLAT TOP SECTION WITH
CIRCULAR OPENING SIZED
TO MATCH SPECIFIED
FRAME AND GRATE

BEEHIVE CATCH BASIN WITH ALTERNATE FLAT TOP

LEAD
MINIMUM 12" SUMP

42" OR 48" I.D.

42" OR 48" I.D.

APPROVED BEDDING MATERIAL

PRECAST MONOLITHIC BASE

NOTE:

1. NON SHRINKING MORTAR REQUIRED (TYP)-STORM CONNECTIONS, ADJUSTING RINGS, ECT.
2. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER

SCALE: NTS



STANDARD BEEHIVE CATCH BASIN

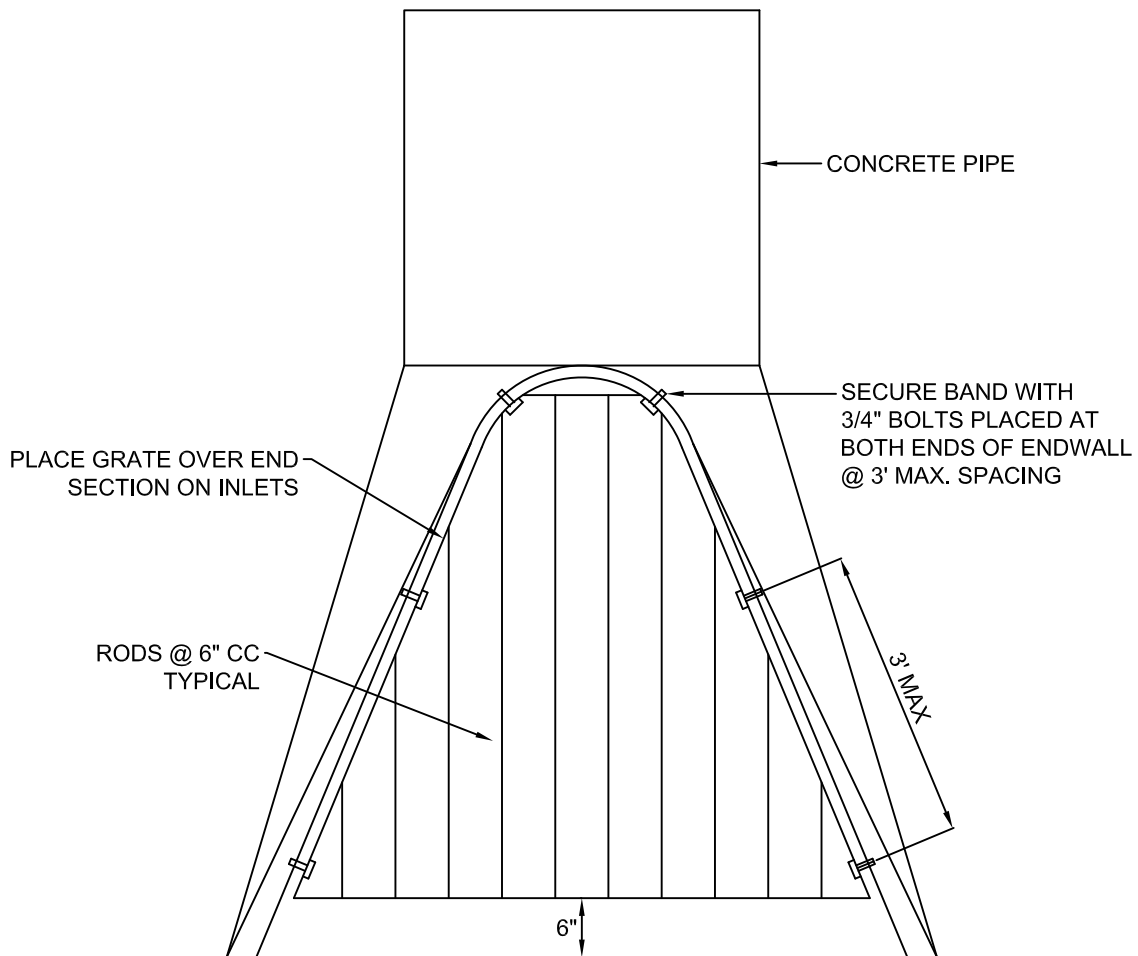
DETAIL: STM - 4

CREATED: 12-15-04

REVISED: 6-23-17

APPROVED BY: MATT FINEOUR





NOTE:

1. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWER.
2. SECURE THE LAST TWO PIPE SECTIONS, INCLUDING END SECTIONS, USING JOINT TIES.

SCALE: NTS



STANDARD ENDWALL GRATE

DETAIL: STM - 5

CREATED: 11-01-13

REVISED: 12-2-15

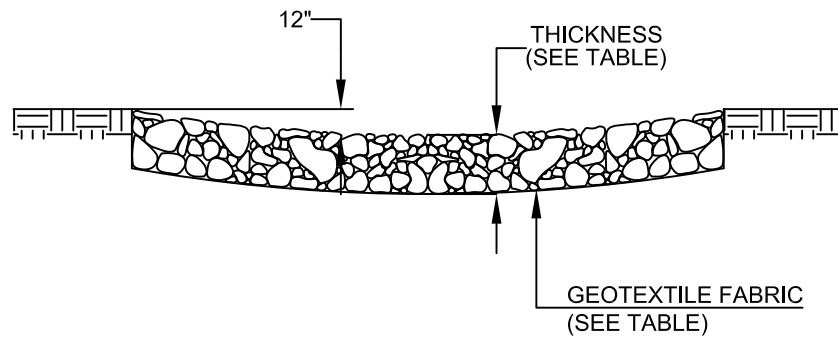
APPROVED BY: MATT FINEOUR



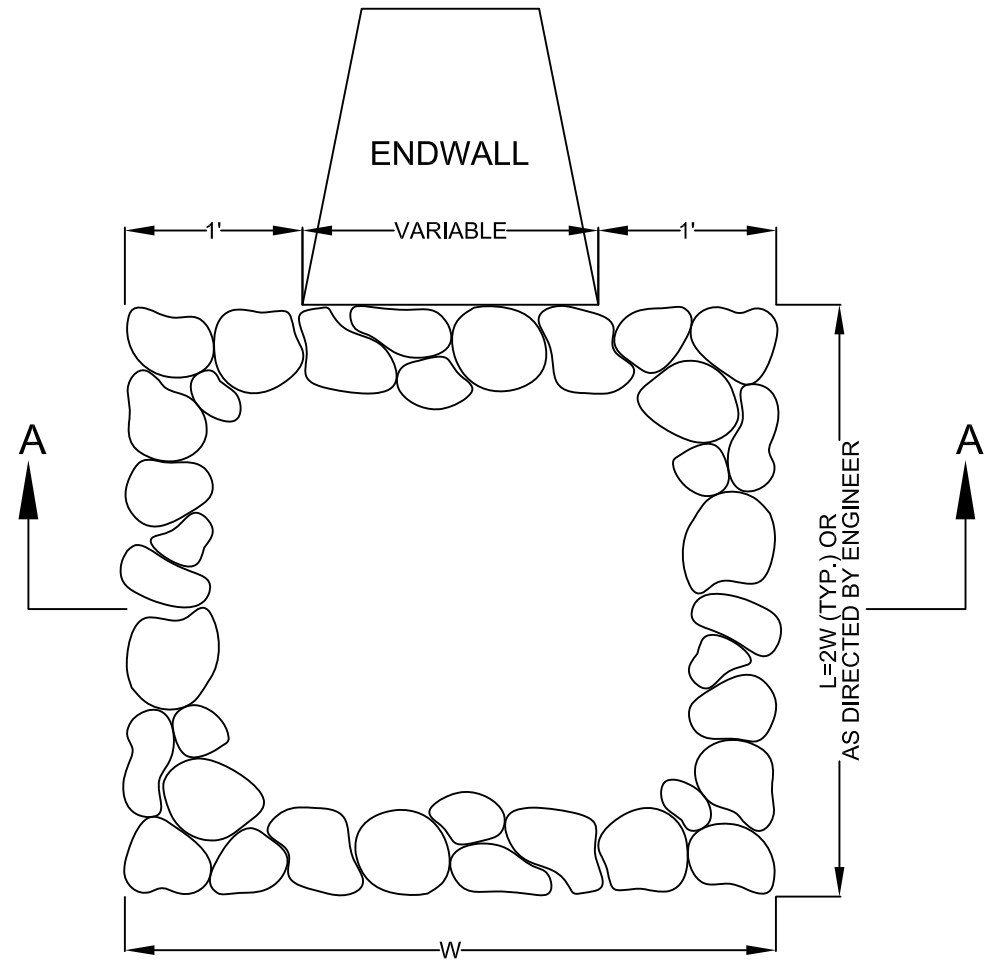
NOTE:

1. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR STORM SEWERS

RIPRAP	RIPRAP THICKNESS	GEOTEXTILE FABRIC TYPE
LIGHT	12"	R
MEDIUM	18"	HR
HEAVY	24"	HR
EXTRA HEAVY	30"	HR



SECTION A-A



SCALE: NTS



RIPRAP TREATMENT AT ENDWALLS

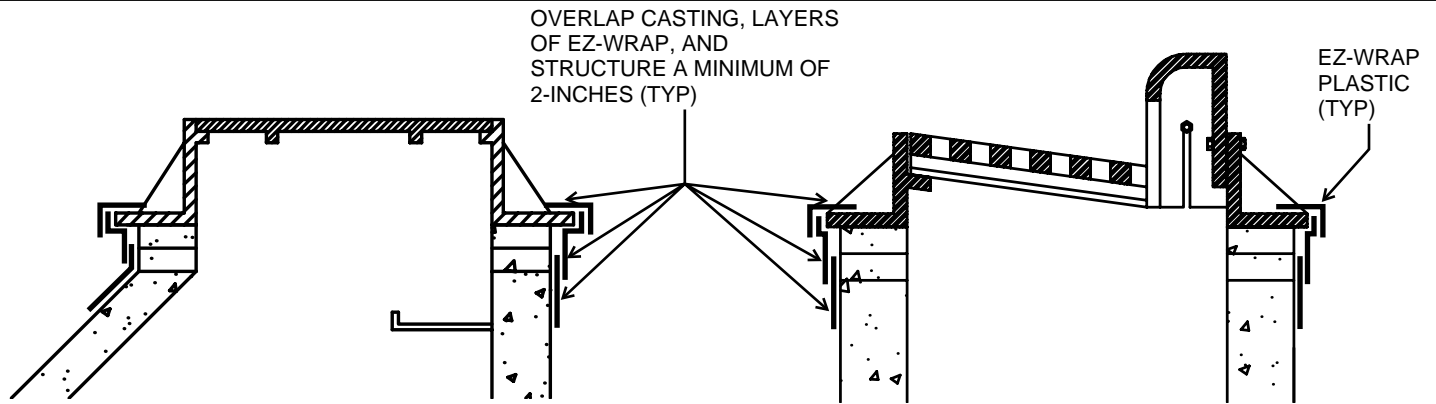
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CREATED: 11-04-13

REVISED: 12-2-15

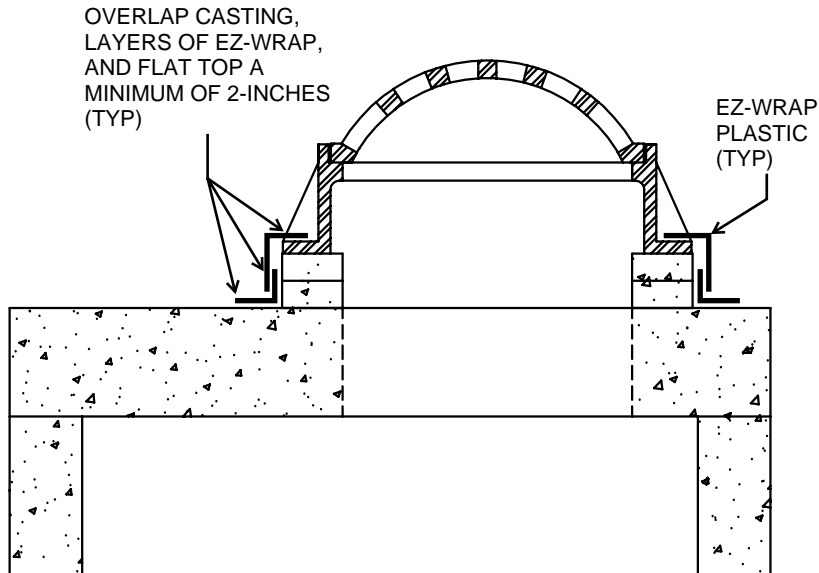
APPROVED BY: MATT FINEOUR



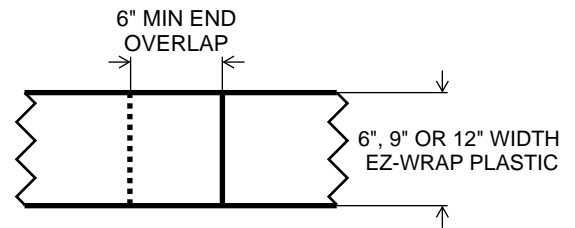


CONE SECTION MANHOLE INSTALLATION

CATCH BASIN INSTALLATION



FLAT TOP MANHOLE/INLET INSTALLATION



EZ-WRAP END OVERLAP DETAIL

INSTALLATION INSTRUCTIONS:

1. CLEAN AND DRY THE EXTERIOR SURFACES OF THE CASTING, ADJUSTING RINGS, AND STRUCTURE TO BE WRAPPED. SURFACES AND MATERIALS SHALL BE ABOVE 32 DEGREES.
2. APPLY MANUFACTURER RECOMMENDED AEROSOL ADHESIVE OR EZ-PRIMER #4 TO ALL SURFACES TO BE WRAPPED. EZ-PRIMER SHALL BE APPLIED USING A CLEAN PAINT BRUSH OR ROLLER.
3. WAIT FOR SOLVENTS TO DISPENSE FROM THE TREATED SURFACE. EZ-PRIMER TREATED SURFACE SHALL BE DRY AND APPEAR SMOOTH AND CLEAN. AEROSOL ADHESIVE SHALL BE TACKY. DEPENDING ON THE TEMPERATURE THIS MAY TAKE 10-30 MINUTES FOR EZ-PRIMER OR 1-3 MINUTES FOR AEROSOL ADHESIVE.
4. CUT EZ-WRAP TO LENGTH. CUT ENDS SHALL OVERLAP A MINIMUM OF 6".
5. BEGINNING AT THE BOTTOM OF THE STRUCTURE CAREFULLY INSTALL THE EZ-WRAP TO THE DRY, TREATED SURFACES, REMOVING THE RELEASE PAPER AS YOU APPLY THE EZ-WRAP. DO NOT STRETCH THE EZ-WRAP. PRESS THE EZ-WRAP DOWN FIRMLY AND EVENLY AS YOU COVER THE SURFACES.
6. INSTALL EZ-PRIMER OR AEROSOL ADHESIVE OVER TOP 2-INCHES OF EZ-WRAP AND CUT END TO BE OVERLAID. ALLOW SURFACE TO DRY AS STATED IN STEP 3.
7. INSTALL NEXT SECTION OF EZ-WRAP. OVERLAP THE EZ-WRAP VERTICALLY A MINIMUM OF 2-INCHES. DO NOT STRETCH THE EZ-WRAP. PRESS THE EZ-WRAP DOWN FIRMLY AND EVENLY AS YOU COVER THE SURFACES.
8. REPEAT STEPS 6 AND 7 UNTIL THE ENTIRE CHIMNEY SECTION IS WRAPPED.



CHIMNEY SEAL DETAIL

DETAIL: CS - 1

CREATED: 7-11-17

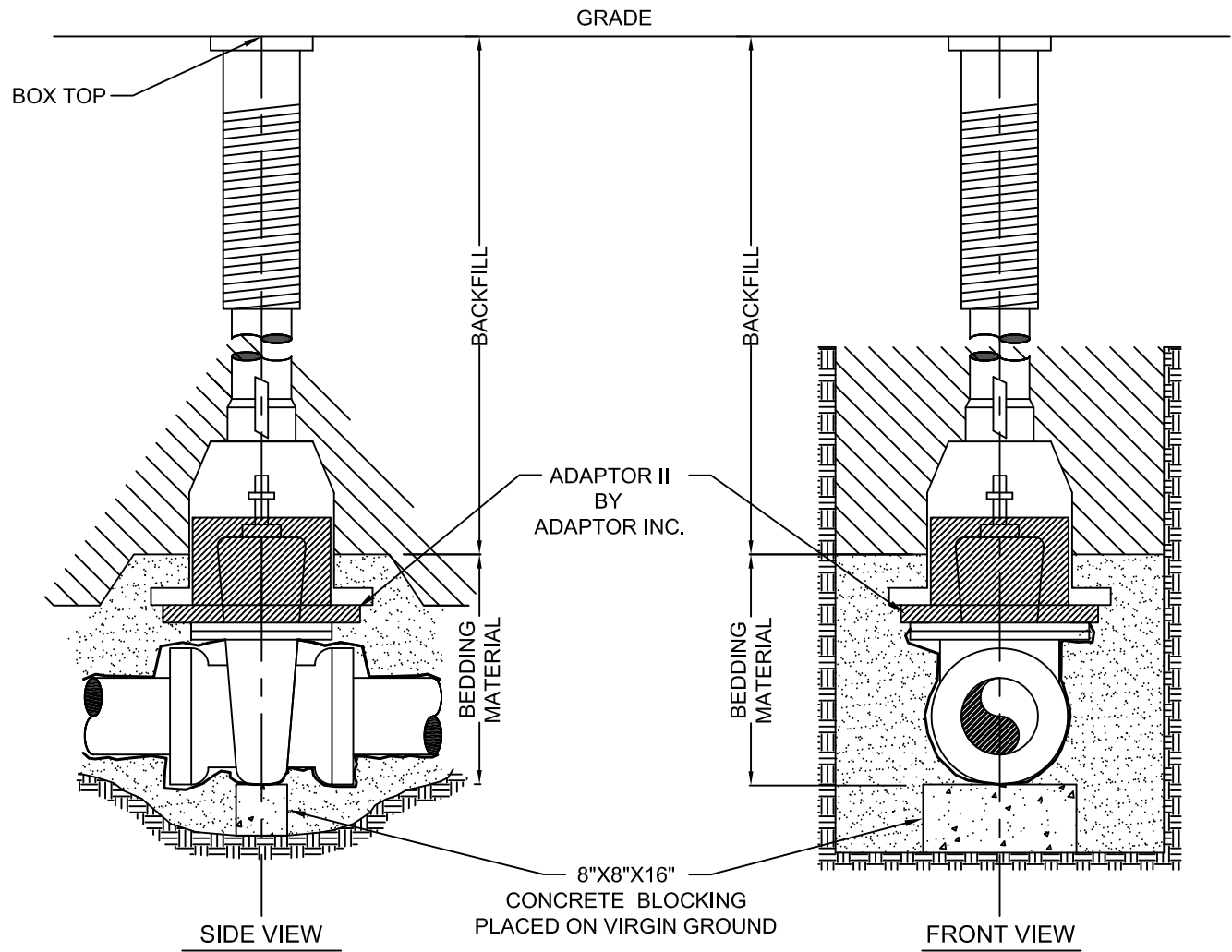
REVISED:

APPROVED BY: MATT FINEOUR

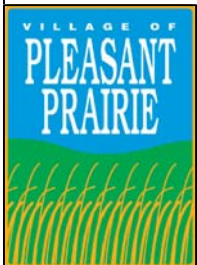


NOTE:

1. VALVE SHALL BE WRAPPED IN BLACK POLYETHYLENE.
2. REFER TO VILLAGE STANDARD SPECIFICATION FOR WATER MAIN



SCALE: NTS



STANDARD GATE VALVE BOX SETTING

DETAIL: W - 3

CREATED: 12-14-04

REVISED: 11-16-15

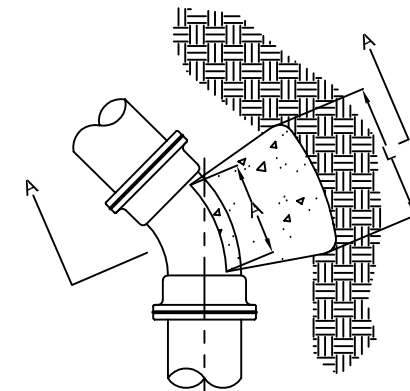
APPROVED BY: MATT FINEOUR



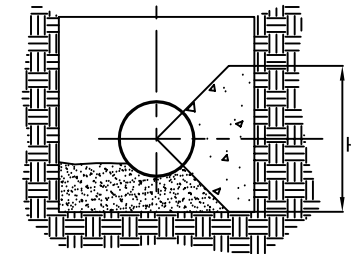
SCALE: NTS

NOTES:

1. $L_{(WATER)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR STANDARD WATER MAINS AND WATER SERVICES.
2. $L_{(FIRE)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 200 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR FIRE LINES AND COMBINATION FIRE / WATER SERVICES.
3. DIMENSION (A) SHOULD BE AS LARGE AS POSSIBLE WITHOUT INTERFERING WITH MECHANICAL JOINT BOLTS.
4. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH AND SURFACE AREA (H x L) MATCHES THAT LISTED IN THE TABLE.
5. IF IN-SITU SOILS HAVE AN EARTH RESISTANCE OF LESS THAN 2 TONS PER SQ. FT. THE BUTTRESS AREA SHALL BE INCREASED PROPORTIONALLY.
6. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
7. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.



PLAN



SECTION A-A

BUTTRESS DIMENSIONS

PIPE	11 $\frac{1}{4}$ DEG. BEND			22 $\frac{1}{2}$ DEG. BEND			45 DEG. BEND			90 DEG. BEND		
SIZE	H	L (WATER)	L (FIRE)	H	L (WATER)	L (FIRE)	H	L (WATER)	L (FIRE)	H	L (WATER)	L (FIRE)
4"	0'-8"	0'-5"	0'-5"	1'-1"	0'-6"	0'-6"	1'-3"	0'-10"	0'-10"	1'-4"	1'-6"	1'-6"
6"	1'-2"	0'-6"	0'-6"	1'-6"	0'-9"	0'-9"	1'-8"	1'-4"	1'-4"	1'-10"	2'-2"	2'-2"
8"	1'-3"	0'-9"	0'-9"	2'-0"	1'-0"	1'-0"	2'-0"	1'-11"	1'-11"	2'-4"	3'-0"	3'-0"
10"	1'-3"	0'-10"	1'-2"	2'-0"	1'-1"	1'-5"	2'-0"	2'-1"	2'-9"	2'-4"	3'-4"	4'-5"
12"	1'-4"	1'-2"	1'-6"	2'-6"	1'-2"	1'-7"	2'-6"	2'-4"	3'-2"	2'-8"	4'-1"	5'-5"
14"	1'-6"	1'-4"	1'-10"	3'-0"	1'-4"	1'-10"	3'-0"	2'-8"	3'-6"	3'-0"	4'-11"	6'-6"
16"	2'-0"	1'-4"	1'-9"	3'-0"	1'-9"	2'-4"	3'-0"	3'-5"	4'-7"	3'-0"	6'-4"	8'-5"
18"	2'-6"	1'-4"	1'-9"	3'-6"	1'-10"	2'-6"	3'-6"	3'-8"	4'-11"	3'-6"	6'-9"	9'-1"
20"	2'-9"	1'-6"	2'-0"	3'-9"	2'-2"	2'-10"	3'-9"	4'-2"	5'-7"	3'-9"	7'-9"	10'-4"
24"	3'-0"	1'-11"	2'-7"	4'-3"	2'-8"	3'-7"	4'-3"	5'-4"	7'-1"	4'-4"	9'-7"	12'-10"

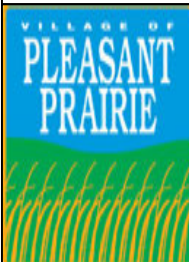
BUTTRESS FOR BENDS

DETAIL: W - 5

CREATED: 2-4-14

REVISED: 8-4-16

APPROVED BY: MATT FINEOUR

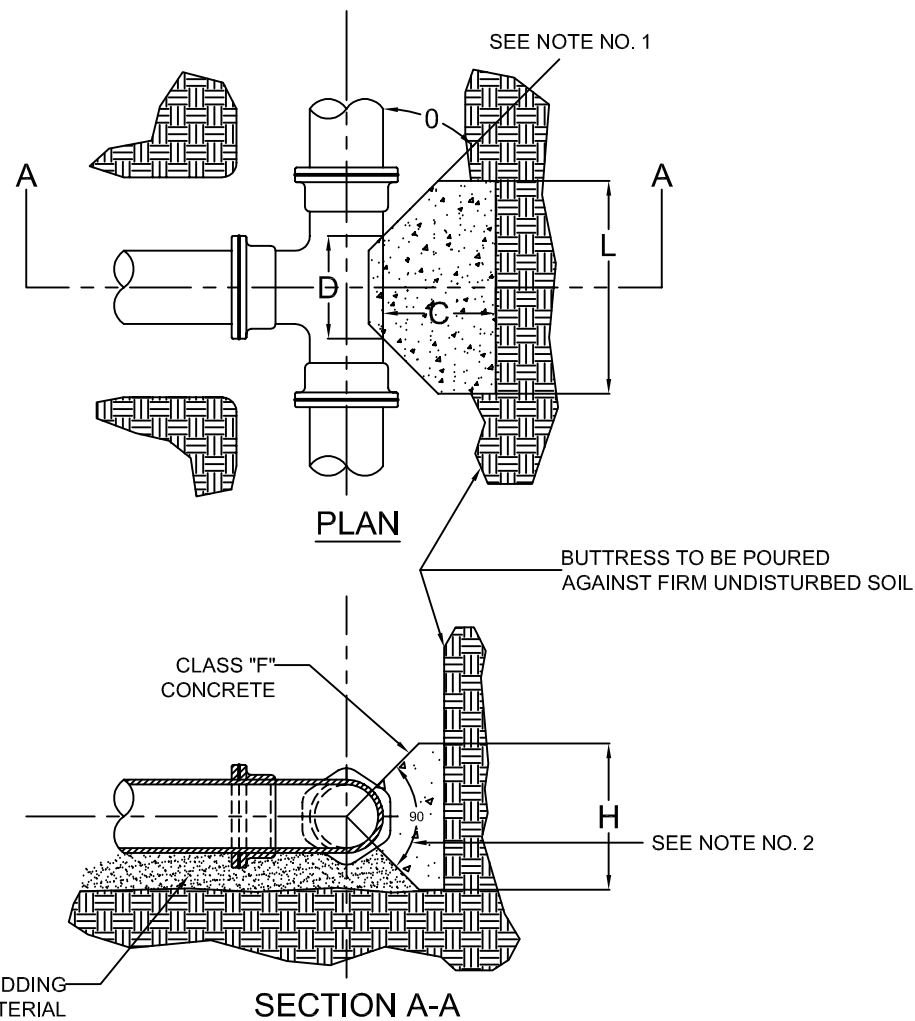


NOTES:

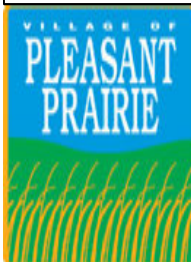
1. $L_{(WATER)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR STANDARD WATER MAINS AND WATER SERVICES.
2. $L_{(FIRE)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 200 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR FIRE LINES AND COMBINATION FIRE / WATER SERVICES..
3. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH AND SURFACE AREA (H x L) MATCHES THAT LISTED IN THE TABLE. CONCRETE SHALL BEAR ON FITTINGS AS SHOWN.
4. DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE "O" EQUAL TO OR LARGER THAN 45 DEG.
5. DIMENSION "D" EQUALS APPROX. I.D. OF PIPE LESS 2". AN EFFORT SHOULD BE MADE TO PREVENT CONCRETE FROM COVERING THE MECHANICAL JOINT BOLTS.
6. WHERE BUTTRESSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED IF APPROVED BY THE VILLAGE.
7. IF IN-SITU SOILS HAVE AN EARTH RESISTANCE OF LESS THAN 2 TONS PER SQ. FT. THE BUTTRESS AREA SHALL BE INCREASED PROPORTIONALLY.
8. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
9. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.

BUTTRESS DIMENSIONS

PIPE	TEE		
SIZE	H	$L_{(WATER)}$	$L_{(FIRE)}$
4"	1'-6"	1'-0"	1'-0"
6"	1'-8"	1'-9"	1'-9"
8"	2'-4"	2'-0"	2'-1"
10"	2'-4"	2'-4"	3'-1"
12"	2'-7"	3'-0"	4'-0"
14"	2'-10"	3'-8"	4'-10"
16"	2'-10"	4'-9"	6'-4"
18"	3'-6"	4'-10"	6'-5"
20"	3'-10"	5'-5"	7'-2"
24"	4'-8"	6'-2"	8'-3"



SCALE: NTS



BUTTRESS FOR TEES

DETAIL: W - 5A

CREATED: 2-5-14

REVISED: 8-4-16

APPROVED BY: MATT FINEOUR

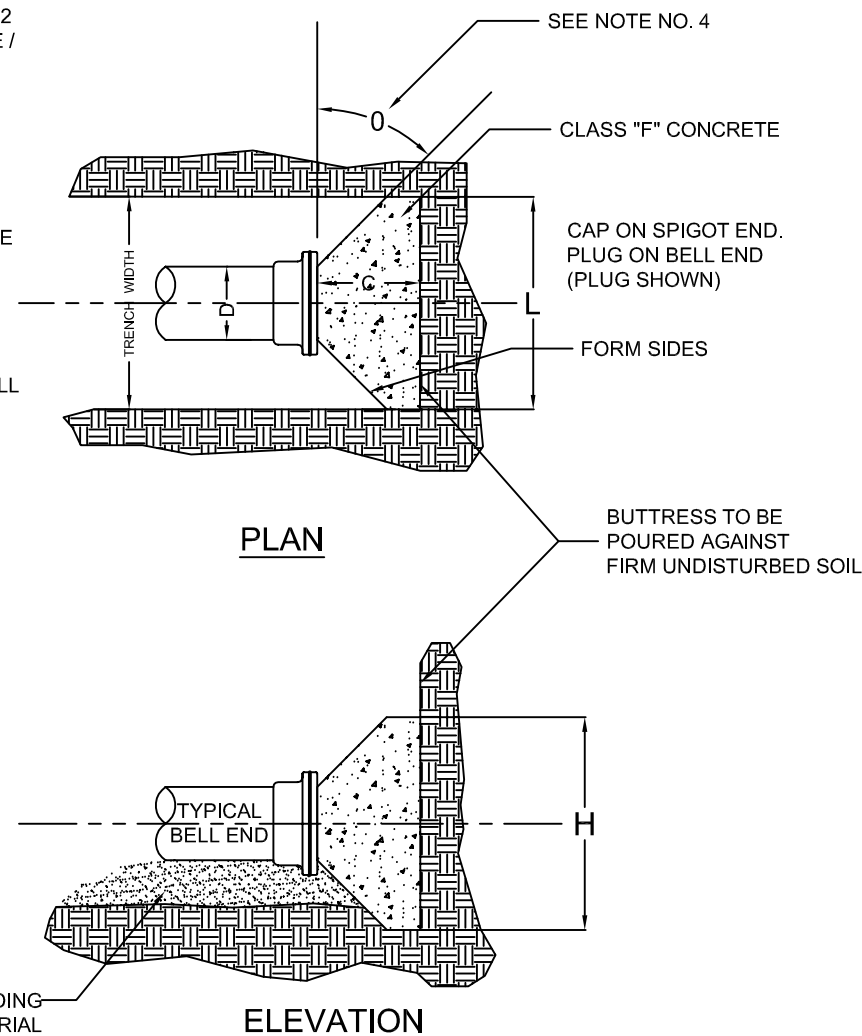


NOTES:

1. $L_{(WATER)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR STANDARD WATER MAINS AND WATER SERVICES.
2. $L_{(FIRE)}$ DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 200 PSI, AN EARTH RESISTANCE OF 2 TONS PER SQ. FT., A FACTOR OF SAFETY OF 1.5 AND IS TO BE USED FOR FIRE LINES AND COMBINATION FIRE / WATER SERVICES..
3. SHAPE OF BACK OF BUTTRESS MAY VARY AS LONG AS POUR IS AGAINST FIRM UNDISTURBED EARTH AND SURFACE AREA (H x L) MATCHES THAT LISTED IN THE TABLE.
4. DIMENSION "C" SHOULD BE LARGE ENOUGH TO MAKE ANGLE "0" EQUAL TO OR LARGER THAN 45 DEG.
5. DIMENSION "D" EQUALS APPROX. I.D. OF PIPE LESS 2". AN EFFORT SHOULD BE MADE TO PREVENT CONCRETE FROM COVERING THE MECHANICAL JOINT BOLTS.
6. WHERE BUTTRESSES ARE NOT POSSIBLE BECAUSE OF POOR SOIL CONDITIONS OR LACK OF ROOM, STRAPPING SHALL BE PERMITTED IF APPROVED BY THE VILLAGE.
7. IF IN-SITU SOILS HAVE AN EARTH RESISTANCE OF LESS THAN 2 TONS PER SQ. FT. THE BUTTRESS AREA SHALL BE INCREASED PROPORTIONALLY.
8. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE.
9. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN.

BUTTRESS DIMENSIONS

PIPE SIZE	DEAD ENDS		
	H	$L_{(WATER)}$	$L_{(FIRE)}$
4"	1'-6"	1'-0"	1'-0"
6"	1'-8"	1'-9"	1'-9"
8"	2'-4"	2'-0"	2'-1"
10"	2'-4"	2'-4"	3'-1"
12"	2'-7"	3'-0"	4'-0"
14"	2'-10"	3'-8"	4'-10"
16"	2'-10"	4'-9"	6'-4"
18"	3'-6"	4'-10"	6'-5"
20"	3'-10"	5'-5"	7'-2"
24"	4'-8"	6'-2"	8'-3"



SCALE: NTS



BUTTRESS FOR DEAD ENDS

DETAIL: W - 5B

CREATED: 2-5-14

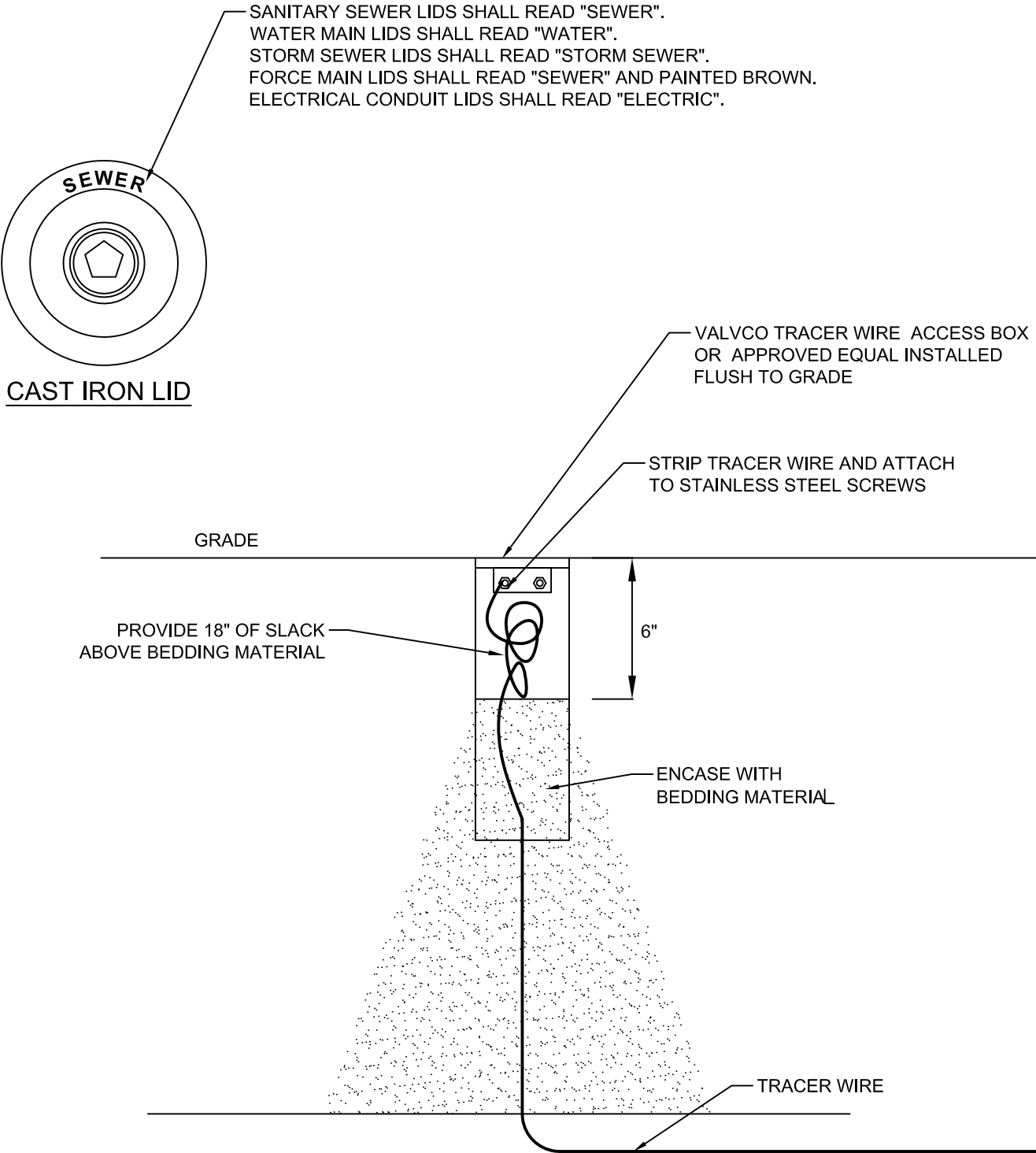
REVISED: 8-4-16

APPROVED BY: MATT FINEOUR

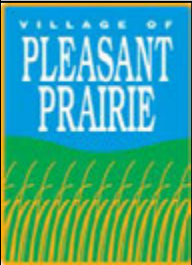


NOTES:

- 1. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR TRACER WIRE.



SCALE: NTS



TRACER WIRE ACCESS BOX

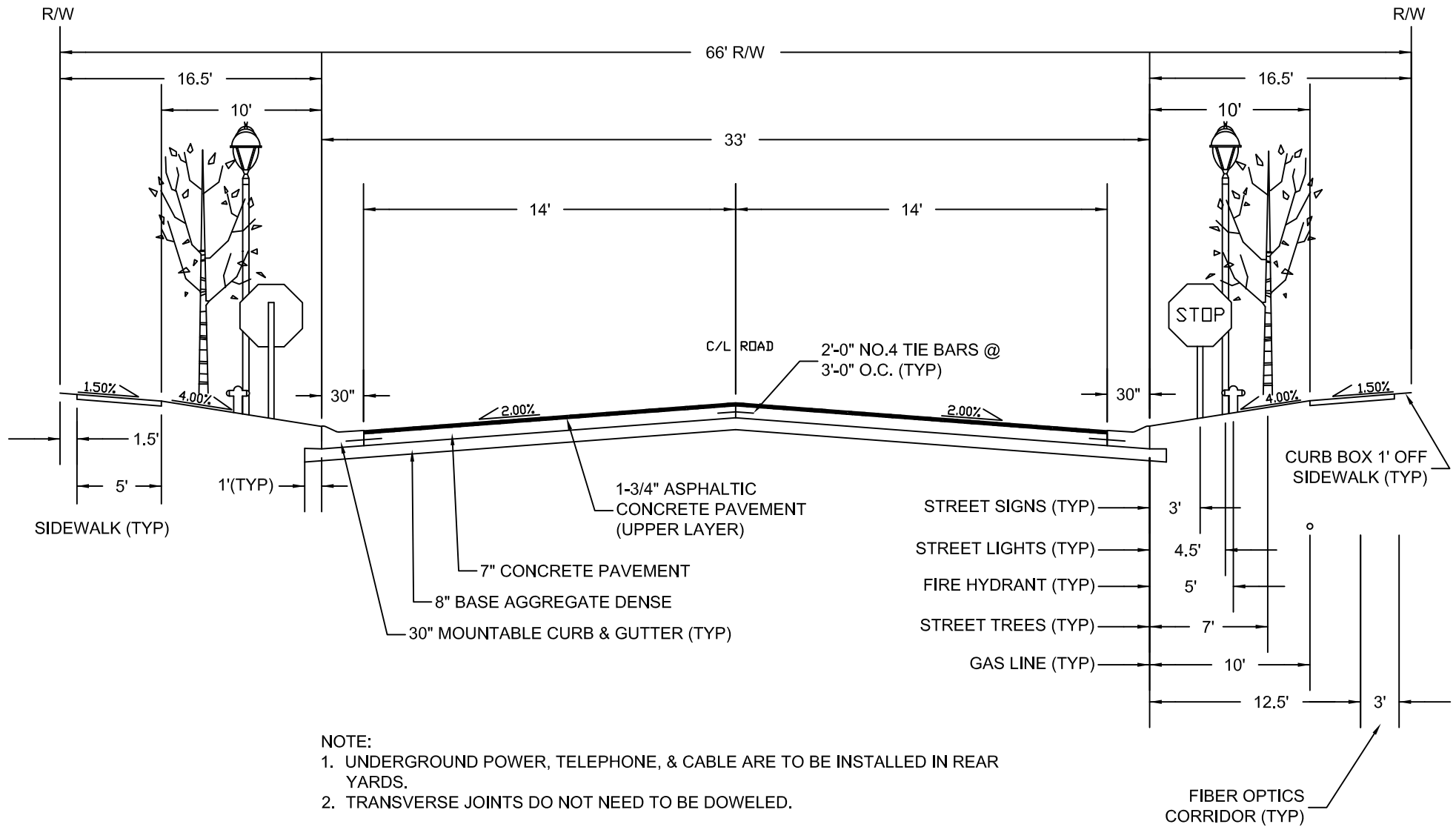
DETAIL: TW - 1

CREATED: 11-06-13

REVISED: 12-3-15

APPROVED BY: MATT FINEOUR





SCALE: NTS

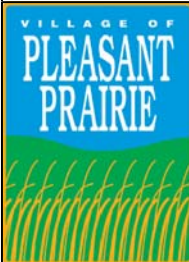
STANDARD RESIDENTIAL MINOR STREET SECTION

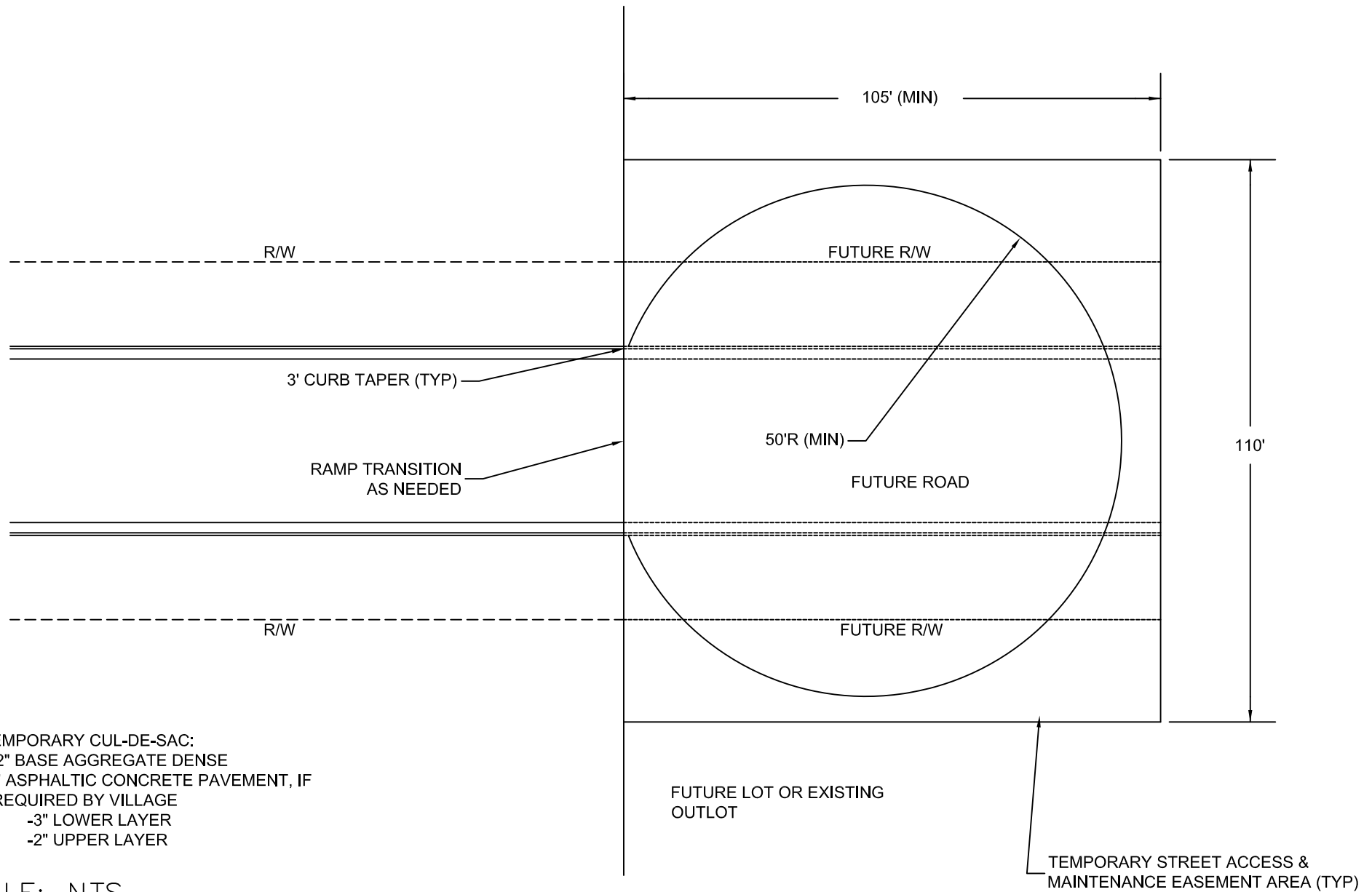
DETAIL: RD - 1

CREATED: 11-21-12

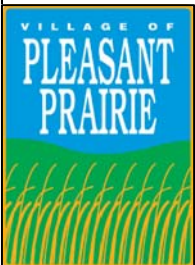
REVISED: 12-2-15

APPROVED BY: MATT FINEOUR





SCALE: NTS



TEMPORARY CUL-DE-SAC TURNAROUND

DETAIL: RD - 6

CREATED: 2-21-14

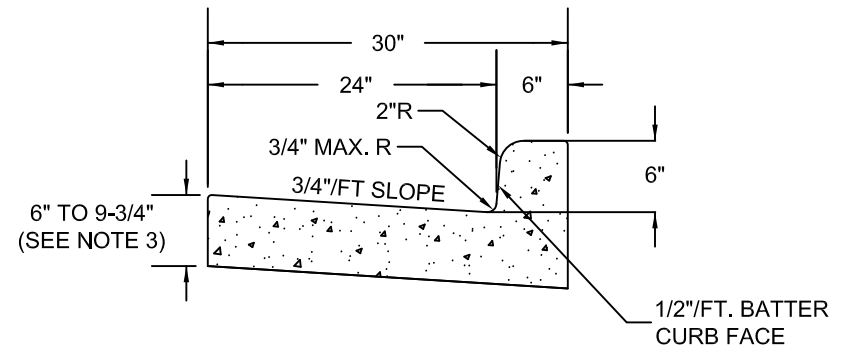
REVISED: 12-1-15

APPROVED BY: MATT FINEOUR

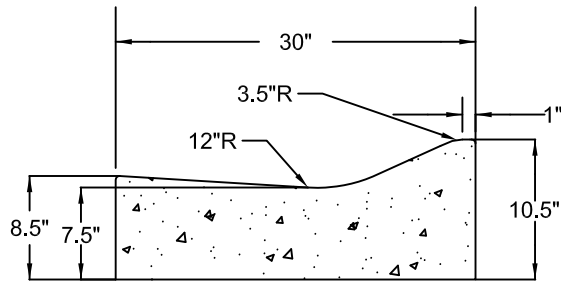


NOTE:

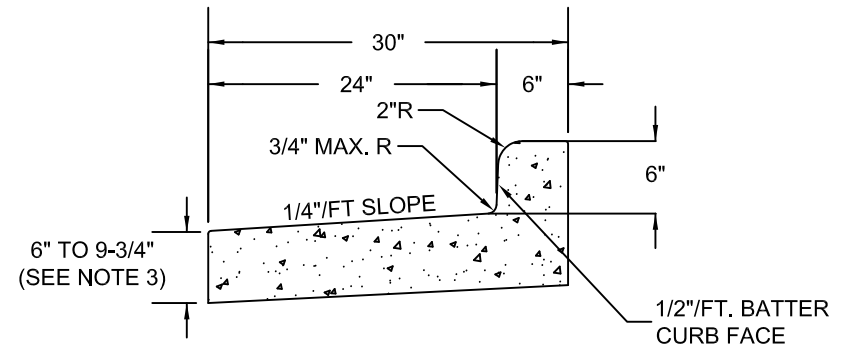
1. DAMAGED CURB / GUTTER SECTIONS SHALL BE REMOVED TO THE NEAREST JOINT.
2. CURB AND GUTTER CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
3. WHERE ADJACENT PAVEMENT SECTION CONTAINS CONCRETE THE GUTTER THICKNESS SHALL EXTEND TO THE BOTTOM OF THE ADJACENT CONCRETE PAVEMENT.



30" VERTICAL FACE CURB AND GUTTER

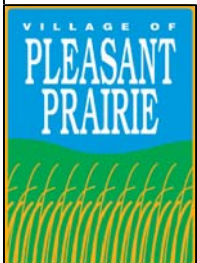


30" MOUNTABLE CURB AND GUTTER



30" VERTICAL FACE CURB AND GUTTER
(REVERSE SLOPE GUTTER)

SCALE: NTS



STANDARD CURB & GUTTER DETAILS

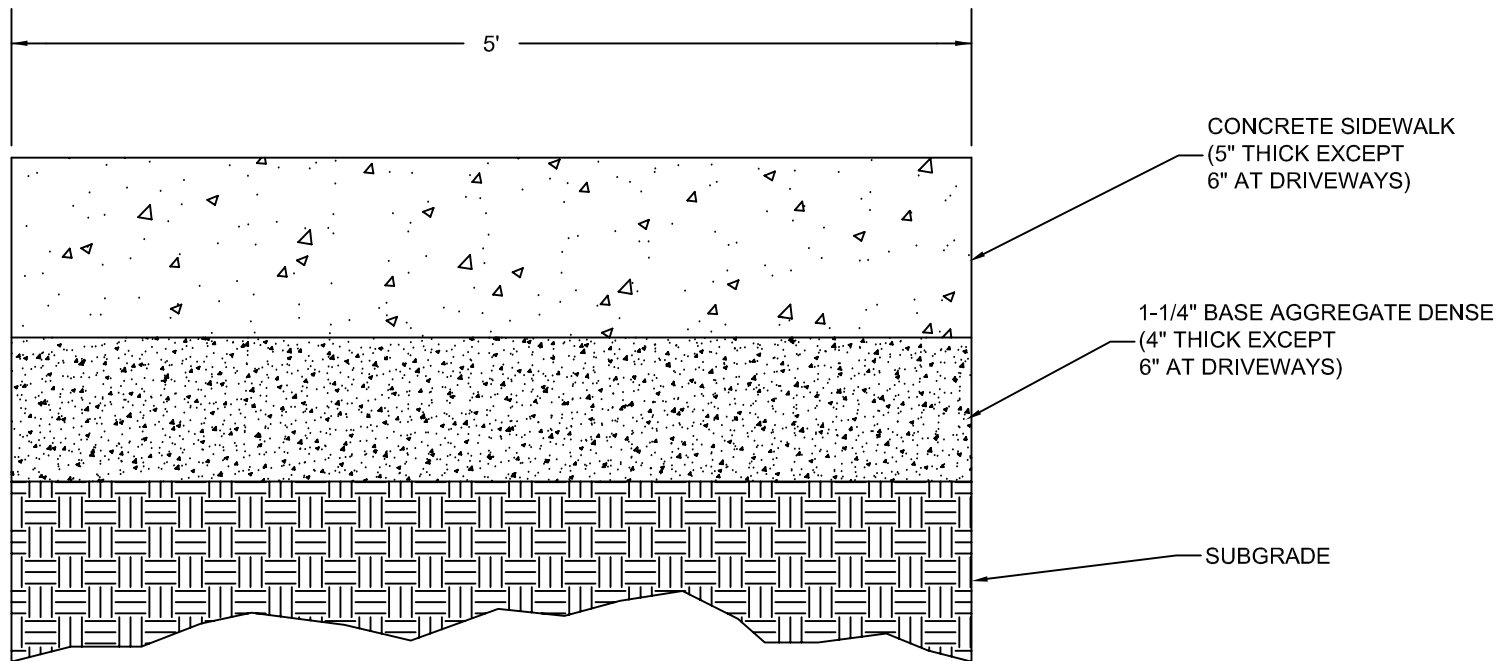
DETAIL: RD - 9

CREATED: 2-7-14

REVISED: 12-1-15

APPROVED BY: MATT FINEOUR





SCALE: NTS



STANDARD CONCRETE SIDEWALK DETAIL

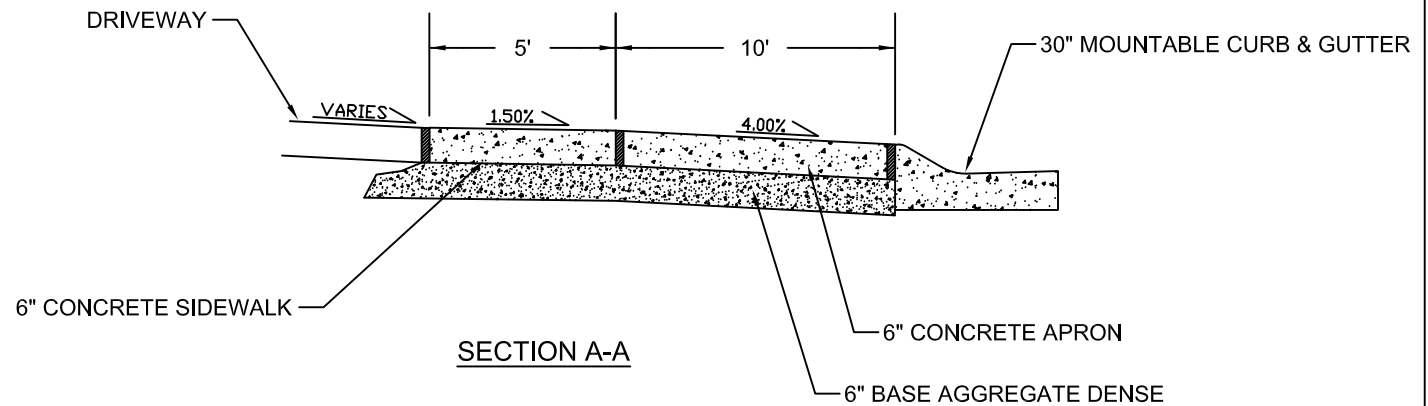
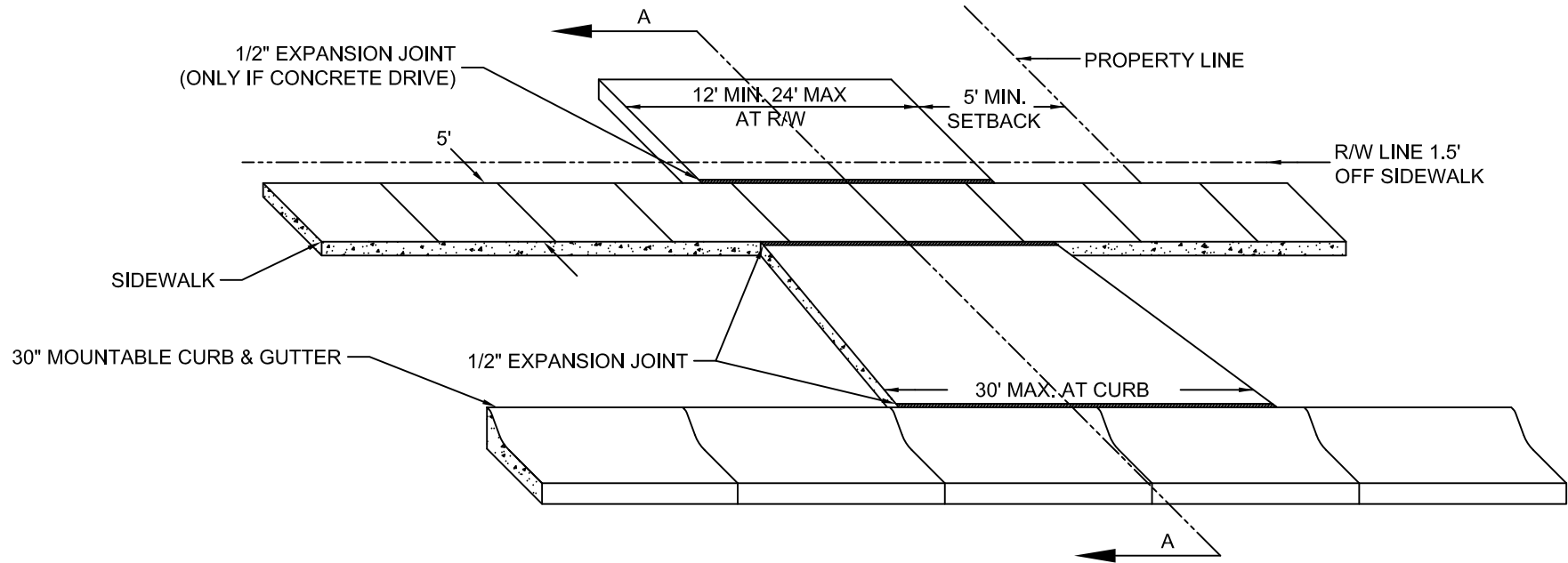
DETAIL: RD - 10

CREATED: 2-11-14

REVISED: 12-1-15

APPROVED BY: MATT FINEOUR





NOTE:

1. ALL CONCRETE SIDEWALK SHALL BE 5" THICK EXCEPT FOR AT DRIVEWAYS WHERE IT SHALL BE 6" THICK.
2. ALL SIDEWALK BASE SHALL BE 4" THICK EXCEPT FOR AT DRIVEWAYS WHERE IT SHALL BE 6" THICK.
3. SIDEWALK JOINT SPACING SHALL MATCH ADJACENT SIDEWALK.

SCALE: NTS

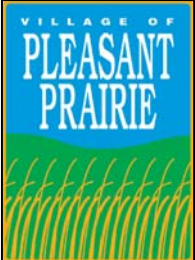
STANDARD CONCRETE DRIVE APPROACH (MOUNTABLE CURB)

DETAIL: RD - 12

CREATED: 2-12-14

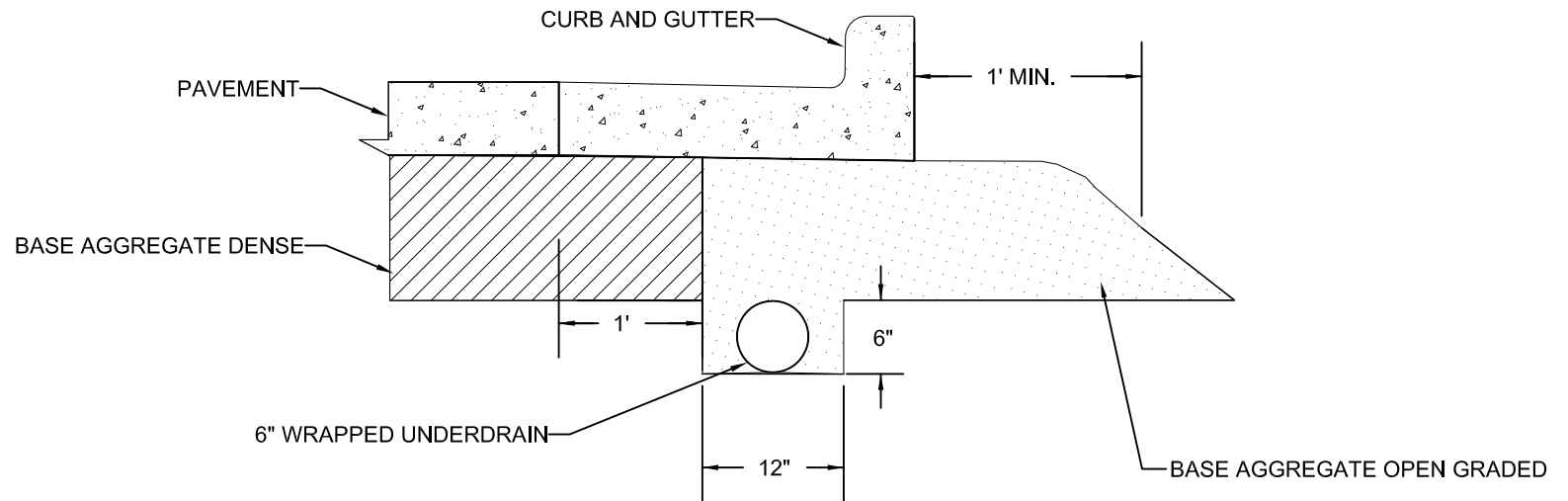
REVISED: 12-1-15

APPROVED BY: MATT FINEOUR

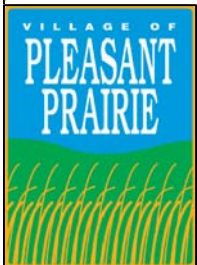


NOTE:

1. PIPE UNDERDRAIN SHALL BE LAID PARALLEL TO THE GRADE OF THE ROADWAY.



SCALE: NTS



EDGEDRAIN IN URBAN ROADWAY

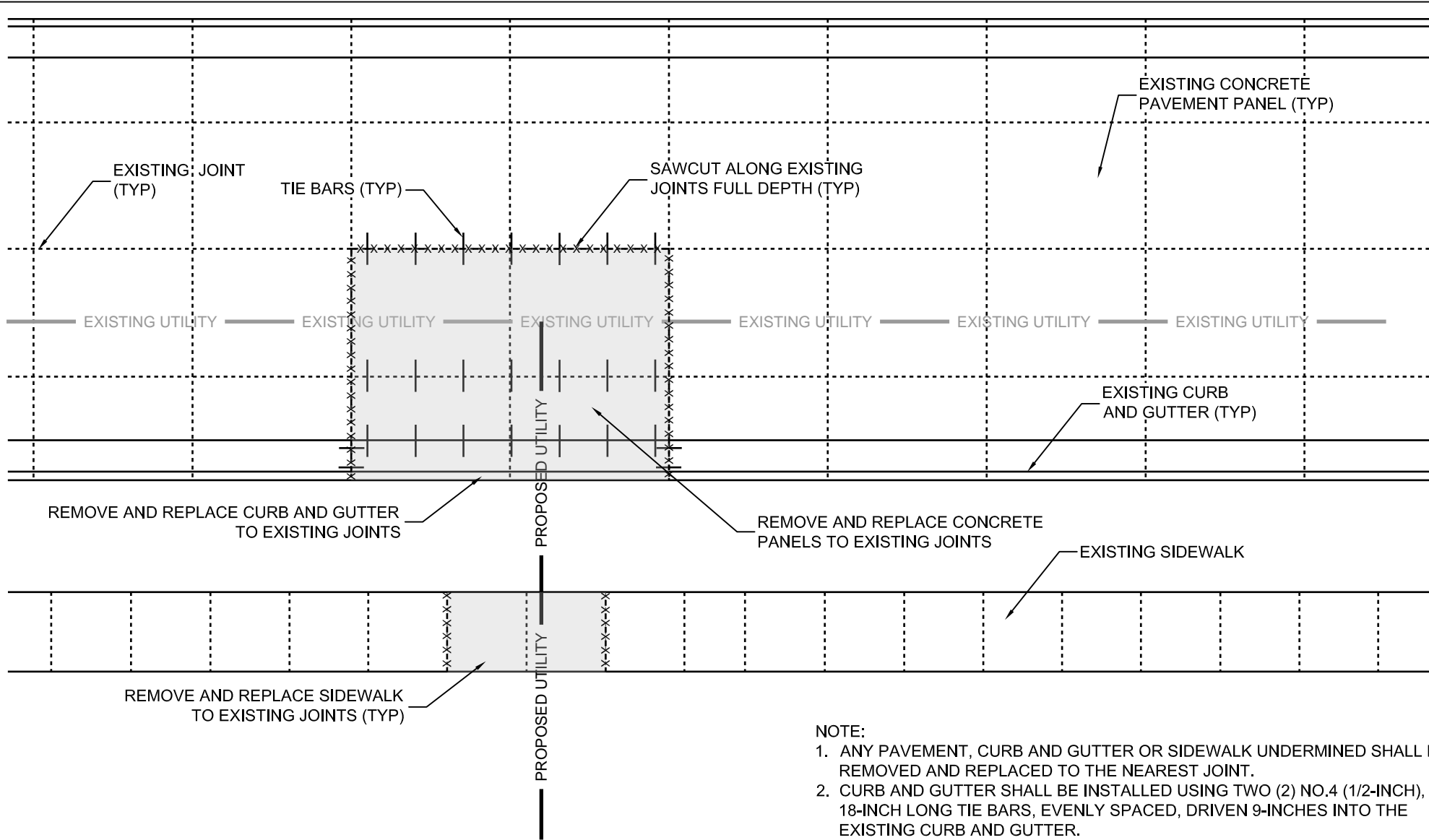
DETAIL: RD - 14

CREATED: 2-7-14

REVISED: 12-2-15

APPROVED BY: MATT FINEOUR





NOTE:

1. ANY PAVEMENT, CURB AND GUTTER OR SIDEWALK UNDERMINED SHALL BE REMOVED AND REPLACED TO THE NEAREST JOINT.
2. CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
3. TIE BARS SHALL BE INSTALLED ALONG EXISTING AND NEW LONGITUDINAL JOINTS. USE NO.4 (1/2-INCH), 24-INCH LONG TIE BARS AT 36-INCH ON CENTER SPACING, DRIVEN 12-INCHES INTO THE EXISTING CURB AND GUTTER.
4. REFER TO VILLAGE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SCALE: NTS

UTILITY PATCH DETAIL (COMPOSITE AND CONCRETE ROADWAYS)

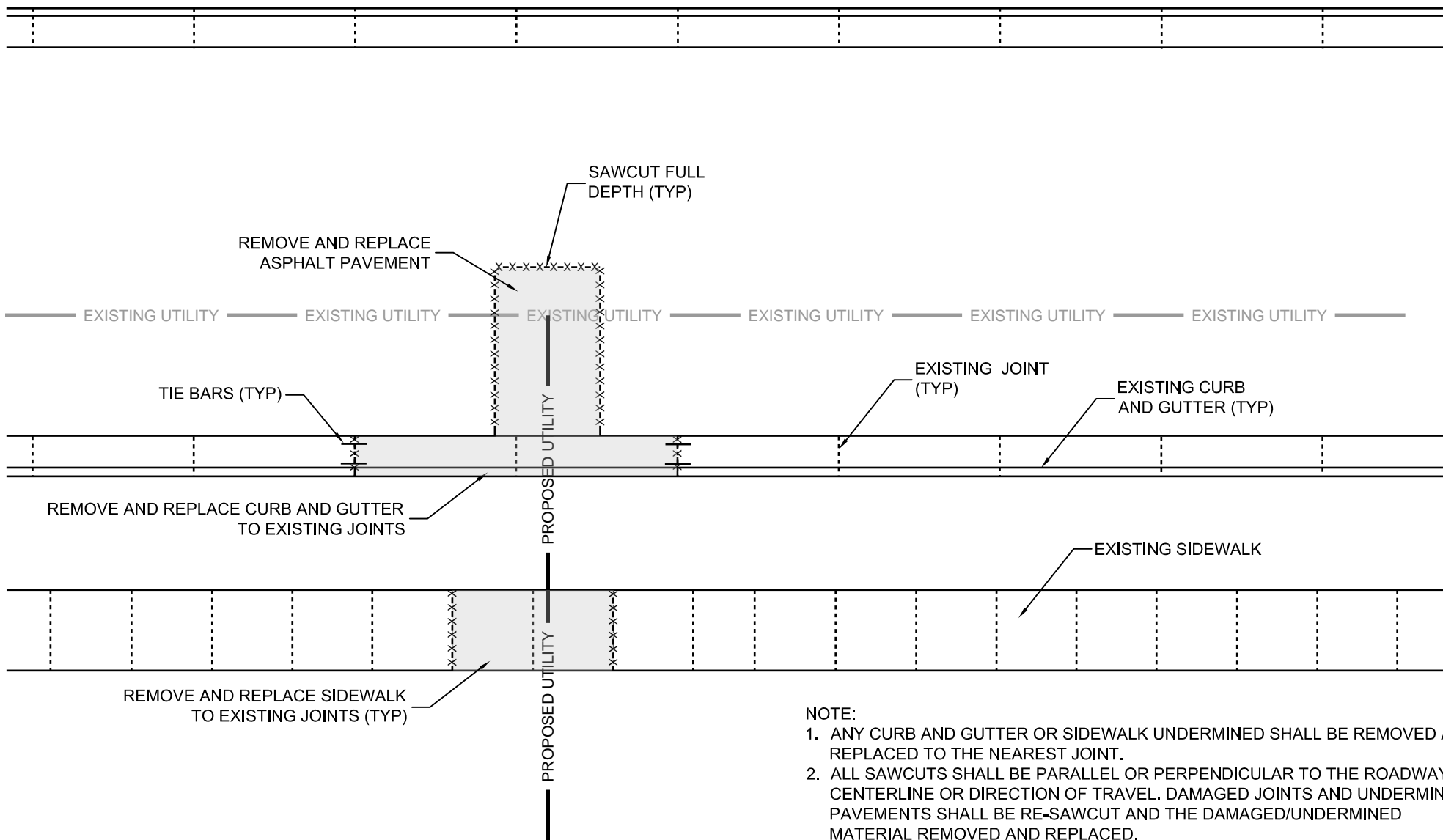
DETAIL: RD - 15

CREATED: 2-10-16

REVISED: 2-10-16

APPROVED BY: MATT FINEOUR





- NOTE:
1. ANY CURB AND GUTTER OR SIDEWALK UNDERMINED SHALL BE REMOVED AND REPLACED TO THE NEAREST JOINT.
 2. ALL SAWCUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE ROADWAY CENTERLINE OR DIRECTION OF TRAVEL. DAMAGED JOINTS AND UNDERMINED PAVEMENTS SHALL BE RE-SAWCUT AND THE DAMAGED/UNDERMINED MATERIAL REMOVED AND REPLACED.
 3. CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
 4. REFER TO VILLAGE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

SCALE: NTS



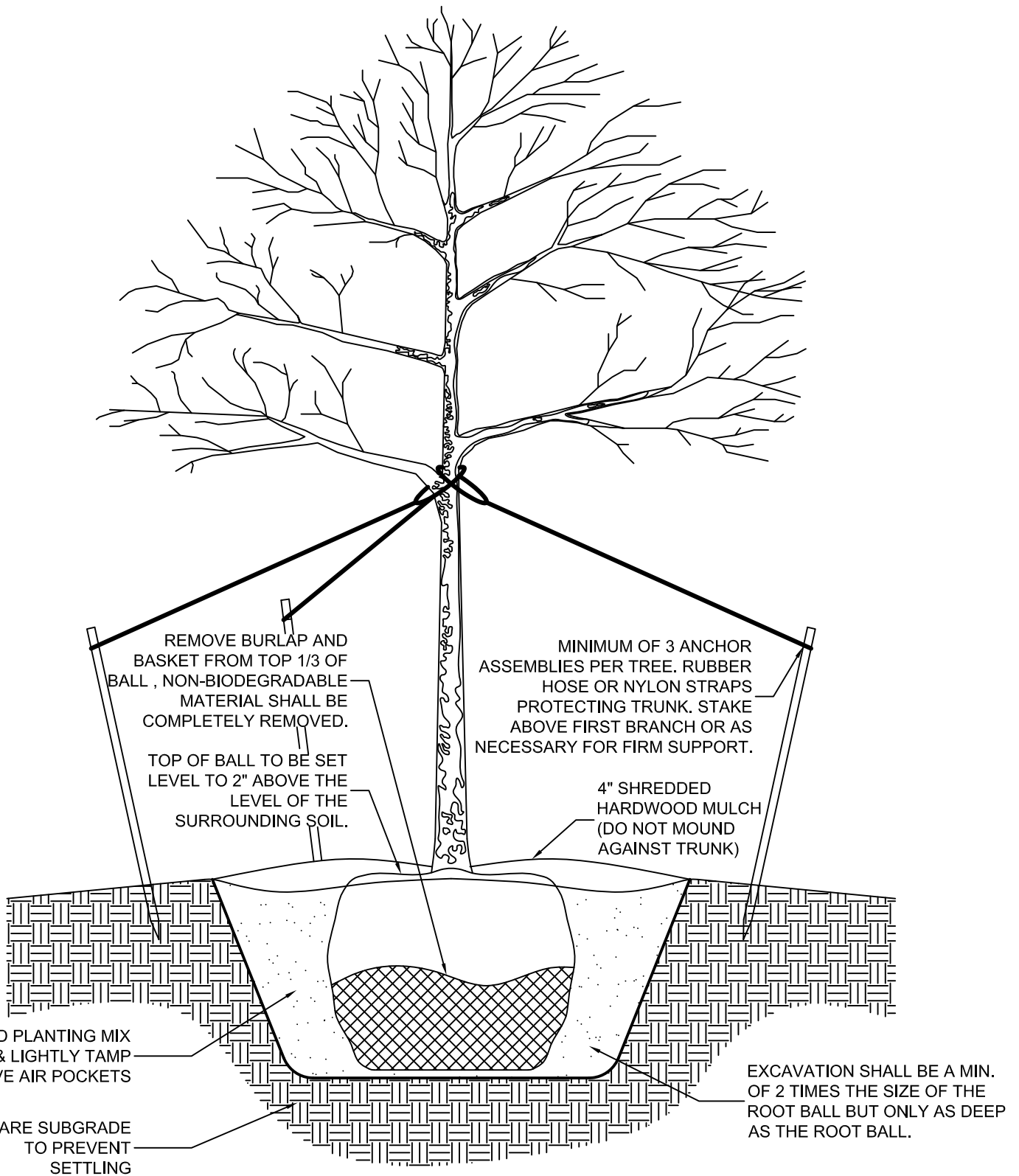
UTILITY PATCH DETAIL (ASPHALT ROADWAYS)

DETAIL: RD - 16

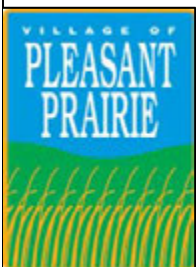
CREATED: 2-10-16
 REVISED: 2-10-16

APPROVED BY: MATT FINEOUR





SCALE: NTS



STREET TREE PLANTING DETAIL

DETAIL: L - 1

CREATED: 11-6-13

REVISED: 11-11-15

APPROVED BY: MATT FINEOUR



Village Staff Memorandum

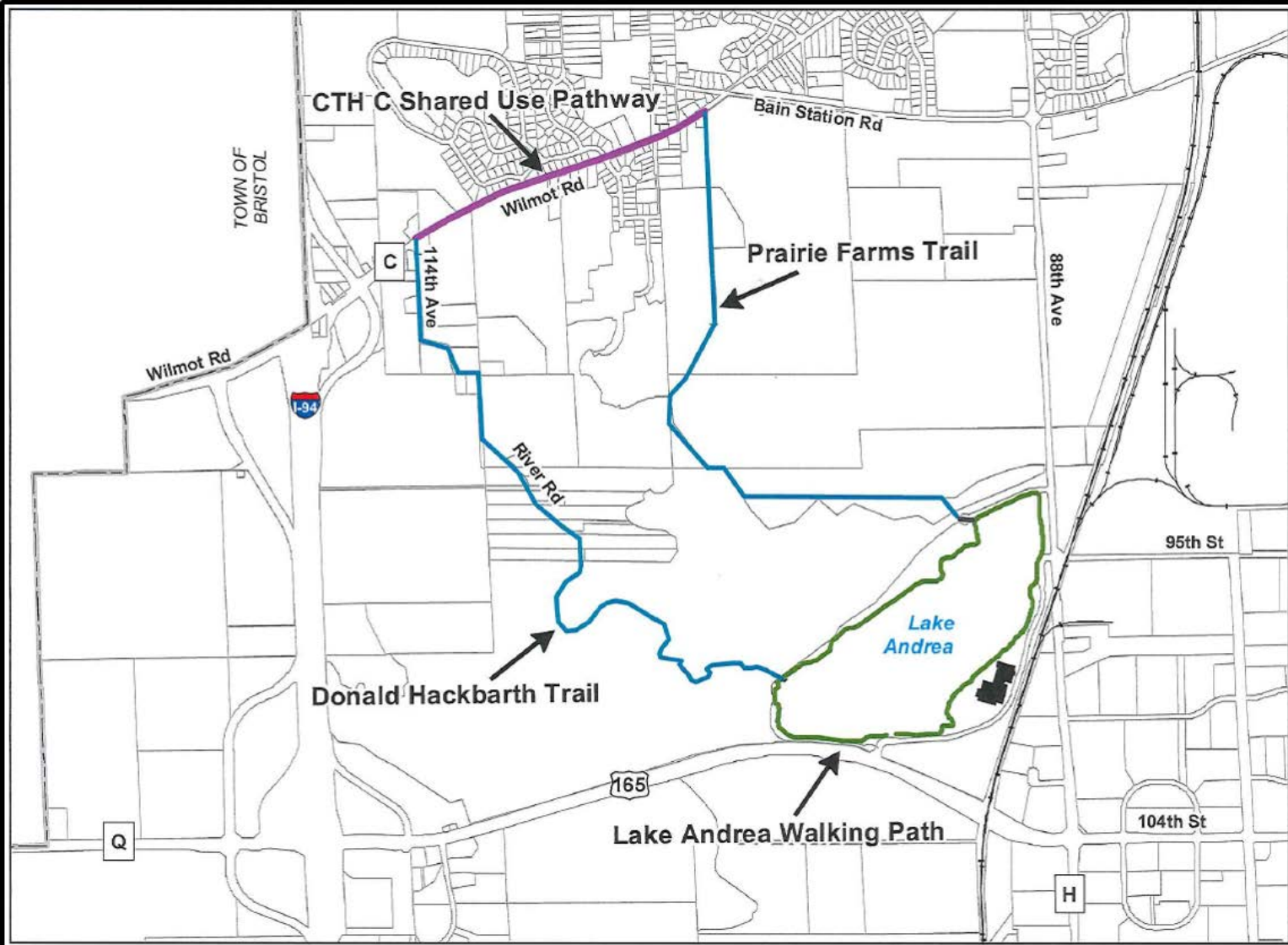
To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

Subject: River Run at Heritage Valley

Date: February 9, 2018

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. All street lighting is recommended to match the surrounding neighborhood, however be LED, 5000K color temperature and "Dark Sky" compliant.
3. All homes to be constructed by the latest WI. Building and MEP codes.



2/21/18
gwh

**BY-LAWS OF
RIVER RUN AT HERITAGE VALLEY COMMUNITY ASSOCIATION, INC.
A WISCONSIN NOT-FOR-PROFIT CORPORATION**

**ARTICLE I
NAME OF CORPORATION**

The name of this corporation is the River Run at Heritage Valley Community Association Inc. (Association).

**ARTICLE II
PURPOSES AND POWERS**

2.01 **PURPOSES.** The purposes of this Association are to act on behalf of its members collectively, as their governing body, with respect to the preservation, care, maintenance, replacement, improvement, enhancement, operation and administration of both real and personal property owned by the Association and for the promotion of the health, safety and welfare of the Members of the Association, all on a not-for-profit basis. These By-Laws are attached as Exhibit "A" to the River Run at Heritage Valley Community Association Inc. Declaration of Covenants, Conditions, Restrictions and Easements ("Declaration"). All terms used herein shall have the meanings set forth in the Declaration.

2.02 **POWERS.** The Association shall have and exercise all powers as are now or may hereafter be granted by the General Not-For-Profit Corporation Act of the State of Wisconsin, the Act, the Declaration and these By-Laws.

**ARTICLE III
OFFICES**

3.01 **REGISTERED OFFICE.** The Association shall have and continuously maintain in this State a registered office and a registered agent whose office is identical with such registered office, and may have other offices within or without the State of Wisconsin as the Board may from time to time determine.

3.02 **PRINCIPAL OFFICE.** The Association's principal office shall be maintained at the office of the Declarant prior to the Transfer Date or at the office of the managing agent engaged by the Association.

**ARTICLE IV
VOTING RIGHTS AND
REPRESENTATION OF MEMBERS**

4.01 **ANNUAL MEETINGS.** The initial meeting of the Members shall be held upon not less than twenty-one (21) days' written notice given by the Declarant. If not called earlier by the Declarant, the initial meeting of the Owners shall be held no later than ninety (90) days after the Transfer Date. Thereafter, there shall be an annual meeting of the Owners on the anniversary

Exhibit A
is
legal
description

thereof, or at such other reasonable time or date (not more than ninety (90) days before or after such date) as may be designated by written notice of the Board delivered to the Owners not less than ten (10) days prior to the date fixed for said meeting.

4.02 PLACE OF MEETING; QUORUM. Meetings of the Members shall be held at such place in Pleasant Prairie, Wisconsin as may be designated in any notice of a meeting. All meetings shall be conducted in accordance with the rules and provisions set forth in Roberts Rules of Order as from time to time published. Twenty percent (20%) of the Voting Members shall constitute a quorum. Unless otherwise expressly provided herein or in the Declaration, any action may be taken at any meeting of the Owners at which a quorum is present upon the affirmative vote of a majority of the members present at such meeting.

4.03 SPECIAL MEETINGS. Special meetings of the Members may be called at any time for the purpose of considering matters which, by the terms of the Declaration, require the approval of all or some of the Owners or for any other reasonable purpose. Said meetings shall be called by written notice, authorized by a majority of the Board, or by twenty percent (20%) of the Owners, and delivered not less than fourteen (14) days prior to the date fixed for said meeting. The notice shall specify the date, time and place of the meeting and the matters to be considered.

4.04 NOTICE OF MEETINGS. Notices of meetings required to be given herein may be delivered either personally or by mail to the members, addressed to each such member at the address given by him to the Board for the purpose of service of such notice or to his/her Unit, if no address has been given to the Board. A notice of meeting shall include an agenda of business and matters to be acted upon or considered at the meeting.

ARTICLE V BOARD OF DIRECTORS

5.01 IN GENERAL. The affairs of the Association and the direction and administration of the Community Area shall be vested in the Community Board ("Board"), which (after the Transfer Date) shall consist of three (3) Directors.

5.02 DECLARANT DESIGNATED BOARDS. Anything herein to the contrary notwithstanding, until the first meeting of the Board, the Board shall consist of three (3) Directors from time to time designated by the Declarant. Such individuals may be, but are not required to be, Owners and shall serve at the discretion of the Declarant.

5.03 INITIAL ANNUAL MEETING. At the first meeting of the Owners (which shall be held no later than ninety (90) days after the Transfer Date), the Voting Members shall elect a full Board of Directors in the manner hereinafter provided to replace the Declarant designated Board established under Section 5.02. From and after such meeting, each member of the Board shall be an Owner or a Voting Member, or both. Within ninety (90) days after the election of a majority of the Board, other than those designated by the Declarant, the Declarant shall deliver to the Board:

- A. Original or certified copies of the Declaration, these By-Laws, the Association's Articles of Incorporation and the Association's minute book, if any.
- B. An accounting of all receipts and expenditures made or received on behalf of the Association by the Declarant designated Board.
- C. All Association funds and bank accounts.
- D. A schedule of all personal property, equipment and fixtures belonging to the Association, including documents transferring property to the Association.

5.04 VOTING RIGHTS. The Association shall meet, at a duly called meetings of the Association action may be taken at any time, at which a quorum is present, and upon an affirmative vote of a majority of the votes represented at the meeting by the members present at such meeting. Any Lot whose Owner is delinquent in any obligation to the Association, shall not have the right to vote until such obligation is confirmed to be satisfied by the Association. Each Owner shall furnish the Association with the Owner's name and current mailing address, no Owner may vote at meetings of the Association until this information is furnished. At any meeting of the Association, an Owner shall be entitled to vote, provided he has satisfied all requirements of these Declarations of Covenants, Conditions and Restrictions and By-Laws, either in person or by proxy. A proxy shall be executed in writing by the Owner or by his duly authorized attorney in fact. All proxies must bear the date of execution, and shall become invalid ninety (90) days after execution. If a Lot is owned by more than one person, the voting rights with respect to such Lot shall not be divided, but shall be exercised as if the Owner consisted of only one person in accordance with the proxy or other designation made by the persons constituting such Owner. If only one of the persons constituting such Owner is present, they shall be entitled to cast the vote allocated to the Lot. If more than one of the persons constituting such Owner are present, the votes allocated to the Lot may be cast only in accordance with the agreement of a majority in interest of such persons. Unanimous agreement of all owners shall be presumed if any of them purports to cast the votes allocated to that Lot without protest being made promptly by any of the other Owners to the person presiding over the meeting or until any of the multiple owners files a statement with the Secretary stating that thereafter the vote must be cast proportionately. Association Directors appointed by the Declarant need not be Owners.

5.05 ELECTION OF DIRECTORS. Upon receipt by the President of the Association of a copy of the written notice of the Declarant to voluntarily terminate its control of the Association, described in Section 2.04(ii) or of any other appropriate evidence of the termination of the Declarant's right to select the Directors of the Board, he/she shall promptly convene a meeting of the Members.

The Board at all times shall consist of three (3) Directors, elected or appointed as follows: the Association shall cause an election to be held by the Owners of the Lots for the purpose of electing Directors to represent the Owners of all Lots. One individual shall be designated as the "Voting Person" for each Lot. The Voting Person or his/her proxy shall be the individual who shall be entitled to vote for election of the Directors to represent the Association. If the record ownership of a Lot shall be in more than one person, or if an Owner is a trustee, corporation,

partnership, limited liability company or other legal entity, then the Voting Person for the Lot shall be designated by such Owner or Owners in writing to the Board and if in the case of multiple individual Owners no designation is given, then the Board, at its election, may recognize an individual Owner of the Lot as the Voting Person for such Lot. The three (3) Owners of Lots receiving the highest number of Votes shall be elected as Directors of the Association Board, for the terms set forth in the By-Laws.

The candidate receiving the greatest number of votes shall serve a three (3) year term and the candidate receiving the next greatest number of votes shall serve a two (2) year term and the candidate receiving the next greatest number of votes shall serve a one (1) year term. Thereafter, each Director shall serve a three (3) year term and shall serve until his or her successor is elected or appointed as provided herein. Each Director shall hold office until his/her term expires or until his/her successor shall have been elected and qualified. Directors may succeed themselves in office.

5.06 PLACE OF DIRECTORS MEETING; QUORUM. Meetings of the Board of Directors shall be held at such place convenient to the Directors as may be designated in any Notice of a Meeting. All Meetings shall be conducted in accordance with the rules and provisions set forth in Roberts Rules of Order, as from time to time published. A majority of the Directors, represented in person or by proxy, shall constitute a quorum. The vote of a majority of the votes entitled to be cast by the Directors present or represented by proxy at a Meeting at which a quorum is present, shall be necessary for the adoption of any matter voted upon by the Directors.

5.07 NOTICE OF MEETINGS. Notice of each Meeting of the Board shall be mailed or personally delivered to each Director at least forty eight (48) hours prior to the Meeting and shall be posted at the Premises at least forty eight (48) hours prior to such Meeting. Written notice of any meeting of the Board of Directors concerning the adoption of the proposed budget or any increase or establishment of an assessment shall be mailed or personally delivered to the Owners and posted conspicuously giving the Owners not less than ten (10) nor more than thirty (30) days notice of the time, place, and purposes of the meeting; unless a written waiver of such notice is signed by the person or persons entitled to such notice before the meeting is convened.

5.08 ANNUAL MEETINGS. The Board shall hold an annual meeting within thirty (30) days from the anniversary date of the initial annual meeting at such time, on such date, and at such place as shall be fixed by the Directors. All Owners shall be invited to the Annual Meetings.

5.09 SPECIAL MEETINGS. Special Meetings of the Board may be called by the President or by at least one-third (2/3) of the Directors then serving.

5.10 OPEN MEETINGS. Each Meeting of the Board shall be open to any Owner except for the portion of any Meeting held (i) to discuss litigation when an action against or on behalf of the Association has been filed and is pending in a court or administrative tribunal, or when the Board finds that such an action is probable or imminent, (ii) to consider information regarding appointment, employment or dismissal of an employee, or (iii) to discuss violations of

Rules and Regulations of the Association or an Owner's unpaid share of Common Expenses or assessments. Any vote taken on any of the matters set forth in subparagraphs (i), (ii) or (iii) above shall be taken at a meeting or portion thereof open to any Owner. If required by the Board, notice of such meeting shall be mailed or personally delivered and posted at the Premises at least forty-eight (48) hours prior thereto, unless a written waiver of such notice is signed by the person or persons entitled to such notice before the meeting is convened. The Board may adopt reasonable rules governing the conduct of Owners who attend meetings and Owners who do not comply with such rules may be removed from the meeting. Any Owner may record the proceedings at a meeting required to be open by tape; film or other means and the Board may prescribe reasonable rules and regulations to govern the right to make such recordings.

5.11 QUORUM. A majority of the Directors serving from time to time shall constitute a quorum for the election of officers and for the transaction of business at any meeting of the Board. Except as otherwise expressly provided herein or in the Declaration, any action may be taken upon the affirmative vote of a majority of the Directors present at a meeting at which a quorum is present. Quorum for the Annual Meeting of Owners shall be 20%, of all Lots represented by either the Owner in person or a properly filed Proxy.

5.12 COMPENSATION/REIMBURSEMENT FOR EXPENSES. No Director shall be compensated for services rendered to the Association. Upon the presentation of receipts or other appropriate documentation, a Director shall be reimbursed by the Association for reasonable out-of-pocket expenses incurred in the course of the performance of his/her duties as a Director.

5.13 REMOVAL OR RESIGNATION OF DIRECTOR. Any Director may be removed from office, with or without cause, by action of the Board at any annual meeting or at a special meeting called for such purpose. Any Director whose removal has been proposed by the Board shall be given an opportunity to be heard at the meeting. Any Director may resign at any time by submitting his/her written resignation to the Board. If a Director ceases to be an Owner, he/she shall be deemed to have resigned as of the date of such cessation.

A successor to fill the unexpired term of a Director who resigns or is removed shall be selected by the remaining Directors.

5.14 POWERS AND DUTIES OF THE BOARD. The Board shall have all the powers and duties granted to it or imposed upon it by the Declaration, these By-Laws, and the Wisconsin General Not-For-Profit Corporation Act, including, without limitation, the following powers and duties:

- A. To procure insurance as provided for in the Declaration;
- B. To engage the service of a managing agent to assist the Association in performing and providing such services as the Association is required to provide to its Members under the Declaration;

C. To provide for the designation, hiring and removal of such employees and such other personnel, including attorneys and accountants, as the Board may, in its discretion, deem necessary or proper for the effective administration of the Association;

D. To provide for any maintenance, repair, alteration, addition, improvement or replacement of the Community Area for which the Association is responsible under the Declaration and these By-Laws;

E. To estimate and provide each Owner with an annual budget as provided for in the Declaration;

F. To set, give notice of, and collect assessments from the Owners as provided in the Declaration;

G. To pay the community expenses;

H. To adopt Rules and Regulations as provided in the Declaration;

I. To delegate the exercise of its power to committees appointed pursuant to Section 7.01 of these By-Laws;

J. To own, convey, encumber, lease or otherwise deal with the Community Area conveyed to or purchased by the Association;

K. To keep detailed, accurate records of the receipts and expenditures affecting the use and operation of the Community Area;

L. To pay real property taxes, special assessments, and any other special taxes or charges of the State of Wisconsin or of any political subdivision thereof, or other lawful taxing or assessing body, which are authorized by law to be assessed and levied upon the real property of the Association;

M. To impose charges for late payments of Association Assessments, or any other expenses lawfully agreed upon, and after notice and an opportunity to be heard, levy reasonable fines for violation of the Declaration, By-laws, and Rules and Regulations of the Association;

ARTICLE VI OFFICERS

6.01 OFFICERS. The officers of the Association shall be a President, a Vice President / Secretary, a Treasurer, and such assistants to such officers as the Board may deem appropriate. All officers shall be elected at each Annual Meeting of the Board and shall hold office at the discretion of the Board. Officers may succeed themselves in office. All officers shall be Directors.

6.02 VACANCY OF OFFICE. Any officer may be removed at any Meeting of the Board by the affirmative vote of the majority of the Owners, either with or without cause, and any vacancy in any office may be filled by the remaining Board at any meeting thereof.

6.03 POWERS OF OFFICERS. The respective officers of the Association shall have such powers and duties as are from time to time prescribed by the Board and as are usually vested in such officers of a Wisconsin Not-For-Profit Corporation including without limitation, the following:

A. The President shall be the Chief Executive Officer of the Association and shall preside at all meetings of the Owners and at all meetings of the Board and shall execute amendments to the Declaration and these By-Laws, as provided for in the Declaration and these By-Laws.

B. The Vice President shall, in the absence or disability of the President, perform the duties and exercise the powers of such office and other duties assigned by the Board. If neither the President nor the Vice President is able to act, the Board shall appoint some other Member of the Board to act in the capacity of President on an interim basis.

C. The Secretary shall keep minutes of all meetings of the Association Members and of the Board and have charge of such other books, papers and documents as the Board may prescribe, and shall be responsible for giving and receiving all notices to be given to or by the Association under the Declaration or these By-Laws.

D. The Treasurer shall be responsible for Association funds and securities and for keeping full and accurate accounts of all receipts and disbursements in the Association books of accounts kept for such purpose. The Treasurer shall be responsible for the deposit of all moneys and other valuable effects in the name, and to the credit, of the Association in such depositories as may from time to time be designated by the Board.

6.04 OFFICERS' COMPENSATION. The officers shall receive no compensation for their services except as expressly provided by a resolution duly adopted by the Directors.

ARTICLE VII COMMITTEES DESIGNATED BY BOARD

7.01 BOARD COMMITTEES. The Board, by resolution adopted by a majority of the Directors in office, may designate one or more committees, each of which shall consist of two (2) or more Directors, which committees, to the extent consistent with law and as provided in said resolution, shall have and exercise the authority of the Board in the management of the Association; but the designation of such committees and delegation thereto of authority shall not operate to relieve the Board, or any individual Director, of any responsibility imposed upon it or him/her by law.

7.02 SPECIAL COMMITTEES. Other committees not having and exercising the authority of the Board in the management of the Association may be designed by a resolution

adopted by a majority of the Directors present at a meeting at which a quorum is present. Except as otherwise provided in such resolution, members of each such committee shall be Owners and the President of the Association shall appoint the members thereof. Any member thereof may be removed by the Board whenever in their judgment the best interest of the Association shall be served by such removal.

7.03 **TERM.** Each member of a committee shall continue as such until the next annual meeting of the Board and until his successor is appointed, unless the committee shall be sooner terminated, or unless such member shall be removed from such committee, or unless such member shall cease to qualify as a member thereof.

7.04 **CHAIRMAN.** One member of each committee shall be appointed chairman.

7.05 **VACANCIES.** Vacancies in the membership of any committee may be filled by appointments made in the same manner as provided in the case of the original appointments.

7.06 **QUORUM.** Unless otherwise provided in the resolution of the Board designating a committee, a majority of the whole committee shall constitute a quorum and the act of a majority of the members present at a meeting at which a quorum is present shall be the act of the committee.

7.07 **RULES.** Each Committee may adopt rules for its own government not inconsistent with the Declaration, these By-Laws or with rules adopted by the Board.

ARTICLE VIII INSTRUMENTS, CHECKS, DEPOSITS AND FUNDS

8.01 **CONTRACTS.** The Board may authorize any officer or officers, agent or agents of the Association, in addition to the officers so authorized by the By-Laws, to enter into any contract or execute and deliver any in the name of and on behalf of the Association and such authority may be general or confined to specific instances. In the absence of any such authorization by the Board, any such contract or instrument shall be executed by the President or a Vice President and attested to by the Secretary or a Treasurer of the Association.

8.02 **PAYMENTS.** All checks, drafts, vouchers or other orders for the payment of money, notes or other evidences of indebtedness issued in the name of the Association shall be signed by such officer or officers, agent or agents of the Association, and in such manner as shall from time to time be determined by resolution of the Board. In the absence of such determination by the Board, such instruments shall be signed by the Treasurer or an Assistant Treasurer and countersigned by the President or a Vice President of the Association.

8.03 **BANK ACCOUNTS.** All funds of the Association not otherwise employed shall be deposited from time to time to the credit of the Association in such banks, trust companies or other depositories as the Board shall elect.

8.04 **SPECIAL RECEIPTS.** The Board may accept on behalf of the Association any contribution, gift, bequest, or devise for the general purposes or for any special purpose of the Association.

ARTICLE IX FISCAL MANAGEMENT

9.01 **FISCAL YEAR.** The Fiscal Year of the Association shall be determined by the Board and may be changed from time to time, as the Board deems advisable.

9.02 **SPECIAL STATEMENT.** Within ten (10) days after receipt of a written request from an Owner (together with payment of a reasonable fee, if any, set by the Board), the Board shall provide the Owner with a statement containing the following information:

- A. The status of the Owner's account and the amount of any unpaid assessments or other charges due and owing from the Owner; and
- B. The status and amount of any and all Capital Reserves.

9.03 **ASSESSMENT PROCEDURE.** Assessments and Special Assessments shall be made and collected as provided in the Declaration.

ARTICLE X BOOKS AND RECORDS

The Association shall keep correct and complete book and records of account and shall also keep minutes of the proceedings of its Members, the Board, and committees having any of the authority of the Board, and shall keep at the registered or principal office of the Association a record giving the names and addresses of the Members. All books and records of the Association may be inspected by any Owner, or his/her agent, mortgagee or attorney, for any proper purpose at any reasonable time.

ARTICLE XI AMENDMENTS

These By-Laws may be amended or modified at any time, or from time to time by the affirmative votes of Owners having more than two-thirds (2/3) of the total votes, provided that prior to the Transfer Date, Section 5.02 and this Article XI may not be amended without the written consent of the Declarant, and provided further, that no provision of these By-Laws may be amended or modified so as to conflict with the provisions of the Declaration.

2/21/18
JEE

**DECLARATION OF COVENANTS, CONDITIONS, AND
RESTRICTIONS FOR RIVER RUN AT HERITAGE VALLEY**

Illinois
THIS DECLARATION is made as of _____, by U.S. Shelter Homes I LLC, a limited liability company ("Declarant"), with reference to the following facts and circumstances:

A. The Declarant is the fee owner of certain real property in the Village of Pleasant Prairie, Kenosha County, Wisconsin, ("Village") the legal description which is set forth on Exhibit A attached hereto and made a part hereof by reference which property shall hereafter be referred as a subdivision ("Subdivision").

attach EX.A

B. Declarant desires to establish covenants, conditions and restrictions upon the Subdivision, and each and every portion thereof, which will constitute a general scheme for the management of the Subdivision, and for the use, occupancy and enjoyment thereof, all for the purposes of enhancing and protecting the value, desirability and attractiveness of the Subdivision and enhancing the quality of life within the Subdivision.

C. For purposes of development and marketing control, Developer may develop Subdivision in up to three phases.

THEREFORE, Declarant hereby declares that all the properties described above shall be held, sold, conveyed, hypothecated, encumbered, leased, rented, occupied and improved, subject to the following easements, restrictions, covenants, and conditions, all of which are declared and agreed to in furtherance of a general plan for the protection, maintenance, improvement, and development of the Subdivision and for the protection and enhancement of the value, desirability and attractiveness of the Subdivision. All provisions of this Declaration are hereby imposed as equitable servitudes upon the Subdivision. All of the easements, restrictions, covenants and conditions set forth in this Declaration shall run with the land and shall be binding on and for the benefit of the Subdivision and all of the parties having or acquiring any right, title or interest in the Subdivision or any part thereof, their heirs, successors and assigns.

**ARTICLE I
DEFINITION OF TERMS**

Whenever used in this Declaration, the following terms shall have the following meanings:

- (a) *Association*—River Run at Heritage Valley Community Association Inc., a Wisconsin incorporated association, its successors and assigns.
- (b) *Declarant*—U.S. Shelter Homes I LLC, a Illinois limited liability company, its successors and assigns, if such successors and assigns hold title to all, or any portion of, the Subdivision.
- (c) *Member*—Every person or entity who holds a membership in the Association through ownership of a Lot, in accordance with the provisions of this Declaration.

~~with no. of~~
→ ~~with no. of~~ windows, ~~with no. of~~ landscaping required, ~~with no. of~~ lighting required ? too vague p. 10

- (d) *Owner*—Each person and entity holding a record ownership interest in a Lot, including the Declarant. The term "Owner" shall not include persons or entities who hold an interest in a Lot merely as security for the performance of an obligation.
- (e) *Lot*—Each buildable parcel shown upon the recorded ~~Map~~ ^{Plat} of the Subdivision.
- (f) *Outlots* — Each parcel of land shown upon the recorded ~~Map~~ ^{Plat} of the Subdivision listed as Outlots. Outlots 1 & 4, to be dedicated to the Village; Outlot 2 to be dedicated to the Declarant and Outlot 3 to be dedicated to the Association.
- (g) *Subdivision*—Lots 1 through 45, and Outlots 1, 2 and 3, of River Run at Heritage Valley as shown on the ~~map~~ ^{Plat} thereof filed _____, 20__ as ~~Map~~ ^{Plat} Document No. _____, Kenosha County Records. ^{See Register of Deeds Office.}
- (h) *Subdivision Interest*—The ownership interest held by an "Owner", as defined above.
- (i) *Residence* — The home built upon a Lot in the Subdivision.

ARTICLE II PROPERTY RIGHTS, RIGHTS OF ENJOYMENT & EASEMENTS

1. LOT OWNERSHIP: EXCLUSIVE EASEMENTS. The ownership of each Lot within the Subdivision shall include one Lot and all rights incidental thereto, and any exclusive easement or easements appurtenant to such Lot as described in the deed to such Lot or on the ~~Map~~ ^{Plat} for such Subdivision.
2. NON-EXCLUSIVE EASEMENTS OF ENJOYMENT. Each Owner shall have a non-exclusive easement of use and enjoyment to Outlot 2 of the Association as further set forth herein and as set forth in the By-Laws of the Association.
3. EASEMENTS GRANTED BY ASSOCIATION. Declarant, and from and after its formation, the Association, shall have full rights to grant easements and rights-of-way in, on, over and under the Subdivision for drainage, utilities, public sewers, water systems and any other similar public or quasi-public improvement or facilities, until such time as Declarant is no longer involved, at which time the Association shall continue to retain such rights. No such easement may be granted if the same would interfere with the use, occupancy or enjoyment by any Owner of their Residence constructed upon their Lot.
4. CERTAIN EASEMENTS AND RIGHTS RESERVED TO DECLARANT.
 - (a) *Utilities*. Easements over the Subdivision for the installation and maintenance of electric, telephone, cable television, water, gas, sanitary sewer mains, storm sewer mains and drainage facilities, water mains, hydrants, landscape easements, vision triangles, monument signs and street lights as are needed to service the Subdivision and each of the Lots contained therein, are hereby reserved by Declarant together with the right to grant and transfer the same; provided, however, such easements shall not unreasonably interfere

with the use and enjoyment by the Owners of the residences constructed on their respective Lots.

(b) *Construction and Sales.* There is hereby reserved to Declarant, together with the right to grant and transfer the same to Declarant's sales agents and representatives and prospective purchasers of Lots, over the Subdivision as the same may from time to time exist, easements for construction, display, maintenance, sales and exhibit purposes in connection with the erection and sale or lease of residences within the Subdivision; provided, however, that such use shall not be for a period beyond the sale by Declarant of all Lots within the Subdivision, and provided further that no such use by Declarant and others shall otherwise unreasonably restrict the Owners in the reasonable use and enjoyment of their respective Lots. Placement of a Residence to be used for such marketing and display purposes shall be an option of Declarant only subject to approval by the Village, and will require a Conditional Use Permit.

(c) *Cable Television.* There is hereby reserved in Declarant over the Subdivision, together with the right to grant and transfer the same, the right to place on, under or across the Subdivision transmission lines and other facilities for a cable television system and thereafter to own and convey such lines and facilities and the right to enter upon the Subdivision to service, maintain, repair, reconstruct and replace said lines or facilities; provided, however, that the exercise of such rights shall not unreasonably interfere with any Owner's reasonable use and enjoyment of their Lot. Nothing contained herein shall be construed to create an obligation of Declarant to install such cable system.

(d) *Access and Maintenance Easement* ^{15 on} *Lots 3 and 4.* There is hereby reserved and granted, to the Declarant and Village, a ¹⁵ foot Dedicated Easement for ¹⁵ Access and Maintenance of the sanitary sewer which is located along the south one hundred and forty one feet (141) of lot and the south one hundred forty two and 42 tenths feet (144.42) of lot 3. There shall be a parallel 15 foot temporary Dedicated Easement along the property on the south side of the Lot 3 and 4 ¹⁵ Access and Maintenance Easement. Once the adjacent lots are platted, then the temporary easement shall be replaced with a permanent Dedicated 15 foot Easement along the north side of the adjacent lots (currently lots 22 and 23).

(e) *Access and Maintenance Easement over all* [§] *Storm sewer mains and drainage facilities and Water Drainage Areas (a "Water Drainage Area" is an area which is causing a problem or restriction for the Master Drainage Plans proper drainage expectation).* Declarant shall grade the sub-grade of each Phase of development to meet the Master Grading Plan. Should the Declarant build the home upon a lot, the Declarant shall spread topsoil upon that lot to meet the grades of the master grading plan, with-in reasonable tolerances. Should a third party purchase the lot, they shall be responsible for maintaining and establishing the grading to meet the Master Grading Plan. There is hereby reserved and granted, to the Association, the Village and the Declarant a Dedicated Easement for Access and Maintenance of all ⁰¹ Storm water easement and Drainage Areas. While the Declarant is establishing the grading and owns the lots the Declarant shall establish and maintain the proper grades for drainage. Upon sale of a lot to a third party the third party shall maintain, at its expense, the proper drainage. The Owner of each lot shall be responsible to maintain

Use same terminology as the plat to avoid confusion

Dedicated Sanitary Sewer,
Sanitary Sewer, Access and Maintenance

?
}

- Storm water retention basin obligation and costs?

the grade, on thier lot, in accordance with the Master Grading Plan and insure the drainage is flowing according to the plan. Should there be a blockage, change of grade or issue related to the proper storm water flow, the Association or the Village may repair the problem and bill the Owner for their actions. ?

(f) Monuments and Sign Easements and Landscaping in Right of Way (Parkway Areas). ?

There is hereby reserved to Declarant and Association a Monument and Sign Easement upon Outlot 3. The Easement shall run South fifty feet (50) feet from the Northwest corner of lot 38 and then westerly fifty feet (50) then back north to the lot line of Outlot 2. No landscaping of any kind may be installed into the Right of Way area adjacent to a lot by the Owner or Association without the written approval of the Village. The Owners have the full responsibility to maintain mow, water and care for the trees within the Parkway areas.

Use same terminology as plat

street terrace

ARTICLE III USE RESTRICTIONS

1. RESIDENTIAL USE. Lots shall be used for single family residential purposes which may include a licensed home based business as allowed by the Village, provided, however, that for a period of ten (10) years from and after the date of recordation of this Declaration or the date by which all Lots have been sold by Declarant, whichever occurs first, Lots owned by Declarant may be used by Declarant or its designees as models, sales offices, and construction offices for the purpose of developing, improving, and selling lots in the Subdivision, subject to approval by the Village. Nothing in this Declaration shall prevent an Owner from leasing or renting their Lot, provided, however, any lessee or renter thereof shall abide by and be subject to all the provisions of this Declaration.

Village will typically allow models for 2-4 years not 10

2. OWNER MAINTENANCE OF INDIVIDUAL LOTS. Each Owner shall be responsible for the maintenance and repair of all the improvements to their Lot, including any residential structure, parking facilities and landscaping thereon. Each Owner shall maintain the exterior paint or other finish on any improvements constructed on their Lot in good condition and repair. Colors used for repainting and maintaining the exterior of each Residence shall be similar to other Residences within the Subdivision, no bright primary or garish colors shall be used.

3. RESIDENCES. All Residences shall be standard single family housing structures with permanent foundations and a minimum floor area (including walls and partitions) of no less than 1,600 square feet for living purposes, not including garage, porches, roof overhangs or outbuildings or other unattached structures.

4. OUTBUILDINGS. One small (not to exceed 120 square feet) maintenance shed, of similar materials and the same colors of the Residence and subject to architectural control standards established by the Architectural Committee hereinafter referred to, is permitted in the rear one quarter of the rear yard of each lot provided it is not located in any easement and not abutting any Street Right of Way.

What materials? Similar to house?

sided & shingled similar to house?

Metal shed? Provide restorative details.

RV ?
5. TEMPORARY STRUCTURES. No mobile home or trailer shall be located on or at any Lot for any period of time exceeding 72 hours unless approved by the Architectural Control Committee. For example, no mobile home or trailer shall be ~~permanently~~ parked in a driveway for temporary living quarters, guest house unit or storage unit unless first approved by the Architectural Control Committee. ~~max. # of days ?~~ ?

6. ACCESSORY STRUCTURES MOUNTED ON THE RESIDENCE. One accessory structure such as a satellite dish or antenna shall allowed on the residence located on the roof at the rear one quarter of the home and not exceed a height of three feet above the highest point of the roof ridge unless the Architectural Committee first approves and the Village allows said accessory structure. When possible the preference is to maintain television or radio antennae within completely enclosed portions of their Residence or on the Residence, provided such television or radio antennae is not visible from the street in front of the Residence. The Architectural Committee can review applications for additional accessory structures or alternative locations and can either approve or reject additional accessory structures or alternate locations.

7. ← OFFENSIVE CONDUCT; NUISANCES. No noxious or offensive activities, including, without limitation, the repair of automobiles or other motorized vehicles, shall be carried on, upon or within the Subdivision or any Lot contained therein, nor shall anything be done thereon which may be or become an annoyance or nuisance to the residents of the Subdivision, or which shall in any way interfere with the quiet enjoyment of occupants of the Lots. Motorcycles and other two-wheel motorized vehicles shall be strictly limited to essential operations such as transportation to and from work. Any action such as excess noise, speed, or the action of revving up engines or speeding up and down adjacent roads shall constitute a violation of this covenant. Go-carts, racing cars, snowmobiles and other such type vehicles shall not be operated in the Subdivision, on any of the Lots or Outlots contained therein, or on any streets and roads adjacent thereto. Large commercial advertising vans, box trucks shall not be allowed to permanently park in the driveways. ←

8. 7. SIGNS. Temporary signs not to exceed nine (9) square feet may be installed on a Lot by the Owner thereof. Declarant shall have the right to display to the public from any Lot, except at such times as may be used by the Declarant or its designees for the purpose of developing, selling and improving 3 Lots within the Subdivision. Notwithstanding the foregoing, one sign of customary and reasonable dimensions advertising a Lot for sale or for rent may be placed within each Lot by the Owner thereof. Additional signs as allowed or permitted by the Village will be allowed. ?

9. 8. TRASH DISPOSAL. Trash, garbage, or other wastes shall be kept only in sanitary containers and no Lot shall be used as a dumping ground for rubbish. Trash and garbage cans must be removed from the street within 24 hours of the trash or garbage pickup and stored outside of public view or inside a structure.

10. 9. ~~11 used~~ ANIMALS. Up to four dogs or cats may be kept at a Residence. No livestock including but not limited to pigs, chickens and other barnyard animals may be kept on the premises.

Fence Restrictions ?
Pool Restrictions ?


10. WATER USE. Municipal water only shall be used for domestic purposes including household, formal landscaping, garden and drinking water.

11. LOT SPLIT. No Lot shall be subdivided into smaller parcels.

12. DRAINAGE OBLIGATIONS. Each Owner agrees for themselves, their heirs, assigns, vendees and successors in interest, that they will either refrain from any change or interference with the established master drainage pattern over their Lot from adjoining or other Lots in the Subdivision no changes, alterations or modifications of any sort shall be allowed without the approval of the Village. For purposes hereof, established drainage is defined as the drainage pattern established at the time of the overall grading of the Subdivision is completed.

*inspected and
approved by
the
Village.*

13. VEGETATION AND LANDSCAPING. All Lots shall be maintained as neatly as possible to achieve an atmosphere with as much vegetation remaining as possible to achieve a natural barrier between adjoining Lots and buildings. No healthy trees shall be removed other than for building sites and view. Each Owner of a Lot, upon conveyance of said lot to Owner, shall keep all shrubs, trees, grass and plantings of every kind on their Lot, including planted public areas between sidewalks and the street curb that are adjacent to Owners lot, if any, neatly trimmed, properly cultivated and watered, and free of trash, weeds and other unsightly material and shall keep that portion of any perimeter wall, if any, located in their Lot in good repair.

14. OUTSIDE DRYING AND LAUNDERING.  No permanent exterior clothesline shall be erected or maintained and there shall be no exterior drying or laundering of clothes on balconies, patios, porches or other areas.

15. GROUND MOUNTED ANTENNAE, EXTERNAL FIXTURES, ETC. No television or radio poles, antennae, clotheslines, or other external fixtures other than those approved by the Architectural Committee, and any replacements thereof, shall be constructed, erected or maintained on or within any Lot, including any structures thereon. No wiring, insulation, air conditioning or other machinery or equipment other than approved by the Architectural Committee, and any replacement thereof, shall be constructed, erected or maintained on or within the Lot, including any structure thereon. Each Owner shall have the right to maintain one television, satellite or radio antennae as provided in Section 7.

ARTICLE IV ASSOCIATION AND COMMUNITY PROPERTY MAINTENANCE

1. ASSOCIATION. Each Owner shall automatically become a member of the River Run at Heritage Valley Community Association Inc., upon its formation pursuant to Section 2 of this Article IV. Each Owner shall remain a member of the Association until such time as their ownership ceases for any reason, at which time their membership in the Association shall automatically cease. Individuals who jointly own a single Lot shall together be considered a single member of the Association for purposes of this Declaration, although they shall be jointly and severally liable for compliance with the terms of this Declaration.

2. **FORMATION.** The Association shall be formed in accordance with the Declaration of Covenants, Conditions and Restrictions for River Run at Heritage Valley, and the Bylaws of River Run at Heritage Valley Community Association Inc. (Attached hereto as Exhibit A) River Run at Heritage Valley Community Association Inc., shall be formed as a Wisconsin incorporated association, organized under the Wisconsin Nonstock corporation Laws, to serve as the association of Owners of Lots in River Run at Heritage Valley subdivision in Pleasant Prairie, Kenosha County Wisconsin, and all subsequent additions to said subdivision. The provisions of the Declaration of Covenants, Conditions and Restrictions and the By-Laws both for River Run at Heritage Valley shall apply to the Subdivision and to the use and occupancy of the Subdivision and Lots. The first meeting of the Association shall be held no sooner than thirty (30) days after 75% of the Lots in the Subdivision have been sold, exchanged or conveyed by Declarant ("Transfer Date"). After such time, as determined by Declarant, Declarant shall initiate the first annual meeting of the Association for the purpose of turning over the Association to the Home Owners. Declarant shall provide notices as well as the agenda, financial statements and budgets.

3. **MAINTENANCE PRIOR TO FIRST MEETING.** Until such time as the Association conducts its first meeting as above set forth and pursuant to the By-Laws hereinafter set forth, the Owner or Owners of each Lot shall be responsible for the upkeep and maintenance of their own Lots as called for by this Declaration and the Declarant shall be responsible for the common area referred to as outlot 3 which area will all be deeded to the Association for the common benefit of all Lot Owners at the time 75% of all Lots are sold, exchanged or conveyed by Declarant. Expenses incurred by the Declarant with respect to maintenance and improvement of outlot 3 prior to conveyance of same to the Association shall be allocated to the Owner or Owners of each Lot in the Subdivision in the same proportion as each Lot bears to the total number of Lots in the Subdivision. For purposes of illustration and not limitation such maintenance expense shall include maintenance, repair, replacement or other work with respect to any improvements, facilities or equipment incidental to any facilities or improvements, placed or maintained on said outlots or non-exclusive easements for the benefit of each Lot Owner including without limitation perimeter fencing, entry standards, landscaping, sewers and any other equipment or facilities used in connection with such maintenance such as wells, detention areas, wetlands or any utilities used in connection with same. After conveyance of said outlot 3 to the Association the Association shall assume responsibility for same.

4. **DUTIES AND POWERS OF THE ASSOCIATION.** The Association shall be authorized to prosecute in any proceeding at law or equity any violation or attempted violation of the Declaration, including, without limitation, the right to seek injunctive or other equitable relief or to recover damages or both. In any litigation or other proceeding arising out of this Declaration (whether such proceeding or litigation is brought by the Association, the Declarant or an individual Lot Owner or Owners), all costs and reasonable attorneys' fees may be made a part of the judgment of the court. Nothing contained herein shall be construed to limit the rights and remedies to which any Owner is entitled as a result of a breach of any provision of this Declaration. The Association, acting pursuant to its By-Laws, shall take all actions necessary for the preservation and protection of the Subdivision. Such preservation and protection of the Subdivision shall include all items of maintenance described in Paragraph 3 above. The Association, after its formation, shall incur expenses for maintenance of common areas and outlot 3 as well as paying the power bills for the street lighting within the Subdivision (pursuant to Paragraph 5 below).

5. PUBLIC STREET LIGHT ELECTRICITY BILLING AND MAINTENANCE. The Association shall pay the WE Energies monthly billing to the Village for the electricity and maintenance of the street lights. *public*

6. PUBLIC STREET TREE AND ~~PARKWAY~~ *Street Terrace (Parkway)* MAINTENANCE. The Association shall maintain the parkway and the trees planted that are adjacent to the Outlot 3. The Owners shall be responsible for the replacement and maintenance of the street trees and maintenance of the ~~easement~~ *Street terrace* areas adjacent to their lot. An Owner may not change any ~~plantings~~ *plantings* within the Right of way adjacent to their Lot, unless they receive a ~~permit~~ *approval* from the Village to make changes. *lot owners and collectively the*

7. STORM WATER AND ASSOCIATION OBLIGATIONS. Each Owner agrees for themselves, their heirs, assigns, vendees and successors in interest, that they will either refrain from any change or interference with the established master drainage pattern over their Lot from adjoining or other Lots in the Subdivision no changes, alterations or modifications of any sort shall be allowed without the approval of the Village For purposes hereof, established drainage is defined as the drainage pattern established at the time of the overall grading of the Subdivision is completed. *street trees public street right of way*

8. ASSOCIATION BY-LAWS. The By-Laws are included herein and attached hereto as Exhibit (A). *Exhibit B*

A is the legal description of phase 1 - nine lots?

how many copies? what format? to whom?

ARTICLE V ARCHITECTURAL CONTROL

1. ARCHITECTURAL RESTRICTIONS. No building, fence, berm, wall or other structures shall be commenced, erected or maintained upon any Lot, nor shall any exterior addition, change or alteration therein be made until the plans and specifications showing the nature, kind, shape, height, materials and location of the same have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Architectural Committee. All requests made to the Architectural Committee shall be addressed in a reasonably prompt manner. *how many days?*

2. APPOINTMENT OF ARCHITECTURAL COMMITTEE. Declarant shall appoint all of the original members of the Architectural Committee and all replacements until the later of the date set forth in Section 2 of Article IV or the Declarant no longer owns any Lots in the Subdivision and shall consist of three (3) members. Thereafter, the governing board of the Association shall have the power to appoint all the members of the Architectural Committee. If the governing board fails to appoint members of the Architectural Committee, for any reason (including the failure of the Association to be organized), then no plans and specifications need to be submitted for approval

pursuant to this Article V until such members are appointed. No plans or specifications for improvements, which are commenced or for which a building permit has been issued after the date set forth in Section 2 of Article IV and before the Association has appointed the member of the Architectural Committee, are subject to the approval of the Architectural Committee. Members appointed by the governing board of the Association shall be Owners of the Lots. Members appointed by the Declarant need not be members of the Association. The Architectural Committee shall follow the provisions for committees within the Bylaws of the Association.

3. ARCHITECTURAL STANDARDS. All Lot improvements in the Subdivision shall be so constructed as will protect against depreciation of property values and shall be so constructed as to guard against an excess of similar architectural styles so as to avoid housing monotony, to promote and obtain harmonious color schemes, to insure appropriate development of Lots and encourage the construction of attractive, substantial homes with appropriate locations within the Lot boundaries, to encourage secure and maintain attractive and harmonious landscaping, to provide adequately for high quality improvements and enhance the value of investments made by the purchasers of Lots. All Residences shall be standard single family housing structures with permanent basement foundations and a minimum floor area (including walls and partitions) of no less than 1,600 square feet for living purposes, not including garage, porches, roof overhangs or outbuildings or other unattached structures. The Residences shall include both ranch style homes and two story homes, some of the two story homes shall include the master bedroom suites on the first floor. The architecture of the Residences shall generally be designed to include current market demands and not to conflict with the architectural style and building materials similar to the existing homes in Heritage Valley. The architecture shall be primarily traditional style and shall be interesting and varied using details typical of traditional, craftsman, colonial and prairie style elements for the exterior of the buildings including variations of roof line including gables and hip roofs provided that the roof pitch not be less than 6/12. Colors and materials shall be varied but compatible with the existing homes and shall include low maintenance asphalt shingles. Metal accent roofing is allowed over projecting windows or bays, porches or on accent roofing areas. Wood or composite wood trim shall be located at the exterior side of all windows, doors and corners of the home, unless a masonry type exterior cladding is used. When a front masonry elevation ends at a corner the same masonry material shall wrap the corner to the side elevation by at least 2 feet. Exterior elevations shall be created using a variety of natural products such as stone, brick, cedar trim, shutters, box or bay windows, accent materials such as vertical siding, shake shingle look or other variations for various accent walls. No Lots shall be used for the storage of material or the conduct of any activity which would compromise the collective good of the Subdivision Lot Owners. All Village of Pleasant Prairie Land Division and Development Control Ordinances and Zoning Ordinance requirements shall be observed including all required setbacks. Minimum square footage set forth for homes shall not include garages, porches or basements. No below grade area shall be considered in determining square footage. Each home shall be served with no less than an attached two-car garage and no garage shall be used as a temporary or permanent residential structure or business. All garages shall be connected to the road by proper hard surface (not compacted gravel) driveway, within one year of occupancy of the residence. Only below grade pools, which comply with all Village requirements, setbacks and fencing may be allowed. Fencing shall be as uniform as possible for a consistent Subdivision appearance, the fencing allowed shall be a maximum of six (6) feet high and shall not be chain-link style fencing. Fencing may be located at the rear of the Residence only and no closer to the road than the rear

how many does it matter?

corner of the Residence or up to the rear ¼ of the garage (at garage side yard) for the purposes of encompassing a side yard service door or garage service door. Fences located within Street Yards, are restricted to four feet in height. Electric fences, buried under ground are permitted. Landscaping requirements shall include seeded or sodded yards within the first growing season after move-in and front foundation plantings shall comprise at least fifty (50) per cent of the front of the homes foundation and have no less than a Three Thousand dollar value (\$3,000).

4. MAIL BOXES. Mail boxes shall be four unit gang mail boxes mounted on a post behind the curb. Declarant will select locations for mounting each gang of mail boxes. The mail box shall be attractive but simple so that replacement when needed can remain uniform.

ARTICLE VI TERM OF DECLARATION OF COVENANTS

This Declaration shall run with the land, and shall continue in full force for a period of thirty (30) years from and after the date of this Declaration. Thereafter, this Declaration and all covenants, conditions, restrictions and other provisions herein shall be automatically extended for successive periods of ten (10) years, unless an instrument, signed by a majority of the then Owners, agreeing to terminate this Declaration in whole or in part, has been recorded within one (1) year prior to the termination of the initial thirty (30) year term or within one (1) year prior to the termination of any successive ten (10) year.

ARTICLE VII ENFORCEMENT

1. NO RESCISSION OR TERMINATION. No breach of this Declaration shall entitle any party or Owner to cancel, rescind, or otherwise terminate this Declaration or excuse the performance of such party's or Owner's obligations hereunder; provided, however, that this limitation shall not affect in any manner any other rights or remedies which the parties or Owners may have by reason of any such breach.

2. RIGHT OF ENFORCEMENT. The Declarant, any Owner, or the Village, shall have the right, but not the obligation, to enforce by proceedings at law or in equity, all restrictions, covenants, conditions, reservations, liens, and charges now or hereafter imposed by the provisions of this Declaration or any amendment thereto, including the right to prevent the violation of any such restrictions, covenants, conditions or reservations and the right to recover damages or other dues for such violations.

3. NO WAIVER. No waiver of any default by any party to this Declaration shall be implied from any omission by any party to take any action in respect of such default if such default continues or is repeated. The failure by any party to enforce any provision of this Declaration shall not be deemed a waiver of the right to do so thereafter.

4. NO SALE OF OUTLOTS. After the Declarant has transferred the Outlot³ to the Association, Outlot 3 may not be sold to any party, other than to the Village..

ARTICLE VIII PROTECTION OF MORTGAGES

1. MORTGAGES PERMITTED. Any Owner may encumber their Lot with a mortgage or deed of trust (either or both referred to herein as a "mortgage").

2. SUBORDINATION. Any lien created or claimed under the provisions of this Declaration is expressly made subject and subordinate to the rights of any first mortgage encumbering all or a portion of the Subdivision, or any Lot therein, made in good faith and for value, and no such lien shall in any way defeat, invalidate or impair the obligation or priority of such mortgage unless the mortgage thereunder shall expressly subordinate their interest, in writing, to such lien.

3. EFFECT OF BREACH HEREOF. No breach of any provision of this Declaration shall invalidate the lien of any first mortgage made in good faith and for value, but all of said provisions shall be binding upon any Owner whose title is derived through foreclosure sale, trustee's sale or otherwise.

4. FORECLOSURE. A lien for regular or special assessments against an Owner is herein made subordinate to the lien of any first mortgage or first deed of trust hereafter collectively referred to as first encumbrance) against subdivision interests of the Owner. In the case of a subordination of a lien for assessments to a first encumbrance, the transfer of a subdivision interest as the result of the exercise of a power of sale or a judicial foreclosure involving a default under the first encumbrance shall extinguish the lien of assessments which were due and payable prior to the transfer of the subdivision interest. No transfer of the subdivision interest as the result of a foreclosure or exercise of a power of sale shall relieve the new owner, whether it be the former beneficiary of the first encumbrance or another person, from liability for any assessments thereafter becoming due or from the lien thereof.

5. NON-CURABLE BREACH. Any mortgagee who acquires title to a Lot by foreclosure shall not be obligated to cure any breach of this Declaration which is non-curable or of a type which is not practical or feasible to cure.

6. LOAN TO FACILITATE. Any mortgage given to secure a loan to facilitate the re-sale of a Lot after acquisition by foreclosure shall be deemed to be a loan made in good faith and for value and entitled to all of the rights and protections of this Article VIII.

7. APPEARANCE AT MEETINGS. Because of its financial interest in the Subdivision, any institutional mortgagee, upon request, may appear at meetings of the member and the Board, or designate a representative to attend all such meetings, to draw attention to the violations of this Declaration, the By-Laws, or the Associations' Rules and Regulations which have not been corrected or made the subject of remedial proceedings or assessments. Said mortgagee shall, upon request, receive written notice of all meetings of the Association.

8. RIGHT TO FURNISH INFORMATION; COLLECTION OF INSURANCE PREMIUMS. Any mortgagee shall have the right to furnish information to the Board concerning the status of any mortgage. The Board may also delegate to any mortgagee the right to collect such portion of a Lot's assessments, or installments thereof, representing premiums payable for insurance coverage.

9. LOSS PAYABLE CLAUSES. All applicable fire and all physical loss or extended coverage insurance policies shall contain loss payable clauses naming the mortgagees, as their interests may appear.

ARTICLE IX MISCELLANEOUS

1. CONSTRUCTION. The provisions of this Declaration shall be liberally construed to effectuate its purposes. The provisions hereof shall be deemed independent and severable and the invalidity or partial invalidity or enforceability of any one provision, or portion thereof, shall not affect the validity or enforceability of the remainder. The various headings are for convenience only and shall not affect the meaning or interpretation of this Declaration.

2. ATTORNEYS' FEES. In any action brought to declare the rights granted herein or to enforce any of the terms hereof, the prevailing party shall be entitled to an award of reasonable attorneys' fees in the amount determined by the Court.

3. SUCCESSORS AND ASSIGNS. This document shall bind and inure to the benefit of the respective heirs, personal representatives, successors and assigns of the parties hereto.

4. INSURANCE. The Association shall maintain, at all times, liability, property and directors insurance, of not less than one million dollars, insuring all of its property and assets as well as listing the Declarant and its owners and employees and Directors as listed insureds.

5. NOTICE. Any notice sent to any Owner or to Declarant under the provisions hereof shall be deemed to have been received when mailed with proper postage prepaid to the last known address of such Owner or Declarant, or in the case of hand delivery, upon delivery to such last known address.

6. AMENDMENT. This Declaration may be amended only by an affirmative vote of sixty-six and two-thirds percent (66 2/3%) of the Owners within the Subdivision. Any such amendment shall be by written instrument duly executed under notary by all parties whose approval is required by this subsection and recorded in the office of the Kenosha County Register of Deeds.

IN WITNESS WHEREOF, the undersigned has executed this instrument as of the date first above written.

U.S. SHELTER HOMES I LLC by:

PRINT NAME: _____

TITLE: _____

> type in info

STATE OF WISCONSIN)
) SS
_____ COUNTY)

Personally came before me this _____ day of _____, 201__, the above
named _____.

Notary Public
_____ County, Wisconsin
My commission expires: _____

Drafted By:

type in name,
address

Revised by JMS 11/20/17

Revised by JMS 1/23/18

Exhibits A —
 B —



PRELIMINARY PLAT AND PRELIMINARY CONDOMINIUM PLAT APPLICATION

Development Name: River Run at Heritage Valley
General Location of Development: South of CTH C (Wilmot Road) at 106th Avenue
Tax Parcel Number(s): 92-4-122-181-0275 & 92-4-122-181-0541
Number of Lots: 45 Number of Outlots: 4
Size of Development: 24.46 acres. Proposed Zoning District(s): _____

Select All that Apply:

- ☐ The Development abuts or adjoins State Trunk Highway _____
☐ The Development abuts or adjoins County Trunk Highway _____
☐ The Development abuts the Kenosha County Bike Trail

Number of Copies Submitted: 20 (See below for required number)

Plat Copies required	# of Copies	To be Sent by the Village to:
All Plat	3	Village Staff
All Plats	3	Kenosha County Planning and Development
All Plats	2	Kenosha County Division of Highways
All Plats	2	Wisconsin Department of Commerce*
If Development abuts/adjoins a STH	3	Wisconsin Department of Transportation
If the Development is within 500 feet of a shoreland/floodplain jurisdictional area or includes wetlands.	1	Wisconsin Department of Natural Resources
All Plats	1	U.S. Army Corp of Engineers
All Plats	1	Southeastern WI Regional Planning Commission
All Plats	1	WE Energies—Gas Operations
All Plats	1	WE Energies—Electric Operations
All Plats	2	AT & T
All Plats	2	Kenosha Unified School District
All Plats	1	Time Warner Cable

* Applicant is responsible for sending the Plat and required application and review fee to the State.

In addition the following shall be submitted:

- ☒ 1 PDF copy of the Preliminary Plat
- ☒ Preliminary Plat application fee
- ☒ 3 sets of Preliminary Engineering Plans, Profiles and Specifications and a PDF copy
- ☒ 3 sets of Landscape Plans and a PDF copy
- ☒ Draft of Declarations of Covenant, Restrictions and Easements and a PDF copy
- ☒ Articles of Incorporation for the Neighborhood Association and a PDF copy
- ☒ Draft of By-Laws and a PDF copy
- ☒ WE Energies Application for Natural Gas/Electric for New Development for the Village to forward to We Energies with a PDF of the Engineering Plans
- ☐ PDF color rendering of the Preliminary Plat, Landscape Plans and any other renderings to explain the project
- ☐ Any other information as specified by the Village

DEV1711-006

Upon receipt of a complete application, the Village will schedule the required Public Hearing. The Village will notify adjacent property owners, within 300 feet of the property, of the public hearing, publish an official notice at least 10 days prior to the hearing in the Kenosha News and post the notice in three public places within the Village. The Village Plan Commission will hold a public hearing and make a recommendation to the Village Board who will make a final determination of the proposal. **The applicant shall appear at the Village Plan Commission meeting for the Public Hearing and shall appear for final action on the application at the Village Board Meeting.**

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), have submitted a draft Preliminary Plat for an initial review by the Village Community Development Director prior to submitting this application.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: US Shelter Companies, LLC

Signature: [Signature]

Address: 31632 North Ellis Drive

Volo IL 60073

(City) (State) (Zip)

Phone: 847-742-8200

Fax: 847-742-8204

Email: John@usshelter.com

Date: 1/25/18

APPLICANT/AGENT:

Print Name: US Shelter Companies, LLC

Signature: [Signature]

Address: 31632 North Ellis Drive

Volo IL 60073

(City) (State) (Zip)

Phone: 847-742-8200

Fax: 847-742-8204

Email: John@usshelter.com

Date: 1/25/18

DEVELOPER:

Print Name: _____

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

Email: _____

Date: _____

PRELIMINARY PLAT

RIVER RUN AT HERITAGE VALLEY

Being a part of the Southeast 1/4 of the Northeast 1/4 and the Northeast 1/4 of the Southeast 1/4 of Section 18, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Surveyor & Engineer

R.A. Smith Inc
16745 W. Bluemound Road
Brookfield, WI. 53066
ph. 262-781-1000
fax 262-791-7373

Developer

US Shelter Companies
31632 North Ellis Drive
Volo, Illinois, 60073
ph. 847-742-6200

Objecting Agencies

Wisconsin Department of Administration

Approving Agencies

Village of Pleasant Prairie

NOTES:

Elevations refer to the NGVD 29 (SEWRPC).

Bearings are referenced to the Wisconsin State Plane Coordinate system-south zone (NAD27).

Topographic Data Surveyed by RA Smith National January 2017

Subdivision Statistics

subdivision to contain 45 lots and 4 Outlots

Total area of all lots	602,071 sf
Total area of all outlots	329,821 sf
Total site area	1,065,436 sf
Total area of 100 year flood line (current)	198,752 sf
Total area of 100 year flood line (proposed)	231,177 sf
Total area of wetlands (current)	87,613 sf
Total area of wetlands (proposed)	79,855 sf

Developable lots are zoned R-4.5, Urban Single Family Residential District

Minimum lot area	12,500 square feet
Minimum lot width	80 feet at building setback
Minimum lot frontage	60 feet
Minimum corner lot area	15,000 square feet
Minimum corner lot width	100 feet
Minimum street setback	30'
Minimum side setback	10'
Minimum rear setback	25'

Easements for utilities and drainage will be determined during site engineering and shown on the final plat.
Municipal water shall be extended throughout the development and shall connect to the existing watermain in Heritage Valley Subdivision.
Municipal sanitary sewer shall be extended from the existing sewer within Heritage Valley Subdivision and a lift station is required for Phases 2 & 3.

Construction access will be provided via 106th Avenue.

For Easements and Grading along proposed Phase lines, storm water and utility easements along with lot grading shall extend into the adjacent lot platted in the future phases.

Existing lift station and storm drainage easements will be vacated or released prior to submittal of final plat.

See sheet 2 for Lot details

Outlots 1 & 4 shall be dedicated (fee interest transfer) as common space to the VILLAGE OF PLEASANT PRAIRIE. The outlots shall be labeled as "Outlots 1 & 4 to be dedicated by the developer to the VILLAGE OF PLEASANT PRAIRIE for public park and open space.

Outlot 3 shall be dedicated (fee interest transfer) as common space to the RIVER RUN AT HERITAGE VALLEY HOMEOWNER'S ASSOCIATION, INC. The Outlot shall be labeled as "Outlot 3 to be dedicated for storm water drainage, open space, access and maintenance purposes." There shall also be an easement over this same area of Outlot 3 granted to the Village for the storm water drainage, retention basin, access and maintenance and related purposes, signage and lighting installation and maintenance, landscaping and maintenance, and for ingress and egress. There shall also be an easement over this same area of Outlot 2 granted to the developer for the construction and development of the storm water facilities.

Outlot 2 to be retained and owned by the developer for future development purposes.

100 year flood plain determined from FIS profile and topographic survey prepared by RA Smith National, Inc. Developable Lots 1 through 45 are outside of the proposed 100 year flood plain. The 100 year flood plain areas are subject to "A FLOODPLAIN PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT."

Agricultural fencing on the property at/near the Southwest corner will be removed.

Wetlands delineated by RA Smith National on October 25, 2016 (Proj No. 1160367)

Wetlands will be dimensioned on the final plat and are subject to a "WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT."

Sidewalks are required on both sides of new roadways.

420-44 Vision triangle.

Per section 395-61 Street intersections, Lots in this subdivision are rounded with with a circular curve with a radius of 25 feet. Vision Triangle specifications (15' from intersection of property lines) do not impact corner lots if a radius of 25 feet is used. The radius of 25 feet maintains a clear sight line of vision at the adjacent intersections. There shall be no obstructions, such as but not limited to structures, signage, fences, vehicular parking, trees, plantings or bus shelters placed within the intersection right-of-ways unless expressly approved in writing by the Village. This restriction is for the benefit of the traveling public and shall be enforceable by the Village.

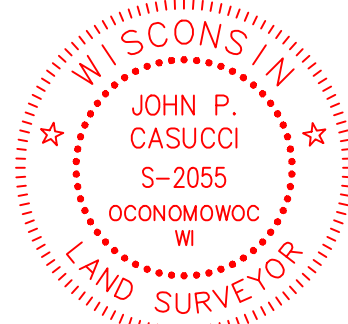
Corner lots 1, 13, 28, 29 & 37 shall have a driveway access restriction of 100 feet measured from the centerlines of the intersecting streets.
Additional driveway access restrictions are shown for lots 3, 23, 41, 44 & 45 to avoid aligning with crosswalks.

SURVEYOR'S CERTIFICATE:

I, John P. Casucci, Professional Land Surveyor, do hereby certify that the preliminary plat is a correct representation of the existing land divisions features, and that I, to the best of my knowledge and belief, have complied with the applicable ordinances in preparing the same.

Dated this 23rd Day of January

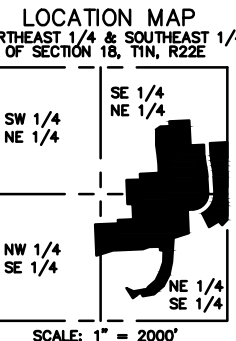
John P. Casucci
John P. Casucci, PLS S-2055



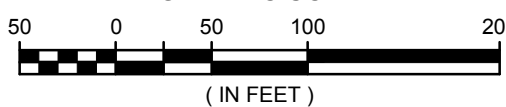
raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

Curve #	Length	Radius	Chord Bearing	Chord
C1	103.66	567.00	N8°11'59.5"W	103.52
C2	115.73	633.00	N8°11'59.5"W	115.57
C3	268.00	233.00	N29°59'19"E	253.47
C4	262.32	167.00	S42°02'16"W	236.17
C5	103.66	567.00	S8°11'59.5"E	103.52
C6	115.73	633.00	S8°11'59.5"E	115.57



GRAPHIC SCALE

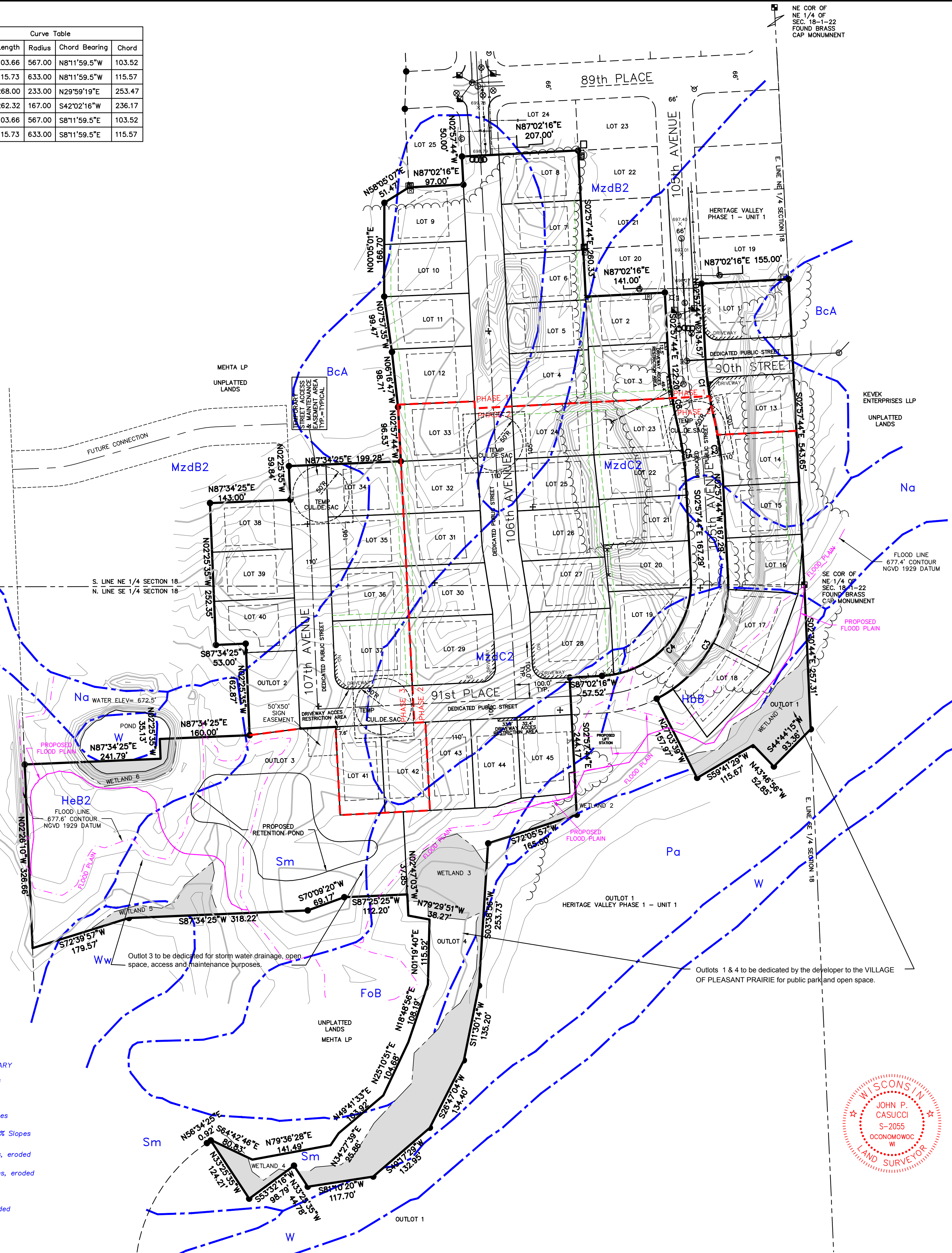


LEGEND

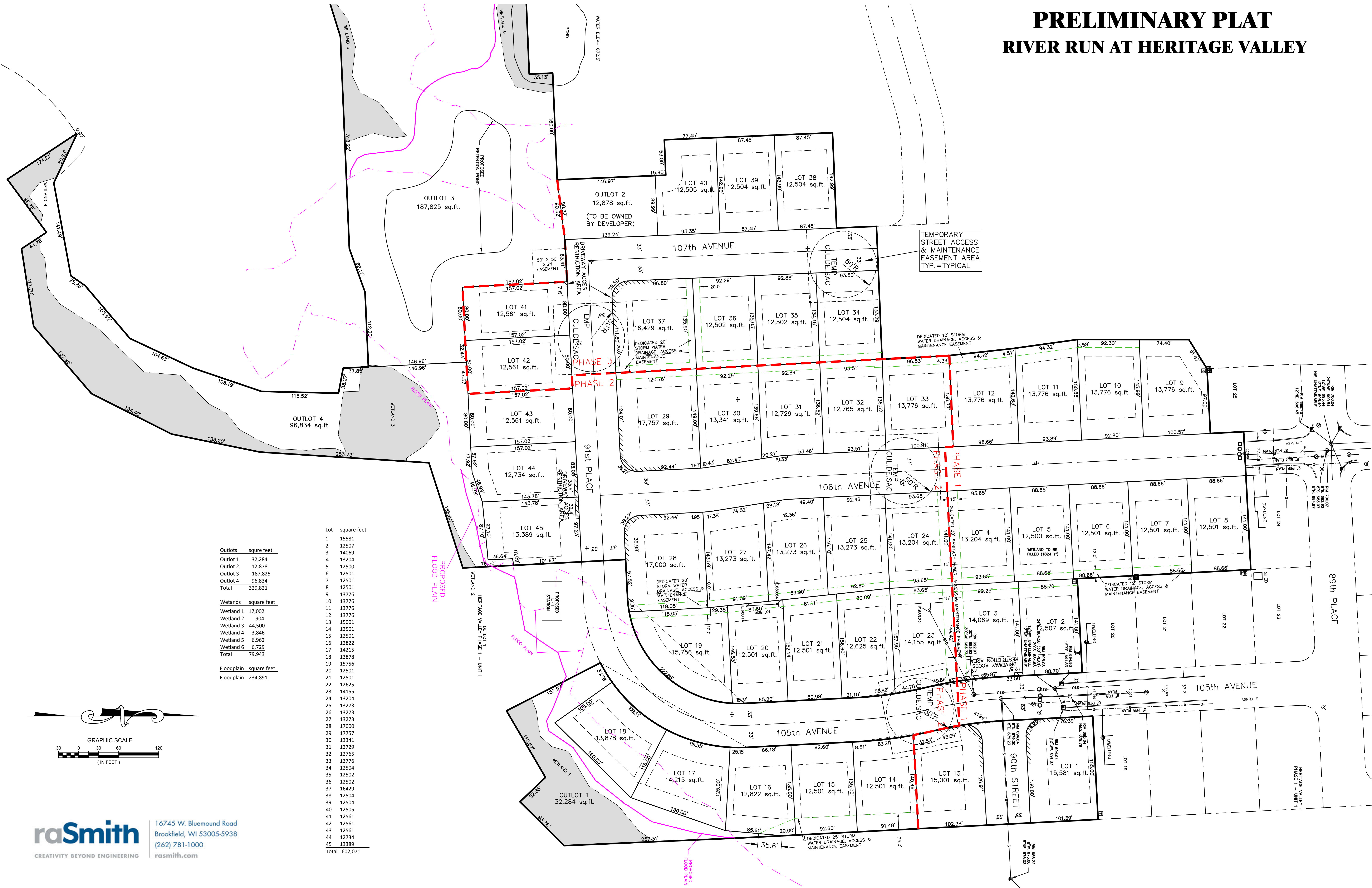
- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- ◆ OR □ SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- BOLLARD
- ✦ SOIL BORING/MONITORING WELL
- ✦ FLAGPOLE
- ✦ MAILBOX
- ✦ SIGN
- BILLBOARD
- AIR CONDITIONER
- CONTROL BOX
- ✦ TRAFFIC SIGNAL
- ✦ RAILROAD CROSSING SIGNAL
- ✦ CABLE PEDESTAL
- ✦ POWER POLE
- ✦ GUY POLE
- ✦ GUY WIRE
- ✦ LIGHT POLE
- ✦ SPOT/YARD/PEDESTAL LIGHT
- ✦ HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- FO MARKED FIBER OPTIC
- ✦ GAS VALVE
- GAS METER
- GAS WARNING SIGN
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- ✦ STORM SEWER END SECTION
- SANITARY MANHOLE
- SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- WELL
- ✦ WATER SURFACE
- ✦ WETLANDS FLAG
- ✦ MARSH
- ✦ CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- BUREAU ELEC. SERV.
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION
- PROPOSED PHASING LIMITS
- EXISTING FLOOD PLAIN
- PROPOSED FLOOD PLAIN
- PROPOSED EASEMENTS
- EXISTING WETLANDS

SOIL TYPES

BcA	Beecher silt loam, 1% TO 3% Slopes
FoB	Fox silt loam, 2% TO 6% Slopes
HbB	Hebron sandy loam, 2% TO 6% Slopes
HeB2	Hubbard loamy fine sand, 6% TO 12% Slopes
MzdB2	Ozaukee silt loam, 2% TO 6% Slopes, eroded
MzdC2	Ozaukee silt loam, 6% TO 12% Slopes, eroded
Na	Navan silt loam
Pa	Palms muck, 0% TO 2% Slopes, eroded
Sm	Sebewa silt loam, 0% TO 2% slopes
W	Water



PRELIMINARY PLAT
RIVER RUN AT HERITAGE VALLEY

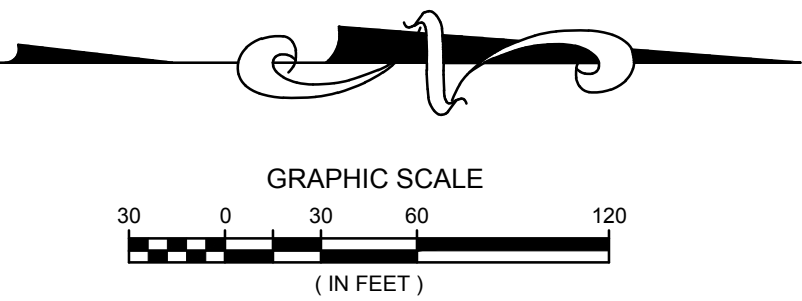


Lot	square feet
1	15581
2	12507
3	14069
4	13204
5	12500
6	12501
7	12501
8	12501
9	13776
10	13776
11	13776
12	13776
13	15001
14	12501
15	12501
16	12822
17	14215
18	13878
19	15756
20	12501
21	12501
22	12625
23	14155
24	13204
25	13273
26	13273
27	13273
28	17000
29	17757
30	13341
31	12729
32	12765
33	13776
34	12504
35	12502
36	12502
37	16429
38	12504
39	12504
40	12505
41	12561
42	12561
43	12561
44	12734
45	13389
Total	602,071

Outlots	square feet
Outlot 1	32,284
Outlot 2	12,878
Outlot 3	187,825
Outlot 4	96,834
Total	329,821

Wetlands	square feet
Wetland 1	17,002
Wetland 2	904
Wetland 3	44,500
Wetland 4	3,846
Wetland 5	6,962
Wetland 6	6,729
Total	79,943

Floodplain	square feet
Floodplain	234,891



raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

LEGEND
(PROPOSED FEATURES)

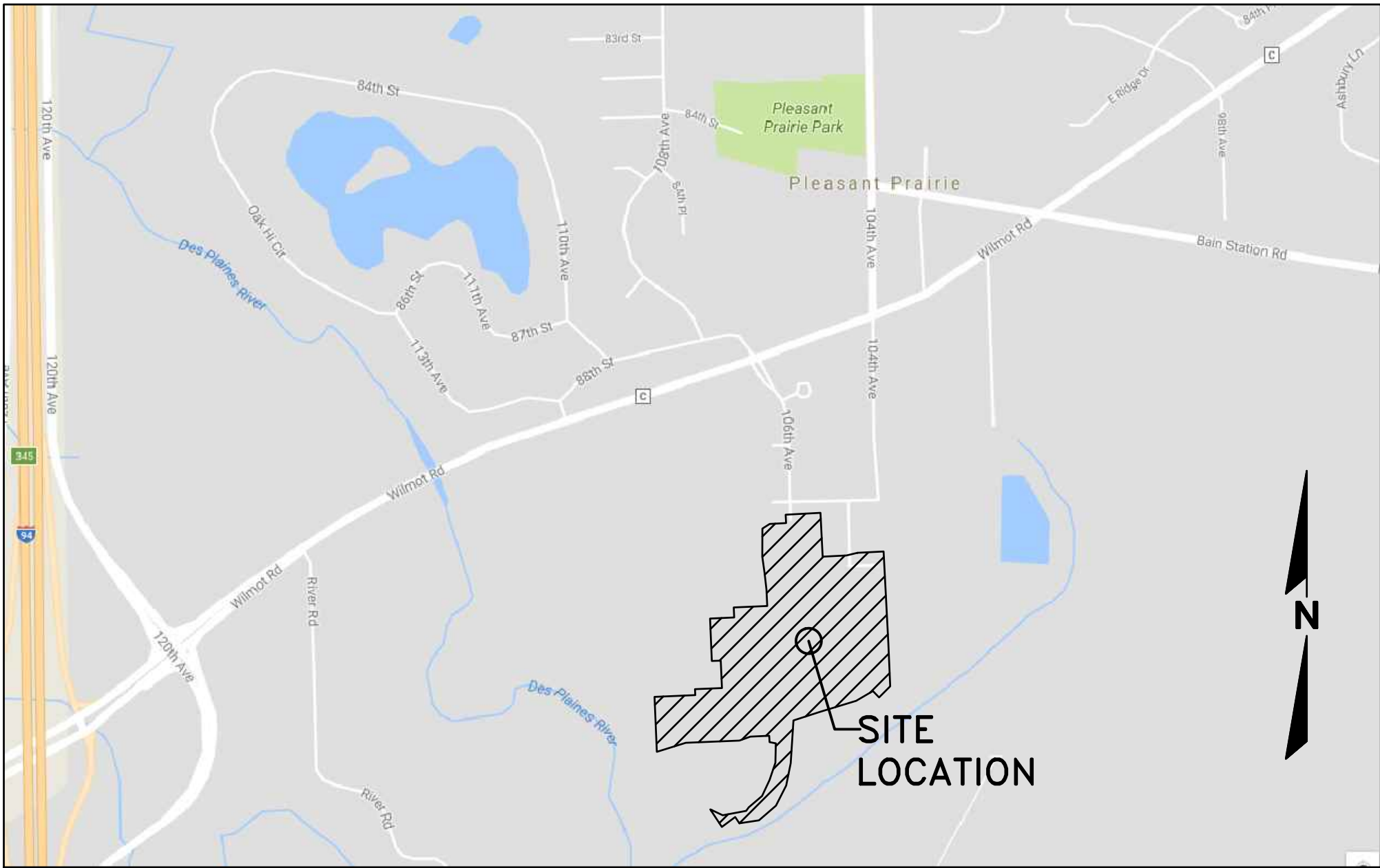
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED ACCESSIBLE PAVEMENT MARKING
	VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE @ THRESHOLD
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, 'LOG' DENOTES AROUND LEVEL FOR LOOK OUT.
	'WOG' DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

() INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT	
	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
	BOLLARD
	SOIL BORING/MONITORING WELL
	FLAGPOLE
	MAILBOX
	SIGN
	BILLBOARD
	AIR CONDITIONER
	CONTROL BOX
	TRAFFIC SIGNAL
	RAILROAD CROSSING SIGNAL
	CABLE PEDESTAL
	POWER POLE
	GUY POLE
	GUY WIRE
	LIGHT POLE
	SPOT/YARD/PEDESTAL LIGHT
	HANDICAPPED PARKING
	ELECTRIC MANHOLE
	ELECTRIC PEDESTAL
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	TELEPHONE MANHOLE
	TELEPHONE PEDESTAL
	MARKED FIBER OPTIC
	GAS VALVE
	GAS METER
	GAS WARNING SIGN
	STORM MANHOLE
	ROUND INLET
	SQUARE INLET
	STORM SEWER END SECTION
	SANITARY MANHOLE
	SANITARY CLEANOUT OR SEPTIC VENT
	SANITARY INTERCEPTOR MANHOLE
	MISCELLANEOUS MANHOLE
	WATER VALVE
	HYDRANT
	WATER SERVICE CURB STOP
	WATER MANHOLE
	WELL
	WATER SURFACE
	WETLANDS FLAG
	MARSH
	CONIFEROUS TREE
	DECIDUOUS TREE
	SHRUB
	EDGE OF TREES
	SANITARY SEWER
	STORM SEWER
	WATERMAIN
	MARKED GAS MAIN
	MARKED ELECTRIC
	OVERHEAD WIRES
	BUREAU ELEC. SERV.
	MARKED TELEPHONE
	MARKED CABLE TV LINE
	MARKED FIBER OPTIC
	INDICATES EXISTING CONTOUR ELEVATION
	INDICATES EXISTING SPOT ELEVATION
	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE

PRELIMINARY PLANS
FOR
RIVER RUN AT HERITAGE VALLEY
SUBDIVISION
PLEASANT PRAIRIE, WI

VICINITY MAP



OWNER:
U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:
R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:
VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

- NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
- SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
- SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

AT&T
JAY BULANEK
262-896-7669

PLAN INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE PLAN
3-5	EROSION CONTROL PLANS
6-9	MASTER GRADING PLANS
10-13	CONSTRUCTION PHASING
14	OVERALL UTILITY PLAN
15-19	SANITARY & WATER MAIN PLAN AND PROFILE
20-23	ROADWAY & STORM SEWER PLAN AND PROFILE
24	LIFT STATION SITE PLAN
25-31	PROJECT DETAILS

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

TITLE SHEET



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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NONE

JOB NO. 1160367

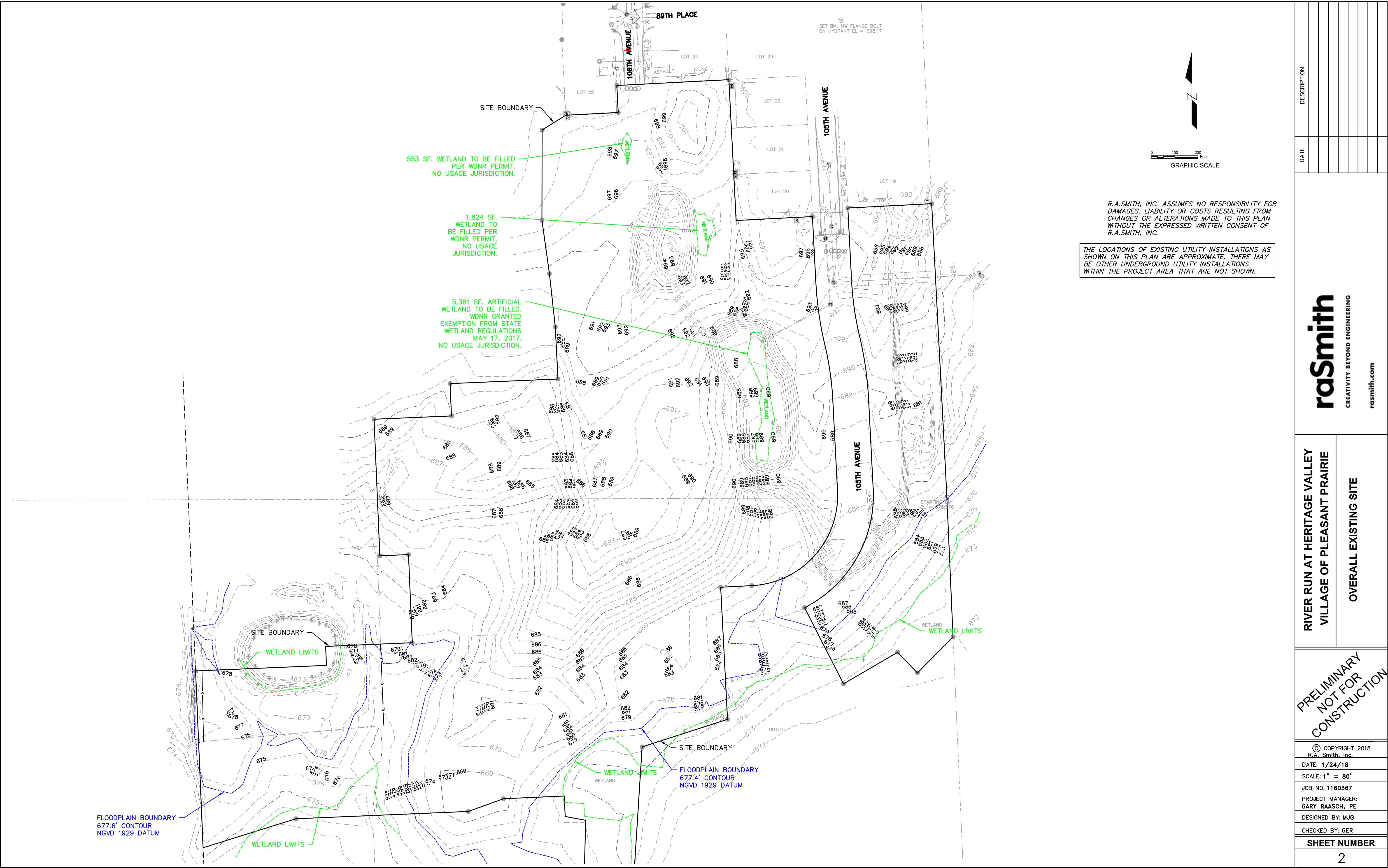
PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: GER

SHEET NUMBER

1



DESCRIPTION	
DATE	
<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
OVERALL EXISTING SITE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 80'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
2	

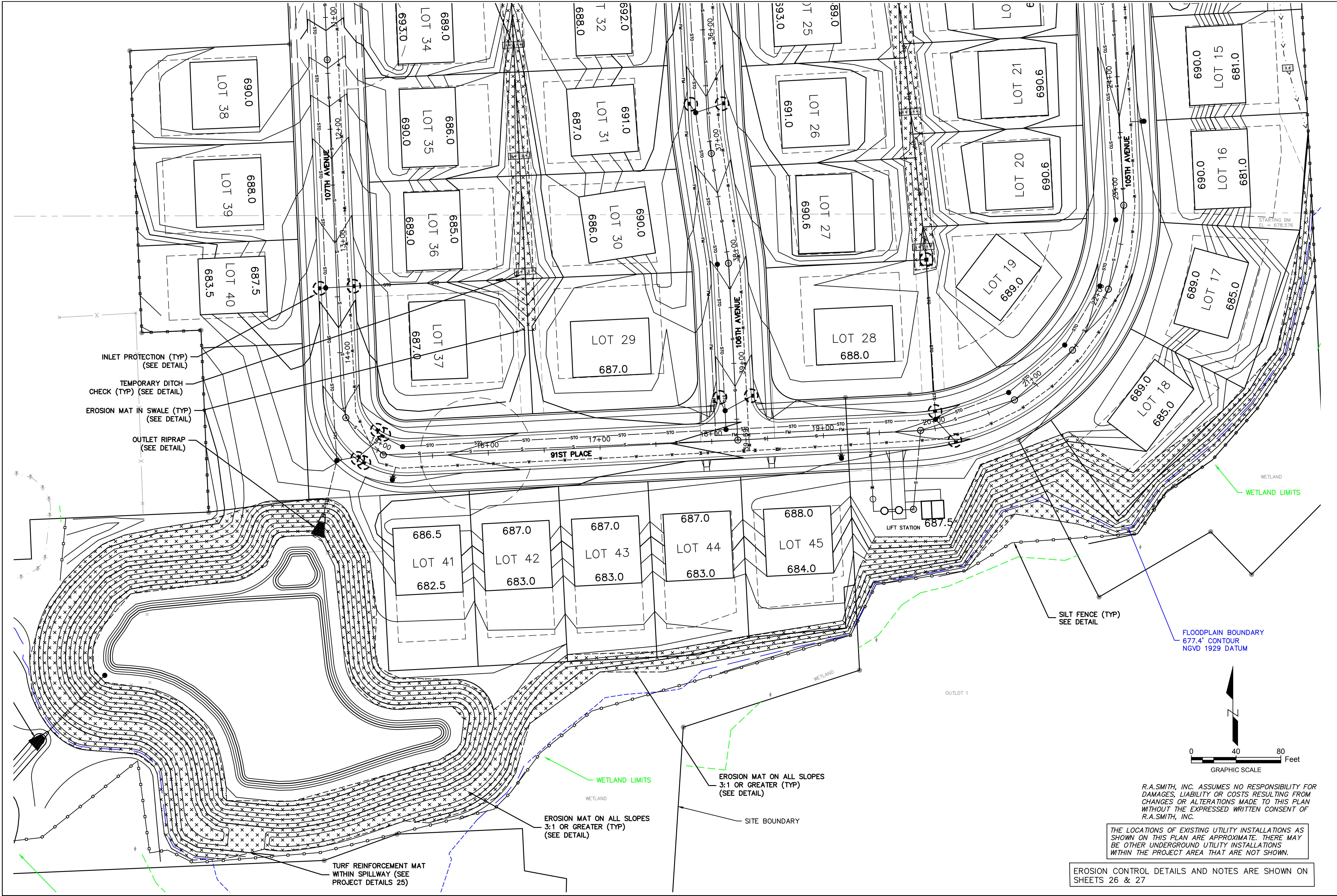
EROSION CONTROL DETAILS AND NOTES ARE SHOWN ON SHEETS 26 & 27

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

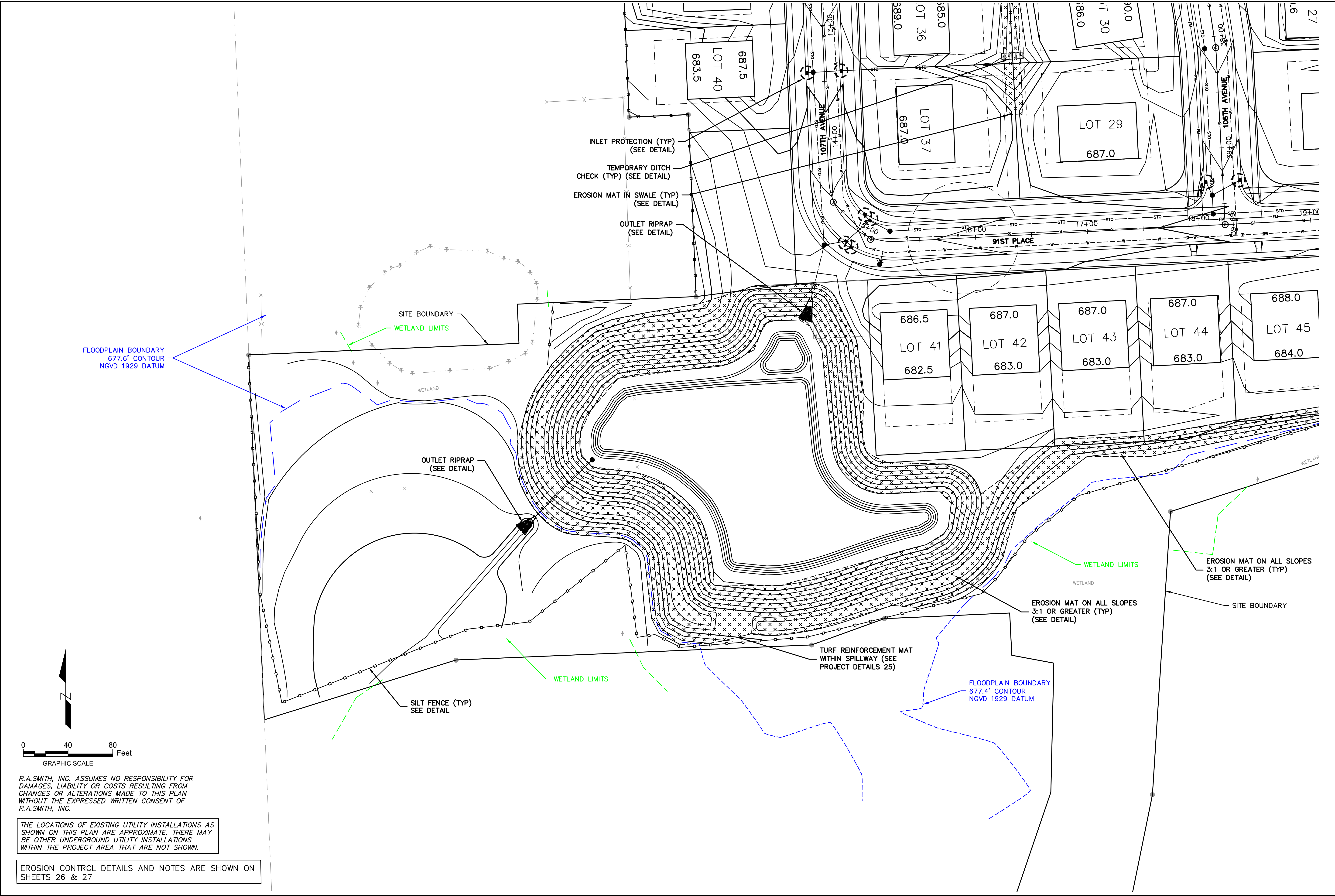
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XXX.X - YARD GRADE





DESCRIPTION		DATE
<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>		
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE		
EROSION CONTROL PLAN		
SOUTH		
PRELIMINARY NOT FOR CONSTRUCTION		
© COPYRIGHT 2018 R.A. Smith, Inc.		
DATE: 1/24/18		
SCALE: 1" = 40'		
JOB NO. 1160367		
PROJECT MANAGER: GARY RAASCH, PE		
DESIGNED BY: MJG		
CHECKED BY: GER		
SHEET NUMBER		
4		



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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

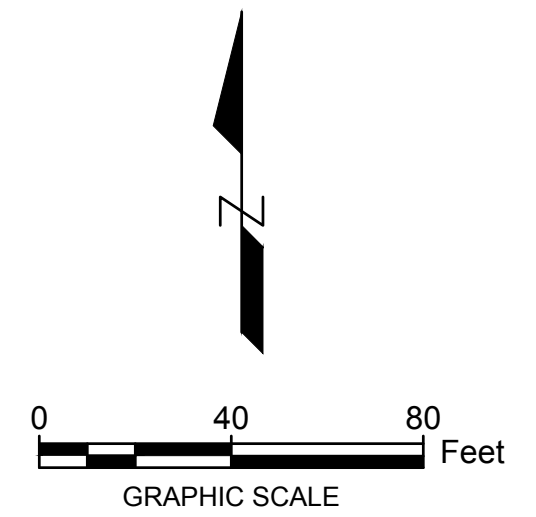
EROSION CONTROL DETAILS AND NOTES ARE SHOWN ON SHEETS 26 & 27


DESCRIPTION		DATE
<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>		
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE		
EROSION CONTROL PLAN		
POND		
PRELIMINARY NOT FOR CONSTRUCTION		
© COPYRIGHT 2018 R.A. Smith, Inc.		
DATE: 1/24/18		
SCALE: 1" = 40'		
JOB NO. 1160367		
PROJECT MANAGER: GARY RAASCH, PE		
DESIGNED BY: MJG		
CHECKED BY: GER		
SHEET NUMBER		
5		

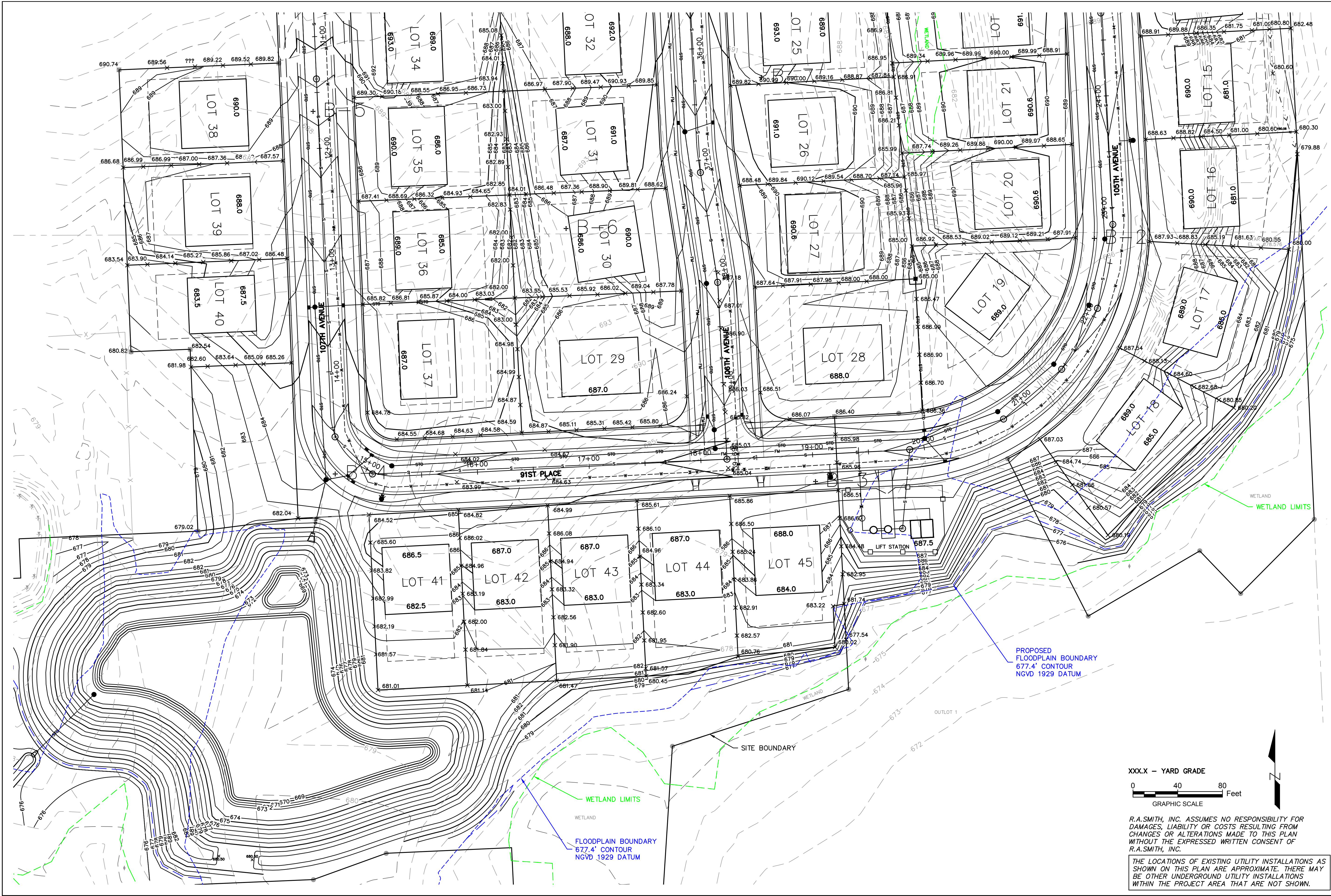
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

553 SF. WETLAND TO BE FILLED
PER WDNR PERMIT.
NO USACE JURISDICTION.

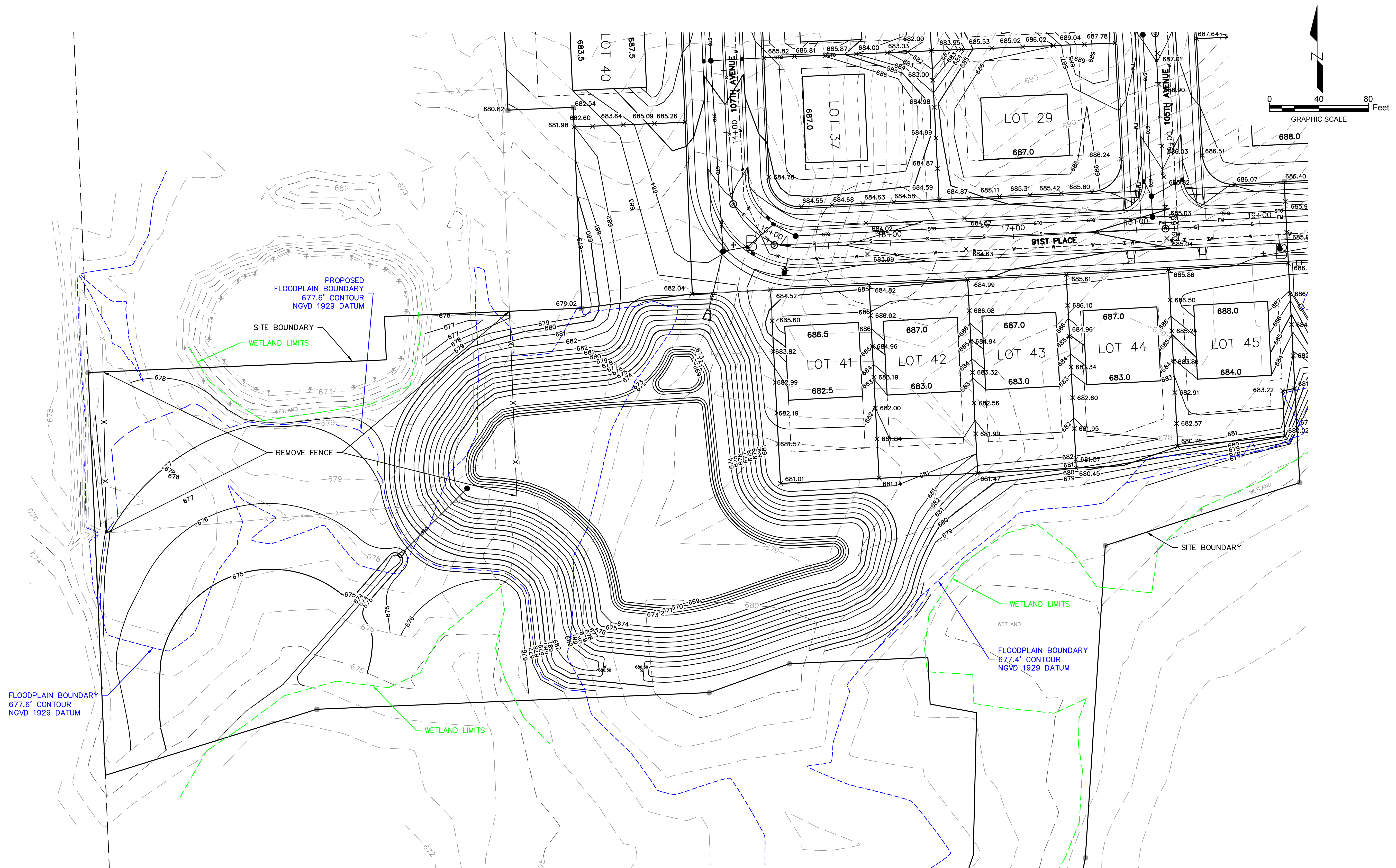
5,381 SF. ARTIFICIAL WETLAND TO BE FILLED.
WDNR GRANTED EXEMPTION FROM STATE
WETLAND REGULATIONS MAY 17, 2017.
NO USACE JURISDICTION.



 CREATIVITY BEYOND ENGINEERING rasmith.com		DATE	DESCRIPTION
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE		MASTER GRADING PLAN NORTH LOTS	
PRELIMINARY NOT FOR CONSTRUCTION			
© COPYRIGHT 2018 R.A. Smith, Inc.			
DATE: 1/24/18			
SCALE: 1" = 40'			
JOB NO. 1160367			
PROJECT MANAGER: GARY RAASCH, PE			
DESIGNED BY: MJG			
CHECKED BY: GER			
SHEET NUMBER			
7			



DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	
MASTER GRADING PLAN SOUTH LOTS	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER 8	



XXX.X – YARD GRADE

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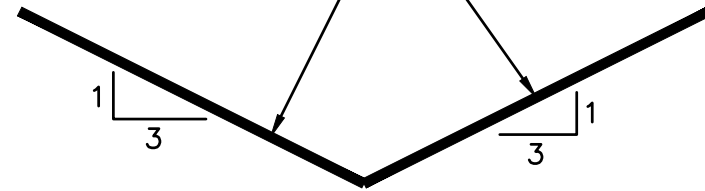
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>		DATE	DESCRIPTION
<div>RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE</div> <div>MASTER GRADING PLAN</div> <div>SOUTH POND</div>		<div>PRELIMINARY NOT FOR CONSTRUCTION</div>	
		© COPYRIGHT 2018 R.A. Smith, Inc.	
		DATE: 1/24/18	
		SCALE: 1" = 40'	
		JOB NO. 1160367	
		PROJECT MANAGER: GARY RAASCH, PE	
		DESIGNED BY: MJG	
		CHECKED BY: GER	
		SHEET NUMBER	
		9	

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

RESTORE WITH 4" MIN. TOP SOIL, GRASS
SEED AND CLASS 1 TYPE B EROSION MAT



TEMPORARY DIVERSION
SWALE SECTION

SITE BOUNDARY



raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

**RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE**

CONSTRUCTION PHASING

PHASEE 1 - SWALE TO POND

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGER
GARY RAASCH, P.E.

DESIGNED BY: MJC

CHECKED BY: GEP

SHEET NUMBER

11

PROPOSED WATER MAIN ————— W —————

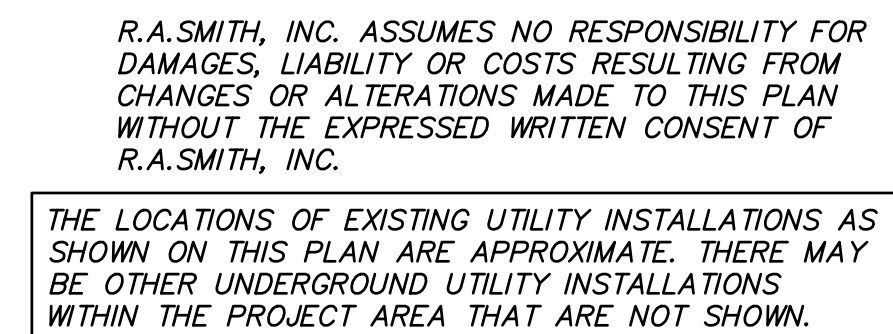
PROPOSED STORM SEWER ————— STO —————

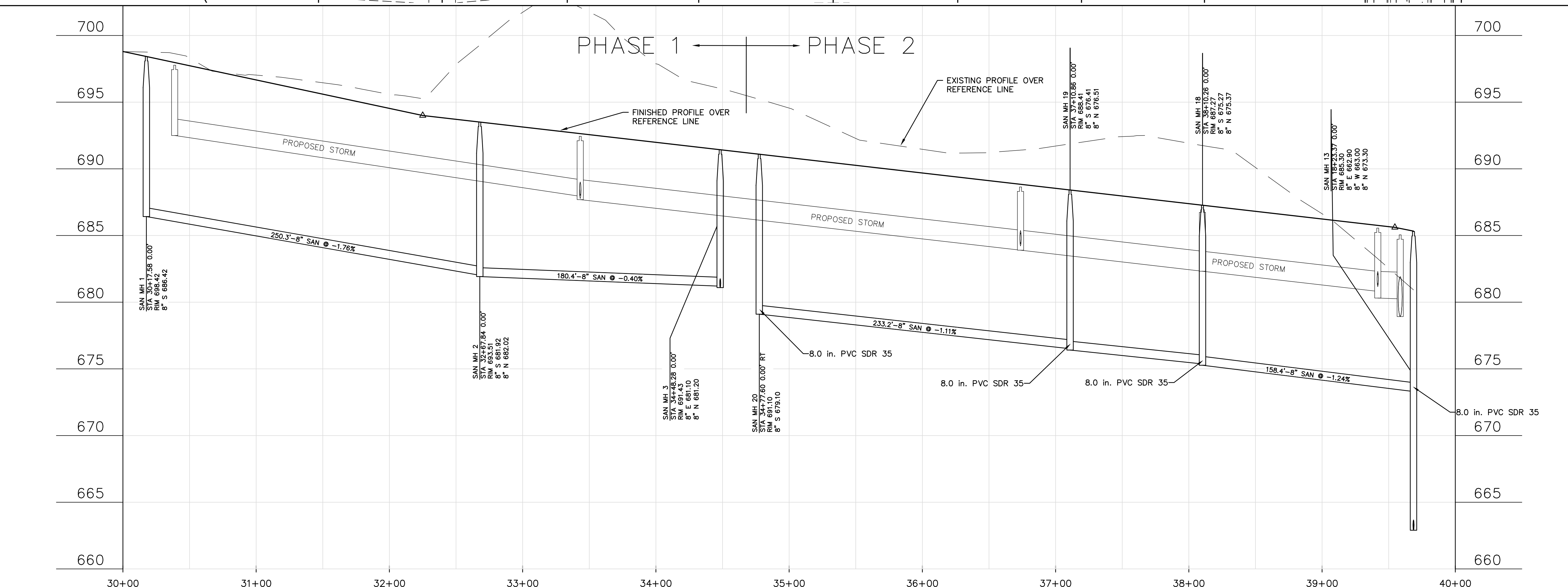
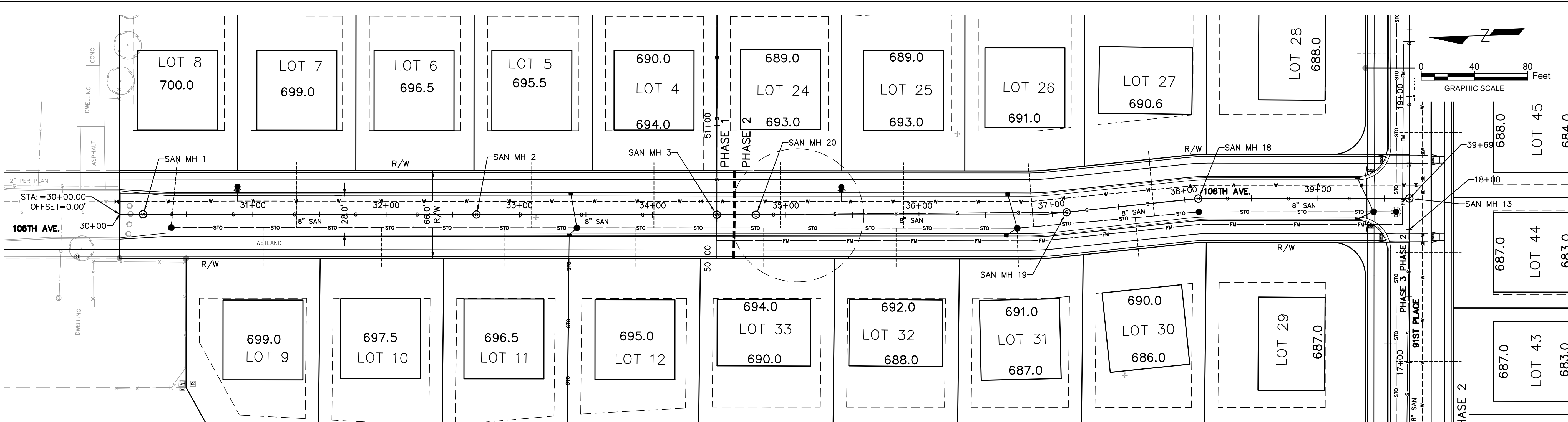
PROPOSED SANITARY SEWER ————— S —————

PROPOSED FORCE MAIN ————— FM —————

LOTS 1 – 12 ARE SERVED BY GRAVITY SEWER.

LOTS 12 – 45 ARE SERVED BY LIFT STATION.

[illegible]



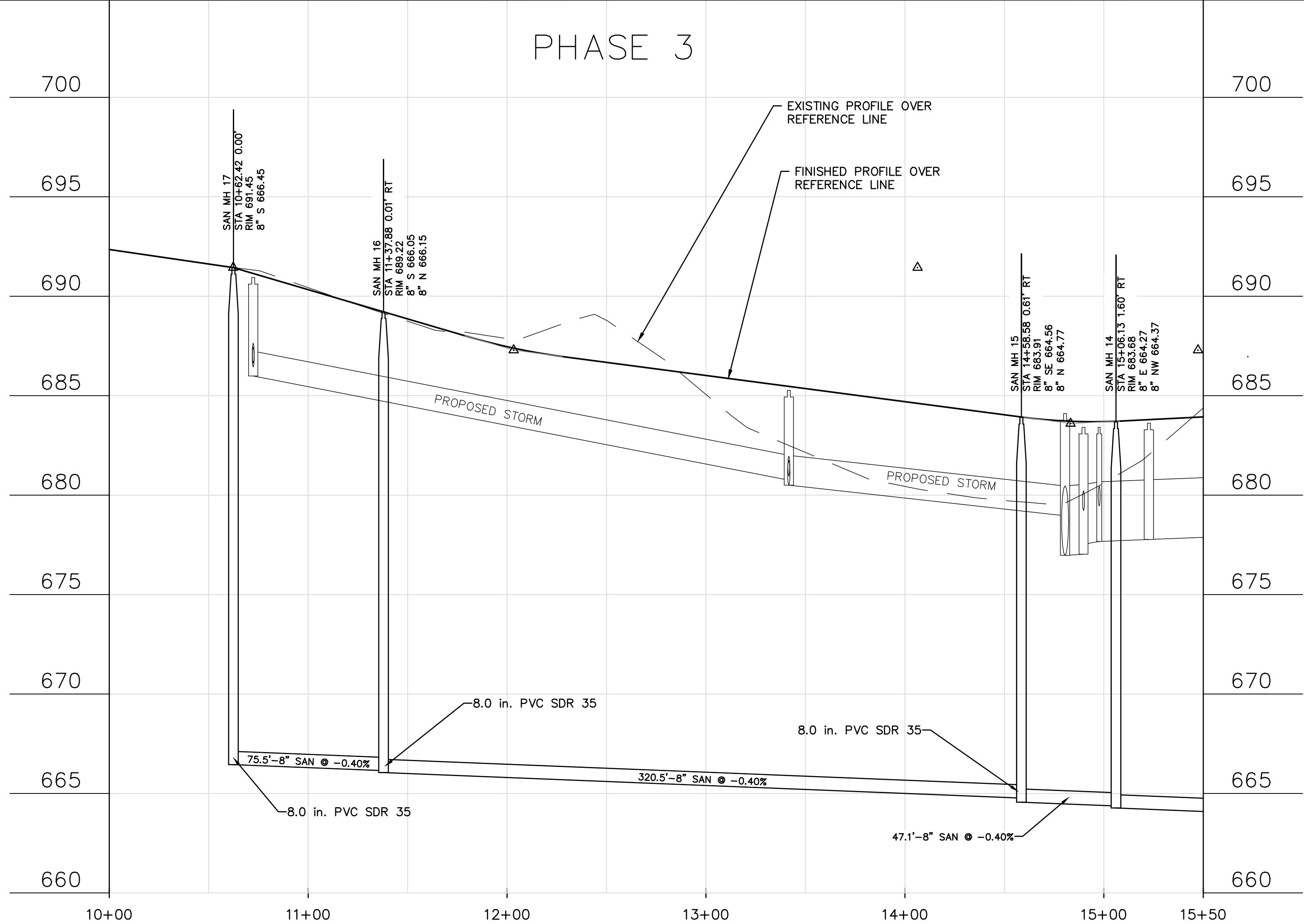
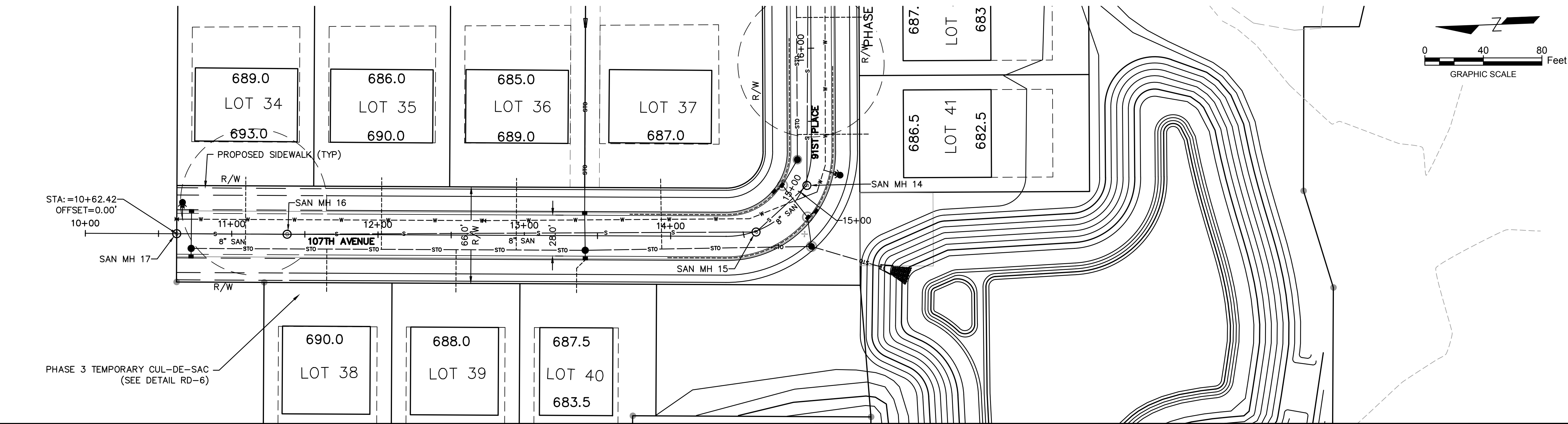
THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 106TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
17	



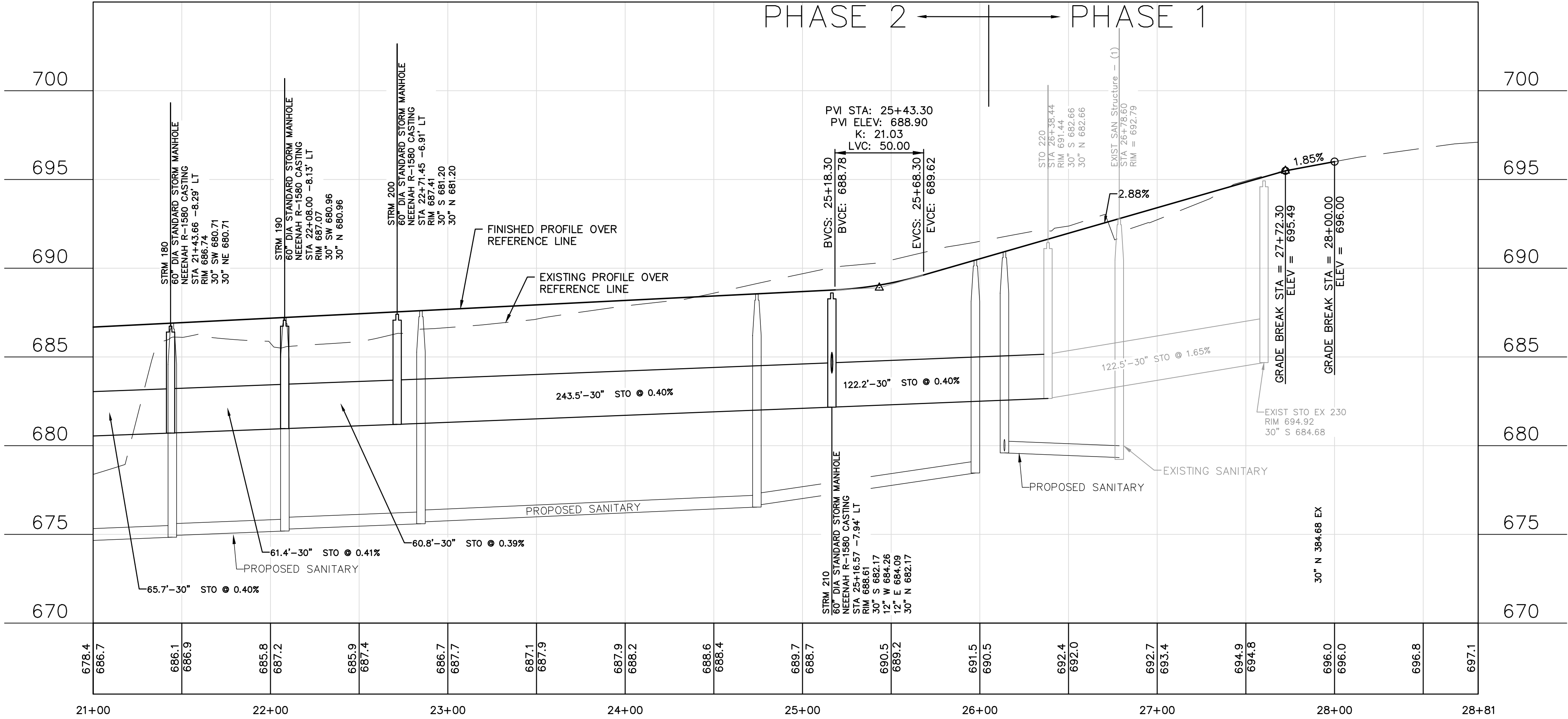
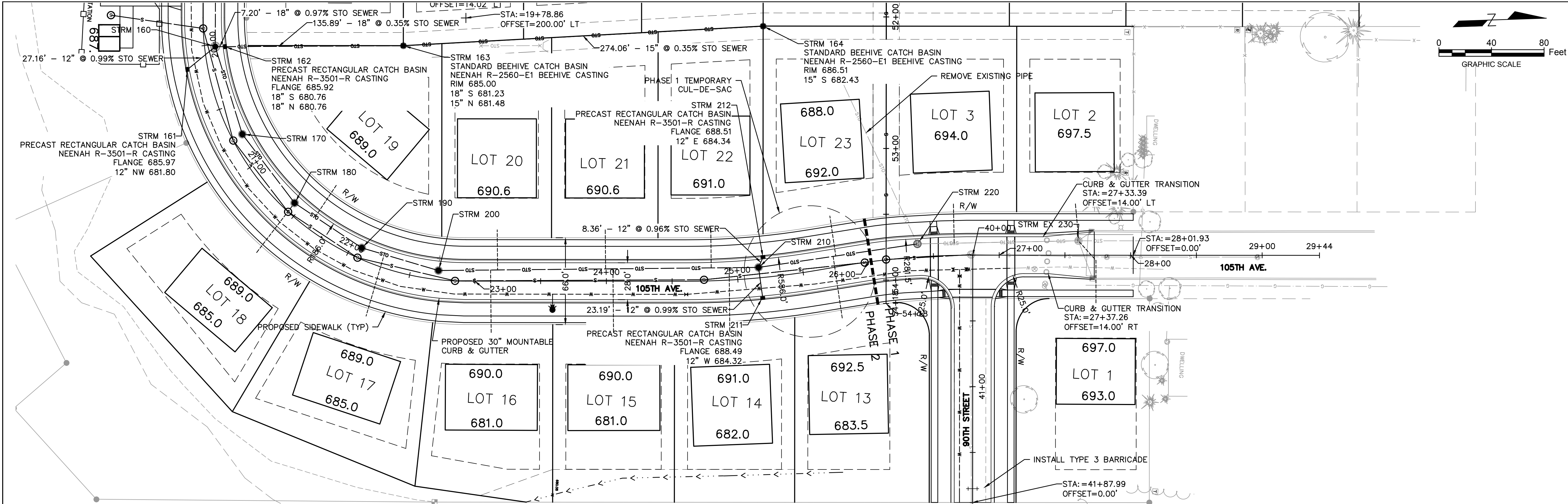
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THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

DESCRIPTION	
DATE	
<div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE SANITARY & WATER MAIN PLAN AND PROFILE 89TH PLACE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
19	



NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

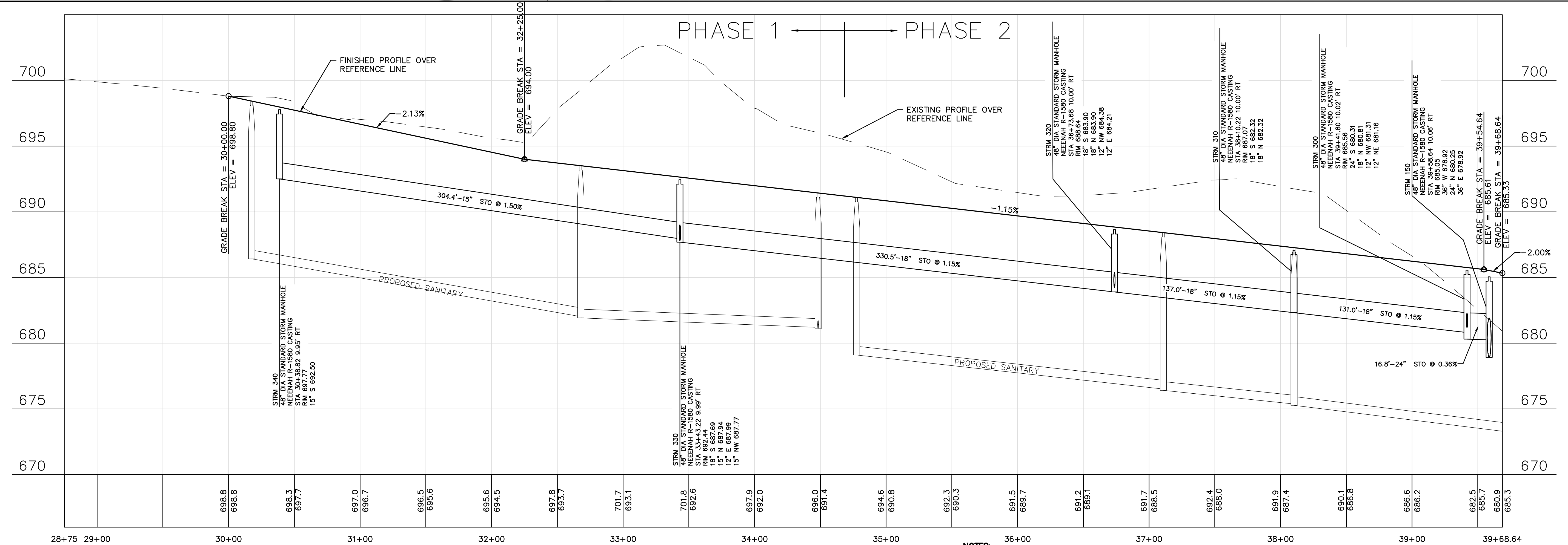
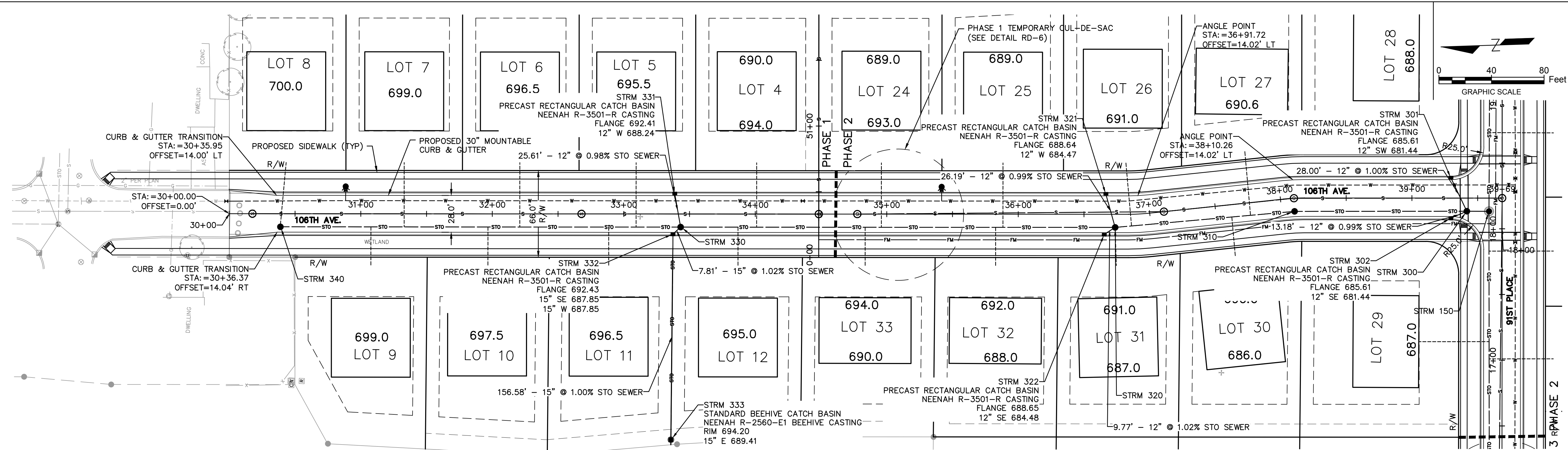
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THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

PIPE LENGTH DISTANCES & ELEVATIONS ARE GIVEN FROM CENTER OF STRUCTURE OR END OF OUTFALL STRUCTURES. OUTFALL STRUCTURES SHALL BE PLACED TO BLEND WITH EXISTING OR PROPOSED TOPOGRAPHY.

DESCRIPTION	
DATE	
<div><div>CREATIVITY BEYOND ENGINEERING</div><div>rasmith.com</div></div>	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 105TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc.	
DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
20	



THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

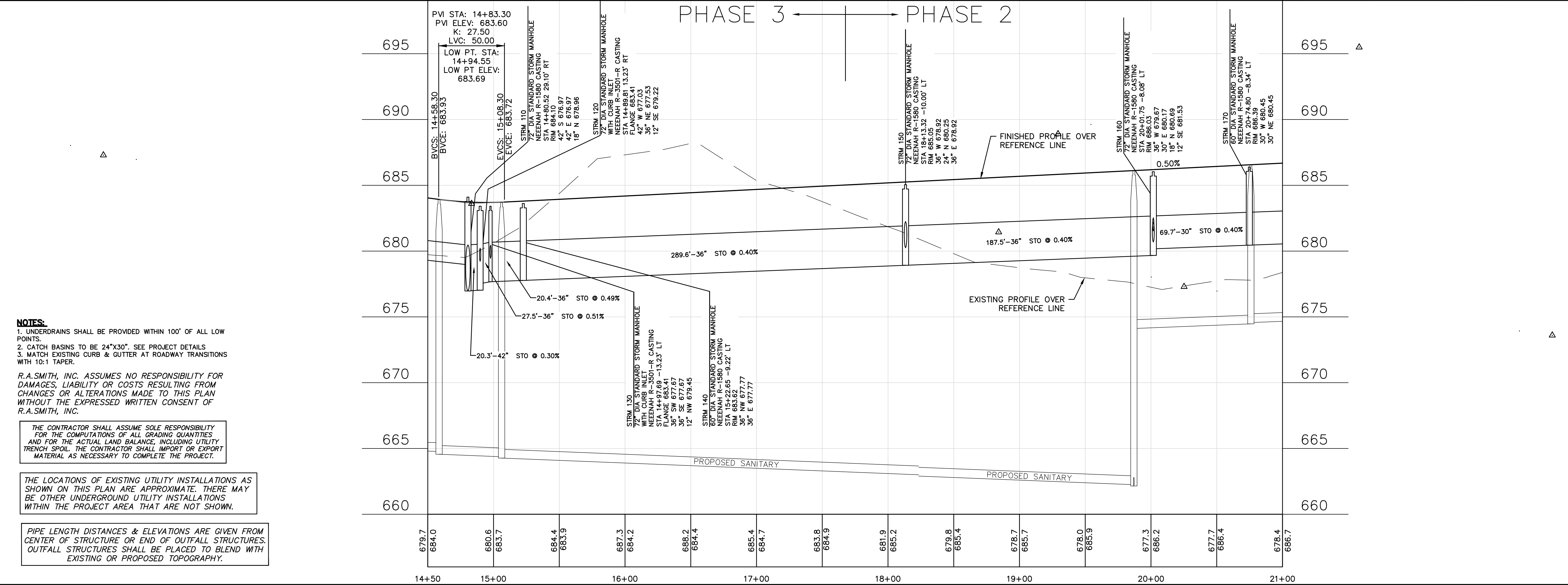
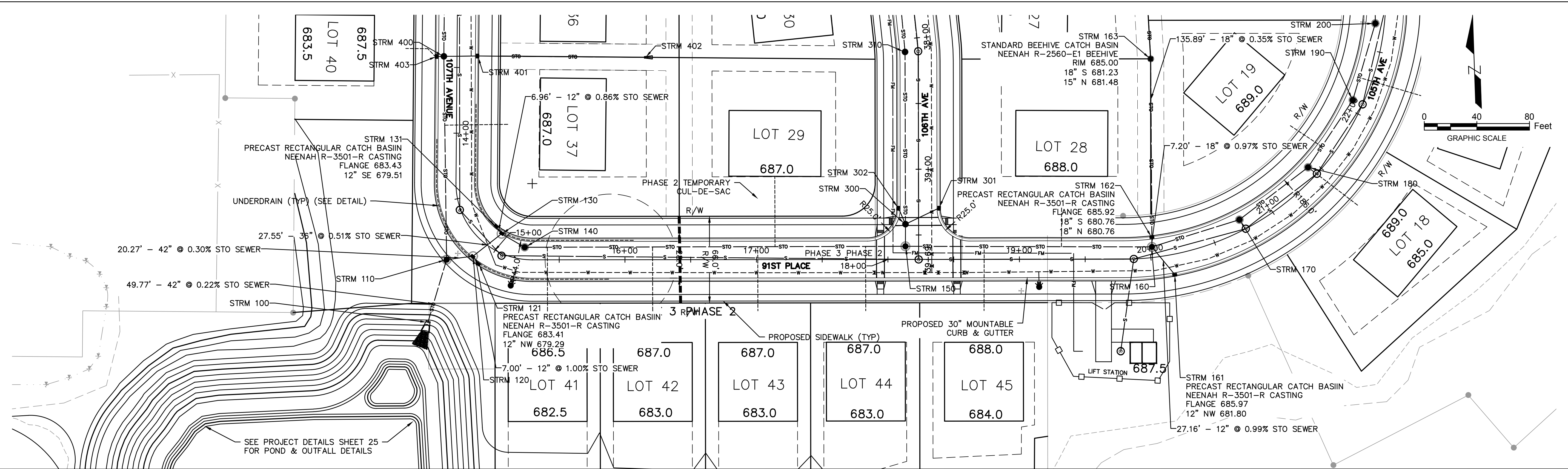
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NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS.
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 106TH AVENUE	
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DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
21	



NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.

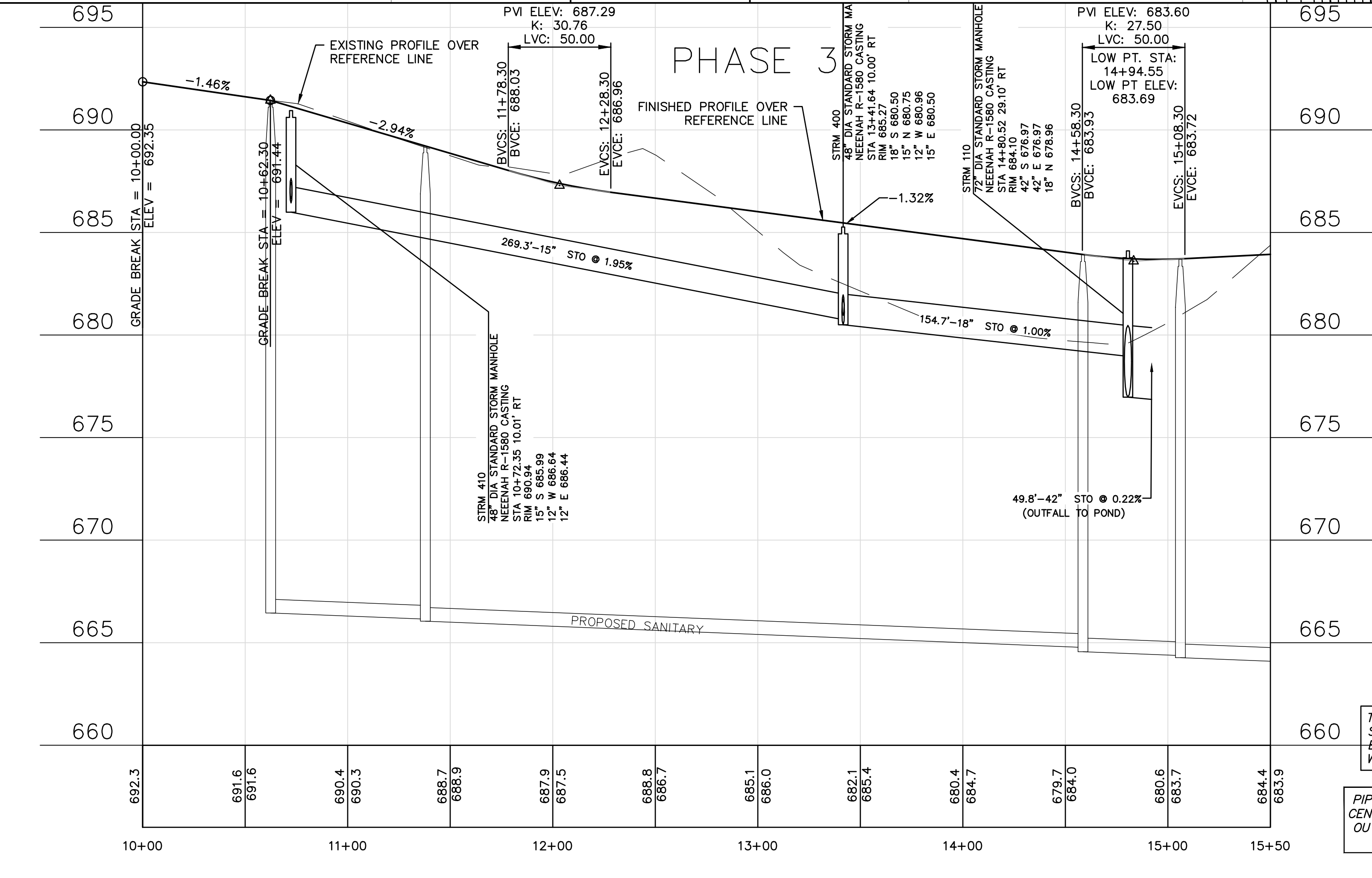
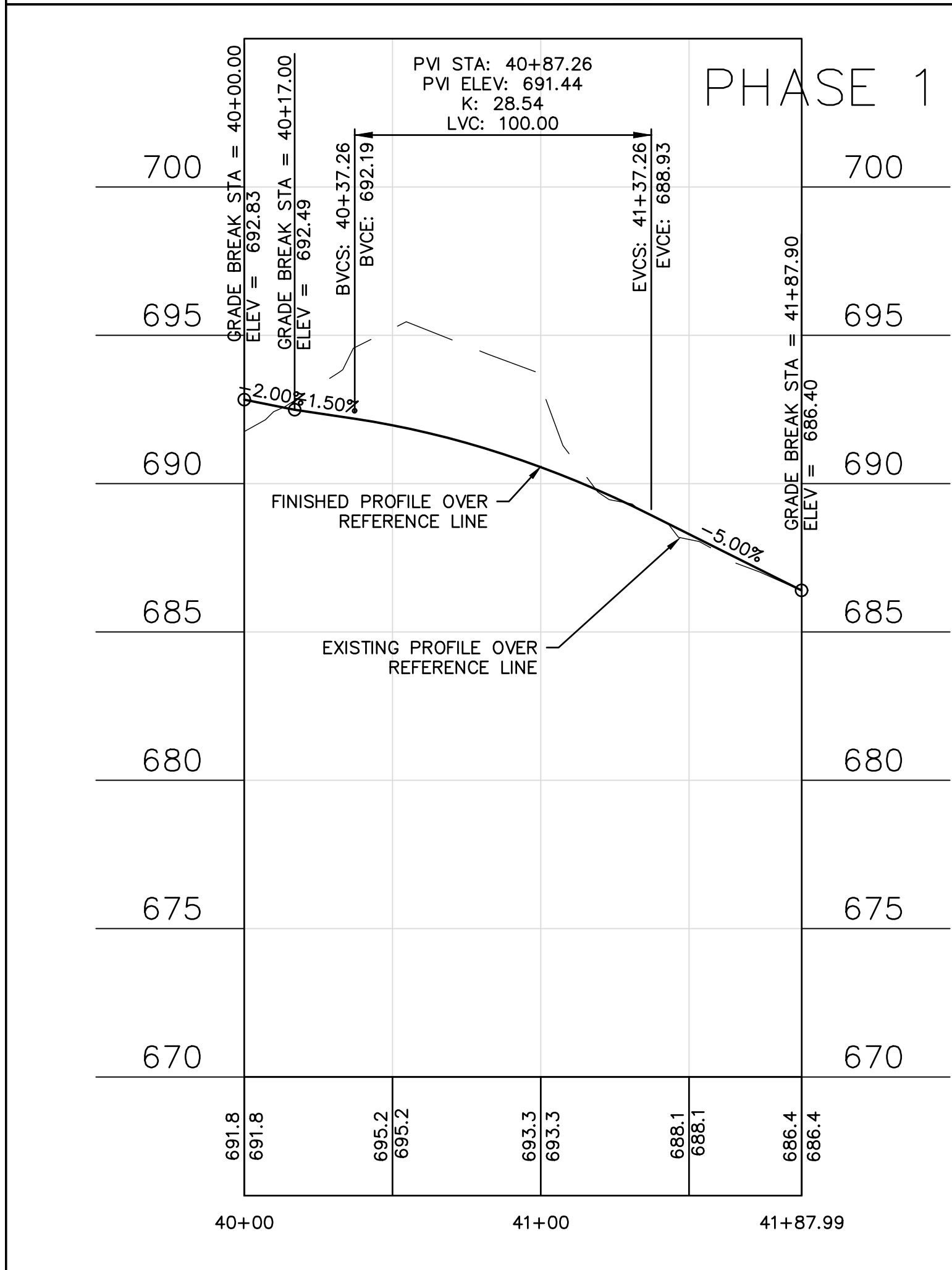
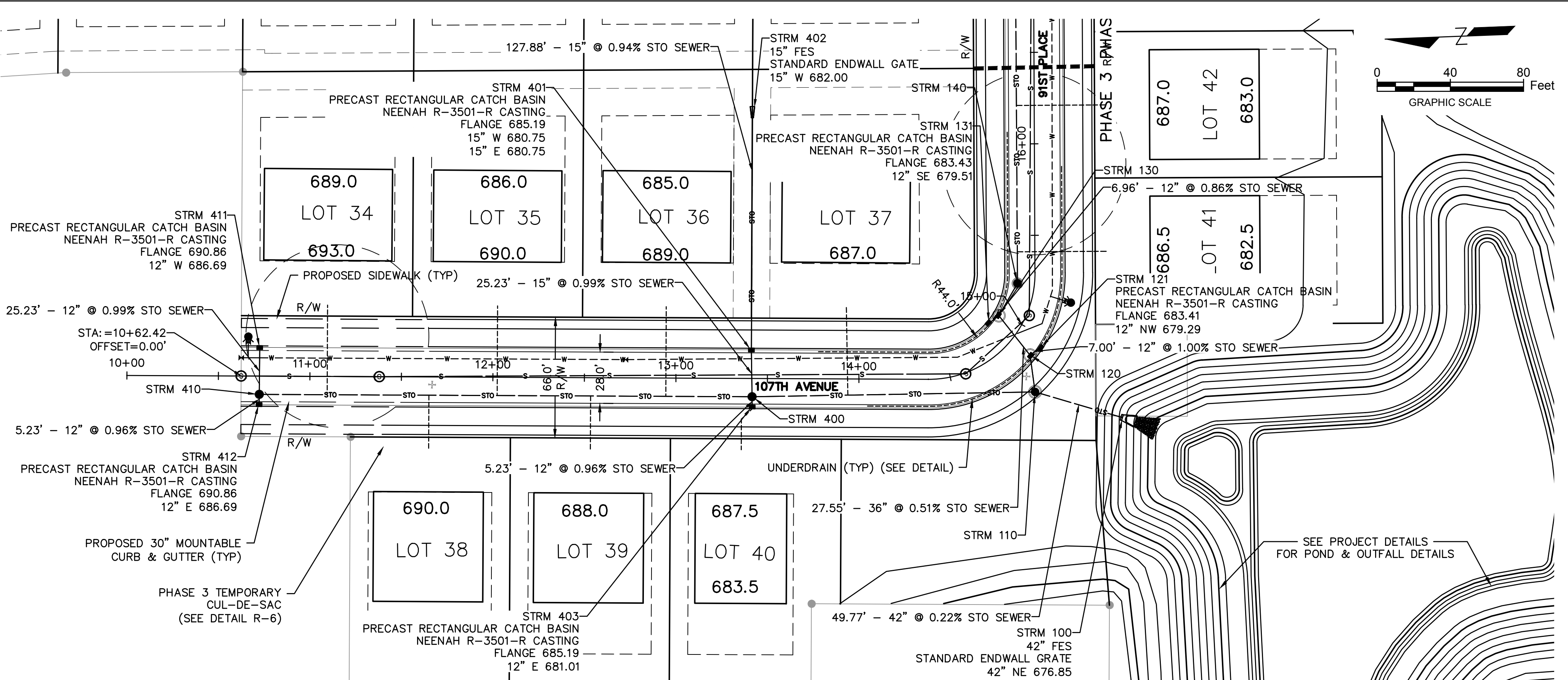
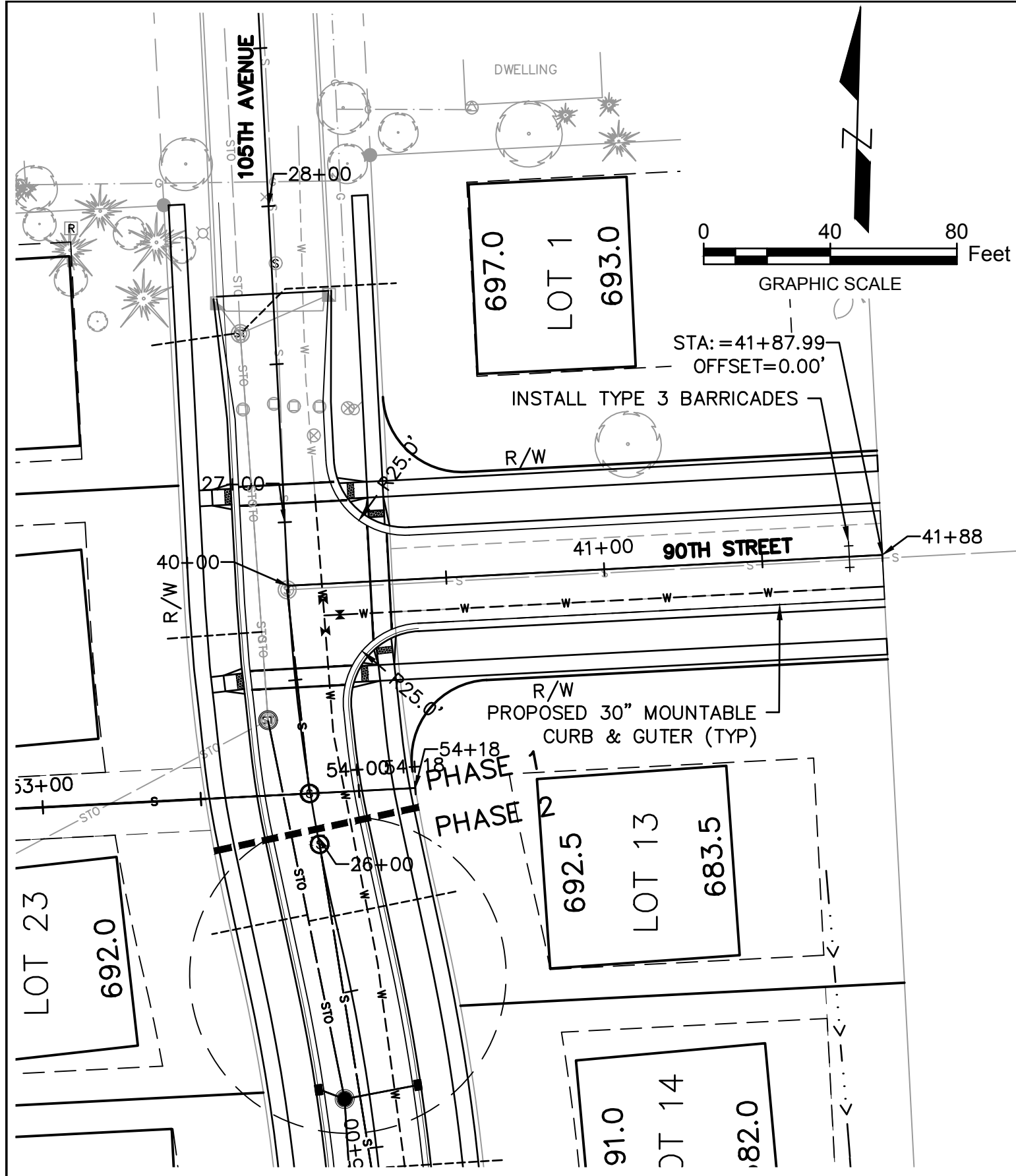
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DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 91ST PLACE	
PRELIMINARY NOT FOR CONSTRUCTION	
© COPYRIGHT 2018 R.A. Smith, Inc. DATE: 1/24/18 SCALE: 1" = 40' JOB NO. 1160367 PROJECT MANAGER: GARY RAASCH, PE DESIGNED BY: MJG CHECKED BY: GER	
SHEET NUMBER 22	



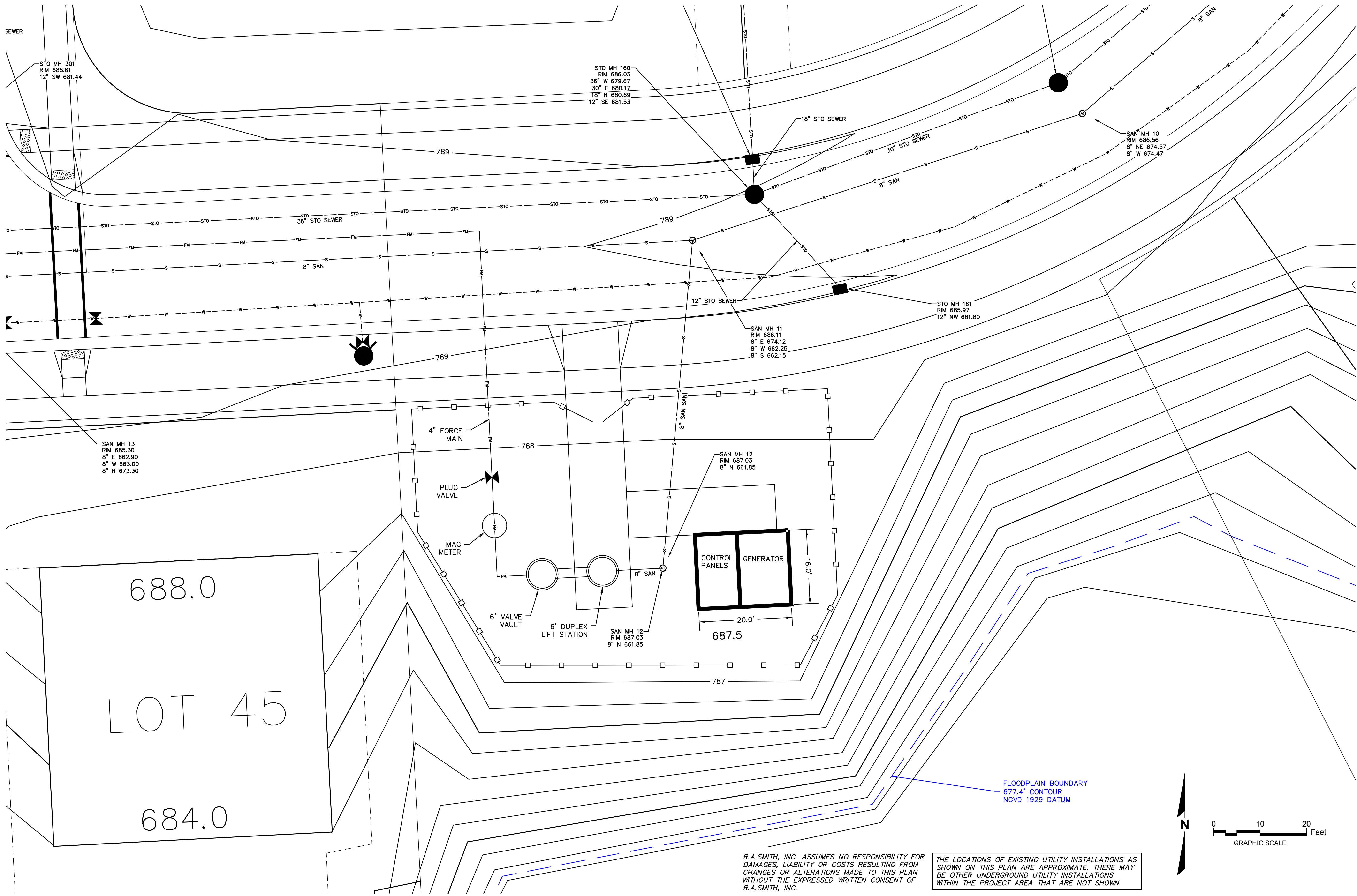
NOTES:
1. UNDERDRAINS SHALL BE PROVIDED WITHIN 100' OF ALL LOW POINTS.
2. CATCH BASINS TO BE 24"x30". SEE PROJECT DETAILS
3. MATCH EXISTING CURB & GUTTER AT ROADWAY TRANSITIONS WITH 10:1 TAPER.
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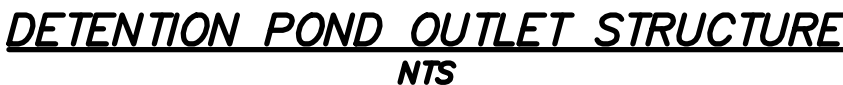
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DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE ROADWAY AND STORM SEWER PLAN AND PROFILE 90TH PLACE AND 107TH AVENUE	
PRELIMINARY NOT FOR CONSTRUCTION	
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DATE: 1/24/18	
SCALE: 1" = 40'	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: MJG	
CHECKED BY: GER	
SHEET NUMBER	
23	

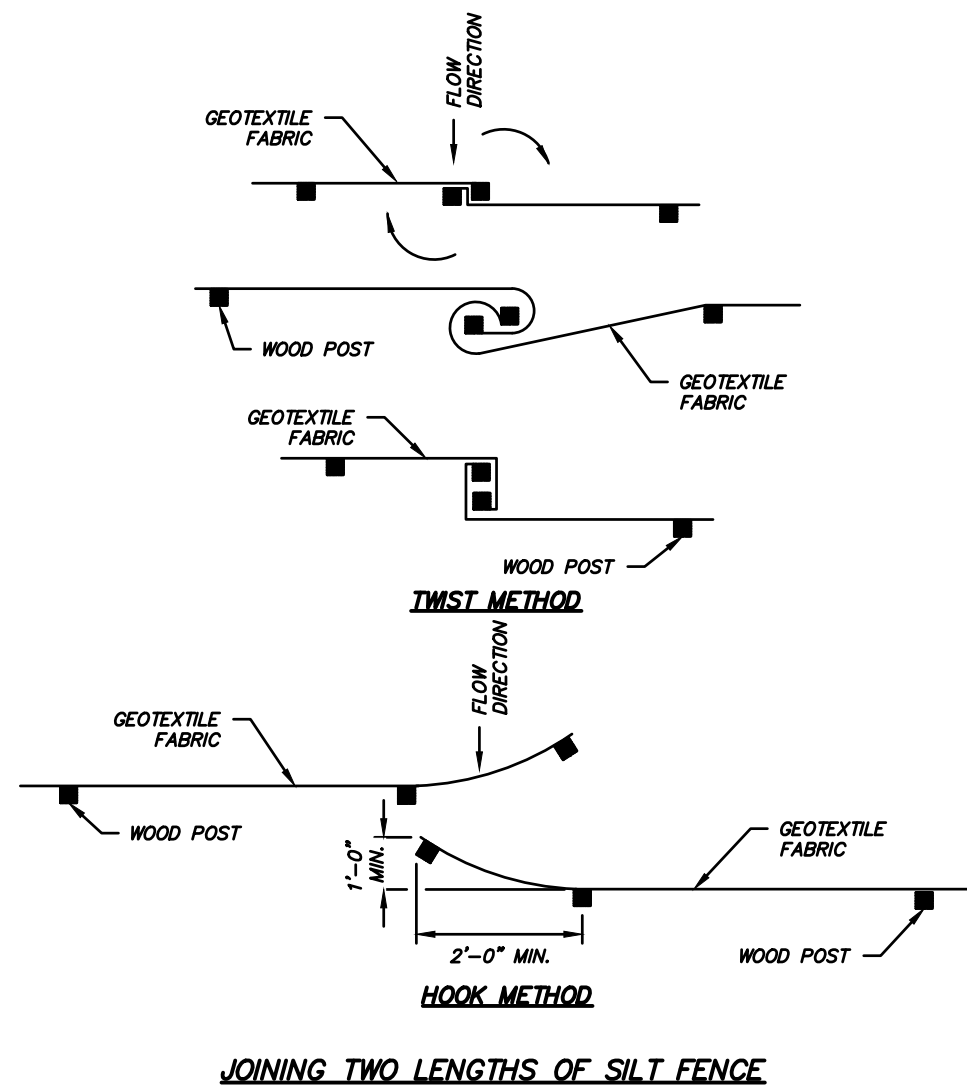
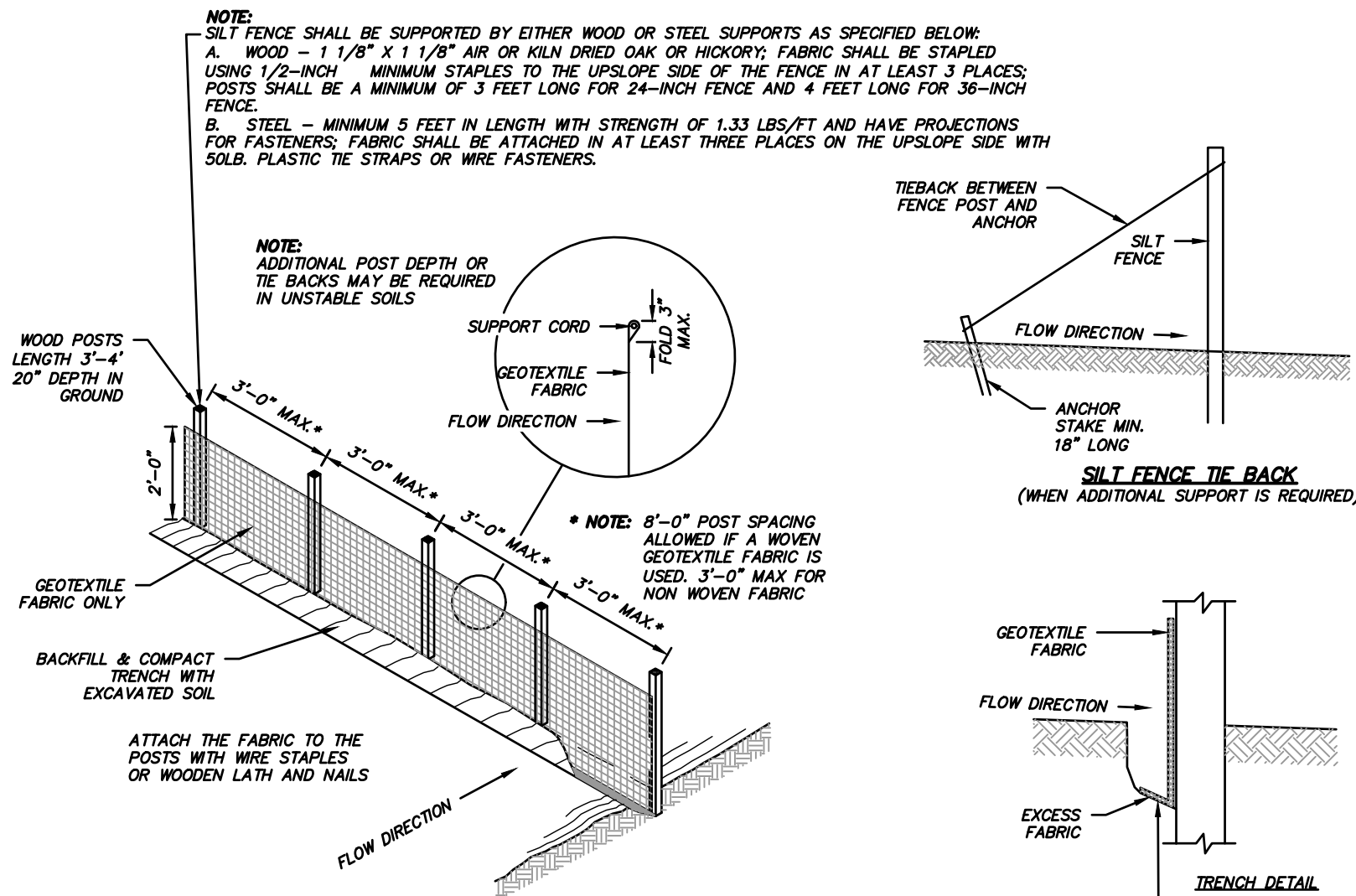


DESCRIPTION	
DATE	
raSmith CREATIVITY BEYOND ENGINEERING rasmith.com	
RIVER RUN AT HERITAGE VALLEY VILLAGE OF PLEASANT PRAIRIE	LIFT STATION SITE PLAN
PRELIMINARY NOT FOR CONSTRUCTION	
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DATE: 1/24/18	
SCALE: NTS	
JOB NO. 1160367	
PROJECT MANAGER: GARY RAASCH, PE	
DESIGNED BY: BAF	
CHECKED BY: ----	
SHEET NUMBER	
24	



25

- NOTES:**
- SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO MDNR CONSERVATION STANDARD 1059.
 - SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 - WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:
- | SLOPE | FENCE SPACING |
|-----------|---------------|
| < 2% | 100 FEET |
| 2 TO 5% | 75 FEET |
| 5 TO 10% | 50 FEET |
| 10 TO 33% | 25 FEET |
| > 33% | 20 FEET |
- INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
 - A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
 - SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - TWIST METHOD---OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - HOOK METHOD---HOOK THE END OF EACH SILT FENCE LENGTH.
 - SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
 - SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
 - SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



EROSION CONTROL MAINTENANCE PLAN:

- ALL MAINTENANCE IS TO BE IN ACCORDANCE WITH APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN THREE FOOT PERMANENT POOL DEPTH BELOW THE OUTLET INVERT ELEVATION. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND EROSION BALES (IF USED) WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE. THE SILT FENCE AND EROSION BALES WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL SEEDED AREAS WILL BE FERTILIZED, RESEDED AS NECESSARY, AND MULCHED ACCORDING TO PROJECT SPECIFICATIONS TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHED, BEFORE THE END OF EACH WORKING DAY.

VEGETATION PLAN:

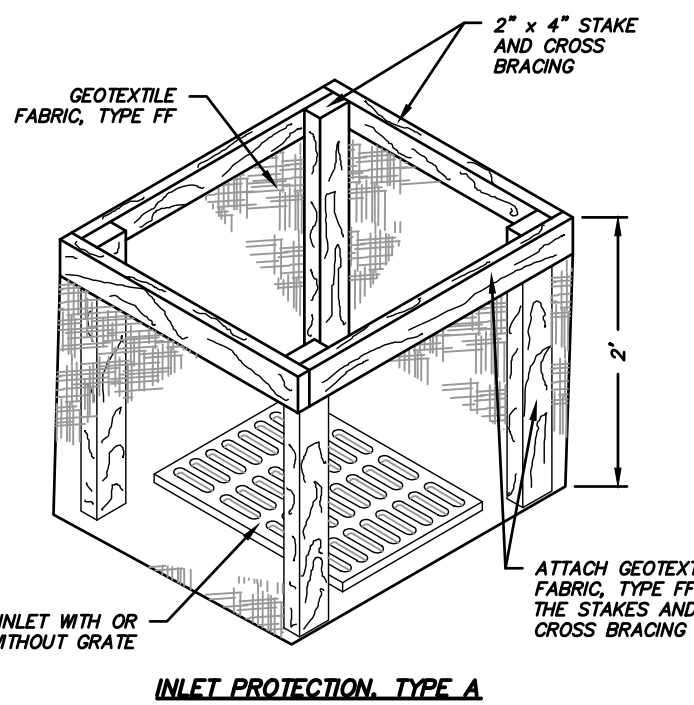
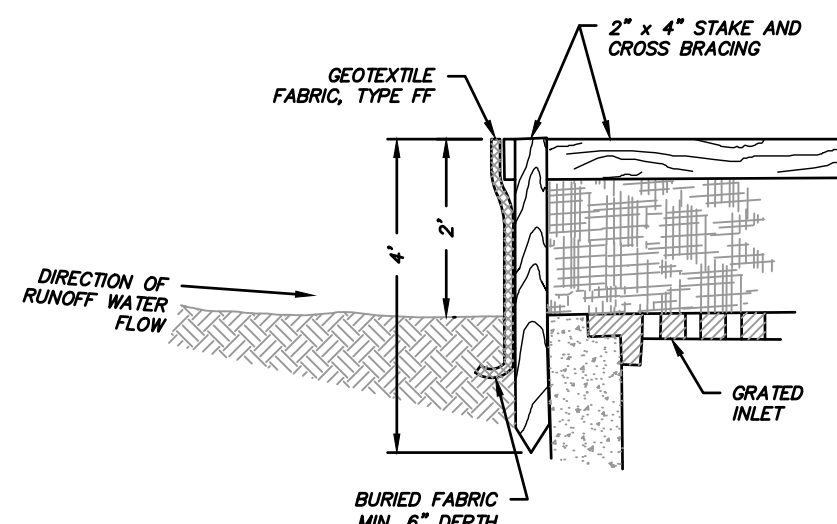
- RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED, AND MULCH, IN ACCORDANCE WITH THE SPECIFICATIONS. TEMPORARY SEED AND MULCH SHALL BE APPLIED IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS 1059 AND 1058. SEE SPECIFICATIONS FOR SEED MIXES.
- EROSION MATS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S SPECIFICATIONS.

EROSION CONTROL NOTES:

- GRADING CONTRACTOR SHALL INSPECT AND REPAIR SILT FENCING AND ALL SEDIMENT CONTROL STRUCTURES AT LEAST EVERY 7 DAYS AND WITHIN 24 HRS AFTER EVERY RAINFALL GREATER THAN 1/2".
- GRADING CONTRACTOR TO INSPECT AND MAINTAIN EROSION CONTROL FACILITIES THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH DNR WPDES GENERAL PERMIT.
- THE GRADING CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE) AND THE CEDARBURG EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.

CONSTRUCTION SEQUENCE:

- OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
- CONSTRUCT INITIAL EROSION CONTROL STRUCTURES SUCH AS SILT FENCE, DIVERSION DIKES, SEDIMENT TRAPS, CONSTRUCTION ENTRANCES, ETC. PRIOR TO TREE REMOVAL OR TOPSOIL STRIPPING.
- CLEAR, GRUB, STRIP AND GRADE SITE IN INCREMENTS APPROPRIATE TO COMPLETION OF WORK WHILE MAINTAINING EROSION CONTROL IN CONFORMANCE WITH STATE AND LOCAL GUIDELINES.
- TOPSOIL STOCKPILE AREAS SHALL BE SURROUNDED WITH SILT FENCE ON ALL DOWNWARD SLOPES (AS SHOWN).
- STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE EROSION CONTROL PLAN AS SOON AS GRADING IS COMPLETE IN ANY AREA. IF NO WORK IS PERFORMED IN AN AREA FOR SEVEN DAYS, IT IS TO BE STABILIZED.
- CONSTRUCT UTILITIES AND INSTALL RIP RAP AND INLET PROTECTION IMMEDIATELY UPON PLACEMENT OF STORM SEWER PIPES.
- COMPLETE FINAL GRADING FOR ROADS, STABILIZE WITH STONE BASE AND INSTALL CURB & GUTTER AND BINDER SURFACE ASPHALT.
- AFTER GROWTH HAS BEEN ESTABLISHED, AND THE DANGER OF EROSION HAS PASSED, THE CONTRACTOR SHALL REMOVE ALL SILT FENCE, DIVERSION BERM, SEDIMENT TRAPS AND ACCUMULATED SILT FROM THE SITE AND RESTORE THE AREA WITH STRUCTURAL FILL AND TOPSOIL. SEED AND MULCH AS APPROPRIATE.



- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL CONFORM TO MDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.

TYPE A IS TO BE USED PRIOR TO PAVING AND TYPED B, C, AND D ARE TO USED AFTER PAVING IS PLACED.

TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.

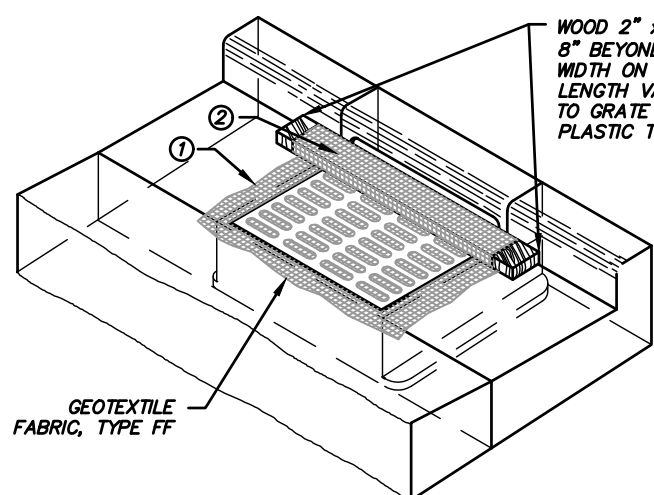
TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE.

TYPE C SHALL BE USED ON STREET INLETS WITH CURB HEADS.

TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS.)

INLET PROTECTION, TYPE B

(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C

(WITH CURB BOX)

INSTALLATION NOTES:

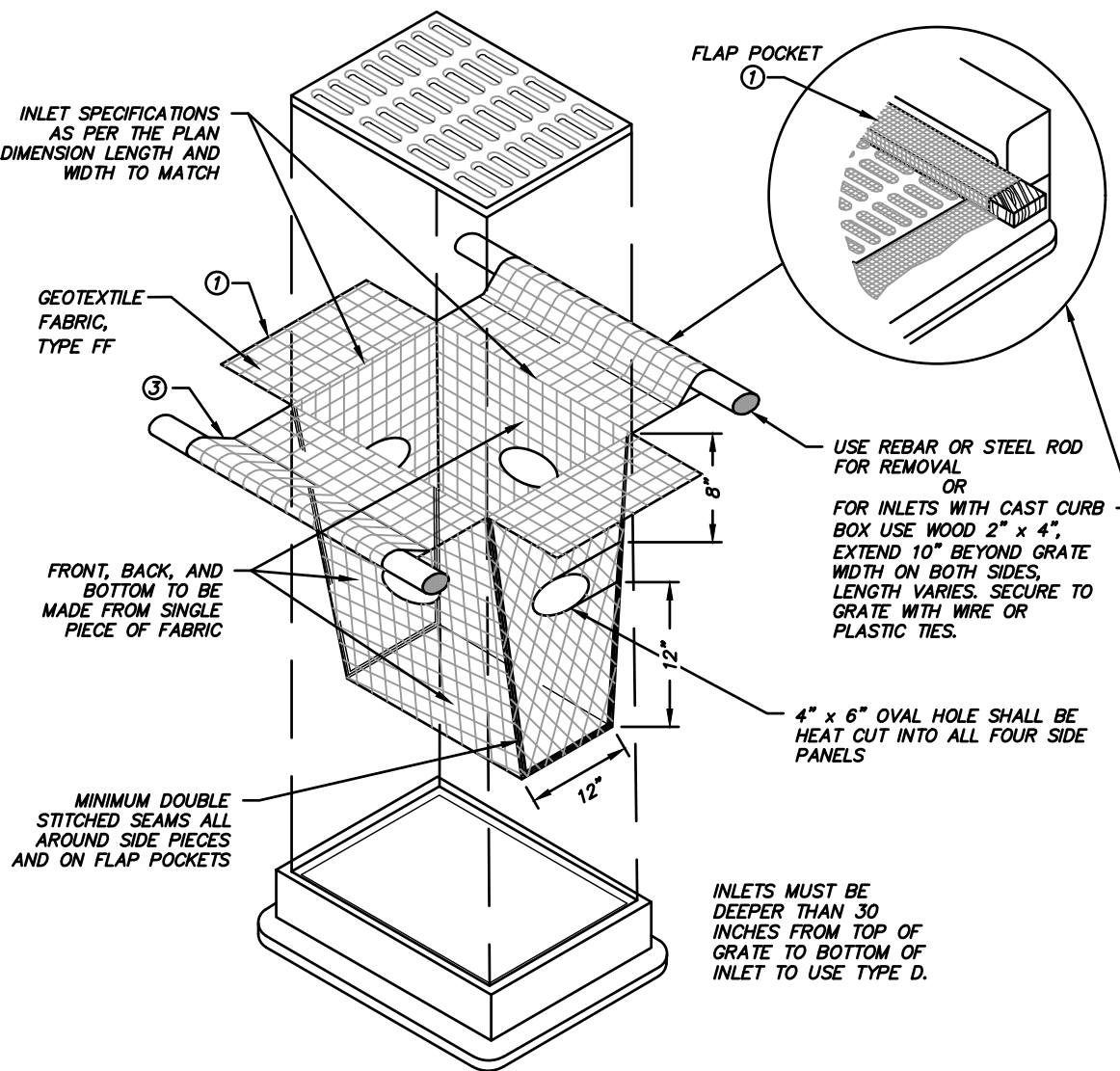
TYPE B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

MAINTENANCE:

REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS AREA.

INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.

SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

STORM DRAIN INLET PROTECTION DETAILS

(NOT TO SCALE)

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

PROJECT DETAILS

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG


CHECKED BY: ----

SHEET NUMBER

26

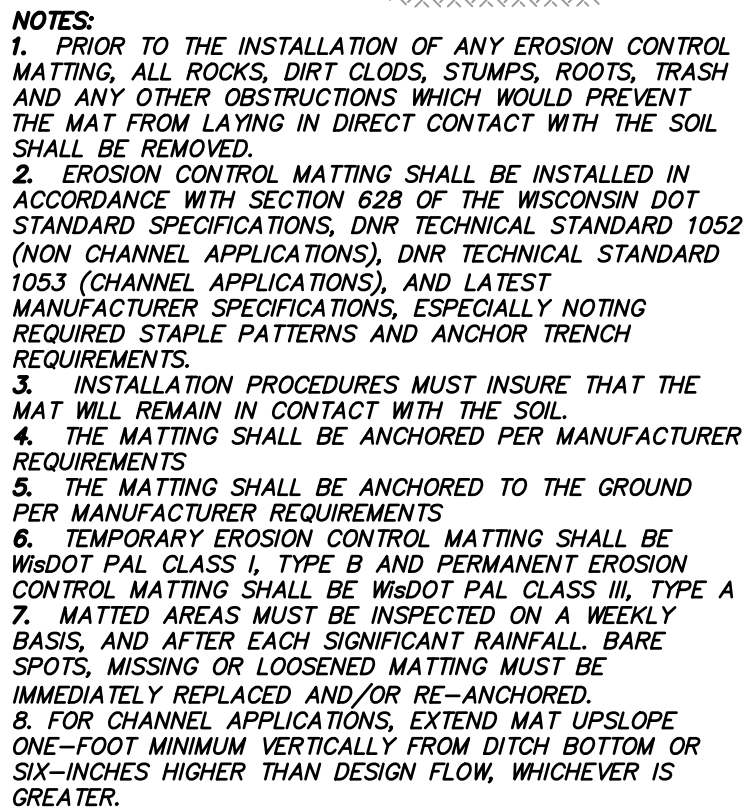
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DETAIL: STM - 5

APPROVED BY: MATT FINEOUR



WOOD STAKES (2 PER BAILE) NOMINAL 2" X 2" X 30" MIN. LENGTH OR EQUIVALENT

30" MIN.

18" NOM.

4" NOM.

16" NOM.

NOTE: ALL DIMENSIONS ARE APPROXIMATE

EMBED BALES

SECTION A-A

BALE SPACING ON SLOPES	
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
33% TO 50%	20 FEET
> 50%	NOT PERMITTED

7" NOM.

7" NOM.

DIRECTION OF FLOW

FOR SCOUR PROTECTION USE EROSION MAT FOR CHANNEL LINING. LAP MAT UNDER UPSTREAM BALES AND SECURE FABRIC WITH WOOD STAKES AT 3-FOOT INTERVALS.

A

PLAN VIEW

STAGGER JOINTS BETWEEN ADJACENT ROWS OF BALES

STAKES DRIVEN FLUSH WHEN SOIL CONDITIONS PERMIT

4" NOM.

SLOPE VAR.

18" MIN.

16" MIN.

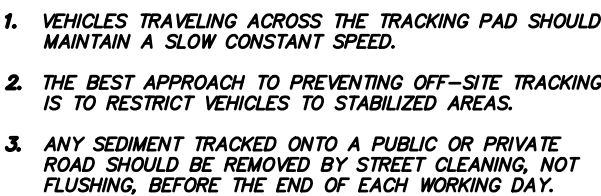
SLOPE VAR.

FRONT ELEVATION

STAGGER JOINTS WITH A DOUBLE ROW.

BOTTOM ELEVATION OF BALES SHALL BE EQUAL TO OR GREATER THAN TOP OF LOWEST MIDDLE BAILE

1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE MDSOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION AND MONTA TECHNIICAL STANDARD 1092.
2. TEMPORARY DITCH CHECKS OF A SINGLE ROW OF EROSION BALES ARE NOT PERMITTED.
3. SEDIMENT BALE BARRIERS SHALL, AT A MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
4. DAMAGED OR DECOMPOSED SEDIMENT BALE BARRIERS, AND UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF THE SEDIMENT BALE BARRIERS SHALL BE REPAIRED.
5. SEDIMENT SHALE BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT BALE BARRIER.
6. SEDIMENT BALE BARRIERS AND ANCHORING DEVICES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
7. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT BALE BARRIER IS NO LONGER EFFECTIVE SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.
8. EFFECTIVENESS OF BALES IS LESS THAN 3 MONTHS.



1. TRACKING PAD TO CONFORM TO WDMR CONSERVATION PRACTICE STANDARD 1057.
 2. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 3. THE AGGREGATE FOR TRACKING PADS SHALL BE 3"- 6" CLEAR OR WASHED STONE. ALL MATERIAL SHALL BE RETAINED ON A 3-INCH SIEVE.
 4. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK, ON SITES WITH A HIGH WATER TABLE OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE TRACKING PAD, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WIDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 5. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
 6. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
- 4. MAINTENANCE**
1. ROADS LOADED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
 2. TRACKING PADS AND TIRE WASHING STATIONS SHALL, AT AT MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF OR MORE DRAINAGE DURING ANY 24-HOUR PERIOD.
 3. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 4. A MINIMUM 12-INCH TRACK PAD SHALL BE MAINTAINED.

STONE TRACKING PAD DETAIL

[illegible]

CREATIVITY BEYOND ENGINEERING

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PROJECT DETAILS

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NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

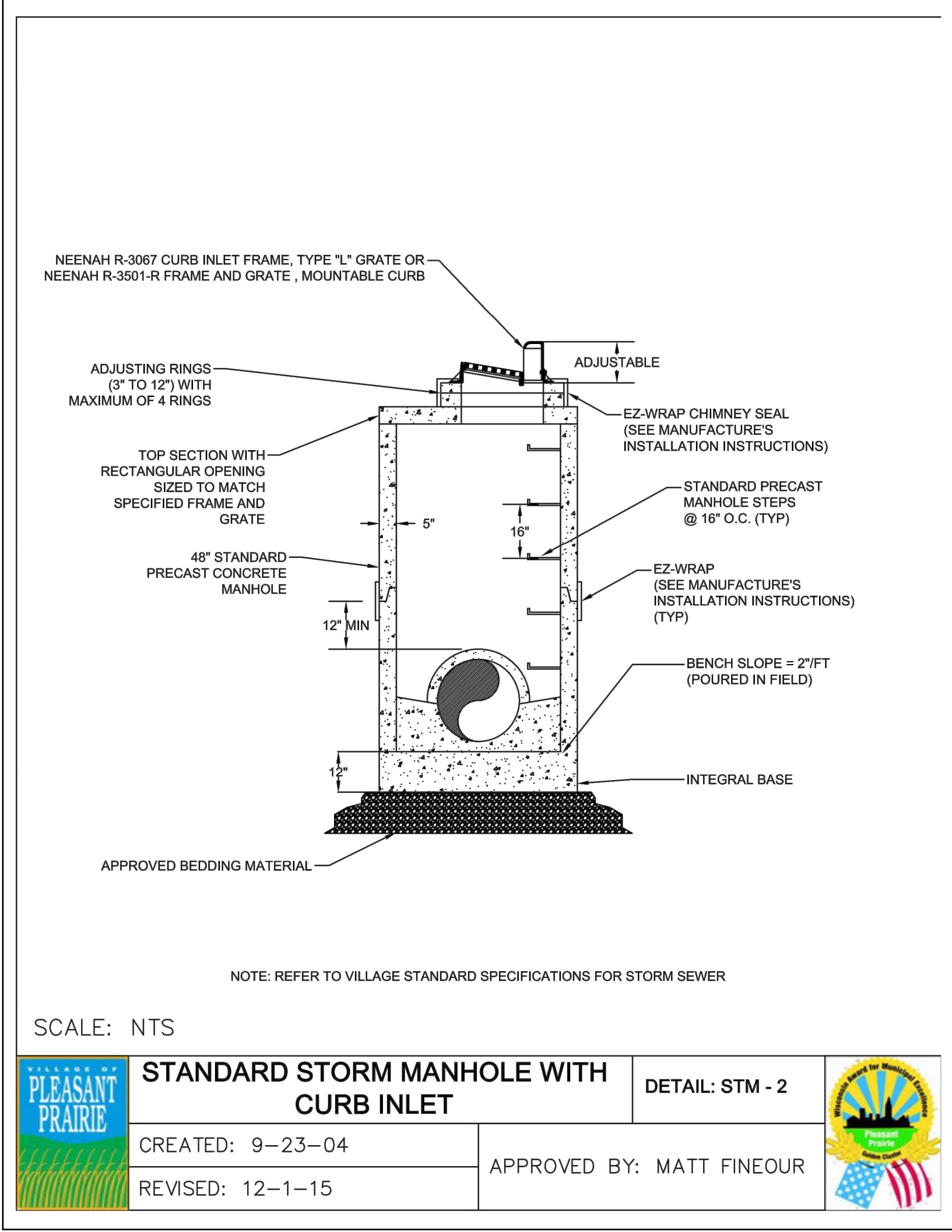
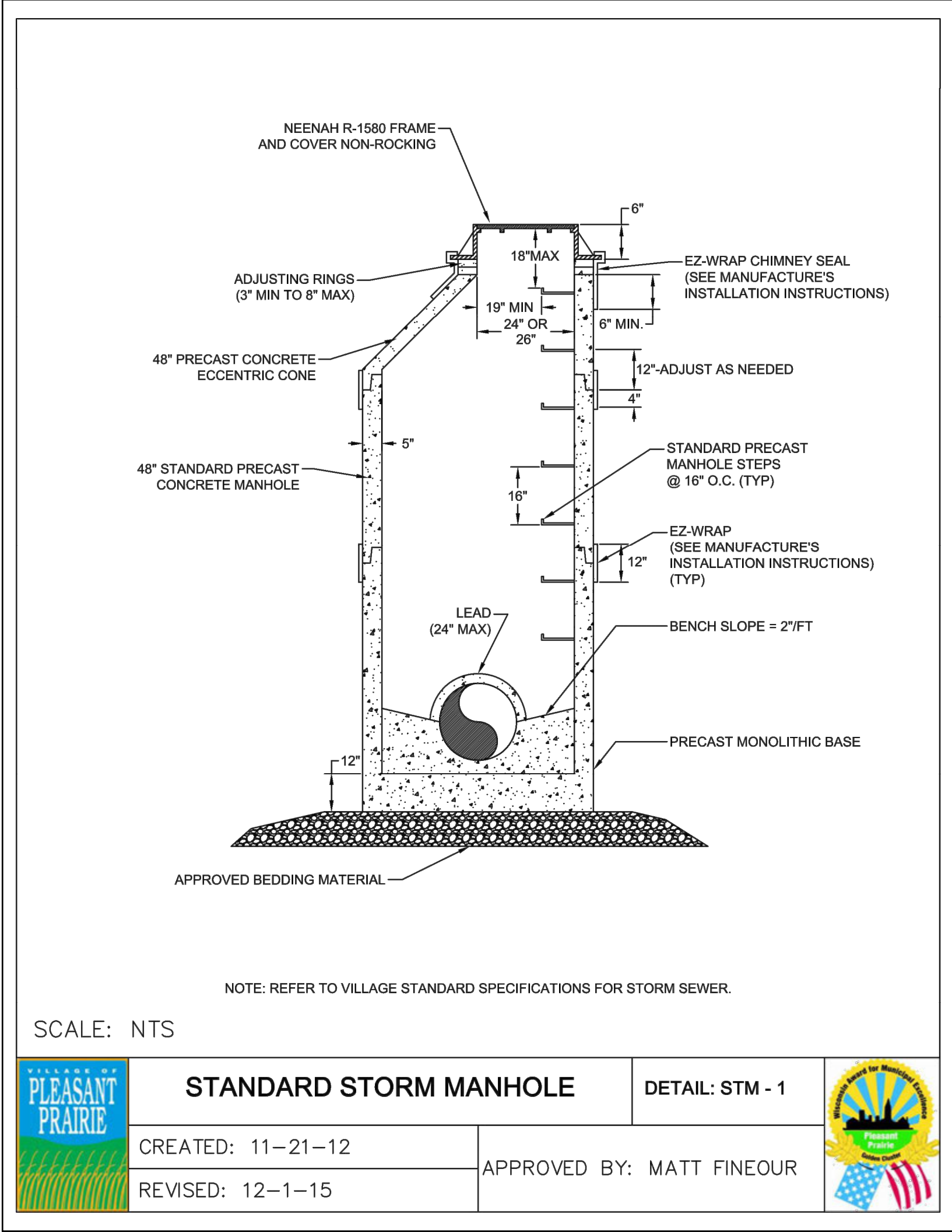
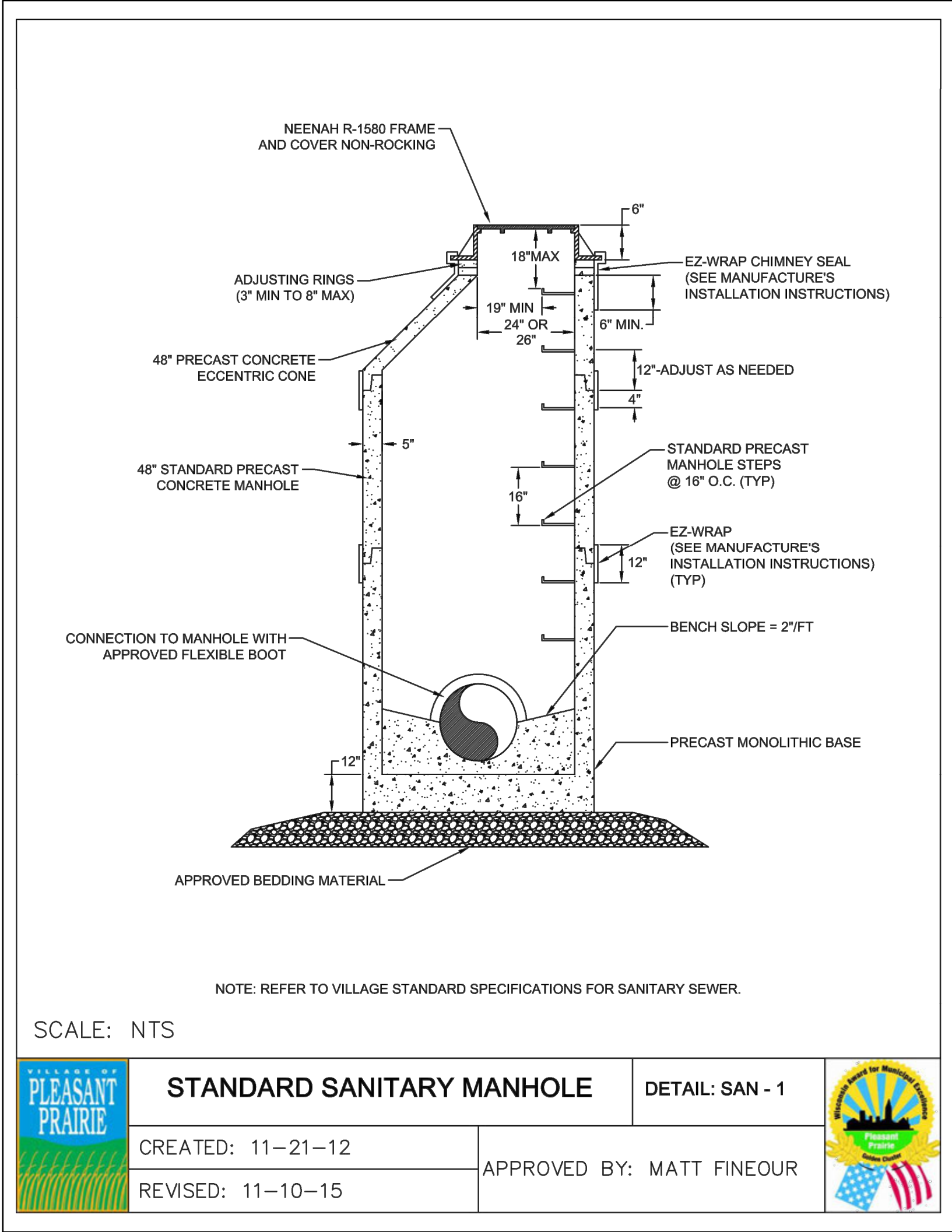
SCALE: NTS

JOB NO. 1160367
PROJECT MANAGE
GARY RAASCH, P

DESIGNED BY: MJG

SHEET NUMBER

27



DESCRIPTION
DATE

CREATIVITY BEYOND ENGINEERING
rasmith.com

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

PROJECT DETAILS

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DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

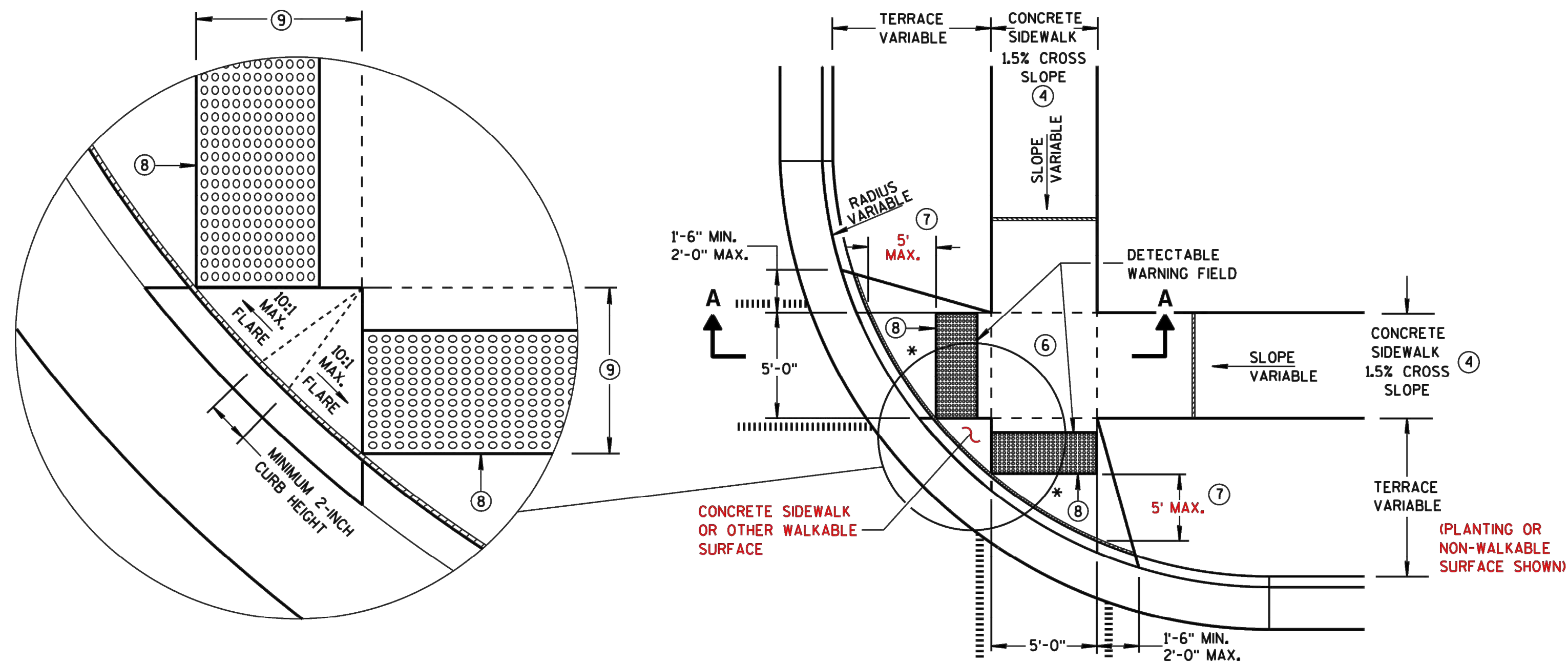
DESIGNED BY: MJG

CHECKED BY: ----

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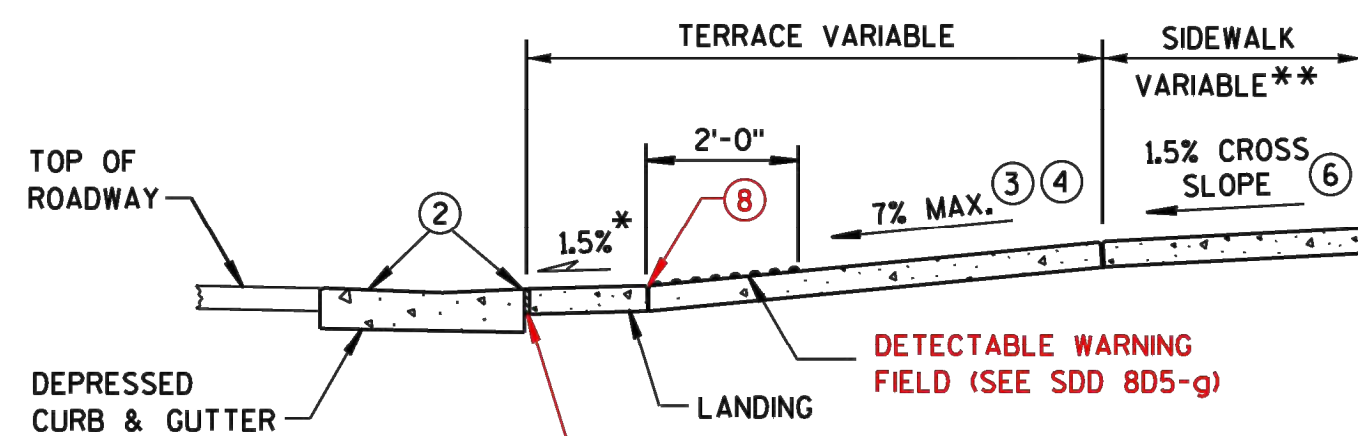
29

8D5 sheet b: Curb Ramps Types 2 and 3



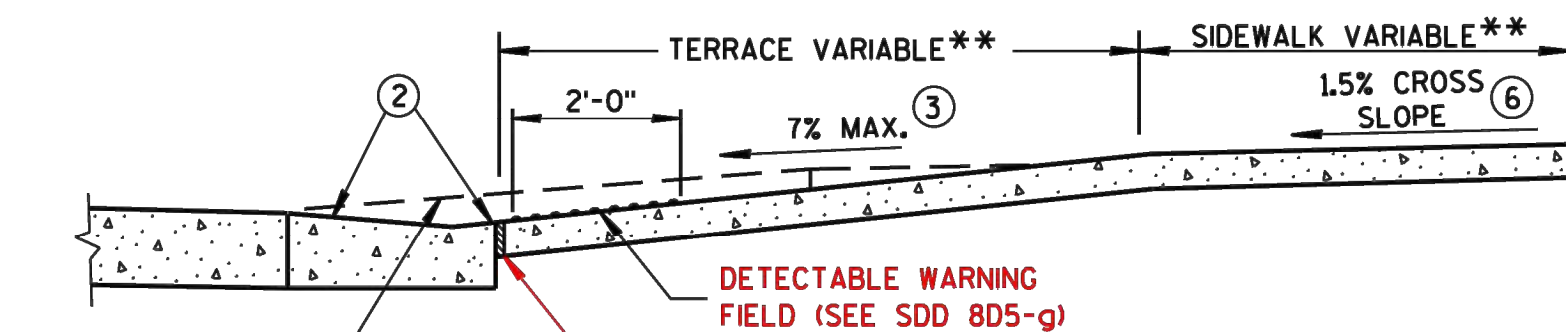
PLAN VIEW
TYPE 2 RAMP
(ON LINE WITH SIDEWALK)

* MAXIMUM 2.0% SLOPE
IN ALL DIRECTIONS IN
FRONT OF GRADE BREAK



SECTION A-A

** WIDTH SHOWN ELSEWHERE
IN THE PLANS



SECTION B-B

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR
DAMAGES, LIABILITY OR COSTS RESULTING FROM
CHANGES OR ALTERATIONS MADE TO THIS PLAN
WITHOUT THE EXPRESSED WRITTEN CONSENT OF
R.A.SMITH, INC.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS
SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY
BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

GENERAL NOTES

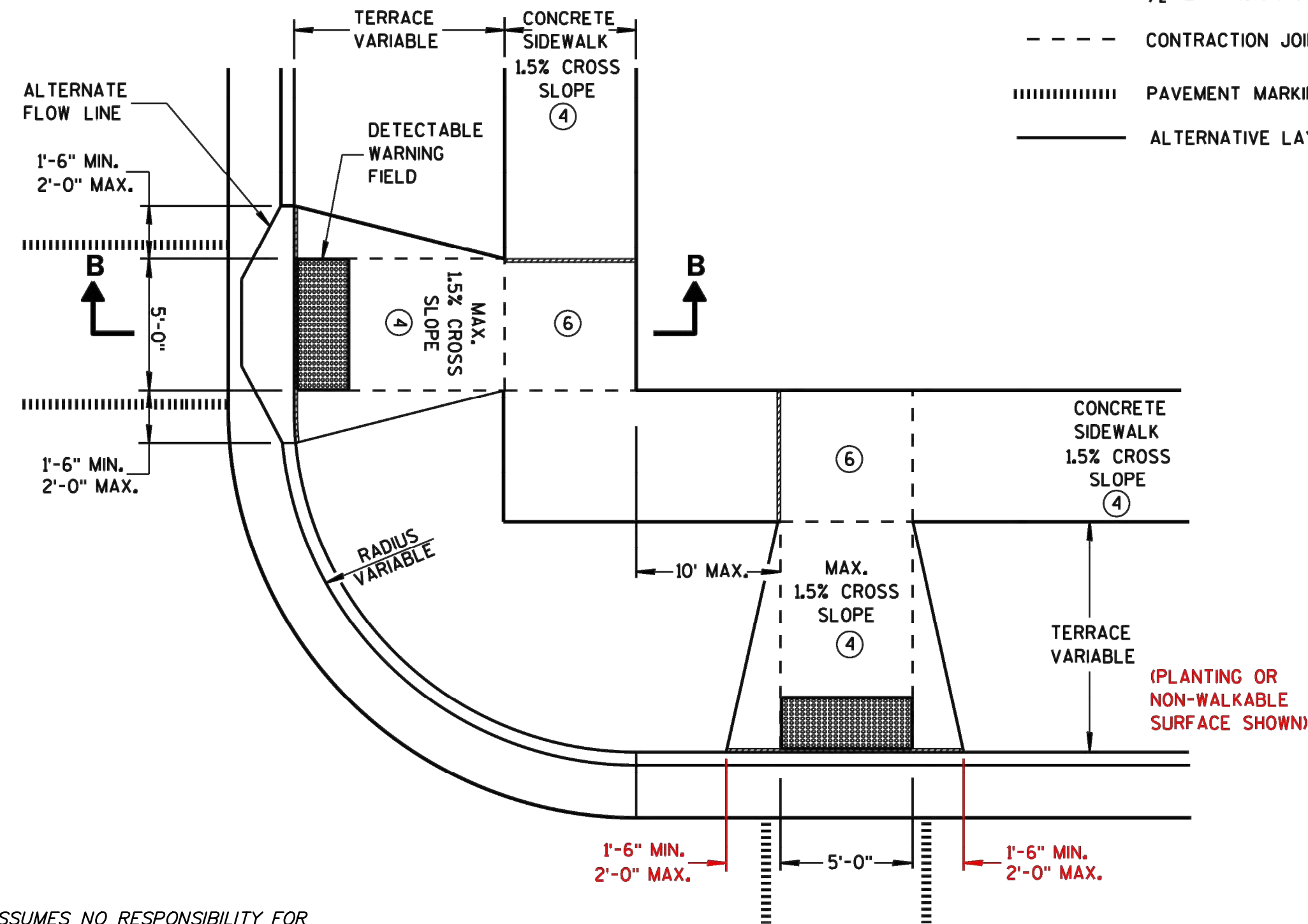
AVOID PLACING DRAINAGE STRUCTURES, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF
RAMP ACCESS AREAS.

DETECTABLE WARNING FIELDS THAT ARE INSTALLED AS A GROUP OR SIDE BY SIDE, SHALL
BE FROM THE SAME MANUFACTURER.

- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED
11%. MAXIMUM GUTTER FLAG SLOPE IS 4%. PROVIDE LONGITUDINAL DRAINAGE AROUND CURB AND
AWAY FROM CURB RAMP. NO VERTICAL LIPS OR DISCONTINUITIES GREATER THAN 1/4-INCH ARE
ALLOWED. SLOPE OF CURB HEAD OPENING SHALL MATCH THE RAMP SLOPE, MINIMALLY 1.5% AND
NOT TO EXCEED 7%. WHEN ADJACENT TO 1.5% LANDING, CONSTRUCT CURB HEAD OPENING AT
1.5% IN THE DIRECTION OF PEDESTRIAN TRAVEL.
- ABSOLUTE MAXIMUM 12H:1V (8.33%) CURB RAMP SLOPE IS ALLOWABLE WITH FLATTENED GUTTER FLAG
SLOPE AND NOT TO EXCEED 11% GRADE CHANGE.
- ±0.5% CONSTRUCTION TOLERANCE IN SIDEWALK CROSS SLOPE. THE SIDEWALK CROSS SLOPE SHALL NOT
EXCEED 2% WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- PROVIDE A LEVEL LANDING (MAXIMUM 2% SLOPE) IN ANY DIRECTION OF PEDESTRIAN TRAVEL. STANDARD
LANDING SIZE IS 5 FEET X 5 FEET.
- WHEN THIS GRADE BREAK DISTANCE EXCEEDS 5 FEET, USE RADIAL DETECTABLE WARNING FIELD PER
SDD 8D5-f.
- PROVIDE GRADE BREAK PERPENDICULAR TO DIRECTION OF WHEELCHAIR TRAVEL.
- WHEN THIS DISTANCE IS LESS THAN 6'-0", IT MAY BE DIFFICULT TO ACHIEVE A 7% SLOPE OR FLATTER
ALONG THE RAMP. REDUCE CURB HEIGHT IN TRIANGLE AREA TO ACHIEVE 7% SLOPE OR FLATTER
ON RAMP. CONSTRUCT 2-INCH MINIMUM CURB HEIGHT BETWEEN 10:1 FLARES.

LEGEND

- 1/2" EXPANSION JOINT-SIDEWALK
- CONTRACTION JOINT FIELD LOCATED
- PAVEMENT MARKING CROSSWALK (WHITE)
- ALTERNATIVE LAYOUT



PLAN VIEW
TYPE 3 RAMP
(OUTSIDE OF CROSSWALK AREA)

CURB RAMPS
TYPES 2 AND 3

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

DESCRIPTION

DATE

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

PROJECT DETAILS

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DATE: 1/24/18

SCALE: NTS

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: ----

SHEET NUMBER

31

LEGEND
(PROPOSED FEATURES)

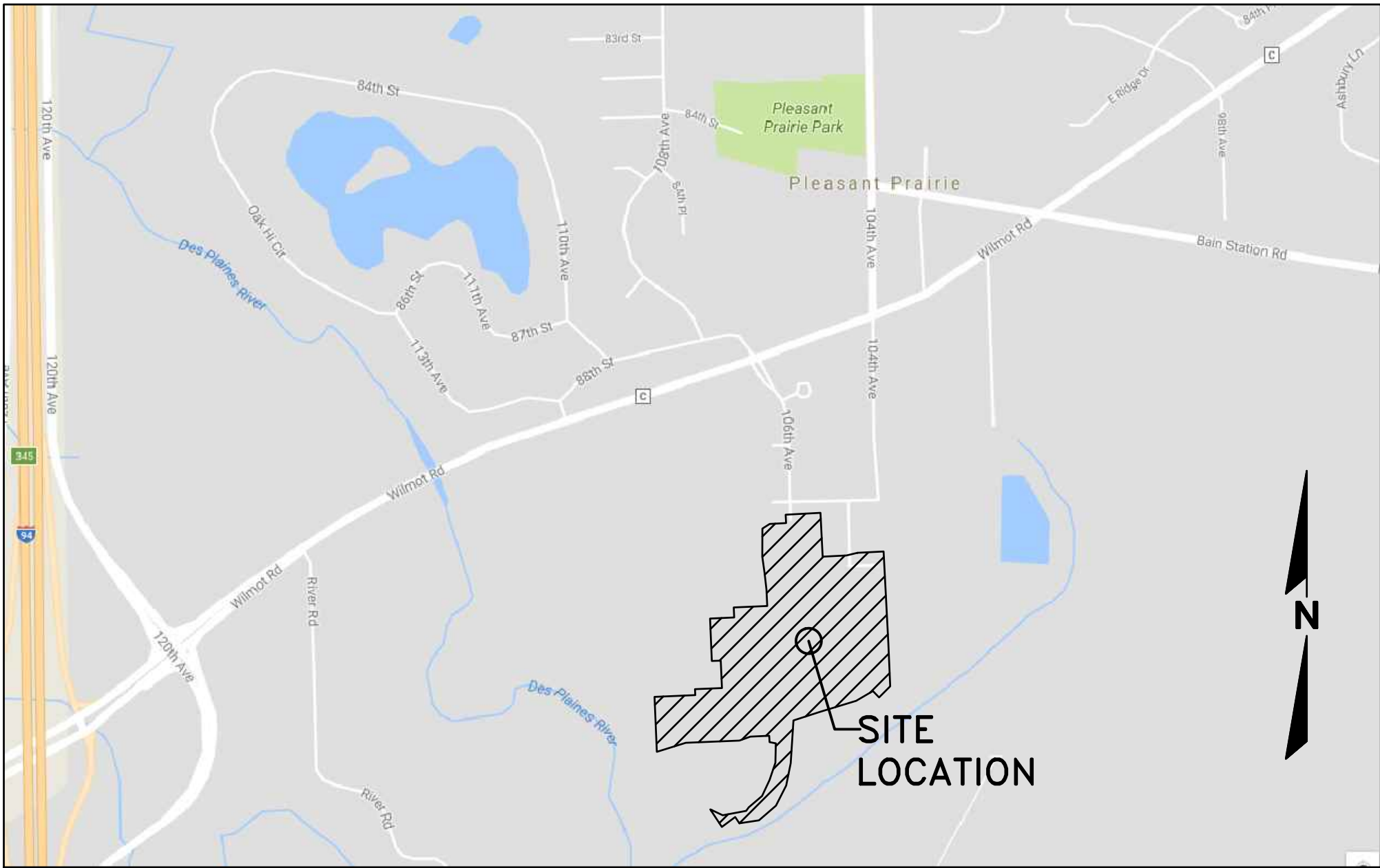
	TREE REMOVAL
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING GRAVEL TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	SAWCUT LINE
	PROPOSED PROPERTY LINE
	PROPOSED SITE LIGHTING (DESIGNED BY OTHERS, FOR REFERENCE ONLY)
	MONUMENT SIGNS (CONSTRUCTION DETAILS BY OTHERS)
	SIGN
	HEAVY-DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	COLORLED AND STAMPED CONCRETE
	PROPOSED 18" REJECT CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED 18" STANDARD CURB & GUTTER (AS SHOWN ON SITE PLAN)
	PROPOSED ACCESSIBLE PAVEMENT MARKING VAN
	VAN ACCESSIBLE STALL
	PROPOSED TYPE 3 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 3A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 4A CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	PROPOSED TYPE 7 CURB RAMP (SEE DETAIL SHEET. NOTE LINEWORK ON PLAN IS SYMBOLIC ONLY.)
	DOOR
	STRUCTURAL RETAINING WALL - (DESIGNED BY OTHERS)
	PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
	PROPOSED 1-FOOT GRADE CONTOUR
	PROPOSED 5-FOOT GRADE CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TOP OF CURB
	DENOTES PROPOSED GARAGE FLOOR GRADE
	DENOTES APPROXIMATE ROCK ELEVATION
	IF A SECOND ELEVATION IS GIVEN, 'LOG' DENOTES GROUND LEVEL FOR LOOK OUT. 'WOG' DENOTES BASEMENT SLAB GRADE FOR WALK OUT.
	CULVERT PIPE DITCH CHECK
	PROPOSED EROSION CONTROL BALE
	TEMPORARY DITCH CHECK
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED STRAW WATTLE
	PROPOSED TEMPORARY DIVERSION SWALE & BERM
	PROPOSED LEVEL SPREADER
	PROPOSED STONE TRACKING MAT
	PROPOSED PERMANENT TURF REINFORCEMENT MAT
	EROSION CONTROL BLANKET
	PROPOSED RIPRAP
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED WATER MAIN
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED INLET
	PROPOSED STORM MANHOLE
	PROPOSED AREA DRAIN
	PROPOSED SANITARY MANHOLE

LEGEND

()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR	SECTION OR 1/4 SECTION CORNER AS DESCRIBED
1" DIA. IRON PIPE FOUND	(UNLESS OTHERWISE NOTED)
1" DIA. IRON PIPE, 18" LONG-SET	(UNLESS OTHERWISE NOTED)
BOLLARD	
SOIL BORING/MONITORING WELL	
FLAGPOLE	
MAILBOX	
SIGN	
BILLBOARD	
AIR CONDITIONER	
CONTROL BOX	
TRAFFIC SIGNAL	
RAILROAD CROSSING SIGNAL	
CABLE PEDESTAL	
POWER POLE	
GUY POLE	
GUY WIRE	
LIGHT POLE	
SPOT/YARD/PEDESTAL LIGHT	
HANDICAPPED PARKING	
ELECTRIC MANHOLE	
ELECTRIC PEDESTAL	
ELECTRIC METER	
ELECTRIC TRANSFORMER	
TELEPHONE MANHOLE	
TELEPHONE PEDESTAL	
MARKED FIBER OPTIC	
GAS VALVE	
GAS METER	
GAS WARNING SIGN	
STORM MANHOLE	
ROUND INLET	
SQUARE INLET	
STORM SEWER END SECTION	
SANITARY MANHOLE	
SANITARY CLEANOUT OR SEPTIC VENT	
SANITARY INTERCEPTOR MANHOLE	
MISCELLANEOUS MANHOLE	
WATER VALVE	
HYDRANT	
WATER SERVICE CURB STOP	
WATER MANHOLE	
WELL	
WATER SURFACE	
WETLANDS FLAG	
MARSH	
CONIFEROUS TREE	
DECIDUOUS TREE	
SHRUB	
EDGE OF TREES	
SANITARY SEWER	
STORM SEWER	
WATERMAIN	
MARKED GAS MAIN	
MARKED ELECTRIC	
OVERHEAD WIRES	
BUREAU ELEC. SERV.	
MARKED TELEPHONE	
MARKED CABLE TV LINE	
MARKED FIBER OPTIC	
INDICATES EXISTING CONTOUR ELEVATION	
INDICATES EXISTING SPOT ELEVATION	
EXISTING PROPERTY LINE	
EXISTING EASEMENT LINE	

LANDSCAPE PLANS FOR RIVER RUN AT HERITAGE VALLEY SUBDIVISION PLEASANT PRAIRIE, WI

VICINITY MAP



PLAN INDEX

SHEET NO.

DESCRIPTION

- 1
- 2
- 3
- 4

- TITLE SHEET
OVERALL LANDSCAPE PLAN & DETAILS
LANDSCAPE PLAN NORTH
LANDSCAPE PLAN SOUTH

OWNER:

U.S. SHELTER HOMES, L.L.C.
31632 NORTH ELLIS DRIVE
VOLO, ILLINOIS 60073
PH: 847-742-8200

ENGINEER:

R.A. SMITH, INC.
16745 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
PH: 262-781-1000

APPROVAL AGENCY:

VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
PH: 262-694-1400
FAX: 262-694-4734

THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE PROJECT MANUAL INCLUDING ALL PROJECT SPECIFICATIONS ON-SITE DURING TIME OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD

DIGGERS HOTLINE TO BE CONTACTED TO LOCATE UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.

BENCHMARKS

1. NORTHEAST CORNER OF 87TH PL. AND 106TH AVE. INTERSECTION. BM #1, NW FLANGE BOLT ON HYDRANT, EL = 702.04
2. SOUTHEAST CORNER OF 87TH PL. AND 105TH AVE. BM #2 NW FLANGE BOLT ON HYDRANT, EL = 698.17
3. SOUTHEAST PART OF SITE. BM #3 SE COR OF NE 1/4 OF SEC. 18-1-22 BRASS CAP MONUMENT, EL = 678.58

VERTICAL DATUM: NGVD 29 (SEWRPC)

HORIZONTAL DATUM: WISCONSIN
STATE PLANE COORDINATE
SYSTEM-SOUTH ZONE (NAD27)

UTILITY CONTACTS

TIME WARNER CABLE
STEVE CRAMER
414-277-4045

WE ENERGIES ELECTRIC
LEONARD WILSON
414-944-5690

WE ENERGIES GAS
DOUG LAURENT
414-944-5682

AT&T
JAY BULANEK
262-896-7669

PLAN DATE: 1/24/18

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

raSmith
CREATIVITY BEYOND ENGINEERING
rasmith.com

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: NONE

JOB NO. 1160367

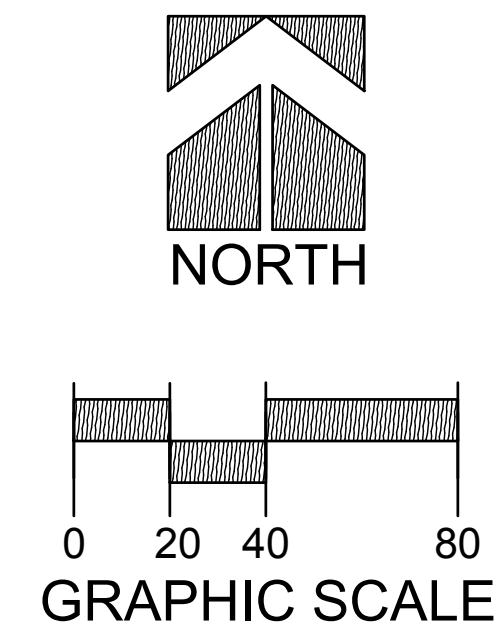
PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: LJH/NPW

CHECKED BY: GER

SHEET NUMBER

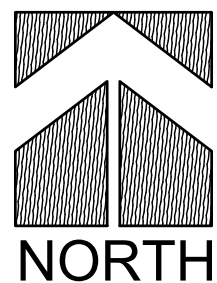
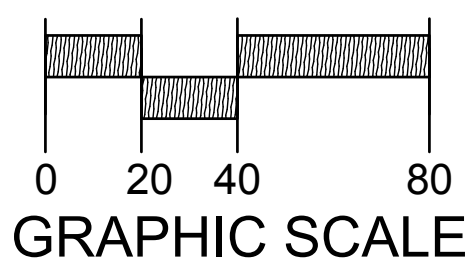
1

[illegible]



THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.



PLANT SCHEDULE SOUTH

STREET TREES	QTY	COMMON NAME	BOTANICAL NAME	MIN. PLANTING SIZE	MATURE SIZE	ROOT	REMARKS
ABM	10	Autumn Blaze Maple	Acer freemanii 'Autumn Blaze'	2" CAL / 6' HT	40' HT x 40' SPD	B&B	Full, matching heads
SMM	10	State Street Miyabei Maple	Acer miyabei 'Morton' TM	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
SL	9	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	2" CAL / 6' HT	50' HT x 40' SPD	B&B	Full, matching heads
KCE	12	Espresso Kentucky Coffeetree	Gymnocladus dioica 'Espresso'	2" CAL / 6' HT	50' HT x 50' SPD	B&B	Full, matching heads
SVL	15	Silver Linden	Tilia tomentosa	2" CAL / 6' HT	40' HT x 30' SPD	B&B	Full, matching heads
ACE	18	'Accolade' Elm	Ulmus x 'Morton Accolade' TM	2" CAL / 6' HT	60' HT x 40' SPD	B&B	Full, matching heads

DESCRIPTION

DATE

raSmith

CREATIVITY BEYOND ENGINEERING

rasmith.com

RIVER RUN AT HERITAGE VALLEY
VILLAGE OF PLEASANT PRAIRIE

#####

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NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.

DATE: 1/24/18

SCALE: 1" = 40'

JOB NO. 1160367

PROJECT MANAGER:
GARY RAASCH, PE

DESIGNED BY: MJG

CHECKED BY: TTH

SHEET NUMBER

##

- B. **PUBLIC HEARING AND CONSIDERATION OF A MASTER CONCEPTUAL PLAN** for the request of John Huggett of the Boldt Company for approval of a **Master Conceptual Plan** for the development of a 64 acre property located at the northwest corner of CTH Q (104th Avenue) and 120th Avenue (West Frontage Road) for the construction of the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the **Master Conceptual Plan** subject to the comments and conditions of the Village Staff Report of March 26, 2018.

VILLAGE STAFF REPORT OF MARCH 26, 2018

CONSIDERATION OF A MASTER CONCEPTUAL PLAN for the request of John Huggett of the Boldt Company for approval of a **Master Conceptual Plan** for the development of a 64 acre property located at the northwest corner of CTH Q (104th Avenue) and 120th Avenue (West Frontage Road) for the construction of the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building.

The petitioner is proposing to purchase approximately 64 acres of vacant property generally located at the northwest corner of 120th Avenue (West Frontage Road) and 104th Street (CTH Q) within the Prairie Highlands Corporate Park for the development of construction of the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building.

The proposed \$130 million development would include an approximate 100,000-square-foot ambulatory care center, a three story, 100,000-square-foot professional office building, and associated surface parking and open space. The building would be situated on the site to accommodate future expansion as the health care needs of the community evolve. The planning and design of the proposed facility would preserve the site's woodlands and natural wetlands, providing care in a natural and healing environment.

The proposed health care facility would offer new and expanded services in an ambulatory care center and professional office building. The facility is intended to meet the rapidly growing health care needs of individuals residing in the Village and surrounding communities, ensuring access to high-quality, cost effective care in a convenient location. Hours of operation have not yet been established but it is estimated that the hours would be 5:30 am to 7:30 pm with expanded hours based on demand. Services offered on site would include primary care, outpatient surgery, rehabilitation services, imaging, laboratory services, occupational health, a variety of specialty care services and a pharmacy.

Within the facility there will be operating rooms, imaging rooms, rehabilitation equipment, prep/recovery rooms, clinic exams, food service, a laboratory, pharmacy, and sterilization equipment. The equipment used within the facility will support the previously identified departments and rooms. A generic listing of the equipment that will be within this facility will include, but is not limited to: CT, MRI, X-ray, Bone Densitometer, Mammography, Ultrasound, Operating Rooms, steam sterilizers, disinfectors, crash cart, centrifuge, stretchers, exam tables, kitchen hoods, grills, freezers and refrigerators. A screened mechanical service area will be located on the building.

It is estimated that this facility will provide for 260 full-time and 28 part-time employees working 2 shifts. A total of 713 parking spaces (including 24 handicapped accessible parking spaces) are provided with a separate entry and two (2) dock service court areas are shown on the west side of the building. It is anticipated that the average daily automobile trips would be 2,565 per day with an average of four (4) daily truck trips per day. Access to this development will be from an internal roadway that connects a boulevard entrance at 120th Avenue (West Frontage Road) to a boulevard entrance at 128th Avenue. There will be no access to 104th Street (CTH Q). Two (2) additional access points are proposed from 128th Avenue, with one (1) access intended for mechanical and loading dock purposes.

The Village, as the current land owner, is working on a draft Certified Survey Map (CSM) for the creation of the Lot 2 for Aurora, along with dedication and easement provisions and restrictive covenant language. In addition, the Village will be drafting a Development Agreement for the project.

The CSM will also create an Outlot 1 north of the Aurora site. This Outlot 1 will be owned by the Prairie Highlands Commercial Owners Association and will include regional storm water drainage and retention basin facilities for the southern portion of the Corporate Park as well as dedication and easement provisions and restrictive covenant language for the preservation and protection of the wetlands and floodplain areas, future multi-use path and other open space purposes. The

remainder of the vacant area, west of 128th Avenue will be created as Lot 1 to be further subdivided for future development.

All public roadway improvements and public utilities serving the Aurora site are being designed and are intended to be installed by the Village beginning in fall 2018. A wetland staking was completed on the property in 2017 by RA Smith which does not affect the development of the site. At this time, the existing wetlands on the site are intended to be preserved and protected. If in the future, the isolated pocket of wetlands on the site is proposed to be filled, then the Village Comprehensive Land Use Plan Map and the Zoning Map will need to be amended to reflect the location of the wetlands to be filled. If the wetlands are proposed to be filled, then fill permits shall be obtained from the WI DNR and the US ACOE and it should be noted on the plans that the wetlands are intended to be filled.

Preliminary and then Final Site and Operational Plans are planned to be submitted incrementally to the Village for review and approval this spring and summer in an effort to begin mass grading of the site in July with building construction is anticipated later this summer and anticipated to be completed in summer, 2020.

RECOMMENDATIONS:

Village staff recommends conditional approval of the Master Conceptual Plan subject to the above comments and the following conditions:

1. **The Master Conceptual Plan approval will be valid for a period of one (1) year (until April 2, 2019).** Prior to the expiration of the Master Conceptual Plan, the required (Preliminary and Final) Site and Operational Plan application materials, Certified Survey Map, Development Agreement/Pilot Agreement, detailed Public Improvement Plans (Village designed and installed) and related documents which satisfy the conditions of the Master Conceptual Plan approval shall be submitted, reviewed and approved by the Plan Commission and Village Board.
2. This development will be required to comply with the Declaration of Covenants, Conditions, and Restrictions for the Prairie Highlands Corporate Park. This Declaration is being finalized and will be considered by the Village Plan Commission and Village Board prior to the sale of the property to Aurora.
3. The Village has prepared a draft CSM to create the parcel to be sold to Aurora. The CSM shall be recorded and land transferred prior to obtaining any permits.
4. The Village, as the land owner, has prepared a draft letter for review in order for Aurora to submit applications as the agent for the land they intend to develop.
5. A detailed Development Agreement, which includes a Payment in Lieu of Taxes (PILOT) Agreement will be drafted by the Village and must be executed by the Village and Aurora prior to the land purchase and start of construction.
6. The Prairie Highlands Corporate Park Declarations of Covenants, Conditions and Restrictions being drafted by the Village shall also be agreed to by Aurora prior to the land purchase and start of construction. All site plans shall be in compliance with these Declarations-a written letter shall be provided from the Prairie Highlands Commercial Owners Association approving the interim and final plans for the development.
7. Complete detailed Preliminary and Final Site and Operational Plans that include site plans, drainage and grading plans, building plans, landscape plans, signage plans lighting plans civil plans and all other required plans and documents pursuant to the Site and Operational Plan requirement of the Village Zoning Ordinance (Article IX of Chapter 420 of the Village Municipal Code) shall be submitted for Village approval.
8. A multi-step site construction logistics plans shall be submitted for Village review and approval to understand and coordinate the submittals and timing of permitting and construction for the site.

9. Aurora shall request and coordinate the gas and electric services directly with We Energies.
10. If Aurora is requesting a site or building dimensional variations, a complete Planned Unit Development (PUD) Zoning Map and Text Overlay application shall be filed with the Village which identifies the modifications that are being requested. (For example – increase in the driveway width on 128th Avenue from 35 feet to 60 feet).
11. The entire exterior of the site shall be covered by a Digital Security Imaging System (DSIS) which has a live view connection to the Village Police Department. The system shall be designed for external coverage for entire site including all building and parking lot entrances and exits, all driveways and access locations on the site and the parking lots. See Article 410 of the Municipal Code for the details. A DSIS Agreement and Access Easement shall be drafted by the Village and executed by the Village and Aurora and the Easement shall be recorded. These documents shall be approved by the Village prior to the issuance of the building permit.
12. A greater dimensional width of the access to 120th Avenue (West Frontage Road) to accommodate the boulevard entrance shall be discussed further with the Village and the Wisconsin Department of Transportation.
13. Sample construction materials boards shall be submitted and approved by the Village.
14. As development plans continue to progress, the following comments and conditions shall be addressed:
 - a. Add the direction/orientation of the perspectives also on Sheet A000.
 - b. Add phone numbers and email addresses on the Project team contacts – not contracts? Sheet A000.
 - c. High quality, attractive insulated architectural metal panels may be permitted for the tower and wrap around elements as shown on the architectural site plans, subject to the Village approving the material samples provided and that this element does not extend more than 25% of the coverage of the building's exterior.
 - d. Greater details shall be provided for the canopy drop off area. The canopy should extend further over the entire drop off area lane.
 - e. The northern access driveway is too close to the next driveway to the south on 128th Avenue – greater separation shall be provided or the northerly entrance should be eliminated or the private driveway should be connected to proposed driveway to the south. (The driveway separation spacing needed for the 35 mph is 300' for 128th Avenue).
 - f. All site roadways, driveways and parking lots shall be provided with curb and gutter.
 - g. Provide safe walking areas in sidewalk interconnections-through the parking lots.
 - h. All parking lot stalls directly facing a public roadway shall have headlights screened with berms, landscaping, low level fencing or other means.
 - i. There is no outside storage allowed on the site and within the mechanical yard. Brick/block walls shall be used to screen mechanical units not just landscaping.
 - j. Subject to the **attached** comments from the Village Engineering Department dated March 22, 2018.
 - k. Subject to the **attached** comments from the Fire & Rescue Department dated March 20, 2018.

- l. Subject to the **attached** comments from the Building Inspection Department dated March 12, 2018.
- m. All on-site storm water shall be interconnected by an underground storm sewer system. All building roof areas shall have storm water collected internally and run underground to the collection system. No external gutters and downspouts shall be shown.
- n. All commercial/industrial buildings will be required to install a sanitary sewer sampling manhole per the Village specifications. The location of the sampling manhole and details shall be shown on the Site and Operational Plans. The sampling manhole shall not be located in grass or landscaped area but rather in the parking lot-not in a parking space. Contact the Village Engineer to confirm an approved location.
- o. The following comments related to on-site signage:
 - i. Detailed signage plans shall be submitted and all signs shall comply with Article X of the Village Zoning Ordinance.
 - ii. All on site directional signage shall be mounted on round or architectural poles with finial caps-no u-channel or temporary parking signs on portable concrete bases shall be allowed.
 - iii. No signage shall be affixed to the building or any other structure by raceways.
 - iv. Each handicapped accessible parking space shall be appropriately signed (locations to be reviewed with Village staff) and painted on the pavement pursuant to ADA requirements prior to occupancy of any development site.
 - v. Monument signage shall have the full address shown on the sign with a minimum of 5 feet of landscaping around the perimeter of the sign. Location and sign details shall be shown on the plans.
 - vi. No construction cones, plastic signs or movable concrete block base temporary signs designating no parking signs or any other direction will be allowed on a regular basis. Permanent directional/informational signs shall be installed on the site on architectural poles not channelized poles with holes.
 - vii. No signage shall be affixed to any bollards.
 - viii. Show all monument sign setbacks.
- p. The following comments relate to the required landscape plans:
 - i. Provide a detailed landscaping plan for the site. The grading plan shall be used as the base map for the landscape plans.
 - ii. Unless the area is wetlands, all grasses shall be manicured lawns not prairie grasses, unless incorporated into a conservancy area or express written Village approval is granted.
 - iii. Lawn irrigations systems are required for the site.
 - iv. All parking lot islands shall have trees and shrubbery in each of the islands.
- q. The following comments relate to the exterior lighting plan:
 - i. Provide a detailed lighting plan and photometric plan – identify all parking lot lighting, building lighting and bollard lighting near building for pedestrians.

- ii. All parking lot poles shall be a maximum of 30 feet in height and on concrete bases no higher than 12 inches (not painted). The light poles shall be in islands or grass areas not in asphalt or concrete areas. All light fixtures shall be LED fixtures.
 - iii. All exterior lighting shall be of the same LED color and brightness. Parking lot lighting shall be illuminated to provide sufficient lighting for the public's safety and the effective operation of the security cameras - per the Village's satisfaction.
 - iv. Provide bollards with illuminated fixtures as a pedestrian guide along the sidewalks.
- r. The following comments relate to the building design and materials:
 - i. Metal roofs are not permitted. However, mechanical penthouses with high quality, architectural metal panel screening will be permitted if it's the same color as the adjacent wall material will be considered by the Village.
 - ii. Show locations of the screened transformer locations.
 - iii. Provide architectural detailing to the brick areas on the building—soldier course, coin, and banding—provide details to evaluate.
 - iv. Provide more detailed architectural plans for further review.
 - v. Bollards shall be painted (not yellow in front of the building) or sleeved to blend in with site – if all light poles and directional signage is bronze or black then all bollards shall be bronze or black. Red adjacent to hydrants is also acceptable.
 - vi. All exterior doors for the entire site shall be numbered starting with front door and running clockwise around the building. All attractive numbers shall be placed in the same location and be made of the same material. Minimum of 3 inch size. Provide a mapping of the main doors to the Village.
 - vii. Attractive address numerals (not just stick-on numerals on the glass) shall be placed on the front of the building, in addition placing the address on the primary monument sign.
 - viii. Canopy details and materials shall be presented and canopy water runoff shall be reviewed and approved by the staff—no exterior gutters and downspouts. Is the canopy attached to the building? How far does it extend—will it cover enough of the drop off area for the patient/client to address the wind and weather?
 - ix. All exterior mechanical units, antennas and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
- 15. The development shall comply with the ordinances in effect at the time of construction. In addition, detailed Site and Operational Plans are required to be submitted for review and approval prior to development pursuant to the requirements for the Village Zoning Ordinance. Mass grading, underground utilities and footing and foundation permits may be issued in stages with approval of the Preliminary Site and Operational Plans.
- 16. All grading impacting the adjacent State jurisdictional roadway (120th Avenue/West Frontage Road) and access points shall be approved with permits granted by the Wisconsin Department of Transportation. Copies of State permits shall be provided to the Village prior to issuance of Village permits.
- 17. Aurora site, Lot 2 - Wetland fill permits from the WI DNR and the US Army Corps of Engineers shall be submitted if any of the wetlands area intended to be filled. If the

wetlands are being filled in the future, then the Zoning Map and Comprehensive Land Use Map shall be amended to accurately show change of conditions.

18. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit pursuant to the requirements of Article X of Chapter 420.
19. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
20. Municipal sanitary sewer connection fees shall be paid prior to the connection of the building to the sanitary sewer system.
21. The Development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
22. Impact fees pursuant to Chapter 181 of the Village Code are required to be paid at time of building permit for the development.
23. Additional Village comments and conditions will be forthcoming with the review of subsequent Preliminary and Final Site and Operational submittals to the Village.

DEV1802-009

AURORA HEALTH CENTER PLEASANT PRAIRIE ACC AND MOB

VOPP ENG REVIEW
PLAN MARK UP
MARCH 22, 2018

THIS REVIEW IS CURSORY. ADDITIONAL COMMENTS
WILL BE PROVIDED UPON DETAILED ENGINEERING
PLANS BEING PREPARED AND SUBMITTED FOR REVIEW.



AURORA HEALTH CENTER PLEASANT PRAIRIE ACC AND MOB



Architecture | Engineering | Planning
Hammel, Green and Abrahamson, Inc.
333 East Erie Street
Milwaukee, Wisconsin USA 53202
Telephone 414.278.8200 Facsimile 414.278.7734

MASTER CONCEPTUAL PLAN SUBMISSION

hga commission number: 1373-026-00
MARCH 12, 2018

DRAWING INDEX	
NUMBER	SHEET NAME
1-GENERAL	
A000	COVER SHEET
2-CIVIL	
C100	CONCEPT SITE PLAN
C200	CONCEPT SITE GRADING
C300	CONCEPT UTILITY PLAN
3-LANDSCAPE	
L100	CONCEPTUAL LANDSCAPE PLAN
4-ARCHITECTURAL	
A200	CONCEPTUAL BUILDING RENDERINGS, SITE SECTIONS, AND MATERIALS
A400	BUILDING ELEVATIONS
Grand total: 7	

GOVERNMENT AGENCY CONTACTS:

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9915 39TH STREET
PLEASANT PRAIRIE, WI 53158
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CHRISTINE FIELD
GOVERNMENT EDUCATIONAL MEDICAL
ACCOUNT MANAGER
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EMAIL: cf129k@att.com

VILLAGE CONSULTING

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MATT CAREY, P.E.
PROJECT MANAGER
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EMAIL: jpaetsch@mke7.com

KABA
TODD BATTLE
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EMAIL: tbattle@kaba.org

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EMAIL: joseph.liebau@wisconsin.gov

MIKE THOMPSON
ENVIRONMENTAL ANALYSIS TEAM SUPERVISOR
OFFICE: (414) 303-3408

PROJECT DATA:

TOTAL SITE AREA: 64.0 AC (2,789,933 S.F.)
PAVEMENT AREA: 11.0 AC (480,283 S.F.)
BUILDING AREA: 2.0 AC (88,236 S.F.) FOOTPRINT
LANDSCAPE AREA: 18.2 AC (792,599 S.F.)
GREEN SPACE: 32.8 AC (1,427,805 S.F.)
POND AREA: 3.8 AC (163,650 S.F.)
PARKING STALLS: 737
EXISTING ZONING: M5
PROPOSED ZONING: M5

PROJECT TEAM CONTRACTS:

APPLICANT:
JOHN HUGGETT
THE BOLDT COMPANY
N21W23340 RIDGEVIEW PARKWAY
WAUKESHA, WI 53188

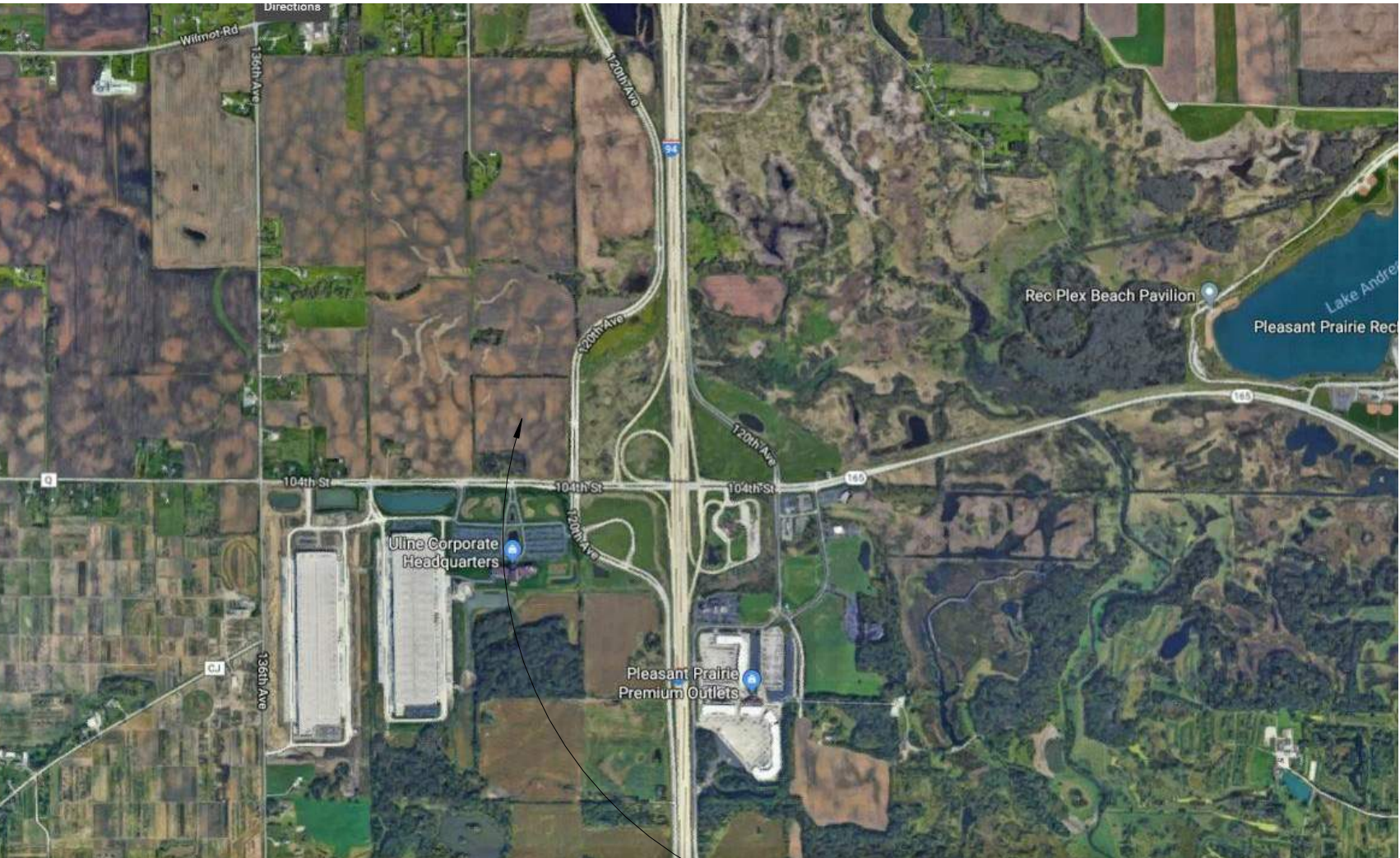
OWNER:
AURORA HEALTH CARE
LISA JUUST
750 W. VIRGINIA STREET
PO BOX 341880
MILWAUKEE, WI 53208-1880

ARCHITECT:
NICHOLAS BURRIS
HAMMEL, GREEN AND ABRAHAMSON, INC.
333 E. ERIE STREET
MILWAUKEE, WI 53202

CIVIL ENGINEER:
STEVEN FISCO, P.E.
GRAEF
ONE HONEY CREEK CORPORATE CENTER
125 S. 84TH STREET, SUITE 401
MILWAUKEE, WI 53214

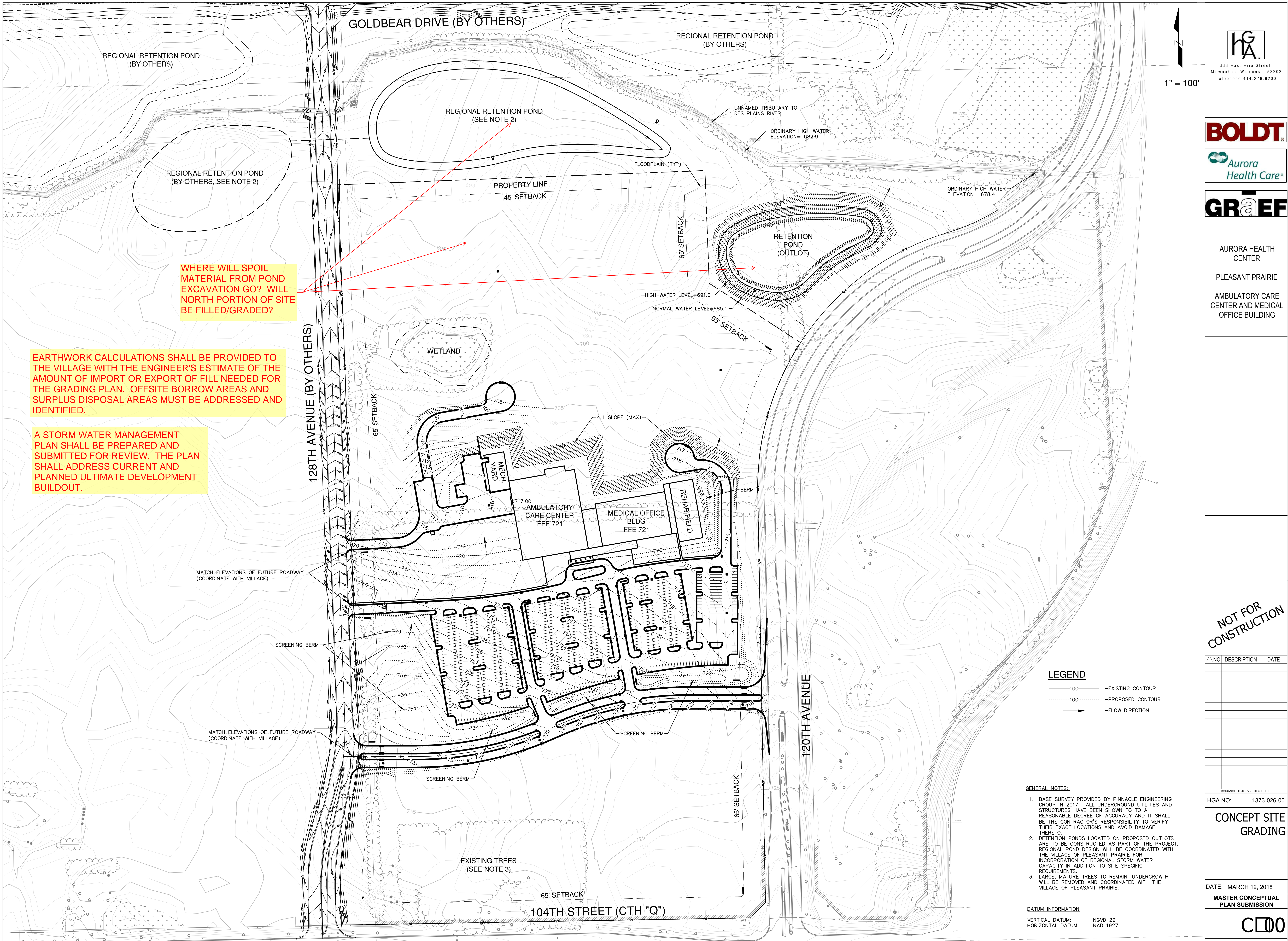
LANDSCAPE ENGINEER:
STEPHEN HIMMERICH
HAMMEL, GREEN AND ABRAHAMSON, INC.
420 N 5TH STREET
MINNEAPOLIS, MN 55401

LOCATION PLAN:



REMOVE

A000



WHERE WILL SPOIL MATERIAL FROM POND EXCAVATION GO? WILL NORTH PORTION OF SITE BE FILLED/GRADED?

EARTHWORK CALCULATIONS SHALL BE PROVIDED TO THE VILLAGE WITH THE ENGINEER'S ESTIMATE OF THE AMOUNT OF IMPORT OR EXPORT OF FILL NEEDED FOR THE GRADING PLAN. OFFSITE BORROW AREAS AND SURPLUS DISPOSAL AREAS MUST BE ADDRESSED AND IDENTIFIED.

A STORM WATER MANAGEMENT PLAN SHALL BE PREPARED AND SUBMITTED FOR REVIEW. THE PLAN SHALL ADDRESS CURRENT AND PLANNED ULTIMATE DEVELOPMENT BUILDOUT.

LEGEND
-100- -EXISTING CONTOUR
-100- -PROPOSED CONTOUR
-FLOW DIRECTION

- GENERAL NOTES:
1. BASE SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP IN 2017. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATIONS AND AVOID DAMAGE THERE TO.
 2. DETENTION PONDS LOCATED ON PROPOSED OUTLOTS ARE TO BE CONSTRUCTED AS PART OF THE PROJECT. REGIONAL POND DESIGN WILL BE COORDINATED WITH THE VILLAGE OF PLEASANT PRAIRIE FOR INCORPORATION OF REGIONAL STORM WATER CAPACITY IN ADDITION TO SITE SPECIFIC REQUIREMENTS.
 3. LARGE, MATURE TREES TO REMAIN. UNDERGROWTH WILL BE REMOVED AND COORDINATED WITH THE VILLAGE OF PLEASANT PRAIRIE.

DATUM INFORMATION
VERTICAL DATUM: NGVD 29
HORIZONTAL DATUM: NAD 1927

HGA
333 East Erie Street
Milwaukee, Wisconsin 53202
Telephone 414.278.8200

BOLDT

Aurora
Health Care

GräEF

AURORA HEALTH
CENTER
PLEASANT PRAIRIE
AMBULATORY CARE
CENTER AND MEDICAL
OFFICE BUILDING

NOT FOR
CONSTRUCTION

NO	DESCRIPTION	DATE
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ISSUANCE HISTORY - THIS SHEET

NO	DESCRIPTION	DATE
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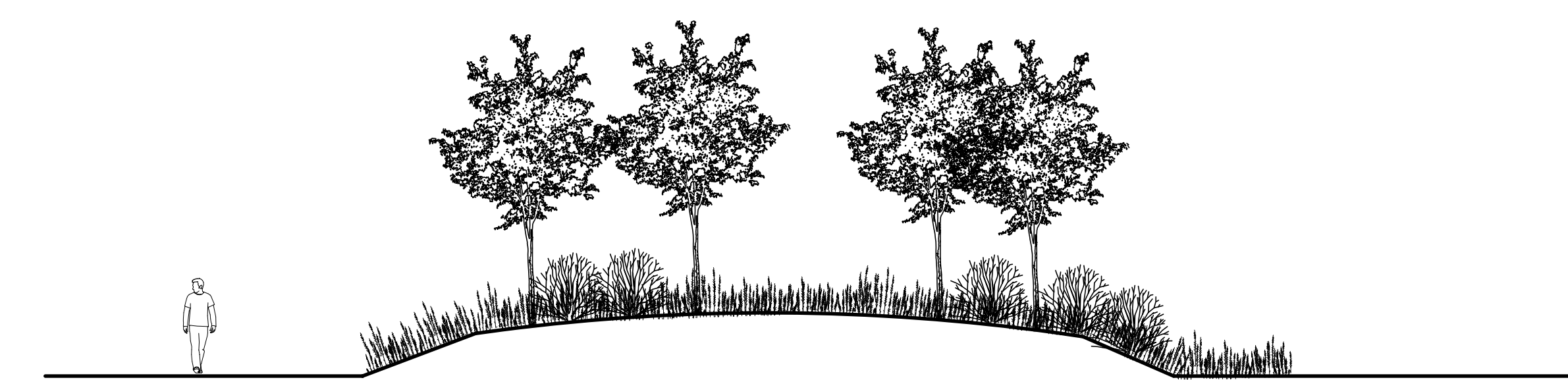
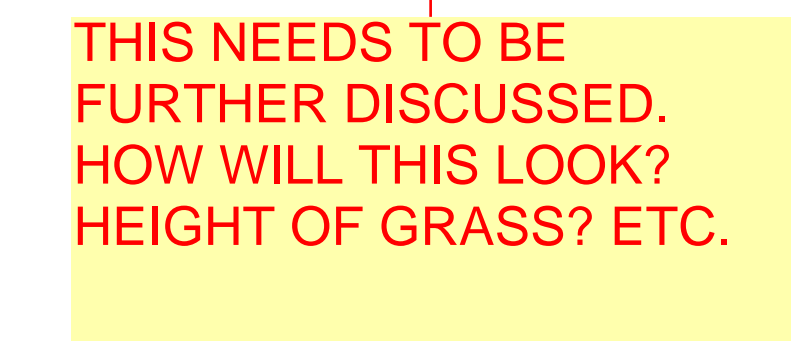
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CONCEPT SITE
GRADING

DATE: MARCH 12, 2018

MASTER CONCEPTUAL
PLAN SUBMISSION

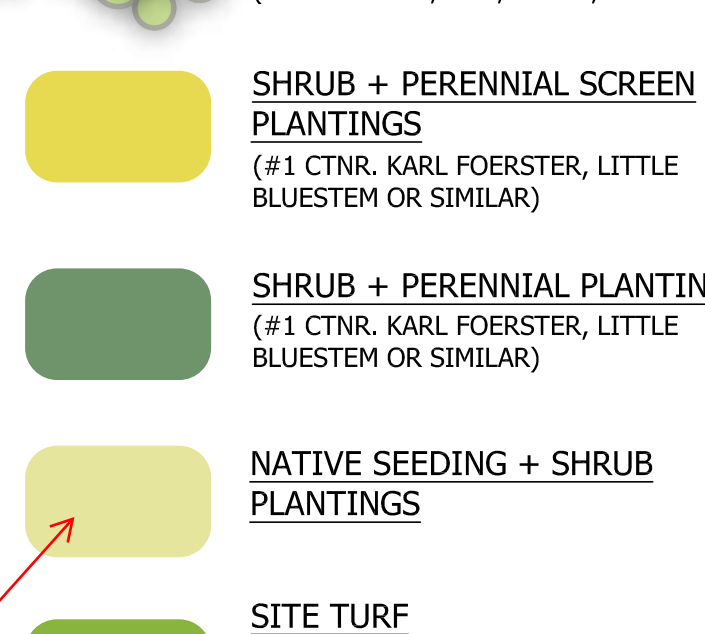
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Sports Health Screening

LEGEND

- 
- SITE TREE**
(2.5' CAL. ELM, OAK, MAPLE, OR SIMILAR)
- SHRUB + PERENNIAL SCREEN**
PLANTINGS
(#1 CTNR. KARL FOERSTER, LITTLE
BLUESTEM OR SIMILAR)
- SHRUB + PERENNIAL PLANTINGS**
(#1 CTNR. KARL FOERSTER, LITTLE
BLUESTEM OR SIMILAR)
- NATIVE SEEDLING + SHRUB**
PLANTINGS
- SITE TURF**

NOTES:

1. SHRUB AND PERENNIAL PLANTING AREAS TO RECEIVE 18" DEPTH PLANTING SOIL.
2. SOD AND SEED PLANTING AREAS TO RECEIVE 6" DEPTH PLANTING SOIL.
3. ALL PLANTING BEDS TO RECEIVE 3" DEPTH SHREDDED HARDWOOD MULCH.



333 East Erie Street
Waukegan, Wisconsin 53202
Telephone 414.278.8200



JURORA HEALTH
CENTER

PLEASANT
PRAIRIE

AMBULATORY CARE
ENTER AND MEDICAL
OFFICE BUILDING

NOT FOR
CONSTRUCTION

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CHANGE HISTORY - THIS SHEET

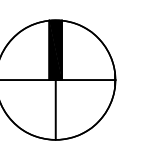
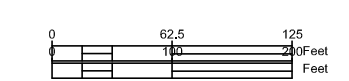
SA NO: 1373-026-00

CONCEPTUAL LANDSCAPE PLAN

DATE: MARCH 12, 2018

**MASTER CONCEPTUAL
PLAN SUBMISSION**


100





Office of the Chief of Fire & Rescue
Craig Roepke

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Craig Roepke, Chief Fire & Rescue 
CC: Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Fire Department review of Master Conceptual Plan for Aurora ACC & MOB
Permit/Trakit#: DEV1802-009
DATE: March 20, 2018

These are initial comments for the Master Conceptual Plan received for Aurora ACC & MOB located at general area at Hwy 165 & the West Frontage Rd. in the Southern portion of the Prairie Highlands Corporate Park.

The Fire & Rescue department have the following comments regarding the above project.

1. FDC location and truck turn-out; sheet C300 depicts FDC location with hydrant spaced too far out. Refer to Village FDC specifications. Additional detail required. Hydrant may require to be relocated.
2. See modified/attached sheet C300 for hydrant additions to area.
3. Plans do not depict pump/riser room location. Need to identify.
4. Roadway widths are not dimensioned.
5. As further details for the project and buildings develop, the Fire Department will have additional comments.



AURORA HEALTH
CENTER
PLEASANT PRAIRIE
AMBULATORY CARE
CENTER AND MEDICAL
OFFICE BUILDING

NOT FOR
CONSTRUCTION

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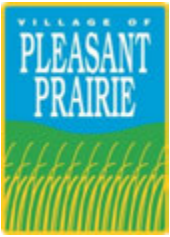
HGA NO: 1373-026-00

CONCEPT UTILITY PLAN

DATE: MARCH 12, 2018

**MASTER CONCEPTUAL
PLAN SUBMISSION**

C300



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

Subject: Aurora Health Care

Date: March 19, 2018

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We are currently inspecting to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit all applicable plans (Building, HVAC, Fire Suppression, Fire Detection, Conveyance, Plumbing, etc.) to the state for review (DSPS). Please be aware state plumbing plan review has a long lead time, plan accordingly.
7. Building Inspection Department will not issue permits until we receive the applicable state approval letter and plans.
8. All state approved drawing must be available at job site for inspector review during inspections.
9. Please submit emergency egress lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
10. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.

11. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
12. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.
13. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
14. All equipment must be “LISTED” by a nationally recognized testing laboratory.
15. All equipment, materials, etc. must be rated for the environment in which they will be used.
16. Please contact me with any questions on permitting and/or plan submittal.
17. Provide adequate ADA accessible parking and locate per 2009 IBC.



MASTER CONCEPTUAL PLAN APPLICATION
For Commercial and Industrial Projects

Name of Business: Aurora Health Care
Site Address: 12616 104th Street, Pleasant Prairie, WI 53158 (Pleasant Prairie please confirm) Suite #:
Tax Parcel Number: 244-0602
Zoning District(s): M5
Name of Development: Aurora Health Center - Pleasant Prairie - Ambulatory Care Center and Medical Office Building
Estimate Start date: 07/2018 Estimate Completion Date of entire project: 05/2020

Detailed Description of the Proposed Project and Use:

A local health care provider seeks to develop an outpatient health care facility on a 64-acre parcel in the Village of Pleasant Prairie. The parcel, located west of I-94 and the 120th Avenue frontage road and between future 128th street.

The proposed site plan includes an approximately 100,000-square-foot ambulatory care center, a three story, 100,000-square-foot professional office building, and associated parking. The buildings would be situated on the site to accommodate future expansion as the health care needs of the community evolve. The planning and design of the proposed facility would preserve the site's woodlands and natural wetlands, providing care in a natural and healing environment.

Detailed Description of any known Company/Tenants:

The proposed health care facility would offer new and expanded services in an ambulatory care center and professional office building. It is intended to better meet the rapidly growing health care needs of individuals residing in the village of Pleasant Prairie and surrounding communities, ensuring access to high-quality, cost effective care in a convenient location. Hours of operation have not yet been established. Services offered on site would include primary care, outpatient surgery, rehabilitation services, imaging, laboratory services, occupational health, a variety of specialty care services and a pharmacy.

Select All that Apply

- ☒ The Development will be constructed in 1 phase(s)
- ☐ The Development abuts or adjoins State Trunk Highway N/A
- ☒ The Development abuts or adjoins County Trunk Highway C.T.H. "Q" / 104TH STREET
- ☐ The Development abuts the Kenosha County Bike Trail

SITE AND BUILDING INFORMATION

Lot Area: 64.03 ac. Total Impervious Surface Area: 568,529 sq. ft.
Total Landscape Area: 2,134,440 (49 ac.) sq.ft. Site % of Open Space 80 %
Number of Buildings within the development proposed: 1
Building #1 Area: 200,000 sq. ft. Building#1 Height: 52 ft.
Building #2 Area: _____ sq. ft. Building#2 Height: _____ ft.
Building #3 Area: _____ sq. ft. Building#3 Height: _____ ft.
Building #4 Area: _____ sq. ft. Building#4 Height: _____ ft.
Building #5 Area: _____ sq. ft. Building#5 Height: _____ ft.
Building #6 Area: _____ sq. ft. Building#6 Height: _____ ft.
Building #7 Area: _____ sq. ft. Building#7 Height: _____ ft.
Building #8 Area: _____ sq. ft. Building#8 Height: _____ ft.
Building #9 Area: _____ sq. ft. Building#9 Height: _____ ft.
Building #10 Area: _____ sq. ft. Building#10 Height: _____ ft.

**If additional buildings are proposed attached a separate sheet.

ON-SITE PARKING/TRAFFIC INFORMATION

Total # of regular parking spaces (on-site): 713
Total # of handicapped accessible spaces (on-site): 24
Total # of truck parking spaces (on-site): 0 Total # of dock doors: 2
Anticipated automobile trips to and from the site (excluding trucks):
Number of daily average trips: 2,565 Maximum number of daily trips: 2,565
Anticipated truck trips to and from the site:
Number of daily average trips: 4 Maximum number of daily trips: 8

EMPLOYMENT AND OPERATIONAL INFORMATION

Proposed total number of full-time employees: 260
Proposed total number of part-time employees: 28
Number of shifts: 2
Hours (Open to the public): 5:30 AM - 7:30 PM (Hours may extend based on demand)
Delivery hours: Throughout hours of operation

PUBLIC FACILITIES INFORMATION

Check all that apply:

- ☒ The property is serviced by Public Sanitary Sewer
- ☒ The property is serviced by Public Water
- ☒ The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: 150 GPM

Is pre-treatment being proposed for sanitary sewer discharge? No, except for grease separation at dietary

If property is zoned M-1, M-2 or M-5 then the following shall be completed:

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- ☐ Factory Group F-1 (Moderate-hazard) _____ sq. ft.
- ☐ Factory Group F-2 (Low-hazard) _____ sq. ft.
- ☐ Storage Group S-1 (Moderate-hazard) _____ sq. ft.
- ☐ Storage Group S-2 (Low-hazard) _____ sq. ft.
- ☒ Business Group B 200,000 sq. ft.
- ☐ High-Hazard Group H _____ sq. ft.
- ☐ Other _____ sq. ft.

Types and quantities of goods and materials to be made, used or stored on site:

This facility will store linens, general medical supplies, surgical instruments, pharmaceuticals, medical gases, medical equipment, and food products.

Types of equipment or machinery to be used on site:

Within the facility there will be operating rooms, imaging rooms, rehabilitation equipment, prep / recovery rooms, clinic exams, food service, lab, pharmacy, and sterilization equipment. The equipment used within the facility will support the previously identified departments / rooms. Generic list of equipment that will be within this facility: CT, MRI, X-Ray, Bone Densitometer, Mammography, Ultrasound, Operating Booms, steam sterilizers, disinfectors, crash cart, centrifuge, stretchers, exam tables, kitchen hoods, grills, freezers, and refrigerators.

Types and quantities of solid or liquid waste material which require disposal:

This facility will require the removal of bio-hazard materials, soiled linens, and trash.

Method of handling, storing and disposing of solid or liquid waste materials:

There will be two on-site trash dumpsters that will be emptied on a weekly basis. Bio-hazard and soiled linens will be stored at the loading dock, where a contracted service will remove the sealed containers from the facility.

Methods of providing site and building security other than the Village Police Department:

This facility will have an on-site security office / staff in combination with a loss prevention strategy that will overlay cameras, badge security card access, door controls, and after hours controlled access.

Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

This facility will have full time staff dedicated to maintenance of the mechanical, plumbing, electrical, fire protection, building structures, site, and landscaping. There will be a dedicated environmental services team that will clean and repair the interior areas. Contracted services will include landscape maintenance, snow removal, and waste removal.

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

The current site is a vacant farm field. This development will bring healthcare services to the surrounding neighborhood and county. The existing infrastructure is set up to support the patient, staff, and visitor vehicular population. The deliveries and service route will be directed away from the patient and staff circulation. The current road infrastructure supports a large warehouse facility and adjacent large retail development. This new development will blend with the existing properties and neighborhood.

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project:

Wisconsin DNR, DATCP, DSPS, WisDOT, Kenosha County (Construction Access off Q)

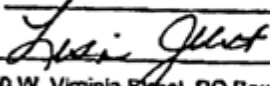
PLANS AND OTHER ATTACHMENTS

- Three (3) full size and a PDF copy of the Master Conceptual Plan, which shall include at a minimum:
 - Detailed and Dimensioned Site Plan
 - Conceptual Engineering Plans
 - Phasing Plan (if applicable)
 - Floor Plans and Elevations
 - Proposed Zoning District Change(s)
- Application Fee
- ☐ Any other information as specified by the Village

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

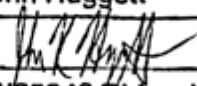
I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Lisa Just
Signature: 
Address: 750 W. Virginia Street, PO Box 341880
Milwaukee WI 53204-1880
(City) (State) (Zip)
Phone: 262-948-5810
Fax: _____
Email: lisa.just@aurora.org
Date: 2/23/2018

Rev 7-17

APPLICANT/AGENT:

Print Name: John Huggelt
Signature: 
Address: N21W23340 Ridgeview Parkway
Waukesha WI 53188
(City) (State) (Zip)
Phone: 262.446.7124
Fax: _____
Email: john.huggelt@boldt.com
Date: 2/23/2018

AURORA HEALTH CENTER PLEASANT PRAIRIE ACC AND MOB



AURORA HEALTH CENTER PLEASANT PRAIRIE ACC AND MOB



Architecture | Engineering | Planning
Hammel, Green and Abrahamson, Inc.
333 East Erie Street
Milwaukee, Wisconsin USA 53202

Telephone 414.278.8200 Facsimile 414.278.7734

MASTER CONCEPTUAL PLAN SUBMISSION

hga commission number: 1373-026-00
MARCH 12, 2018

DRAWING INDEX	
NUMBER	SHEET NAME
1-GENERAL	
A000	COVER SHEET
2-CIVIL	
C100	CONCEPT SITE PLAN
C200	CONCEPT SITE GRADING
C300	CONCEPT UTILITY PLAN
3-LANDSCAPE	
L100	CONCEPTUAL LANDSCAPE PLAN
4-ARCHITECTURAL	
A200	CONCEPTUAL BUILDING RENDERINGS, SITE SECTIONS, AND MATERIALS
A400	BUILDING ELEVATIONS
Grand total: 7	

GOVERNMENT AGENCY CONTACTS:

PLEASANT PRAIRIE VILLAGE HALL
9915 39TH STREET
PLEASANT PRAIRIE, WI 53158
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TDS TELECOM
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PUBLIC UTILITY CONTACTS (CONT.)
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CHRISTINE FIELD
GOVERNMENT EDUCATIONAL MEDICAL
ACCOUNT MANAGER
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EMAIL: cf129k@att.com

VILLAGE CONSULTING

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MATT CAREY, P.E.
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EMAIL: matt.carey@pinnacle-engr.com

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EMAIL: jpaetsch@mke7.com

KABA
TODD BATTLE
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EMAIL: tbattle@kaba.org

WI DEPARTMENT OF NATURAL RESOURCES

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EMAIL: joseph.liebau@wisconsin.gov

MIKE THOMPSON
ENVIRONMENTAL ANALYSIS TEAM SUPERVISOR
OFFICE: (414) 303-3408

PROJECT DATA:

TOTAL SITE AREA: 64.0 AC (2,789,933 S.F.)
PAVEMENT AREA: 11.0 AC (480,293 S.F.)
BUILDING AREA: 2.0 AC (88,236 S.F.) FOOTPRINT
LANDSCAPE AREA: 18.2 AC (792,599 S.F.)
GREEN SPACE: 32.8 AC (1,427,805 S.F.)
POND AREA: 3.8 AC (163,650 S.F.)
PARKING STALLS: 737
EXISTING ZONING: M5
PROPOSED ZONING: M5

PROJECT TEAM CONTRACTS:

APPLICANT:
JOHN HUGGETT
THE BOLDT COMPANY
N21W23340 RIDGEVIEW PARKWAY
WAUKESHA, WI 53188

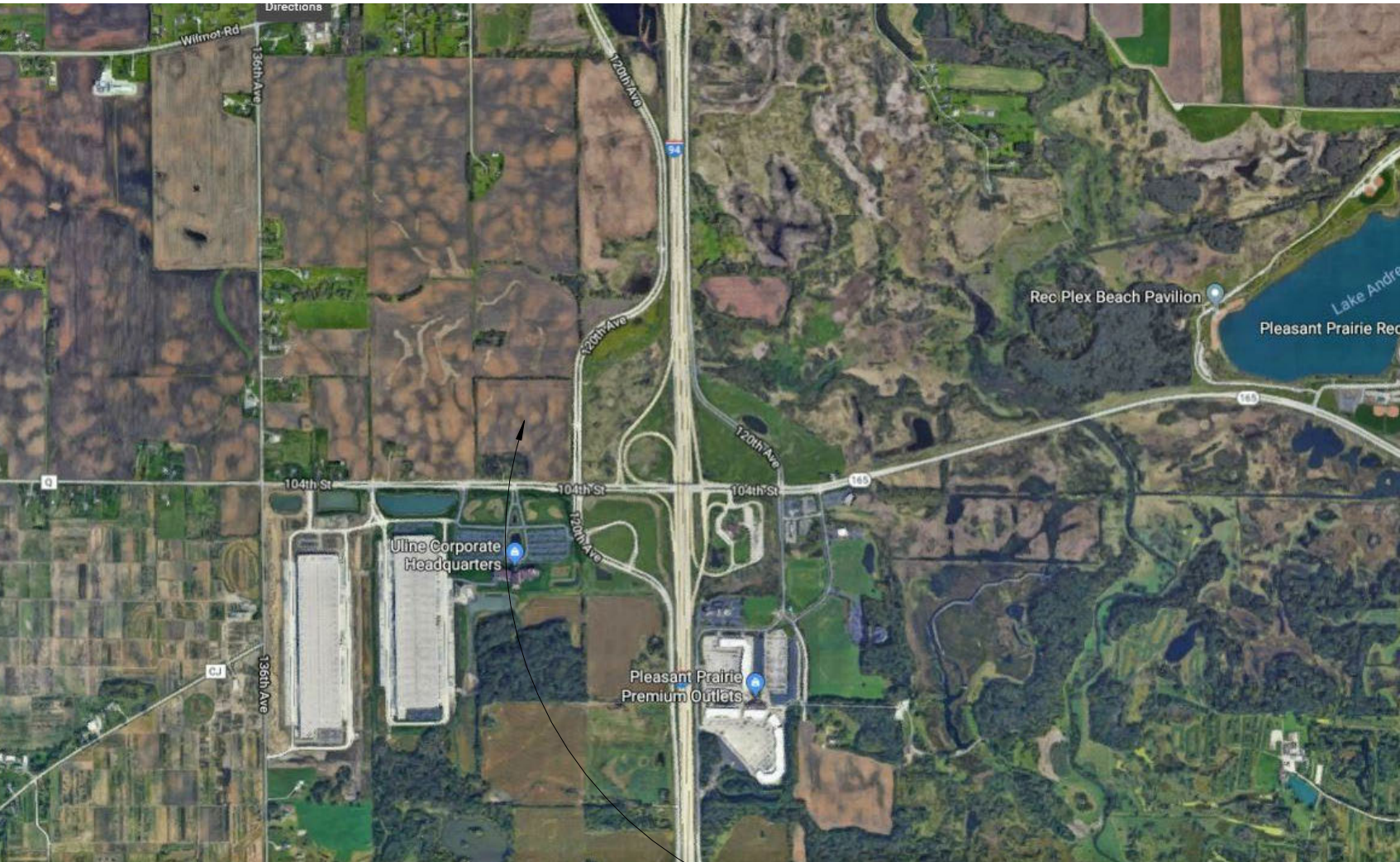
OWNER:
AURORA HEALTH CARE
LISA JUST
750 W. VIRGINIA STREET
PO BOX 341880
MILWAUKEE, WI 53208-1880

ARCHITECT:
NICHOLAS BURRIS
HAMMEL, GREEN AND ABRAHAMSON, INC.
333 E. ERIE STREET
MILWAUKEE, WI 53202

CIVIL ENGINEER:
STEVEN FISCO, P.E.
GRAEF
ONE HONEY CREEK CORPORATE CENTER
125 S. 84TH STREET, SUITE 401
MILWAUKEE, WI 53214

LANDSCAPE ENGINEER:
STEPHEN HIMMERICH
HAMMEL, GREEN AND ABRAHAMSON, INC.
420 N 5TH STREET
MINNEAPOLIS, MN 55401

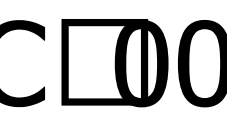
LOCATION PLAN:



PROJECT LOCATION

A000





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AURORA HEALTH
CENTER

PLEASANT PRAIRIE

AMBULATORY CARE
CENTER AND MEDICAL
OFFICE BUILDING

NOT FOR
CONSTRUCTION

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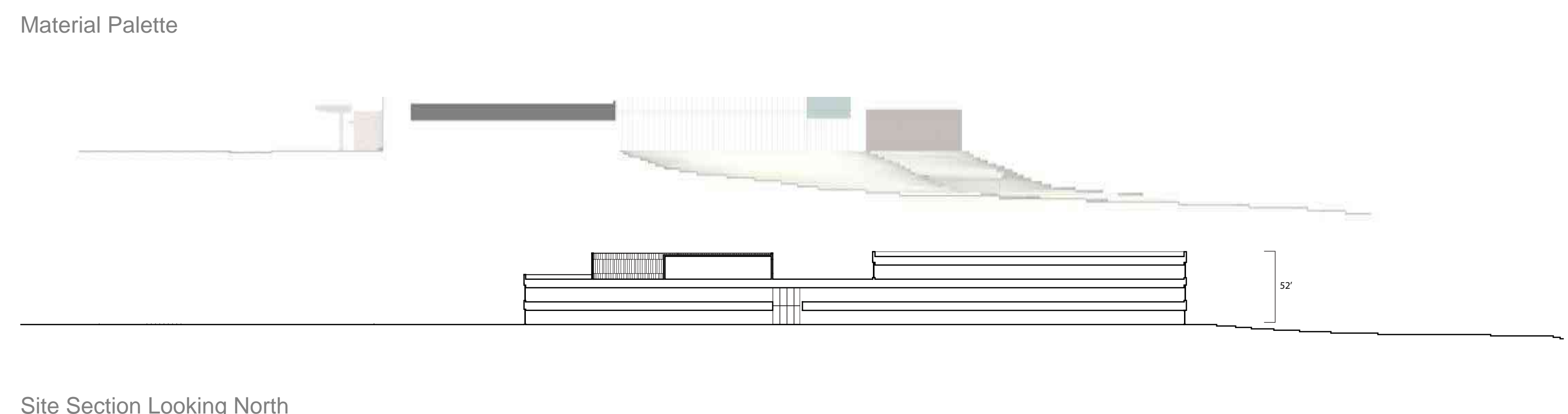
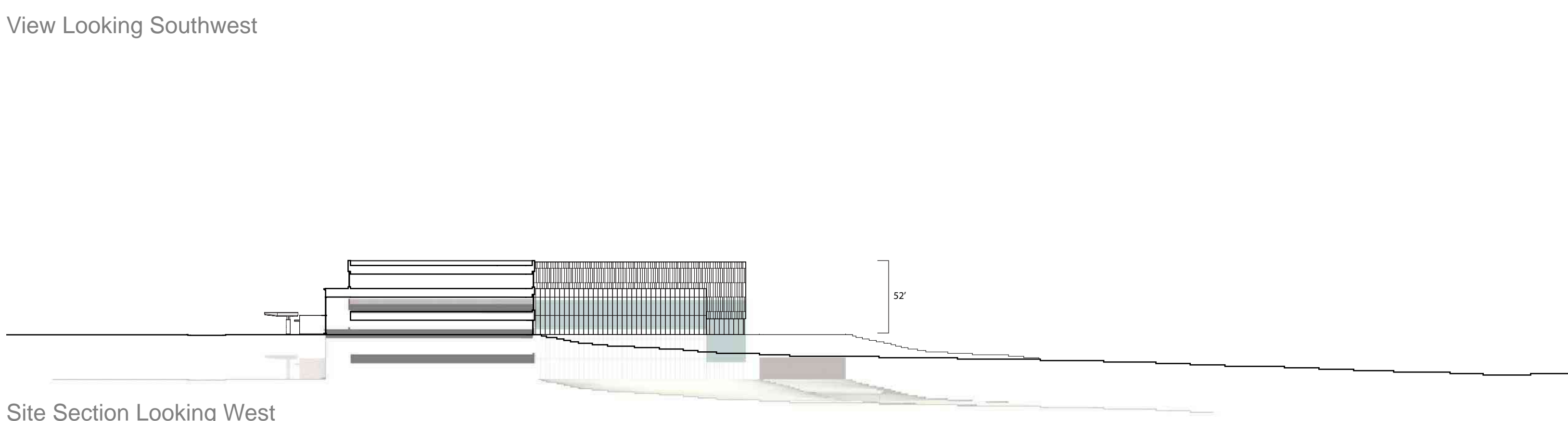
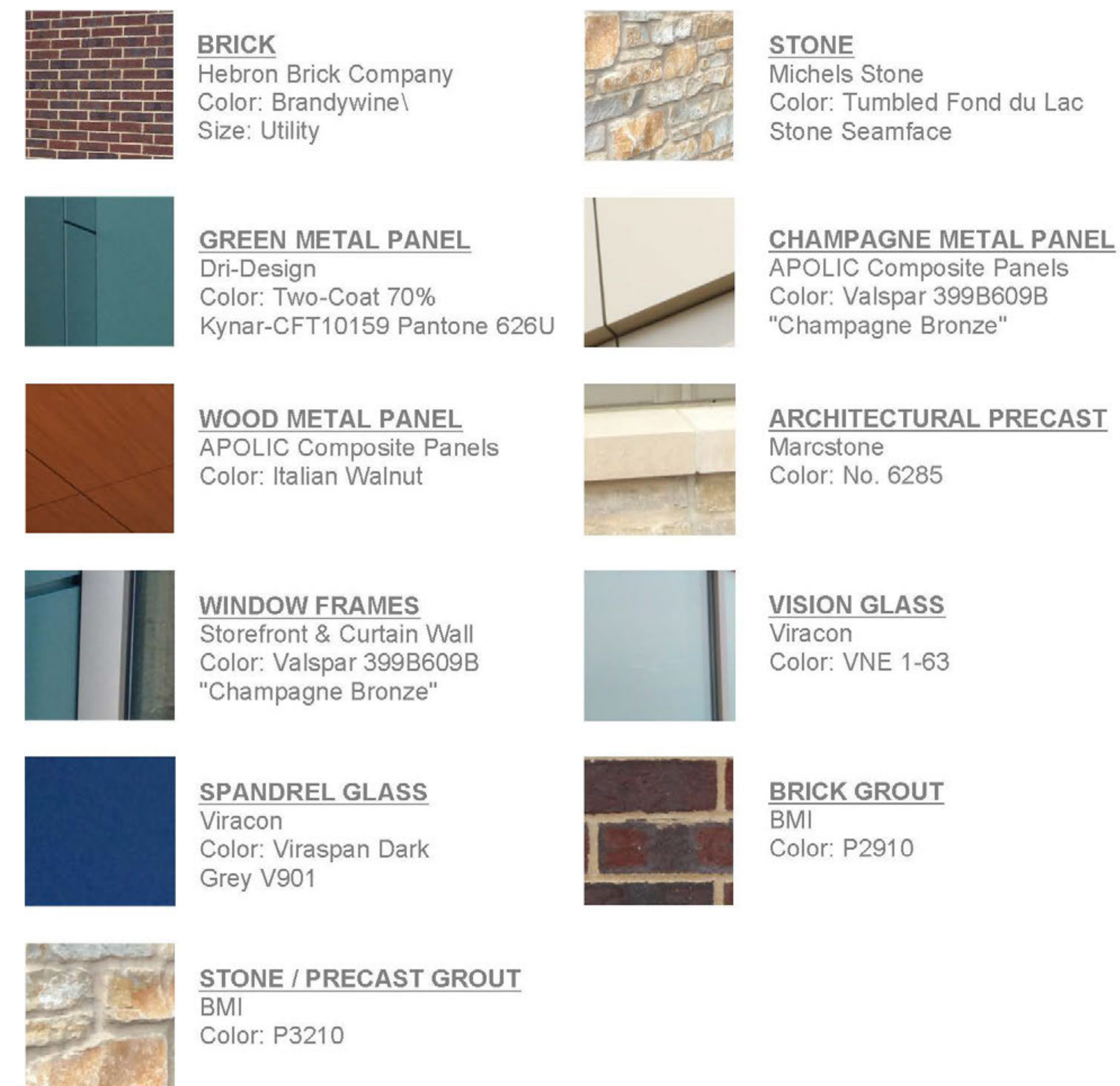
HGA NO: 1373-026-00

CONCEPT UTILITY PLAN

DATE: MARCH 12, 2018

**MASTER CONCEPTUAL
PLAN SUBMISSION**

C300



**AT THE REQUEST OF THE PETITIONER THESE ITEMS ARE BEING TABLED UNTIL
A 6:00 PM APRIL 17, 2017 PLAN COMMISSION MEETING**

- C. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-07 TO AMEND THE COMPREHENSIVE PLAN** for the request of Brian Dunn of Mead & Hunt, agent on behalf of HARIBO of America Manufacturing, LLC for the development of a 136.8 acre property generally located at the southwest corner of 120th Avenue (West Frontage Road) and CTH C (Wilmot Road) to amend the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to change the Freeway Oriented Business Center commercial land use designation to the Production Manufacturing Industrial land use designation; to correctly show the location of the field delineated wetlands within the Park, Recreation and Other Open Space lands with the field verified wetland land use designations; and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.
- D. **PUBLIC HEARING AND CONSIDERATION OF A MASTER CONCEPTUAL PLAN AND DEVELOPMENT AGREEMENT** for the request of Brian Dunn of Mead & Hunt, agent on behalf of HARIBO of America Manufacturing, LLC for the development of a 136.8 acre property generally located at the southwest corner of 120th Avenue (West Frontage Road) and CTH C (Wilmot Road) for the construction of a new manufacturing facility to produce Gummy Bears and other HARIBO products.
- E. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AND TEXT AMENDMENTS** for the request of Brian Dunn of Mead & Hunt, agent on behalf of HARIBO of America Manufacturing, LLC for the development of a 136.8 acre property generally located at the southwest corner of 120th Avenue (West Frontage Road) and CTH C (Wilmot Road) to rezone the portion of the property that is currently zoned B-6, Freeway Oriented Business Center District into the M-5, Production and Manufacturing District and to rezone the field verified wetlands into the C-1, Lowland Resource Conservancy District. All non-wetlands areas will be rezoned into the M-5 District and the entire property will be rezoned to a Planned Unit Development Overlay District (PUD) and to create the specific PUD ordinance for said development.

DEV1801-006
CODE1802-004
CODE1802-005

From: Brian Dunn <Brian.Dunn@meadhunt.com>
Sent: Tuesday, March 20, 2018 3:23 PM
To: Jean Werbie-Harris
Cc: Kristina Tranel; Peggy Herrick; schellkopf (schellkopf@kohlbecker.de); gondolf@kohlbecker.de; Smik, Martin; Arndt Ruesges (arndt.ruesges@haribo.com); Martin Drache (martin.drache@haribo.com)
Subject: Project Great Lake - Planning Commission meeting items

Per our discussion today, I would like to request to table the HARIBO items that are on the agenda for the planning commission meeting scheduled for March 26. I would also like to request that these items are rescheduled for a special meeting on Tuesday April 17, 2018 at 6PM.

Thank you.

Brian Dunn, P.E., LEED AP | Project Manager

Mead & Hunt, Inc. | M&H Facilities Operations, Inc.
2440 Deming Way | Middleton, WI 53562-1562
Direct: 608-443-0587 | Mobile: 608-345-6962 | Main: 608-273-6380
brian.dunn@meadhunt.com | meadhunt.com
[LinkedIn](#)

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**AT THE REQUEST OF THE PETITIONER THIS ITEM IS BEING TABLED UNTIL A 5:30
PM APRIL 16, 2017 PLAN COMMISSION MEETING.**

- F. **PUBLIC HEARING AND CONSIDERATION OF A PLAN COMMISSION RESOLUTION #18-08 FOR A COMPREHENSIVE PLAN AMENDMENT** for the request of Dan Szczap, agent, on behalf of Main Street Development, LLC to amend the 2035 Comprehensive Land Use Plan Map 9.9 to remove the Urban Reserve land use designation from the vacant properties generally located at the northeast corner of STH 31 and STH 165 for the proposed Main Street Market commercial development and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.
- G. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AND TEXT AMENDMENTS** for the request of Dan Szczap, agent on behalf of Main Street Development, LLC related to the proposed Main Street Market commercial development to be located at the northeast corner of STH 31 and STH 165. The properties are proposed to be rezoned from the B-2 (AGO), Community Business District with a General Agricultural Overlay District into the B-2 (PUD), Community Business District with a Planned Unit Development Overlay District. In addition, for a Zoning Text Amendment to create the specific PUD ordinance for said development.
- H. Consider the request of Dan Szczap on behalf of Main Street Development, LLC for approval of a **Certified Survey Map and Development Agreement and related documents** for Main Street Market related to the proposed Main Street Market commercial development to be located at the northeast corner of STH 31 and STH 165.

From: Daniel Szczap <dszczap@beardevelopment.com>
Sent: Thursday, March 22, 2018 1:59 PM
To: Jean Werbie-Harris; Peggy Herrick
Cc: John Hotvedt; S.R. Mills
Subject: Main Street Market

Dear Jena & Peggy:

We are requesting that the matters related to Main Street Market project be tabled at the Monday, March 26, 2018 Plan Commission Meeting.

We understand that the Main Street Market project materials are rescheduled to the April 16th, 2018 Plan Commission and Village Board Meeting.

Thank You,
Dan Szczap
Bear Development, LLC
(262) 949-3788

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME,
HOWEVER SEPARATE MOTIONS ARE REQUIRED.**

- I. Consider the request of David Carbol of Partners In Design Architects on behalf of Froedtert South Inc., for approval of **Preliminary Site and Operational Plans** for site grading, underground utilities, and footing and foundation permits for the proposed Medical Office Building to be located west of Old Green Bay Road north of STH 165 in the Main Street Market development.

Recommendation: Village staff recommends that the Plan Commission approve the **Preliminary Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of March 26, 2018.

- J. Consider approval of **Tax Payment Shortfall Agreement** between the Village of Pleasant Prairie and Froedtert South Inc., regarding the TID #6 Increment repayment requirements for the life of the bonds (20 years).

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Tax Payment Shortfall Agreement** subject to the comments and conditions of the Village Staff Report of March 26, 2018.

VILLAGE STAFF REPORT OF MARCH 26, 2018

Consider the request of David Carbol of Partners In Design Architects on behalf of Froedtert South Inc., for approval of **Preliminary Site and Operational Plans** for site grading, underground utilities and footing and foundation permits for the proposed Medical Office Building to be located west of Old Green Bay Road north of STH 165 in the Main Street Market development.

Consider approval of **Tax Payment Shortfall Agreement** between the Village of Pleasant Prairie and Froedtert South Inc., regarding the TID #6 Increment repayment requirements for the life of the bonds (20 years).

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME, HOWEVER SEPARATE MOTIONS ARE REQUIRED.

On January 15, 2018 the Village Board conditionally approved a Master Conceptual Plan for the proposed 50,000 square foot Froedtert South Pleasant Prairie Medical Office Building to be constructed within the Main Street Market development to be located at the northeast corner of STH 31 (Green Bay Road) and STH 165 (104th Street).

At this time, the petitioner is requesting approval of **Preliminary Site and Operational Plans** to begin the mass grading, underground utilities and early footing and foundation construction for the Medical Office Building. *[Note: Final Site and Operational Plans will be required to be submitted for Village staff review and Plan Commission approval prior to issuance of full building permits for the construction of the building.]*

The Froedtert medical office building is proposed to consist of four floors, at approximately 12,500 square feet each, totaling about 50,000 square feet of buildable space. The building will have multiple entrances on two (2) different levels. The west side of the building will be four-stories with a covered entry facing STH 31. The topography rises to the east, so the east side of the building will have a three-story elevation and a covered entry facing Old Green Bay Road. The building's exterior materials will consist of brick, stone and window glazing in the same architectural, prairie style and colors as the Froedtert South/St. Catherine's Medical Center Campus on STH 50 in the Prairie Ridge development.

The first floor will contain rehabilitation services that provide physical therapy, occupational therapy, imaging services and support functions for each of those services. Previously an aquatic therapy pool was a part of the Master Conceptual Plan, that service is no longer planned for this site. In addition, the CT scan and MRI units are being planned for the imaging suite, but would be installed at a later date.

Entry into the lower level would include an at-grade covered pick-up and drop-off door to protect patients from the weather. This floor would have individual private treatment areas for patients as well as a centralized gym area for the patients and related support areas.

The second level will also include an at-grade covered pick-up and drop-off door to protect patients from the weather. Initially the second floor will be built out to include primary care and walk-in service for those who do not have an appointment. The second through fourth floors will be used for physician offices that will provide primary and specialty care.

The hours of operation for the various services will be Monday-Friday from approximately 6:00 am to 8:00 pm and Saturdays from approximately 7:00 am to 5:00 pm. Sunday operations may occur based on patient demand, but would be for limited hours.

It is intended that the first two (2) floors will be built initially and the remaining two (2) floors of the building will have a shelled-in condition. At full build-out it is anticipated that there would be 60 full-time equivalent jobs created.

Parking and sidewalk/pedestrian interconnections and cross access driveway and parking easements shall be provided to the abutting Main Street Market Development users. There are 247 parking spaces (including 16 handicapped accessible spaces) within 400 feet of either entrance to the building.

Signage: Only one (1) primary monument sign will be allowed for the Development at the southeast corner of the Lot. The sign shall not exceed 6 feet in height as restricted by the Main Street Market Declarations, Covenants and Restrictions as reflected in the Main Street Market PUD. The Main Street Market Development will have a Development Entry Monument Sign for the entire Development located in an easement at the northwest corner of the site at the private driveway entrance. The on-site informational/directional signs are allowed but the total number will be limited. The sign height shall not exceed the requirements specified in the Village Zoning Ordinance (4 feet high with 32 square feet of display area per side). Further discussion is warranted related to the on-site informational signs with the applicant, Main Street Market Developer and the Village. Wall signage and secondary monument signage will also be allowed on the site.

Traffic Impact Analysis (TIA): As required by WI DOT, the Main Street Market Developer has prepared an updated TIA based upon the proposed Main Street Market land uses. All required Old Green Bay Road, STH 165 and STH 31 roadway and intersection improvements required as a result of this development and the timing for their construction was analyzed by Traffic Analysis and Design (TADI). The TIA was submitted to the Village and the WI DOT for traffic forecasting review and approval and again by TADI to the Village and WI DOT for Scenario One and Two Modifications to the adjacent roadway systems.

Based upon staff and Developer discussions at a March 13, 2018 meeting with the WI DOT, the WI DOT review and the final TIA letter is anticipated to be completed by the WI DOT by mid-April. The WI DOT will require that the Village enter into a Memorandum of Understanding Agreement (MOU) with the WI DOT, which provides the WI DOT with assurances as to the completion of the phased TIA off-site and on-site proposed public/private improvements. A Development Agreement, which addresses these and other matters, is being prepared by the Village and shall be entered into between the Developer and the Village. This Agreement shall provide a guarantee to the Developer's obligations to construct the required TIA proposed public/private improvements.

As noted above, the TIA confirmed and the WI DOT concurred that there should be no direct private driveway access to the Development from STH 165 or from STH 31 between STH 165 and the north property line. The WI DOT has agreed, however, that the existing legal access right from STH 165 to Lot 3 should be removed -- with a transfer of access rights as a public street connection (Main Street), to be located on STH 31. They further noted that due to the limited length of the future Main Street roadway, which extends between STH 31 and Old Green Bay Road, there shall be no private driveway connections to Main Street. As a part of the roadway improvements, there are four (4) adequately spaced, private driveways proposed to be constructed to Old Green Bay Road—Gas Driveway, North Driveway, Center Driveway (at 102nd Street) and South Driveway and a public road connection at Main Street.

The Scenario Two Modifications as shown on the **attached** Scenario Two Modifications Draft Exhibit 1-2B as prepared by TADI identifies the Main Street Market Modifications for Phase One in green and the Main Street Market Full Buildout Modifications in blue. Required off-site modifications are shown in purple. It is possible that there could be an accelerated timing of some of the Phase 1 and 2 improvements due to market conditions and other factors.

Detailed plans for the widening of Green Bay Road and STH 165 and the STH 165/Old Green Bay Road intersection and Main Street shall be finalized and provided to the Village and WI DOT for review and approval—all of which said timing is outlined and discussed in the Development Agreement. The acquisition of additional right-of-way from adjacent landowners on the south side of STH 165 and the east side of Old Green Bay Road shall be finalized and approved by the Village. And, adequate right-of-way for Main Street shall be dedicated to the Village by the next Certified Survey Map prior to the further land division of Lot 1.

Old Green Bay Road will be required to be re-constructed with an urban cross section with curb and gutter and public multi-use path and public sidewalks. As the traffic warrants, traffic signals are proposed to be installed at Old Green Bay Road and STH 165 and at Green Bay Road and Main Street intersections. Roadway cross section requirements have been defined which include also bicycle and pedestrian accommodations.

Pursuant to the **attached** draft Example of the off-site improvements for a Village and WI DOT MOU for the Main Street Market Development, several off-site improvements are required to be made by the Developer as a condition of the Phase 1 development of Main Street Market. The WI DOT did agree and Village staff recommends, based upon the traffic being generated and the timing of the improvements, however to allow the Froedtert South medical office building work to begin subject to the Developer executing a Development Agreement with the Village, recording of a Certified Survey Map and Memorandum for the Main Street Market Development and the Village entering into a MOU with the WI DOT for the Phase 1 and Phase 2 off-site improvements (said documents are anticipated to be presented for approval in April). The off-site Phase 1 TIA improvements as referenced in the TID # 6 documents and which will be shown in more detailed engineering plans being prepared by the Developer in 2018, must be constructed by November 1, 2019. The timing of the completion of the off-site improvements required specifically for the Froedtert South Clinic occupancy will be set forth in the TIA MOU, the Development Agreement and conditions of the Site and Operational Plan approval.

Water, Sanitary Sewer and Storm Sewer: The public water main along Old Green Bay Road will be extended to the north property line and private water and sewer mains will be extended within the Development to service this property. The Main Street Market Development will include retention basins to service the entire Development. The sanitary sewer, water and storm sewer mains and storm water basins and will be maintained by the Main Street Market Commercial Owners' Association. [Note: The detailed civil plans, showing grading, sanitary sewer, water, storm sewer and retention facilities plans shall be approved prior to the preconstruction meeting and issuance of permits.]

TID Project Plan Impact: This Development will need to be in compliance with the overall Development Plans and TID #6 Project Plan for the Main Street Market Development, including the execution of the **attached** Tax Shortfall Agreement.

The Froedtert project shall be in compliance with Main Street Market Declaration of Covenants, Conditions and Restrictions. An approval letter from the Main Street Market Commercial Owners' Association, Inc. for all site and operational plans for their development shall be provided to the Village.

Occupancy: Froedtert South is planning to begin grading work this spring for the Medical Office Building and be completed and operational in 2019.

Item I recommendation: Village staff recommends conditional approval of the Preliminary Site and Operational Plans subject to the above comments and the following conditions:

1. The WI DOT TIA approval letter shall be finalized for the Main Street Market Development. The TIA requirements shall then be set forth in a Memorandum of Understanding (MOU) between the WI DOT and the Village. The Development Agreement must be executed between the Village and the Developer, which includes these WI DOT requirements as a Developer obligation prior to the issuance of any permits for any Froedtert site grading.
2. The Development Agreement, CSM, WI DOT MOU, Tax Shortfall Agreement and Main Street Market Declarations shall be finalized and executed prior to work commencing on the Froedtert MOB site (anticipated in April).
3. The Preliminary Site and Operational Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans shall be prepared and reviewed. **The following changes shall be made to the plans and three (3) revised paper copies and one electronic copy of the Preliminary Site and Operational Plans with a written description of how each of the comments below have been addressed shall be submitted for final staff review:**
 - a. On the Cover Sheet the following shall be addressed:
 - i. The Key Plan shall be modified to show 104th Street (not 102nd Street) lying south of the medical office building.
 - ii. There is a discrepancy of the identified building square footage shown on the plans of 51,925, on the plans of 49,507 square feet and in the narrative of 50,000 square feet – adjust the documents so that one square footage number for permitting and public information purposes is presented.
 - iii. Add the zoning, green space calculations and impervious surface data in the project site data to the cover sheet.
 - iv. Add government agency contact and utility contacts to the cover sheet. (Obtain from CD Dept.).
 - b. The Lot configuration shall be the same dimensions as shown on the Certified Survey Map.
 - c. Add the overall Main Street Market Master Conceptual Plan into the plan set.
 - d. Add a parking chart on the plans – the total number of spaces and type and what is required by the Zoning Ordinance.
 - e. Label the three small squares on the plan to the southwest of the building.
 - f. The location of the proposed sanitary sewer sampling manhole shall be shown on the plans.
 - g. Note the location of the job trailer(s), location of the gravel access driveway, and the 6 foot high cyclone fence around the perimeter of the site during construction on the erosion control plan.

- h. See **attached** comments dated February 23, 2018 from the Village Engineering Department.
 - i. See **attached** comments dated March 6, 2018 from the Village Fire and Rescue Department.
 - j. The wetlands shown on the site are proposed to be filled. Add a note on the plan sheets that indicates that the wetlands are being filled and the approval date and by which agency. Submit a copy of the WI DNR and US ACOE approval letter/fill permits prior to issuance of any permits.
 - k. The secondary monument sign shall be noted as primary monument sign. One primary monument sign is allowed and the sign shall meet the requirements of the PUD for Main Street Market PUD and the Declarations for Main Street Market. Further discussion is warranted related to the on-site informational signs with the Main Street Market Developers and the Village.
4. **Upon approval of the revised Preliminary Site and Operational Plans, and prior to the issuance of the required erosion control permits, underground plumbing permits and the footing and foundation permits the following shall be submitted (1 paper copy and a pdf copy):**
- a. Written approval shall be provided from the easement holder(s) for proposed grading, utility, and/or other work within easement limits.
 - b. A copy of the Wisconsin Department of Natural Resources N.O.I. Permit. (Note: the NOI request must be submitted to the WI DNR by the land owner).
 - c. An Erosion Control Permit Application and revised and Village approved Preliminary Site and Operational Plans. [Note: The required \$2,000 street sweeping cash deposit shall be deposited with the Village at the time of obtaining the Erosion Control. The street sweeping cash deposit is refundable, less 6% for administrative processing upon issuance of a Certificate of Compliance for the entire project if the amount is not drawn upon by the Village in maintaining the adjacent roadways free from dirt, mud clumps and mud tracking during the construction process. Silt fence shall be installed and inspected prior to any work starting.]
 - d. The Commercial Underground Plumbing and Footing and Foundation State approved plans and approval letters.
 - e. If a temporary development sign listing the project and contractors is proposed, then a sign permit application and related material shall be submitted. (No wind screen message signage is allowed and no plastic or material banners affixed to any site structures or trailers).
 - f. A copy of the Main Street Market Commercial Owners' Association approval letter.
5. **Upon satisfaction of the above conditions and prior to work commencing on the site a preconstruction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications noted above are submitted).** The Design Engineer of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting. At a minimum the GC and Utility Contractors shall attend the pre-construction meeting. The Design Engineer of Record shall prepare and distribute the following items to all attendees (owners, engineer, contractors, utilities, and Village staff) at the pre-construction meeting:

- Pre-construction agenda (A sample agenda, if needed, will be provided by the Village to Design Engineer to modify for the meeting).
- Project construction schedule.
- List of all contractors.
- Emergency contact information for all – project superintendent, owner, architect, contractors etc.
- A pre-construction meeting shall be coordinated prior to any earth movement, shall be scheduled after the Engineering Plans, Development Agreement, WI DOT MOU, the Tax Shortfall Agreement and Declarations are completed, approved by the Village and executed. An early start must be approved and issued by the State of WI and the Building Inspection Department prior to obtaining an erosion control permit.

The Design Engineer of Record shall email and distribute the minutes to all attendees within 7 days of the pre-construction meeting.

6. **Following the pre-construction meeting all necessary permits and fees shall be paid for and permits obtained from Village Building Inspection Department and construction may commence.**
7. Prior to issuance of the building/zoning permit for the building, Final Site and Operational Plans shall be submitted to the Village for Plan Commission review and approval.
8. The following shall be addressed on the Final Site and Operational Plan:
 - a. Easily moveable gates which match the color of the trash enclosure materials shall be provided. Provide greater gate detail on the plans. Consult Developer for a standard.
 - b. The color of the parking lot striping for all properties within Main Street Market shall be the same-consult the Developer.
 - c. Provide a detailed Lighting Plan which includes details of all fixtures with illustrations including color, height, type of pole –the style needs to be approved for the entire development. The concrete bases shall be at the same height, 12 inches from grade. Confirm with the Developer.
 - d. Attractive and ornamental commercial light pole standards/LED fixtures shall the same type and style (pole and head) within the entire Main Street Market development (bronze or black-not terra cotta) shall be provided in the parking lot at a maximum height of 20 feet from grade with the fixtures style and color to compliment the building (No shoe box fixtures). The concrete bases of the light standards shall not exceed 12 inches above grade. All concrete, unpainted light pole bases shall be placed within landscaped areas or islands. As a unified development all of the parking lot lights shall be the same style, height, color and size for the entire unified business development area.
 - e. Parking lot lighting shall be illuminated to provide sufficient lighting for the public's safety and the effective operation of the security cameras - per the Village's satisfaction.
 - f. All sign posts shall match the color of the light pole standards. (Consult the Developer).
 - g. All on site-directional signage (including handicapped signage, no parking, fire lane, stop signs and other such signage) shall have ornamental bronze/black

poles with caps and bronze painted bollards. (Note on the plans sheets-consult the Developer).

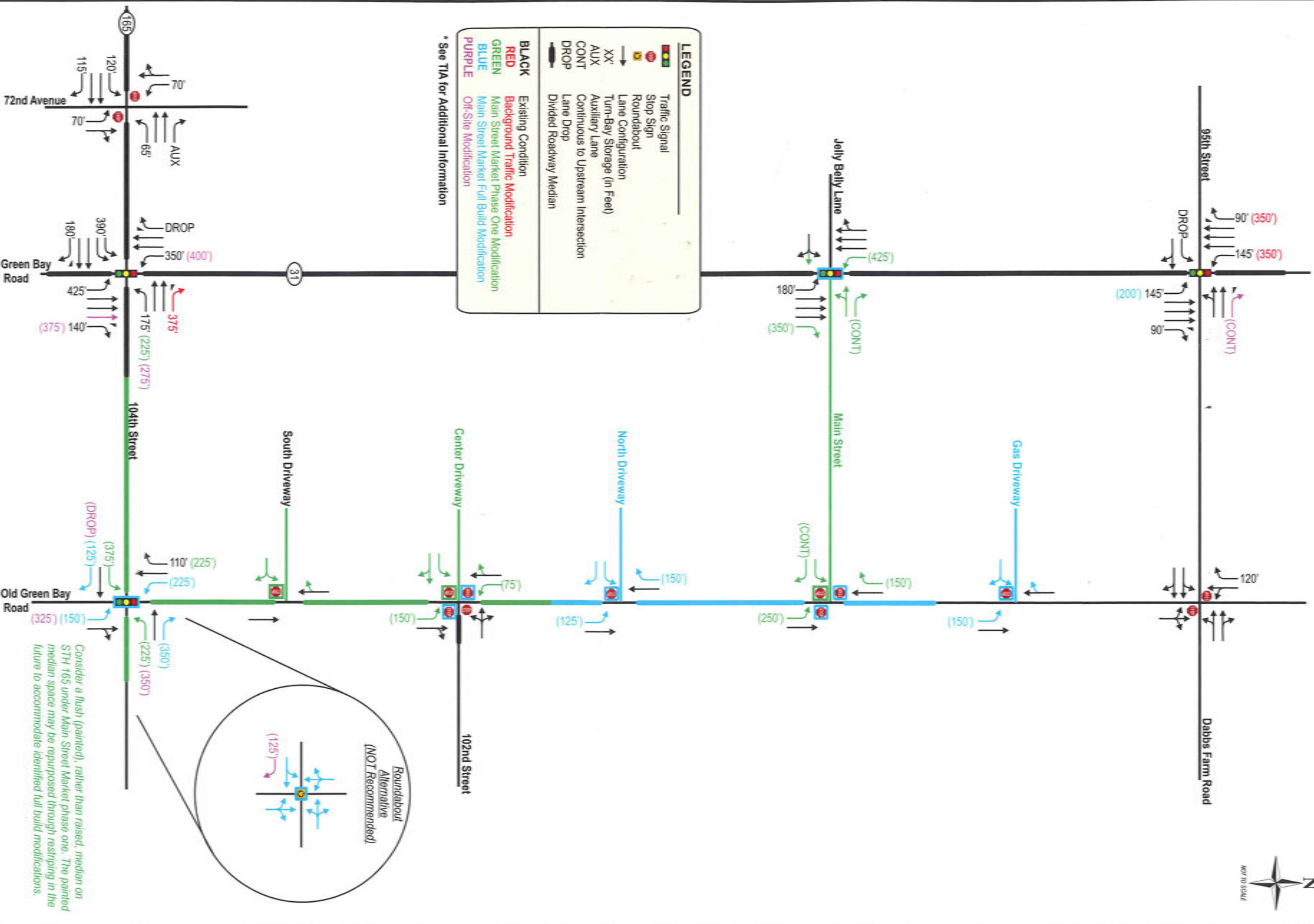
- h. Each handicapped accessible parking space shall be appropriately signed (locations to be reviewed by Village) and painted on the pavement pursuant to ADA requirements prior to occupancy of the site.
- i. All storm sewer collection systems and downspouts for the building and porte-cochere's shall be internal to the building/building columns and interconnected underground to the private storm sewer system and cut off at grade and shown on the required Site and Operational Plans.
- j. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view. All air conditioning units/gas meters shall be mounted at grade and screened, not mounted on the side of the building.
- k. Knox boxes shall be recessed.
- l. Water usage and interior meter plumbing plans will need to be submitted.
- m. All entrances and exits should be numbered on the exterior and interior beginning at the main entrance and moving clockwise around the structure. Numbers should be of a reflective material and must be visible from the farthest point of the adjacent parking lot (minimum size of 3 inch attractive numbers placed on the same location of each door).
- n. Add headlight screening, bushes and plantings along the entire length of the west property line to screen headlights from the adjacent STH 31 (these plantings will be in an easement) and along Old Green Bay Road.
- o. Landscape Plans shall provide all details including a chart with size (planting and mature sizes), type and quantities of plants.
- p. Landscaping (minimum of 24 to 30 inches at planting) shall be required on all sides, especially along west property line.
- q. Provide a sample materials board for review with the Final Site and Operational Plans.
- r. Site signage shall be reviewed and discussed with the Developer and the Village.
- s. Show the required landscaping at the base of the monument sign on the landscaping plans.
- t. A Digital Security Imaging System (DSIS) shall be installed for the site with exterior cameras in accordance with the security requirements of Chapter 410 of the Village Municipal Code. A DSIS Agreement and recorded DSIS Access Easement will be required to be executed between Froedtert and the Village.

9. **Other Comments:**

- a. Compliance with the **attached** memo from the Village Building Inspection Department dated February 26, 2018.
- b. Impact fees shall be paid prior to issuance of the building permit pursuant to Chapter 181 of the Village Code (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).

- c. Prior to work commencing on the site, all required permits shall be issued by the Village and County, all required erosion control measures shall be in place and inspected and maintained.
- d. **After the installation of the footings and foundations and prior to the setting of the walls, an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that the building meets all of the required setbacks (pdf copy).**
- e. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be allowed from Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
- f. There shall be no construction vehicle parking or equipment storage permitted in the Old Green Bay Road, STH 165, or STH 31 rights-of-way. On-site (off-street) gravel parking areas shall be designed to accommodate all construction related workers and site visitors.
- g. The Village shall approve of the location of construction access and all construction trailers parked on the site during construction activities. No construction trailers shall be parked in Village rights-of-way. All construction related signage and temporary construction fencing shall be approved and permitted by the Village. Advertising wind screen banner signage shall not be permitted.
- h. All signs shall comply with the requirements of Article X of the Village Zoning Ordinance, unless specifically allowed within the Main Street Market PUD.
- i. Prior to occupancy, one (1) electronic copy of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- j. Prior to occupancy, one (1) electronic copy of the as-built record drawings of all graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village in order for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
- k. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- l. All Village fees incurred by the Community Development Department, Village Engineer or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

Item J recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Tax Payment Shortfall Agreement** prior to issuance of any permits.



This Scenario IS Recommended by TADI

DRAFT EXHIBIT 1-2B
SCENARIO TWO MODIFICATIONS
MAIN STREET MARKET DEVELOPMENT
PLEASANT PRAIRIE, WISCONSIN

March 18, 2018 DRAFT

The following is an example of what a Memorandum of Understanding (MOU) between the Village of Pleasant Prairie (Village) and The Wisconsin Department of Transportation (WisDOT) may entail. This example MOU is based on recommendations outlined in the Main Street Market TIA dated February 23, 2018, as well as a meeting with WisDOT, Village and developer at WisDOT offices on March 13, 2018.

Recall that TIA recommendations may be changed at WisDOT discretion and, therefore, the following may be modified depending on WisDOT review and any subsequent WisDOT/Village negotiations.

WISDOT RESPONSIBILITIES:

- At STH 31 & 95th Street, extend the southbound left-turn and right-turn lanes to a storage of 350-feet each.
- At STH 31 & STH 165, construct a westbound right-turn lane with a storage of 375-feet.
- Perform traffic signal timing modifications as necessary at traffic signals along STH 31 and along STH 165.
- Approve access control modifications necessary along STH 31 to grant access for a minimum 90-foot wide public street ("Main Street") opposite Jelly Belly Lane in exchange for access control rights along the full length of the north side of STH 165 from STH 31 to Old Green Bay Road.

VILLAGE RESPONSIBILITIES, MAIN STREET MARKET 52,000-SF MEDICAL OFFICE BUILDING ONLY:

- At STH 165 & Old Green Bay Road, construct an eastbound left-turn lane and a westbound left-turn lane with a storage of 225-feet for each lane.
- WisDOT recognizes that Old Green Bay Road is a Village roadway. No dedicated turn lanes are necessary at the Old Green Bay Road intersections with Center Driveway or South Driveway with only the medical office building.

VILLAGE RESPONSIBILITIES, MAIN STREET MARKET PHASE ONE (52,000-SF MEDICAL OFFICE BUILDING, 13,800-SF PHARMACY WITH DRIVE-THROUGH, COFFEE SHOP WITH DRIVE-THROUGH):

- Phase one modifications may be constructed sooner if desired by the Village. Main Street need not be constructed under phase one if it is not desired under phase one.
- At STH 31 & 95th Street, modify the traffic signal equipment to include southbound protected-permitted left-turn indications.
- At STH 31 & STH 165, extend the westbound left-turn lane to a storage of 225-feet.
- Widen STH 165 east of STH 31 in a manner that will allow for a minimum 24-foot wide median, measured as the distance between opposing through travel lanes, along STH 165 at Old Green Bay Road. At STH 165 & Old Green Bay Road, include one eastbound left-turn lane (375-feet storage), one westbound left-turn lane (225-feet storage), and extend the southbound right-turn lane to a storage of 225-feet. The median on STH 165 & Old Green Bay Road may be

constructed as a flush (painted) median until such time that a traffic signal is warranted under phase two.

- WisDOT recognizes that Old Green Bay Road is a Village roadway. WisDOT suggests the following for the Village:
 - Construct a minimum 24-foot wide median, measured as the distance between opposing through travel lanes, along Old Green Bay Road at Center Driveway and South Driveway.
 - Construct South Driveway to accommodate right-in/left-out/right-out movements only (prohibit left-in). Dedicated turn lanes are not necessary, though a southbound right-turn lane may be constructed to accommodate northbound-to-southbound U-turn maneuvers at North Driveway. Include a stop sign to control the South Driveway approach to Old Green Bay Road.
 - Construct Center Driveway to align with 102nd Street and accommodate all movements. Include a dedicated eastbound left-turn lane, a dedicated northbound left-turn lane (150-feet storage), and a dedicated southbound left-turn lane (75-feet storage). Include a stop sign to control the Center Driveway approach to Old Green Bay Road.

VILLAGE RESPONSIBILITIES, MAIN STREET MARKET PHASE TWO (FULL BUILD)

- Phase two modifications may be constructed sooner if desired by the Village.
- Construct Main Street opposite Jelly Belly Lane with a minimum 90-foot right-of-way. No access will be allowed between STH 31 and Main Street.
- At STH 31 & 95th Street, extend the northbound left-turn lane to a storage of 200-feet.
- At STH 31 & Jelly Belly Lane/Main Street:
 - Construct a northbound right-turn lane (350-feet storage) and a southbound left-turn lane (425-feet storage).
 - Construct one left-turn lane and one through/right-turn lane on the westbound approach. Maintain space within the right-of-way to accommodate a future westbound right-turn lane should it become necessary.
 - Restripe the Jelly Belly Lane approach to include one left-turn lane (125-feet storage) and one through/right-turn lane.
 - Install traffic signal control when warranted, including southbound protected-permitted left-turn indications.
- At STH 165 & Old Green Bay Road:
 - The flush (painted) median is no longer necessary. Reconfigure the eastbound approach to include one left-turn lane (375-feet storage) and one right-turn lane (125-feet

- storage). Reconfigure the westbound approach to include one left-turn lane (225-foot storage) and one right-turn lane (350-foot storage).
- Construct a southbound left-turn lane (225-foot storage) and a northbound left-turn lane (150-foot storage).
 - Install traffic signal control when warranted, including eastbound protected-permitted left-turn indications and southbound permitted-overlap right-turn indications.
- WisDOT recognizes that Old Green Bay Road is a Village roadway. WisDOT suggests the following for the Village:
 - Extend the minimum 24-foot wide median, measured as the distance between opposing through travel lanes, along Old Green Bay Road north through the Main Street intersection.
 - At Old Green Bay Road & Center Driveway, include a stop sign to control all four approaches.
 - Construct North Driveway to accommodate all movements. Include a dedicated eastbound left-turn lane, a dedicated northbound left-turn lane (125-foot storage), and a dedicated southbound right-turn lane (150-foot storage). Include a stop sign to control the North Driveway approach to Old Green Bay Road.
 - At Old Green Bay Road & Main Street, include a dedicated eastbound left-turn lane, a dedicated northbound left-turn lane (250-foot storage), and a dedicated southbound right-turn lane (150-foot storage). Include a stop sign to control all three approaches.
 - Construct Gas Driveway to accommodate all movements. Include a dedicated northbound left-turn lane (150-foot storage). Include a stop sign to control the North Driveway approach to Old Green Bay Road.

Tax Payment Shortfall Agreement

Document Number

Document Title

**TAX PAYMENT SHORTFALL AGREEMENT
(TAX INCREMENTAL DISTRICT NO.6)**

THIS AGREEMENT (this “Agreement”) is entered into as of this ____ day of March, 2018, between the Village of Pleasant Prairie, a municipal corporation (the “Village”) and Froedtert South, Inc., a Wisconsin corporation (“Froedtert”).

WHEREAS, Froedtert has or will purchase the property described on Exhibit A (the “Property”) which Froedtert intends to develop for medical office building uses (the “Development”); and

WHEREAS, the Property is or will be located in the Village’s Tax Incremental District No. 6 (the “District”) which the Village has or will establish in order to finance project costs within the District as permitted under Wis. Stats. Section 66.1105; and

WHEREAS, Froedtert plans to construct improvements on the Property as described on Exhibit B hereto (the “Froedtert Improvements”); and

WHEREAS, the Village intends to issue general obligation debt (the “Debt”) to finance improvements which are necessary to develop the Property and adjoining properties, the debt service payments thereunder to be made from the tax increment generated by the District as a result of the Development; and

WHEREAS, Froedtert has agreed to either make a certain amount of minimum future yearly ad valorem real estate property tax payments to the Village on the Property generating tax increment necessary to pay the debt service on the Debt or to pay the Village the shortfall in such payments as hereinafter provided.

NOW, THEREFORE, the Village and Froedtert, in consideration of the terms and conditions contained in this Agreement and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, agree as follows:

1. CONTINGENCY. The effectiveness of this Agreement is contingent upon Froedtert or its affiliate hereafter becoming the owner of the Property. In the event that Froedtert or its affiliate becomes the owner of the Property, this Agreement shall automatically become effective without any further action by either party. In the event Froedtert does not become the owner of the Property on or before May 31, 2018, this Agreement shall terminate and be of no further force and effect.

Recording Area

Name and Return Address

Scott L. Langlois, Esq.
Quarles & Brady LLP
411 East Wisconsin Avenue
Milwaukee, WI 53202

Parcel Identification Number (PIN)

2. CONSTRUCTION OF FROEDTERT IMPROVEMENTS. Froedtert shall construct the Froedtert Improvements on the Property. The Froedtert Improvements shall be in compliance with all applicable municipal ordinances of the Village and with any pertinent provisions of the District project plan.

3. SHORTFALL PAYMENTS. Froedtert agrees to pay the Village for each of the years in which ad valorem real estate property taxes are levied (each a "Tax Year") commencing for the 2019 Tax Year and for each successive Tax Year through and including for the Tax Year 2038, any shortfall difference (each a "Shortfall" and collectively, the "Shortfalls") between (i) for Tax Year 2019 (x) the ad valorem real estate property tax payment made by Froedtert for the Property for the 2019 Tax Year and (y) the amount of One Hundred Thirty Thousand and no/100 Dollars (\$130,000.00) and (ii) for Tax Year 2020 and each succeeding Tax Year through and including Tax Year 2038 (x) the ad valorem real estate property tax payment made by Froedtert for the Property for such Tax Year and (y) the amount of One Hundred Ninety Thousand and no/100 Dollars (\$190,000.00). In the event of any Shortfall for any Tax Year, Froedtert shall pay such Shortfall to the Village on or before August 1 of the following calendar year.

4. NO PROPERTY TAX EXEMPTION. Froedtert shall not (a) apply for an exemption from property taxes with respect to the Property or (b) transfer the Property to an entity that is lawfully exempt from the payment of property taxes unless the transferee agrees to make a payment in lieu of taxes in an amount equal to the Village portion of all property taxes that would have been paid by such transferee were it not exempt from taxation.

5. TERM AND TERMINATION. The term of this Agreement shall begin on the date of this Agreement set forth above and shall continue until the payment in full of the Debt.

6. DEFAULT. In the event that either the Village or Froedtert defaults under any material terms or conditions of this Agreement, and such default continues for a period of thirty (30) days or more after receipt of written notice of the default from the non-defaulting party, the defaulting party shall be responsible for all costs and expenses incurred by reason of such default, including, but not limited to, any legal expenses incurred by the non-defaulting party. The rights and remedies of the non-defaulting party shall not be limited to those, if any, specified in this Agreement, but the non-defaulting party shall have the rights and remedies to which it may be entitled, either at law or in equity.

7. ASSIGNMENT OF AGREEMENT. This Agreement shall not be assignable by Froedtert without the prior written consent of the Village.

8. SUCCESSORS AND ASSIGNS. This Agreement shall be binding upon the successors and assigns of Froedtert; however, this provision shall not constitute an authorization for Froedtert to assign or transfer its rights and obligations under this Agreement except as provided in this Agreement.

9. MISCELLANEOUS.

9.1 Notices. All notices, demands, certificates or other communications under this Agreement shall be sufficiently given and shall be deemed given when hand delivered or when

mailed by certified mail, postage prepaid, or sent by recognized commercial courier properly addressed as indicated below:

To Froedtert:

Froedtert South, Inc.
6308 8th Avenue
Kenosha, WI 53143
Attn: Richard O. Schmidt, Jr.
President, CEO & General Counsel

To the Village:

Village of Pleasant Prairie, Wisconsin
9915 39th Avenue
Pleasant Prairie, WI 53158
Attn: Jean M. Werbie-Harris,
Community Development Director

With a further
copy to:

Brian G. Lanser and
Scott L. Langlois
Quarles & Brady LLP
411 East Wisconsin Avenue #2350
Milwaukee, WI 53202

Any party may, by written notice to the other party, designate a change for notice purposes.

9.2 No Waiver. No waiver of any provision of this Agreement shall be deemed or constitute a waiver of any other provision, nor shall it be deemed to constitute a continuing waiver unless expressly provided for by a written amendment to this Agreement, nor shall it be deemed or constitute a waiver of any subsequent default or defaults of the same type.

9.3 Governing Law. This Agreement concerns real property located in the State of Wisconsin, and shall be interpreted and construed according to the laws of the State of Wisconsin.

9.4 Captions. The captions in this Agreement are inserted only as matters of convenience and for reference and in no way define or limit the scope or intent of the various provisions, terms or conditions hereof.

9.5 Counterparts. This Agreement may be executed in one or more counterparts, each of which will be deemed an original.

9.6 No Third-Party Beneficiaries. This Agreement creates rights and obligations only for the parties hereto and their permitted successors and assigns, except as stipulated in this Agreement. This Agreement is not intended to and does not create any right in any third party, not expressly stated herein.

9.7 Legal Action. In the event that a party becomes involved in litigation or in the threat of litigation related to this Agreement because of the act or omission of the other party, the party which becomes so involved, if not the legal cause of the injury or damages, shall be

entitled to recover reasonable attorneys' fees and out-of-pocket costs from the other party in defending against the litigation or threat of litigation.

9.8 Authority. The parties represent that the execution of this Agreement has been properly authorized and that the persons signing this Agreement have been properly authorized to sign this Agreement on behalf of the parties.

9.9 Independent Contractors. The Village and Froedtert are each entering into this Agreement on its own behalf and not as agent of the other, and this Agreement shall not be construed to create a partnership or joint venture between the parties, each of which is an independent contractor for the purposes of this Agreement.

9.10 Good Faith. Each of the parties hereto shall be subject to the duty of good faith and fair dealings in the implementation, execution and performance of the terms of this Agreement.

9.11 Recording. The parties agree that this Agreement will be recorded in the Kenosha County Register of Deeds Office records.

[Signature pages follow]

IN WITNESS WHEREOF, the parties have executed this Agreement as of the date stated in the first paragraph of this Agreement.

VILLAGE:

VILLAGE OF PLEASANT PRAIRIE,
a Wisconsin municipal corporation

By: _____

Name: John P. Steinbrink

Title: Village President

By: _____

Name: Jane C. Snell

Title: Village Clerk

STATE OF WISCONSIN)
) ss.
COUNTY OF KENOSHA)

Personally came before me this ____ day of _____, 2018 the above-named John P. Steinbrink and Jane C. Snell to me known to be the Village President and Village Clerk of the Village of Pleasant Prairie, Wisconsin, respectively, who executed the foregoing instrument and acknowledged the same on behalf of said municipal corporation.

Jean M. Werbie-Harris, Notary Public,
Kenosha County, Wisconsin
My Commission Expires _____

FROEDTERT SOUTH, INC.

By: _____
Name: _____
Title: _____

STATE OF WISCONSIN)
)
COUNTY OF _____) ss.

The foregoing instrument was acknowledged before me this ____ day of _____, 2018, by _____, the _____ of Froedtert South, Inc., on behalf of said corporation.

Notary Public, Wisconsin
My Commission expires: _____

This instrument drafted by:

Scott L. Langlois, Esq.
Quarles & Brady LLP
411 East Wisconsin Avenue
Milwaukee, WI 53202

EXHIBIT A

Description of Property

Lot 2 of Certified Survey Map No. _____, being a part of the Southwest 1/4 and the Northwest 1/4 of the Southwest 1/4 of Section 22, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin.

EXHIBIT B

Froedtert Improvements

The improvements set forth on the attached site plan as more particularly described in the final plans for such improvements on file with the Village.



MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Froedtert South Medical Office Building
Preliminary Site and Operational Plan

DATE: February 23, 2018

Peggy,

The Engineering Department has reviewed the preliminary plans for the proposed development. We have the following comments listed below and noted on the attached mark-up plan. Refer to both this memo and mark-up plan sheets for all engineering comments. This project is part of the overall Main Street Market development. A separate review was completed for the Main Street Market development.

1. See comments on the attached plan mark-up sheets.
 - a. Only plan sheets with comments are included.
 - b. Comments that apply to multiple locations are not repeated for every occurrence.
 - c. Revised submittals shall include a cover letter addressing each comment not addressed or requiring explanation, item by item, to help facilitate Village review of plans.
2. The following comments pertain to the private water main servicing Main Street Market.
 - a. The private water main shall be constructed meeting specifications of a public water main, in accordance with Village ordinance 405 – Design Standards and Construction Specifications.
 - b. A maintenance agreement shall be prepared and executed for the private water main. The agreement shall be based on a maintenance plan developed for the life of the facilities. The agreement provisions shall be tied to the Dedicated Water Main, Access, and Maintenance Easement and shall include the following:

- i. Legal description of the water main access and maintenance easement.
 - ii. Identification of the private water facilities.
 - iii. Identification of the owner of the water facilities.
 - iv. Provisions, requirements, and timelines for the operation, inspection, and maintenance of water facilities by the owner.
 - v. Provisions allowing the Village access to the property to perform inspections or maintenance that is not being properly performed by the owner.
 - vi. Agreement that the owner shall be responsible for all costs associated with the construction and maintenance of the water facilities.
3. Provide plan / profile sheets for the water main.
 4. The development construction timing as compared with the reconstruction timing of Old Green Bay Road shall be considered and interim plans prepared if the development construction runs ahead of the roadway project.
 5. Replace the Village standard sampling manhole and sanitary manhole details with the current versions (revision date 10-30-17).

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and as additional information is provided.

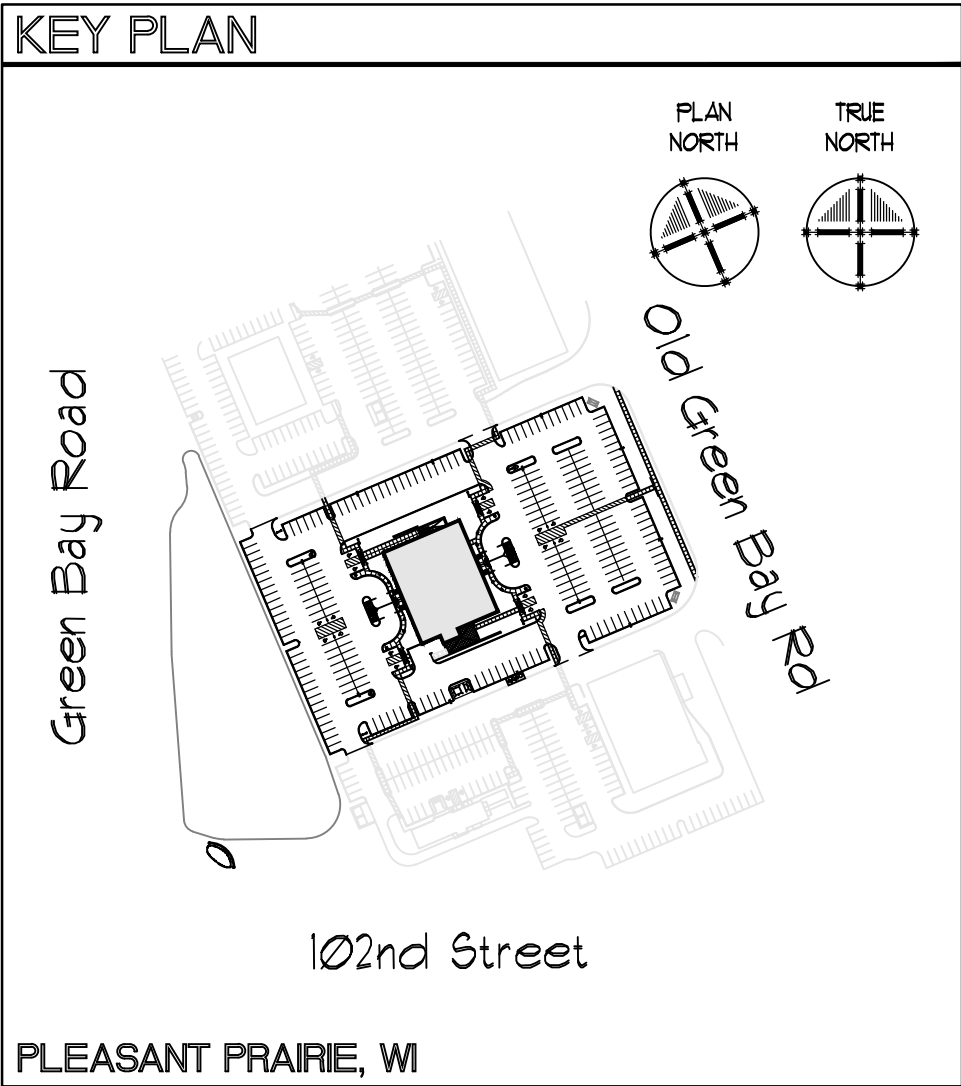
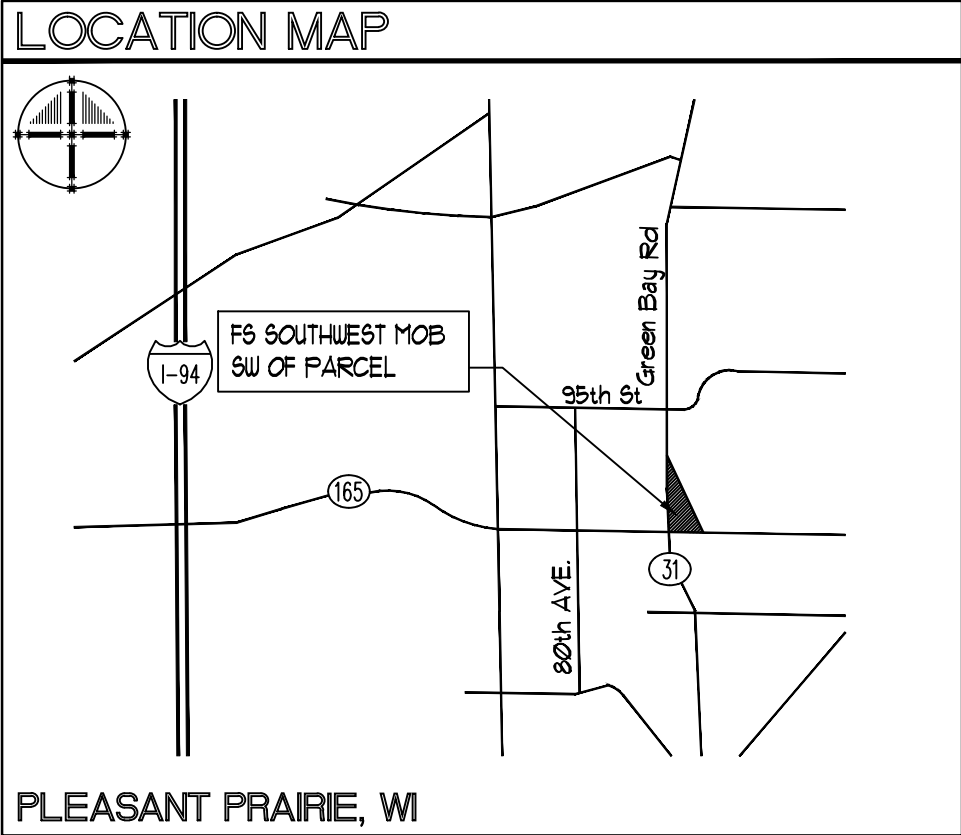
Attachments: Plan Mark-Up
Sanitary Manhole Detail
Sanitary Sampling Manhole Detail

FROEDTERT SOUTH
MEDICAL OFFICE BUILDING
PLEASANT PRAIRIE
NEC GREEN BAY ROAD & STH 165
PLEASANT PRAIRIE, WISCONSIN 53158



VOPP ENGINEERING REVIEW
PLAN MARK UP
FEBRUARY 27, 2018

PROJECT DATA		ID# 3025434
REVIEW INFORMATION:		
TRANSACTION ID NUMBER:		
SITE ID NUMBER: 3025434		
REVIEW LOCATION: D9P6 WALKESHA OFFICE		
REVIEWER: MARK PIQUETTE		
REVIEW DATE: 01/04/18 (SUBMITTED TO D9P6 WALKESHA 12/31/17)		
2009 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS		
2009 INTERNATIONAL BUILDING CODE		
2012 NFPA 101 LIFE SAFETY CODE		
USE AND OCCUPANCY CLASSIFICATION:		
MEDICAL OFFICE BUILDING		GROUP B (BUSINESS) 2009 IBC
BUILDING CLASSIFICATION:		
CONSTRUCTION TYPE II-B		NON-COMBUSTIBLE, NON-PROTECTED
SPRINKLER SYSTEM:		
FULLY SPRINKLERED		PER NFPA 13
BUILDING AREA:		
FIRST FLOOR:		13,444 S.F.
WEST CANOPY:		1,203 S.F.
SECOND FLOOR:		12,103 S.F.
EAST CANOPY:		1,203 S.F.
THIRD FLOOR:		11,980 S.F.
FOURTH FLOOR:		11,980 S.F.
TOTAL:		51,513 S.F.



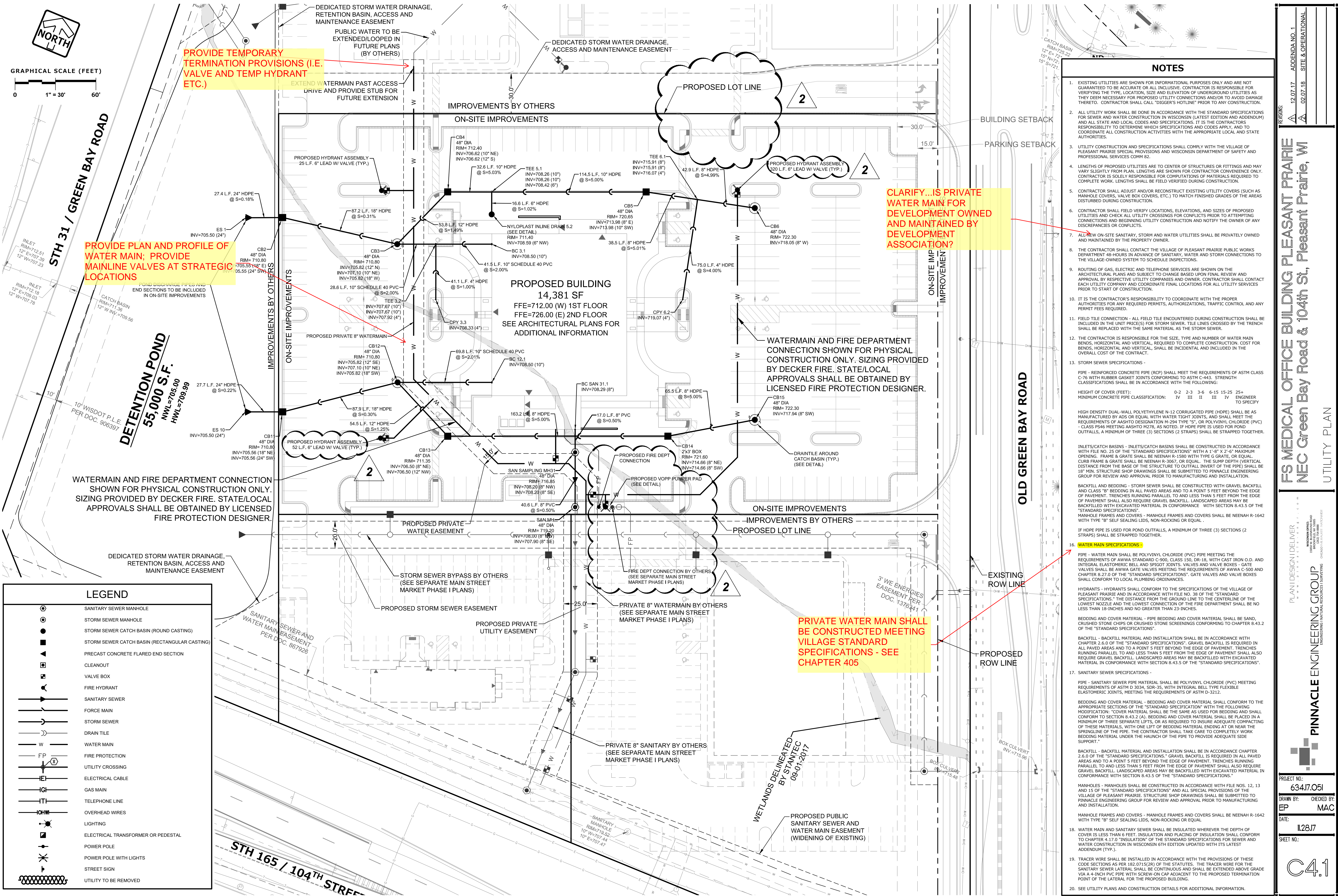
ELECTRICAL ENGINEER:		
LEE PLUMBING, HEATING, COOLING & ELECTRIC		
295 60th STREET		
KENOSHA, WISCONSIN 53140		
PHONE: 262.651.9430		
ATTN: FRANK RUFOLO		
PLUMBING ENGINEER:		
LEE PLUMBING, HEATING, COOLING & ELECTRIC		
295 60th STREET		
KENOSHA, WISCONSIN 53140		
PHONE: 262.651.9430		
ATTN: BOB LEE, JR.		

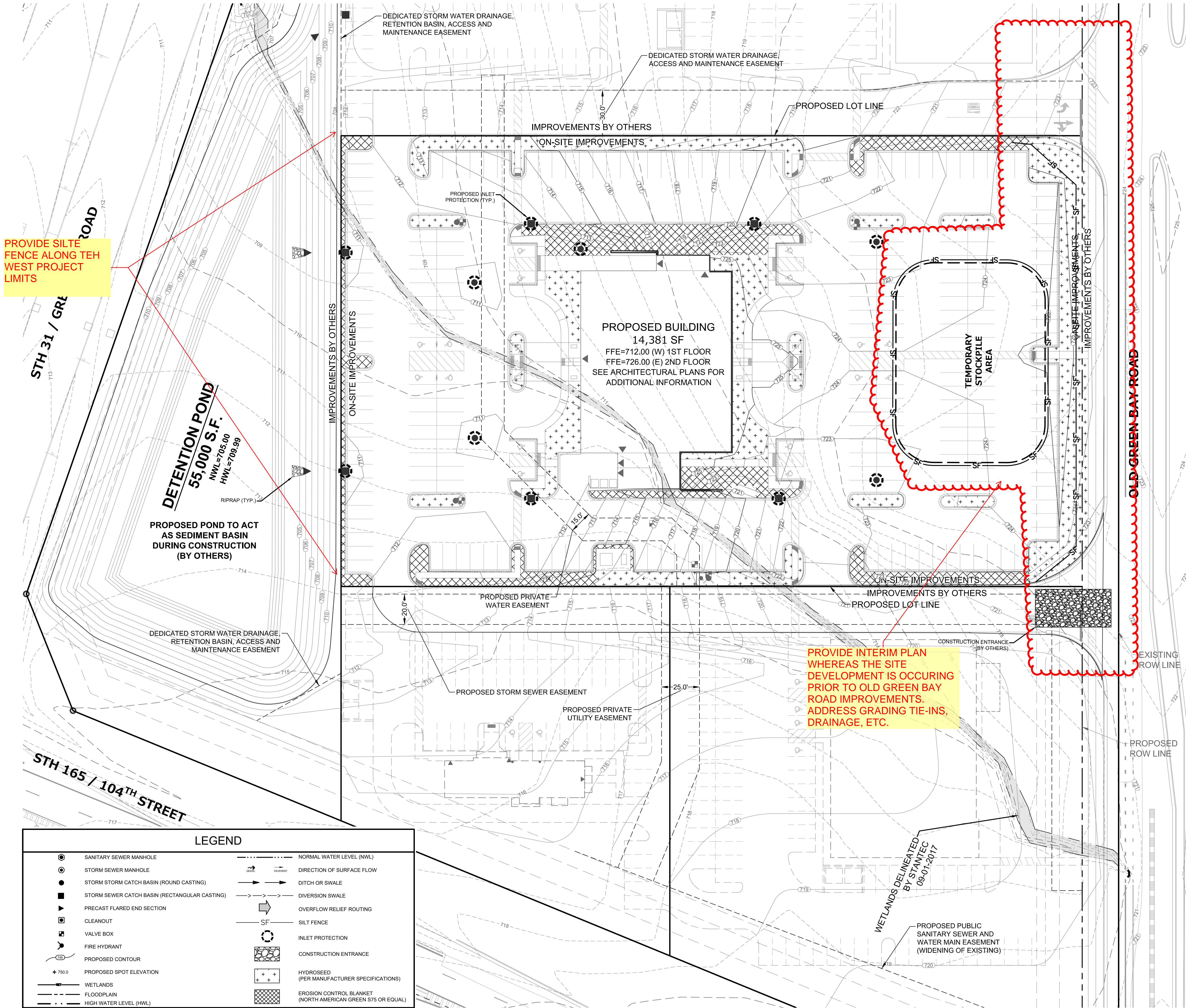
SHEET INDEX	
T1	TITLE SHEET
CIVIL	
C1	EXISTING CONDITIONS PLAN
C2	SITE DIMENSIONAL AND PAVING PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	SITE STABILIZATION PLAN
C6	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS
LANDSCAPE	
L10	SITE LOCATION LANDSCAPE PLAN
L11	OVERALL LANDSCAPE PLAN
L12	ENLARGED LANDSCAPE PLAN
L13	LANDSCAPE DETAILS, NOTES & SCHEDULES
ARCHITECTURAL	
A1	ARCHITECTURAL SITE PLAN
A3	FIRST FLOOR TENANT PLAN
A3.2	SECOND FLOOR TENANT PLAN
A2.3	THIRD FLOOR SHELL PLAN
A2.4	FOURTH FLOOR SHELL PLAN
A4	SOUTH AND WEST BUILDING ELEVATIONS
A4.2	NORTH AND EAST BUILDING ELEVATIONS
OWNER:	
FROEDTERT SOUTH 9555 16th STREET PLEASANT PRAIRIE, WISCONSIN 53158 PHONE: 262.656.2011 ALT PHONE: 262.571.8000 FAX: 262.653.5142 ATTN: PETER MOLTZER	
ARCHITECT:	
PARTNERS IN DESIGN ARCHITECTS 6000 52nd STREET, SUITE 210 KENOSHA, WISCONSIN 53140 PHONE: 262.651.2800 ATTN: MARK MOLINARO, JR., AIA, LEED AP DAVE CARBOL, AIA, LEED AP	
CONSTRUCTION MANAGER:	
RILEY CONSTRUCTION COMPANY, INC. 5301 99TH AVENUE KENOSHA, WISCONSIN 53144-7810 PHONE: 262.658.4381 FAX: 262.658.0312 ATTN: DAVE RILEY ERIN ANDERSON	
CIVIL ENGINEER:	
PINNACLE ENGINEERING GROUP 15080 W. BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 PHONE: 262.754.8888 FAX: 262.754.8880 ATTN: ADAM ARTIZ, PE MATT CAREY, PE	
LANDSCAPE ARCHITECT:	
HELLER & ASSOCIATES LLC 4115 JAMES AVENUE RACINE, WISCONSIN 53402 PHONE: 262.638.9133 FAX: 262.638.9131 ATTN: DAVID HELLER, ASLA	
STRUCTURAL ENGINEER:	
R.A. SMITH NATIONAL, INC. 16745 WEST BLUEMOUND ROAD, SUITE 200 BROOKFIELD, WISCONSIN 53005 PHONE: 262.781.0000 ATTN: STEVE ROLOFF, P.E. ROBERT RAY, P.E.	
MECHANICAL ENGINEER:	
MARTIN PETERSEN COMPANY, INC. 3800 55TH STREET KENOSHA, WISCONSIN 53144 PHONE: 262.658.1326 FAX: 262.658.1048 ATTN: DANIEL A. TOLLER, P.E.	

MEP DESIGN / BUILD
1. MECHANICAL, ELECTRICAL, PLUMBING, POOL, FIRE ALARM AND FIRE PROTECTION TRADES ARE TO BE BID AS DESIGN/BUILD CONTRACTS. REFER TO CONSTRUCTION DOCUMENTS FOR PROJECT SCOPE. EACH BIDDING CONTRACTOR WILL BE RESPONSIBLE FOR ENGINEERED CONSTRUCTION DOCUMENTATION, ALL STATE AND LOCAL CODES AND REQUIRED PLAN REVIEW AND REVIEW FEES.
2. MEP COMPONENTS REQUIRE FIXTURE SUBMITTALS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
3. BIDDING CONTRACTOR TO INCLUDE ALL PERMIT FEES IN BASE BID.

Partners in Design
ARCHITECTS
FROEDTERT SOUTH
MEDICAL OFFICE BUILDING
PLEASANT PRAIRIE

DATE: 02.09.18
NUMBER: 634.17.051





GENERAL EROSION AND SEDIMENT CONTROL NOTES	
1.	ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT ("GPDES" PERMIT NO. WI-5067831-4) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2.	THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3.	MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
4.	INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
5.	CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
6.	PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
7.	ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
8.	EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING: PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER OR DITCHES. 9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF. 10. ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS. 11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT. 12. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED. 13. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICH EVER OCCURS FIRST. 14. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED. 15. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE. 16. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF FOURTEEN (14) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS. 17. ALL DISTURBED SLOPES EXCEEDING 4:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C125BN (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES. 18. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE. 19. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS. 20. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED. 21. SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.
CONSTRUCTION SITE SEQUENCING	
1.	INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
2.	STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3.	CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
4.	INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION.
5.	COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
6.	PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
7.	EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.	

REVISIONS

A	12.07.17	ADDENDA NO. 1
A	02.07.18	SITE & OPERATIONAL

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

SITE STABILIZATION PLAN

PLAN DESIGN/DELIVER
WWW.PINNACLEENGINEERINGGROUP.COM

INTERNATIONAL OFFICE
SUITE 200, 1000 N. MILWAUKEE AVENUE
MILWAUKEE, WI 53233-3400
TEL: 414.224.1000
FAX: 414.224.1001
WWW.PINNACLEENGINEERINGGROUP.COM

PINNACLE ENGINEERING GROUP

MAINTAINING NATURE. RESPECTING LANDSCAPE.

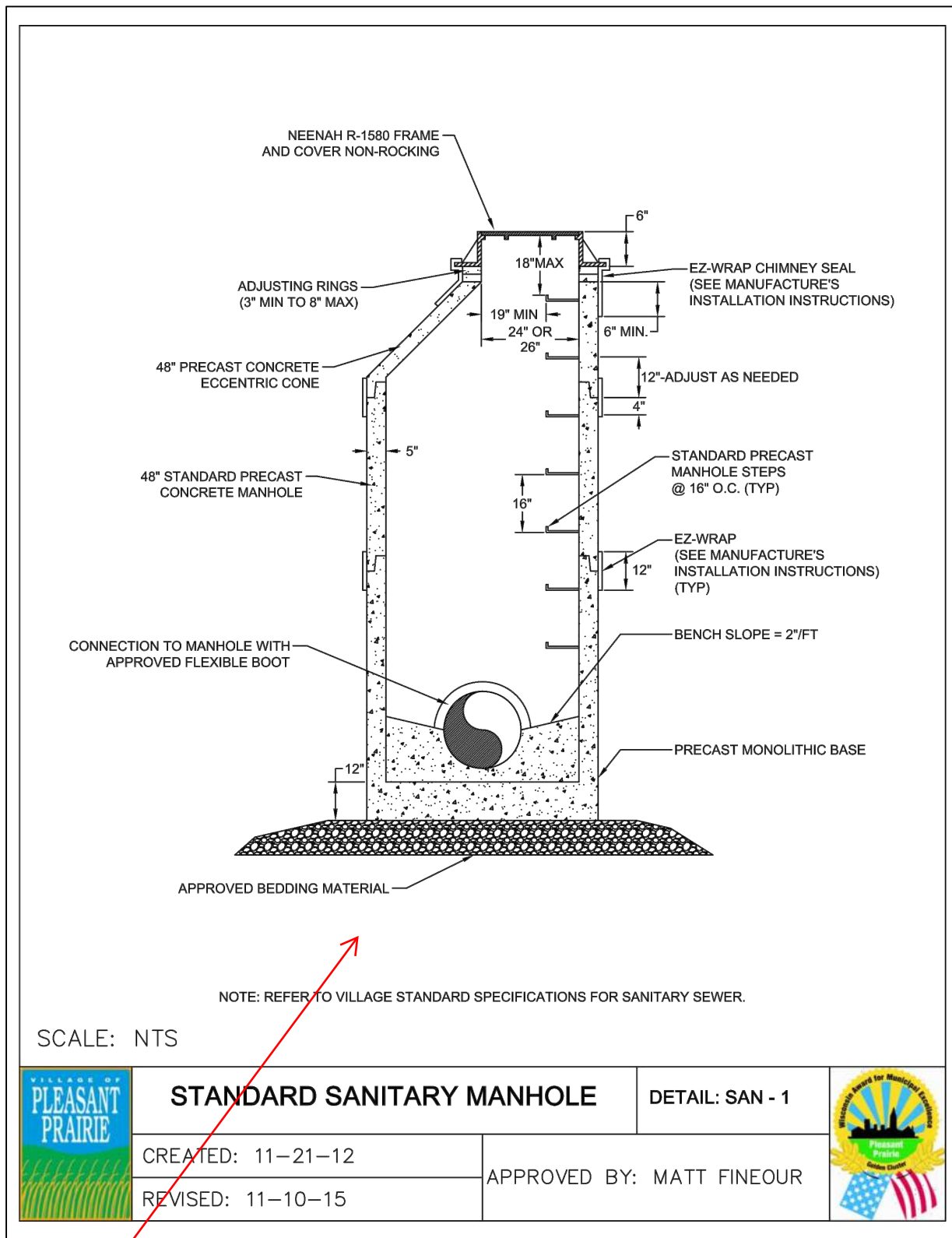
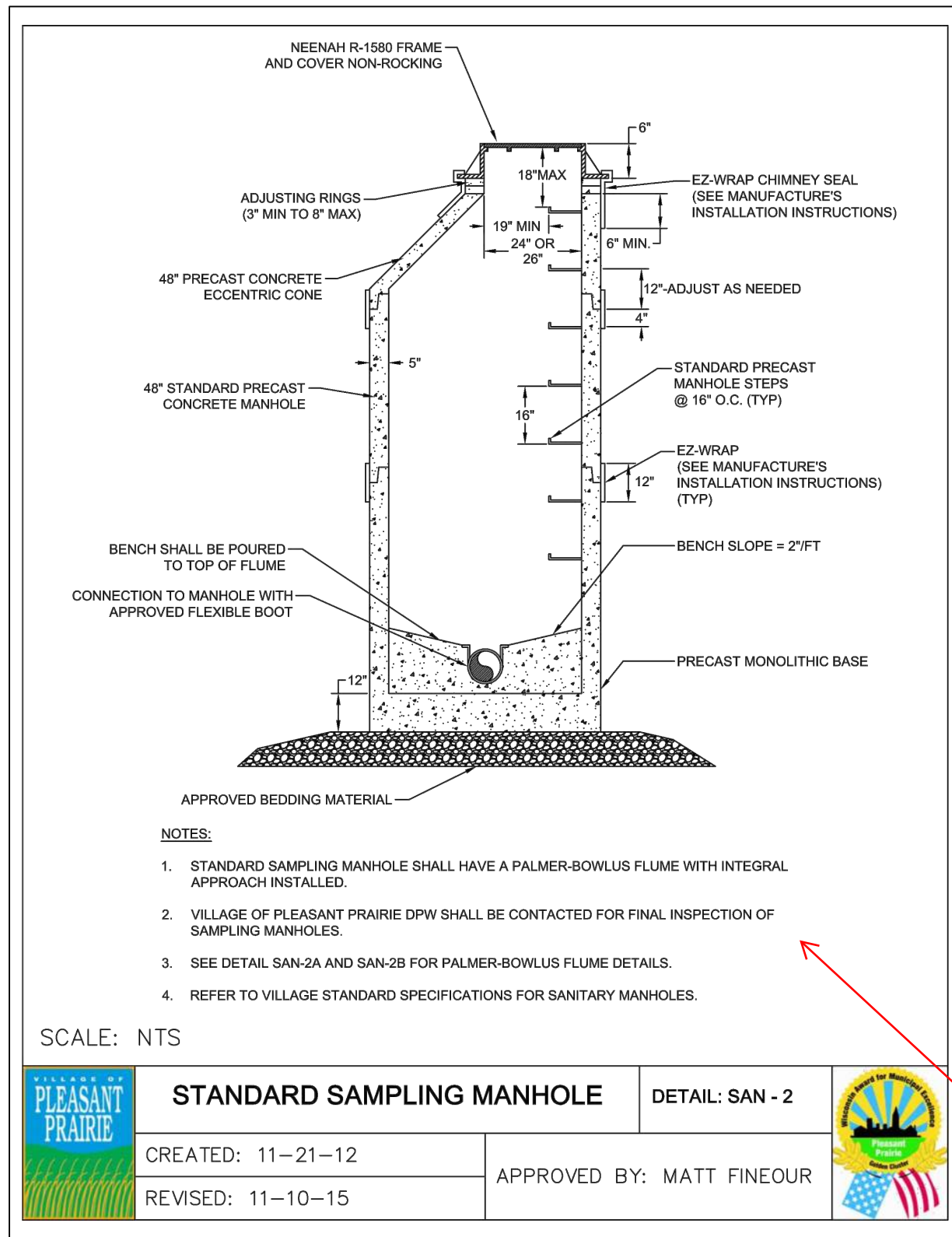
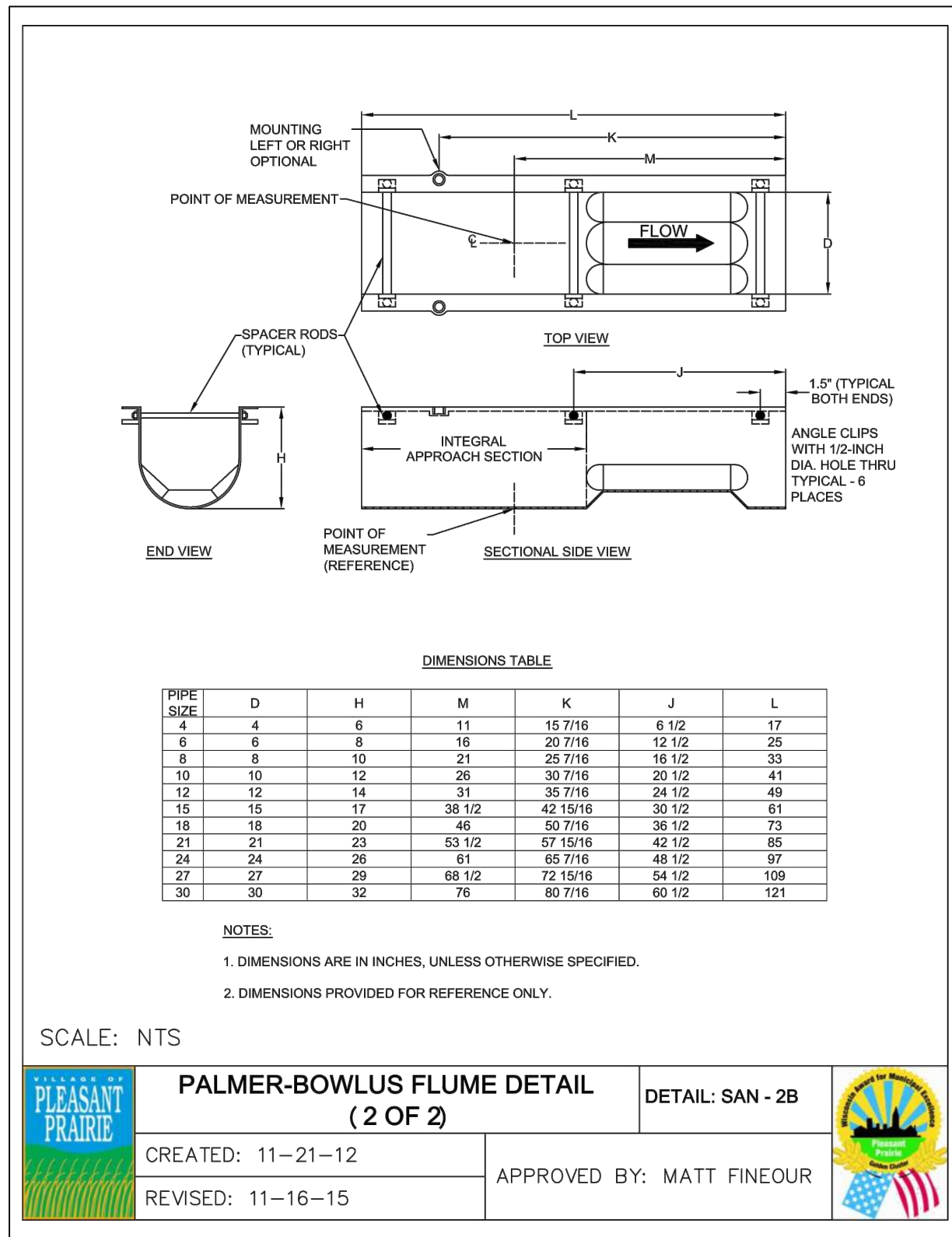
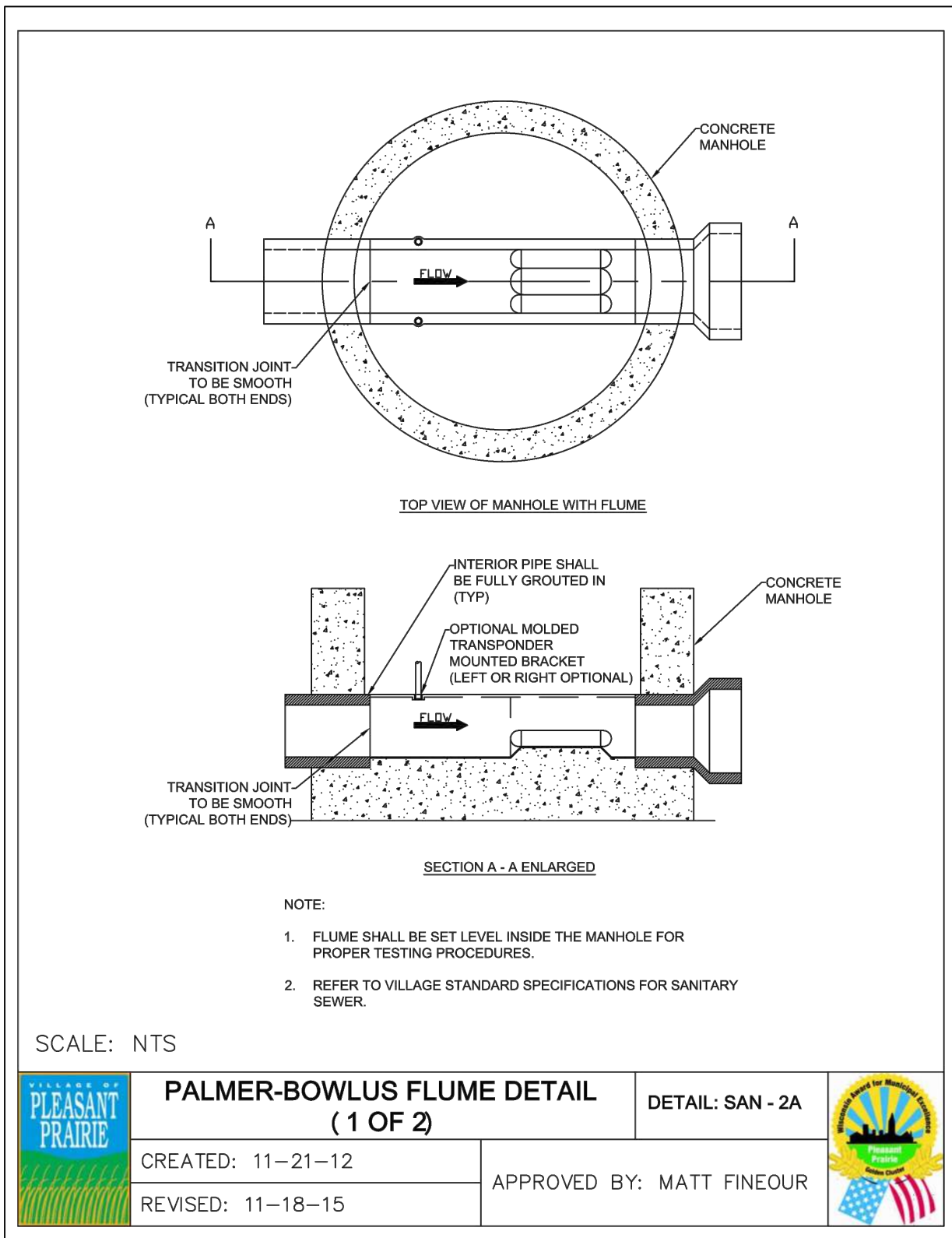
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634.17.051

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CHECKED BY: MAC

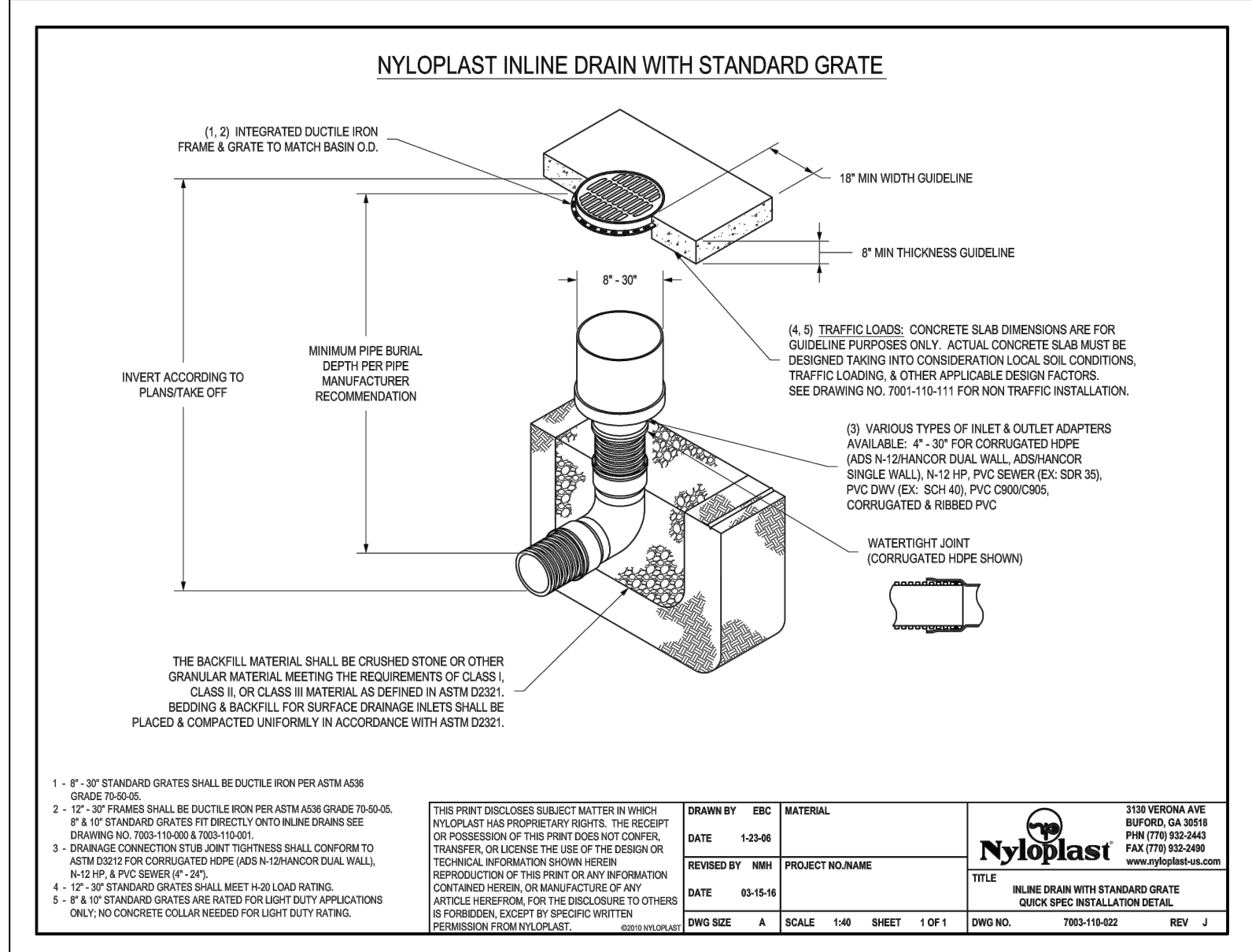
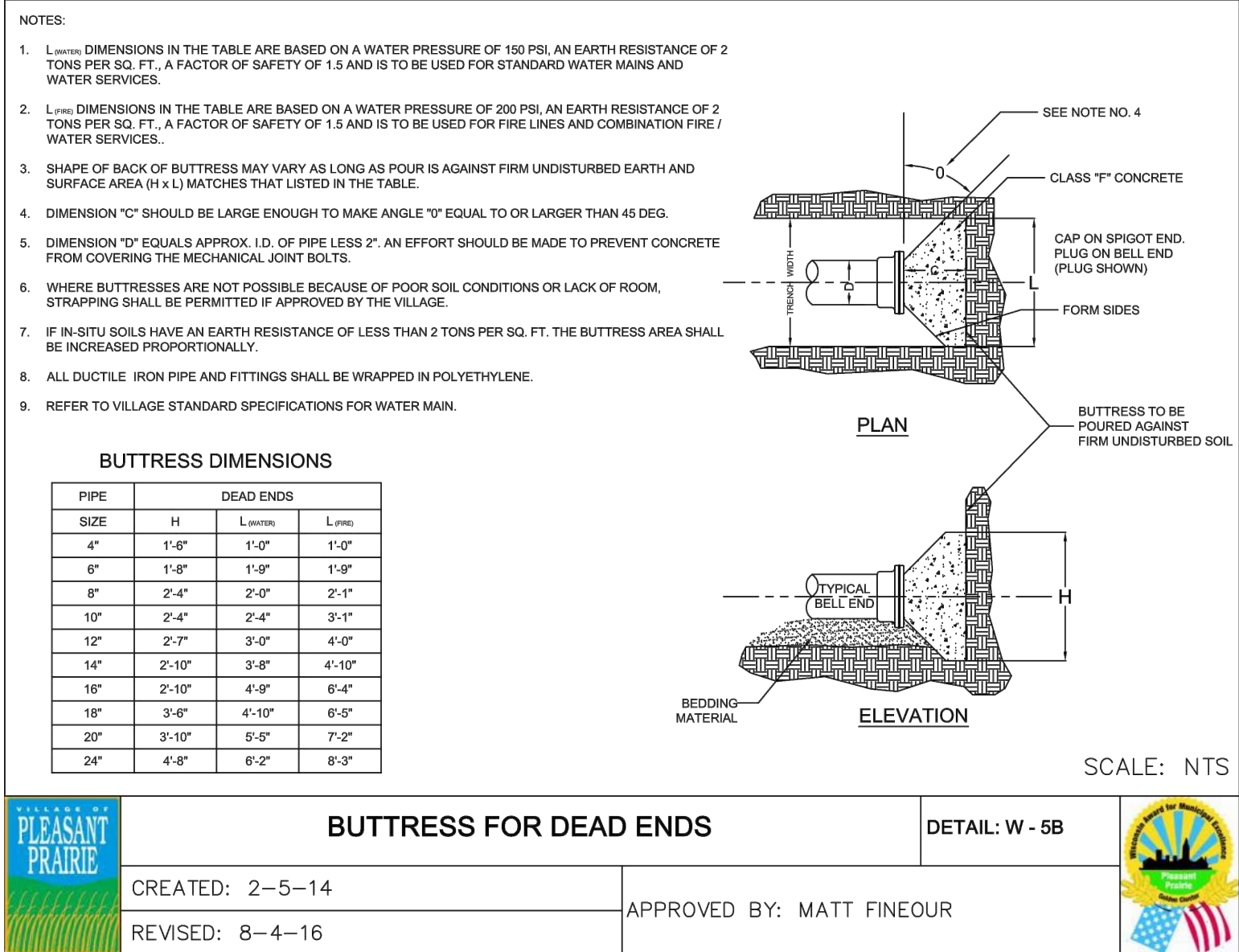
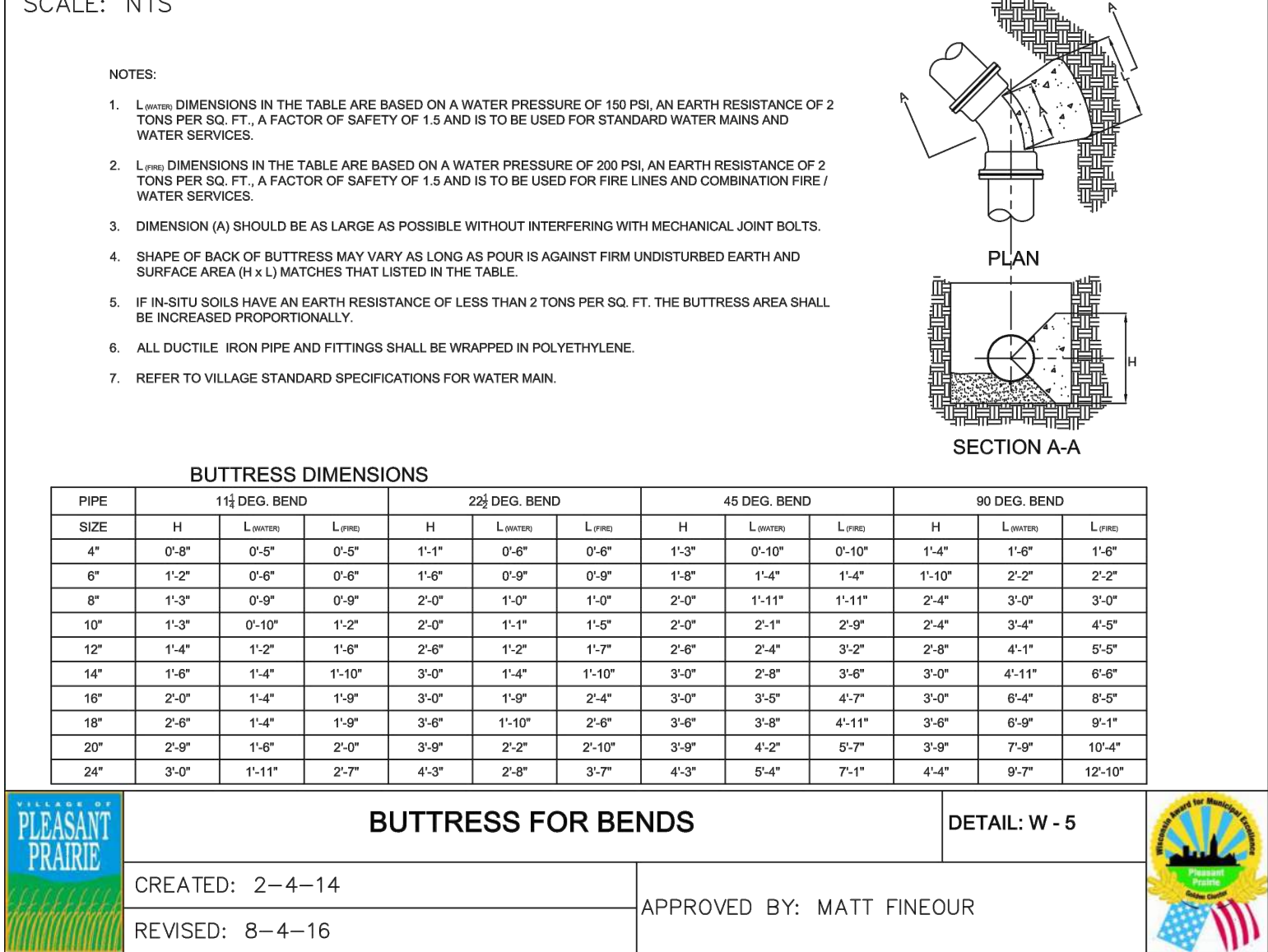
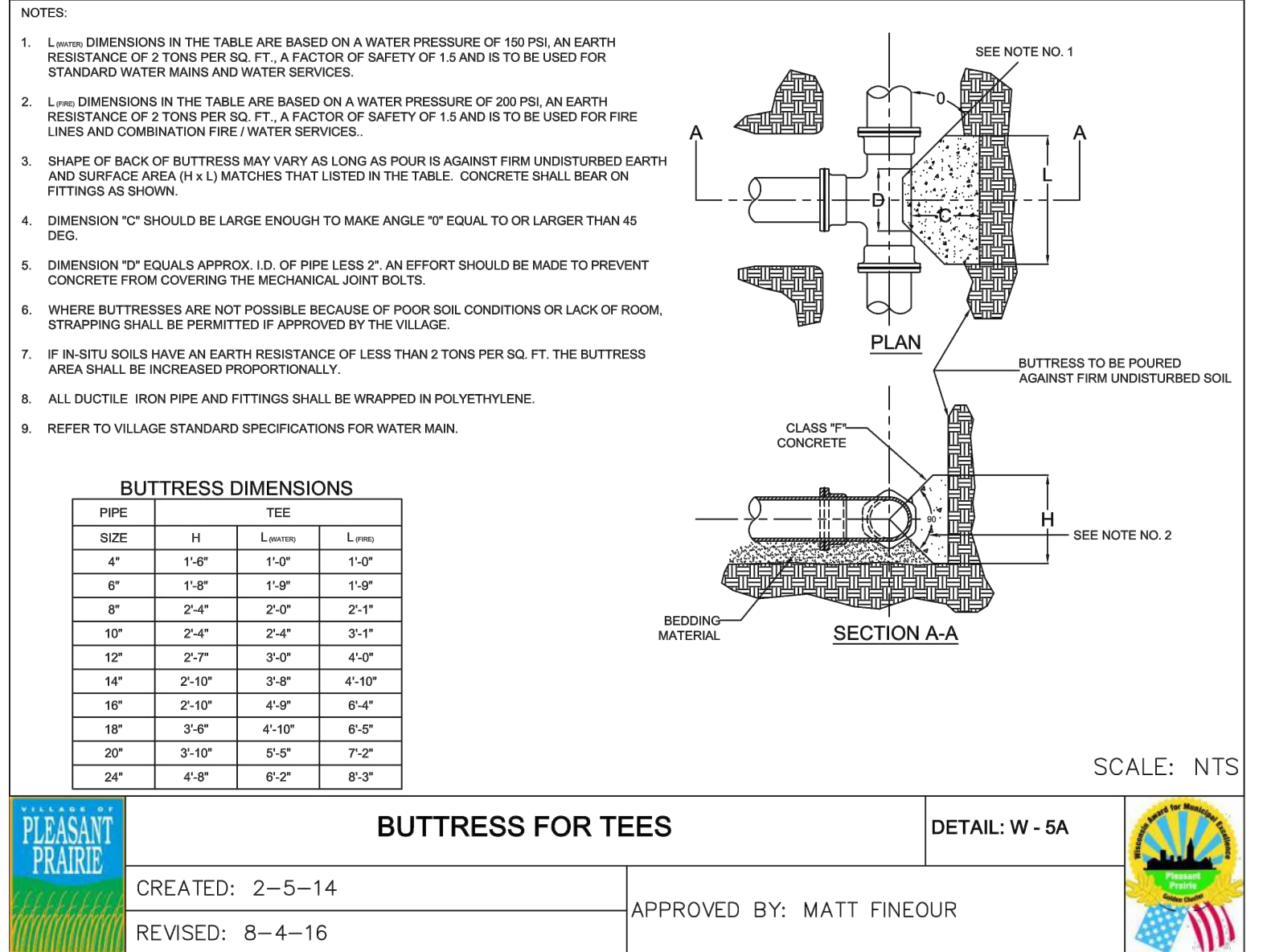
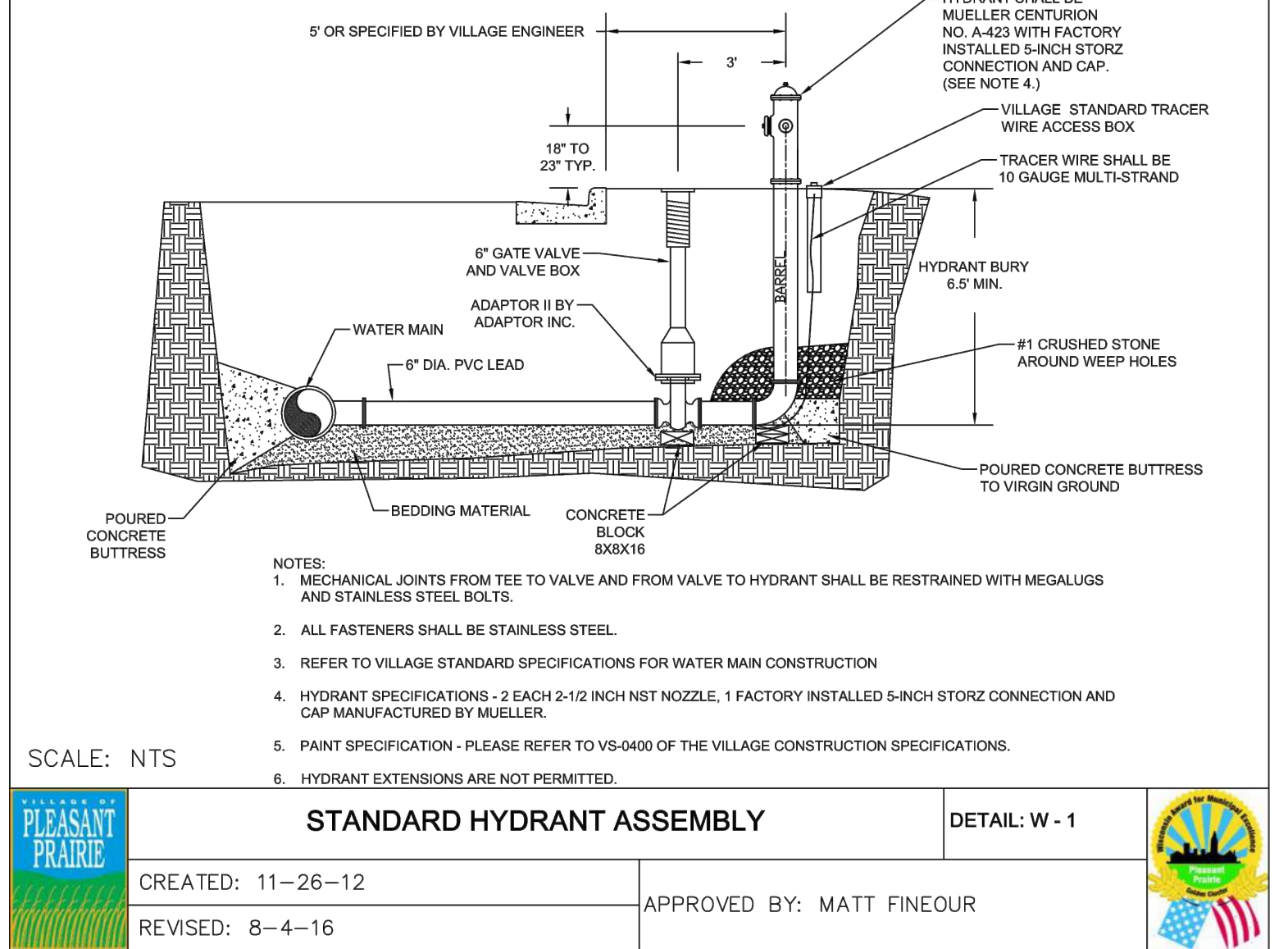
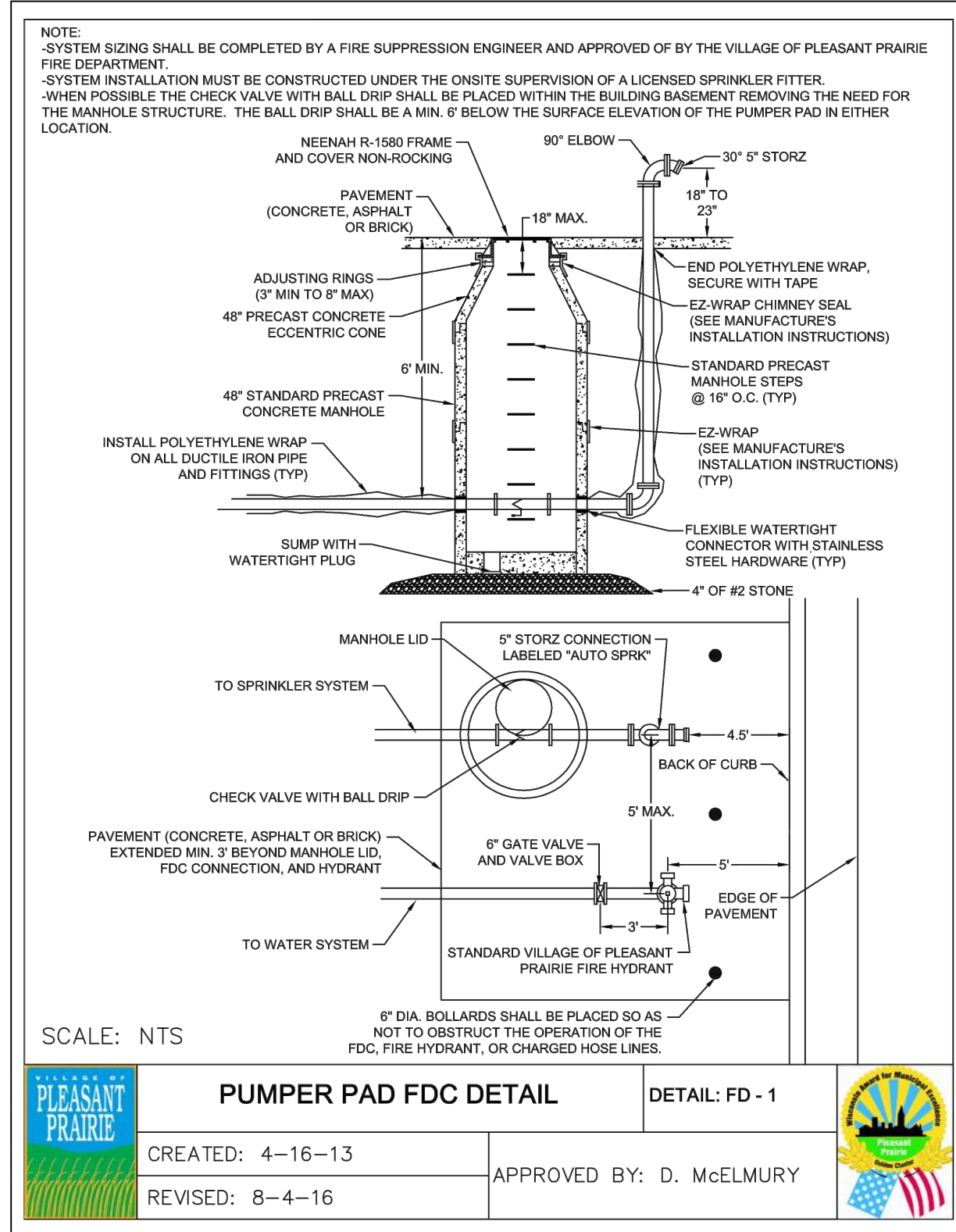
DATE:
11.28.17

SHEET NO:
C5.1

Z:\PROJECTS\2017\1114.00A-WI\CAD\SHEETS\1114.00A-WI SITE STABILIZATION PLAN.DWG



REPLACE WITH
UPDATED
DETAILS
(REVISED DATE
OF 10-30-17)





SHADE TREES (DECIDUOUS)

- ARM Armstrong Red Maple
ABM Autumn Blaze Maple
SHL Skyline Honeylocust
AGM Autumn Gold Maidenhair
VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)

- ABS Autumn Brilliance Serviceberry
TCH Thornless Cockspur Hawthorn
JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

- HCJ Hetzi Columnar Juniper (upright)
FVJ Fairview Upright Juniper (upright)

EVERGREEN SHRUBS

- SGJ Sea Green Juniper
KCPJ Kallay Compact Pfitzer Juniper
BuJ Buffalo Juniper

DECIDUOUS SHRUBS

- HC Peking (Hedge) Cotoneaster
IH Incredible Hydrangea
UH Unique Hydrangea
GLS Gro Low Fragrant Sumac
KOSR Knock Out Shrub Rose
PPSR Pink Pavement Series Rose
NFS Neon Flash Spirea
MKL Miss Kim Dwarf Lilac
MV Mohican Viburnum

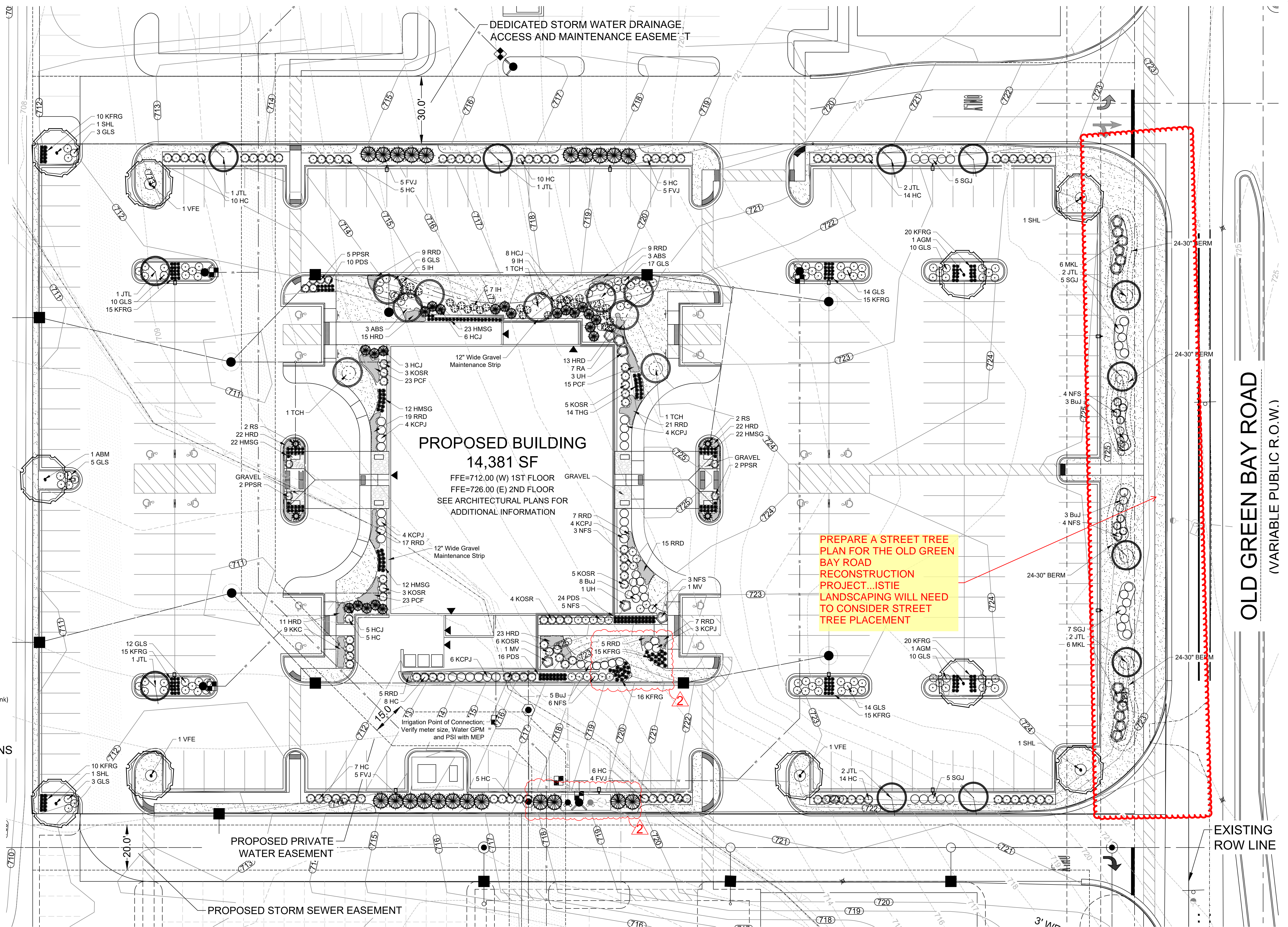
ORNAMENTAL GRASSES

- KFRG Karl Foerster Feather Reed Grass
THG Tufted Hair Grass
HMSG Heavy Metal Switch Grass
PDS Prairie Dropseed

HERBACEOUS PERENNIALS

- RA Rhineland Astilbe (Pink)
PCF Magnus Purple Coneflower
HRD Happy Returns Daylily
RRD Rosy Returns Daylily
MDL Catherine Woodbury Daylily (Soft Pink)
MDL Hyperion Daylily (Lemon Yellow)
MDL Summer Wine Daylily (Maroon)
KKC Dwarf Catmint
RS Russian Sage

PLANT ABBREVIATIONS



OVERALL LANDSCAPE PLAN

Scale: 1" = 20'0"

REVISIONS
1. 12.07.17 ADDENDA NO. 1
2. 2.07.18 SITE AND OPERATION SET

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
OVERALL LANDSCAPE PLAN

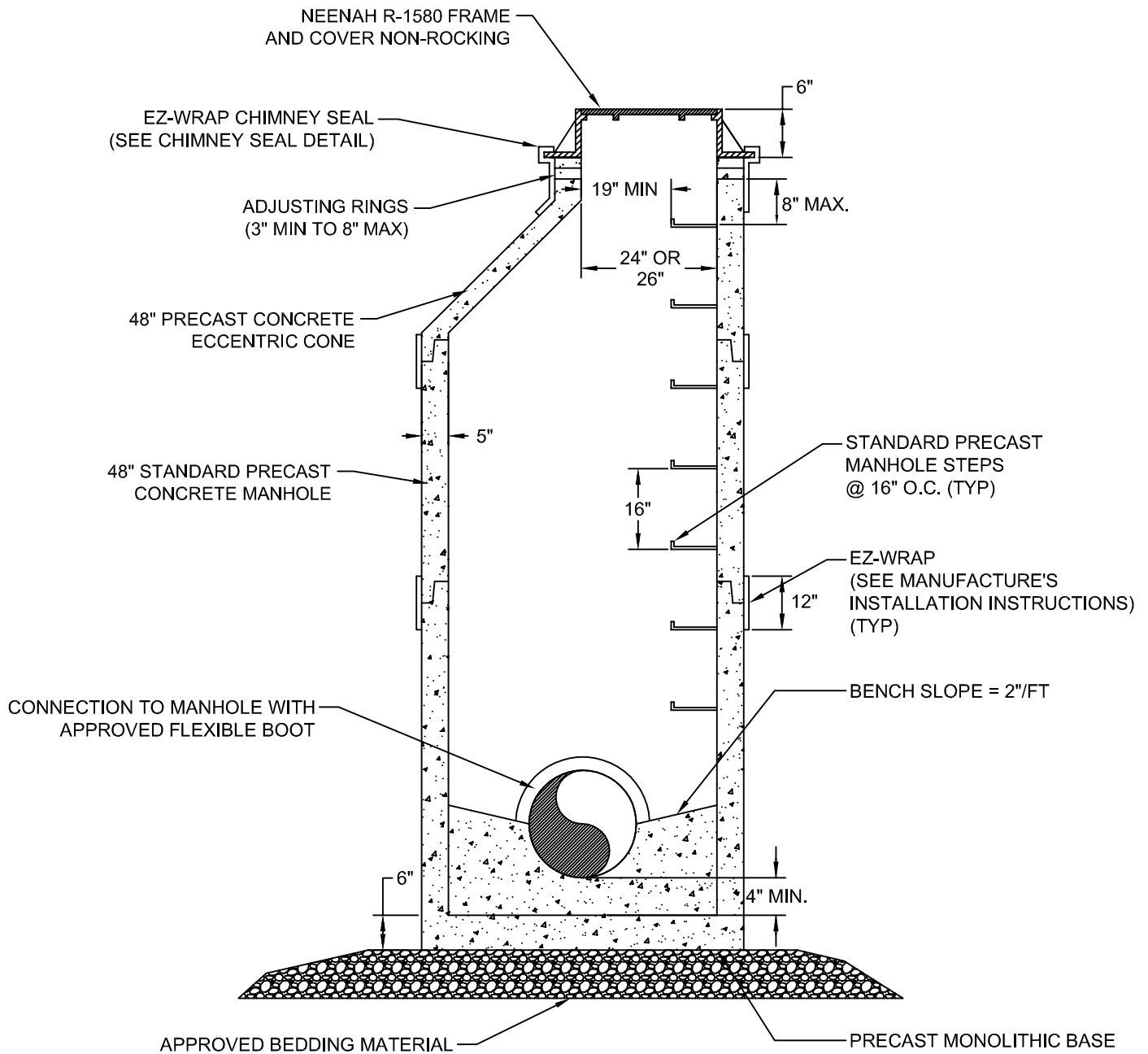
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com

HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE



PROJECT NO.: 634.17.051
DRAWN BY: PCA
CHECKED BY: WDH
DATE: 02.17.18
SHEET NO.:

L1.1



NOTE: REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY SEWER.

SCALE: NTS

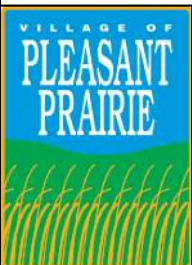
STANDARD SANITARY MANHOLE

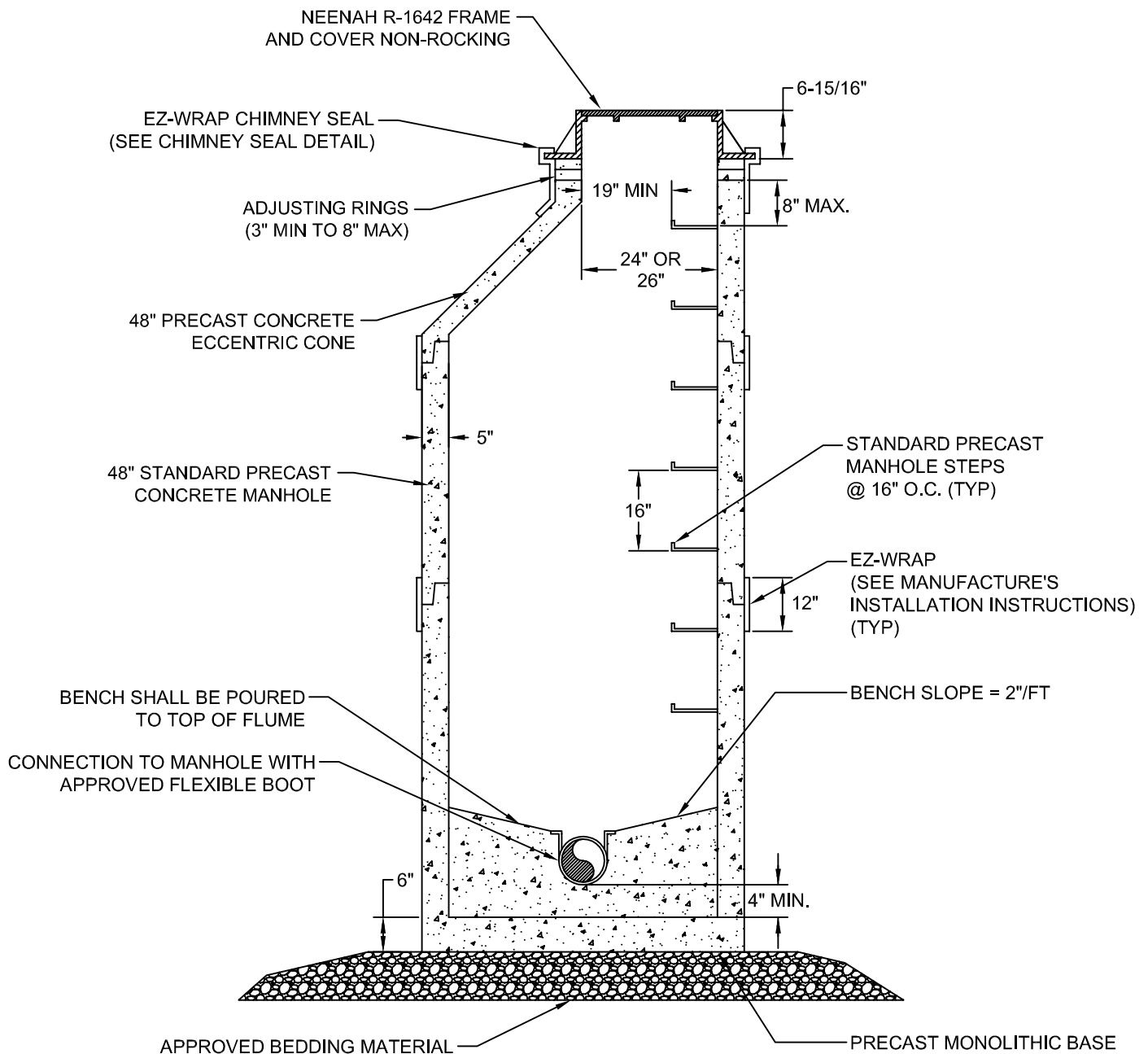
DETAIL: SAN - 1

CREATED: 11-21-12

REVISED: 10-30-17

APPROVED BY: MATT FINEOUR

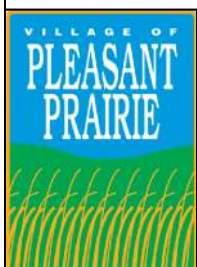




NOTES:

1. STANDARD SAMPLING MANHOLE SHALL HAVE A PALMER-BOWLUS FLUME WITH INTEGRAL APPROACH INSTALLED.
2. VILLAGE OF PLEASANT PRAIRIE DPW SHALL BE CONTACTED FOR FINAL INSPECTION OF SAMPLING MANHOLES.
3. SEE DETAIL SAN-2A AND SAN-2B FOR PALMER-BOWLUS FLUME DETAILS.
4. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR SANITARY MANHOLES.

SCALE: NTS



STANDARD SAMPLING MANHOLE

DETAIL: SAN - 2

CREATED: 11-21-12

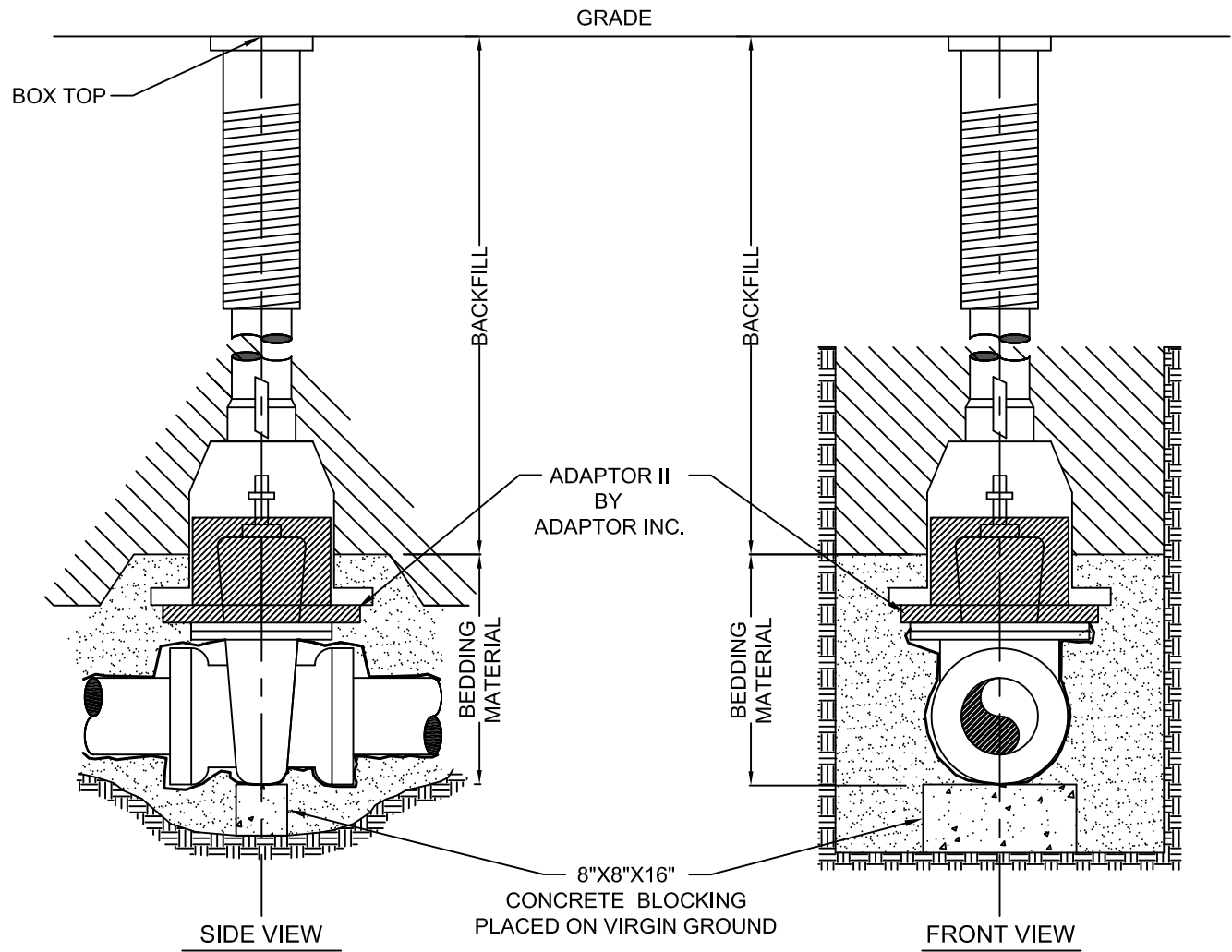
REVISED: 10-30-17

APPROVED BY: MATT FINEOUR

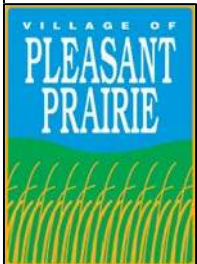


NOTE:

1. VALVE SHALL BE WRAPPED IN BLACK POLYETHYLENE.
2. REFER TO VILLAGE STANDARD SPECIFICATION FOR WATER MAIN



SCALE: NTS



STANDARD GATE VALVE BOX SETTING

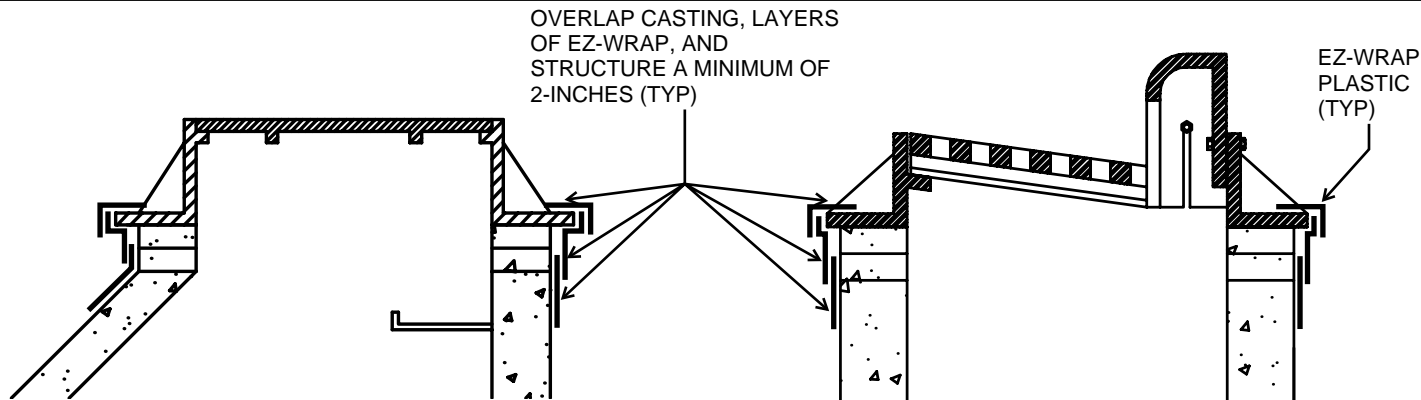
DETAIL: W - 3

CREATED: 12-14-04

REVISED: 11-16-15

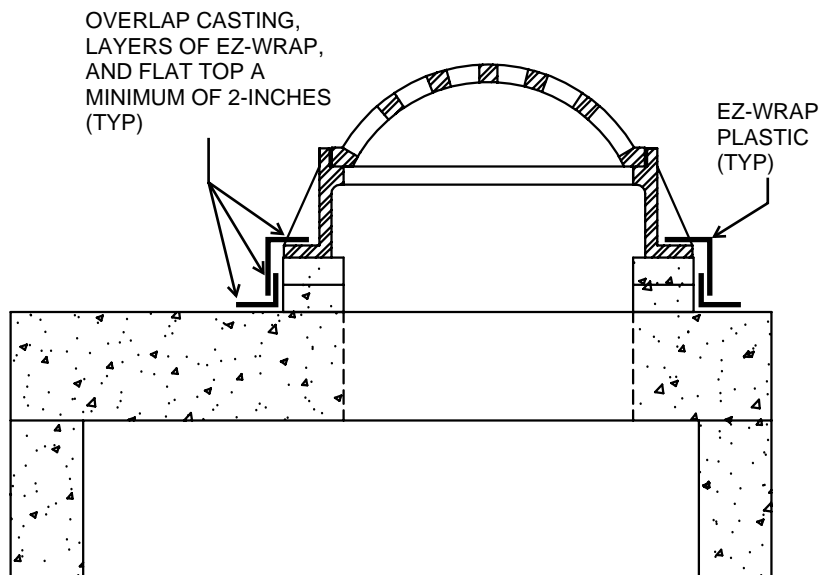
APPROVED BY: MATT FINEOUR



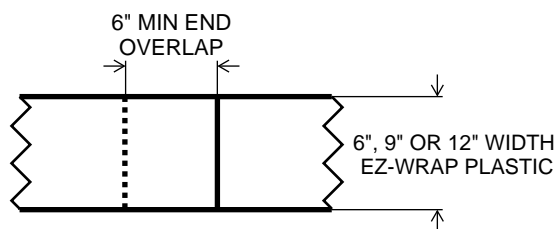


CONE SECTION MANHOLE INSTALLATION

CATCH BASIN INSTALLATION



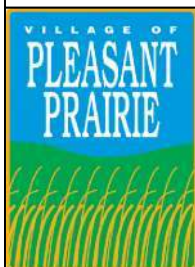
FLAT TOP MANHOLE/INLET INSTALLATION



EZ-WRAP END OVERLAP DETAIL

INSTALLATION INSTRUCTIONS:

1. CLEAN AND DRY THE EXTERIOR SURFACES OF THE CASTING, ADJUSTING RINGS, AND STRUCTURE TO BE WRAPPED. SURFACES AND MATERIALS SHALL BE ABOVE 32 DEGREES.
2. APPLY MANUFACTURER RECOMMENDED AEROSOL ADHESIVE OR EZ-PRIMER #4 TO ALL SURFACES TO BE WRAPPED. EZ-PRIMER SHALL BE APPLIED USING A CLEAN PAINT BRUSH OR ROLLER.
3. WAIT FOR SOLVENTS TO DISPENSE FROM THE TREATED SURFACE. EZ-PRIMER TREATED SURFACE SHALL BE DRY AND APPEAR SMOOTH AND CLEAN. AEROSOL ADHESIVE SHALL BE TACKY. DEPENDING ON THE TEMPERATURE THIS MAY TAKE 10-30 MINUTES FOR EZ-PRIMER OR 1-3 MINUTES FOR AEROSOL ADHESIVE.
4. CUT EZ-WRAP TO LENGTH. CUT ENDS SHALL OVERLAP A MINIMUM OF 6".
5. BEGINNING AT THE BOTTOM OF THE STRUCTURE CAREFULLY INSTALL THE EZ-WRAP TO THE DRY, TREATED SURFACES, REMOVING THE RELEASE PAPER AS YOU APPLY THE EZ-WRAP. DO NOT STRETCH THE EZ-WRAP. PRESS THE EZ-WRAP DOWN FIRMLY AND EVENLY AS YOU COVER THE SURFACES.
6. INSTALL EZ-PRIMER OR AEROSOL ADHESIVE OVER TOP 2-INCHES OF EZ-WRAP AND CUT END TO BE OVERLAID. ALLOW SURFACE TO DRY AS STATED IN STEP 3.
7. INSTALL NEXT SECTION OF EZ-WRAP. OVERLAP THE EZ-WRAP VERTICALLY A MINIMUM OF 2-INCHES. DO NOT STRETCH THE EZ-WRAP. PRESS THE EZ-WRAP DOWN FIRMLY AND EVENLY AS YOU COVER THE SURFACES.
8. REPEAT STEPS 6 AND 7 UNTIL THE ENTIRE CHIMNEY SECTION IS WRAPPED.



CHIMNEY SEAL DETAIL

DETAIL: CS - 1

CREATED: 7-11-17

REVISED:

APPROVED BY: MATT FINEOUR





Office of the
Chief of Fire & Rescue
Craig Roepke

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Craig Roepke, Chief Fire & Rescue
CC: Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Fire Department review of Preliminary Site and Operational Plan for the Froedtert South Medical Building
Permit/Trakit#: DEV1802-005
DATE: March 6, 2018

These are comments for the Site and Operational Plans received for the

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the information and plans submitted, the Fire & Rescue Department have the following comments regarding the project:

1. Placement of a dedicated 911 self-dial phone to be utilized at the walk-in clinic door entrance to be available when the facility is closed. Provide appropriate signage.
2. Provide camera position that covers the above phone location that is viewable via the Village's DSIS system requirement.
3. Review Public Radio Safety Coverage requirements.
4. AED locations are identified on sheets A3.1 & A3.2. Build-outs of floors 3 & 4 may require additional devices in the future.
5. Knox Box locations are depicted throughout the plan set. Additional Knox Boxes are not anticipated, but may be required as details become available.
6. Verify that stairwell exits provide for hard surface egress pathway for East door #203
7. Describe Exit pathway route for South door #201B.
8. Identify Severe Weather shelter location.
9. As the project develops and additional information becomes available, further comments may be forthcoming.
10. Additional general comments are outlined below.

Distribution of Comments: the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.

Compliance: A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

Conflicts: In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the

more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

Fire Safety System Plans: such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.

DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.

INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT

<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>

Pre-Construction Meeting: A pre-construction meeting may take place with the general contractor, the fire protection contractor, the Fire and Rescue Department, Village staff, and any other sub-contractor prior to the start of any project construction.

1. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide. All roadways and fire lanes must be unobstructed and not used any part as a parking area for automobiles or trucks/trailers.
 - b. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface. This includes all exit doors from the facility.
 - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
 - d. There shall be Knox padlocks or Knox key switches on all gates on site. The Fire & Rescue Department will review the proper placement and operation of the Knox system locks.
2. **Combination Water Sizing Confirmation:** The owner shall provide a letter from the sprinkler designer affirming that the combination water main is sized appropriately for both domestic use and fire sprinkler protection demand. This will typically include the designer's license stamp on the document.
3. **Required Licenses:** A Wisconsin licensed fire protection contractor and/or sprinkler fitter must install any and all dedicated fire protection underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
4. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
5. **Review and Comments:** At such time more information is provided for this project, the Fire Department will review and comment on the following areas outlined below.
 - A. Site and Operational Permits
 1. Site accessibility (Plans provided do not specific clearances or distances)
 2. Fire Pump Location
 3. Pumper Pad
 4. Fire hydrant spacing
 - B. Conditional Use and Operational
 1. Standpipe outlet locations
 2. Fire alarm pull stations
 3. Emergency and Exit Lighting
 4. Fire extinguishers
6. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm

system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

7. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Bulk water Usage
- b. Fire Protection Plans for Underground and Aboveground
- c. Fire Alarm System Plans
- d. Kitchen Hood Systems Plans

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

8. **Occupancy:**

- a. All fire and life safety requirements must be in place and operational prior to any building being occupied.
- b. No occupancy inspections shall be scheduled until all life-safety systems are complete.
- c. Key life safety systems include: Fire sprinkler system, Fire alarm system, Fire extinguishers, Emergency Lighting, and any additional requirements determined by both the Fire Department and the Village Building inspection department.

9. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.

10. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.

11. **AED:** The owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest.

12. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.

13. **Elevators:**

- a. If applicable, must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
- b. Review the proper sizing requirements with the fire department early in the planning process.

14. **Severe Weather Shelter:** The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.

15. **Door Numbering:** Each exterior door shall be sequentially numbered.

- a. Shall consist of a 4" reflective number in a color that is contrasting to the door color.
- b. Numbering shall be in an increasing sequence and located in the upper right-hand portion of the door.
- c. The starting numbering point shall be determined in the field and approved by the AHJ.

16. **On Premise Secure Key System:** Knox Company Rapid Entry System, "Knox Boxes" shall be provided for the building. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.

17. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until

occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

18. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.
19. **Sprinkler System:** The building is to be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design.

20. **The following information as applicable, must be submitted with the sprinkler plans for review:**

Building height:
Number of stories/floors:
Mezzanines:
Elevators:
Hazard class:
Commodity Class:
Exterior storage:
Fire protection:

21. **Fire Hydrants:** Fire hydrants shall meet the Village of Pleasant Prairie hydrant specification. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches.
22. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA) code standard 24 and witnessed by the Fire Chief or designee.
23. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.

24. **Pumper Pad:**

- a. A municipally fed fire hydrant and fire department connection (FDC) combination is defined to be a “pumper pad”.
- b. The FDC shall comprise of a 30 degree angled 5” Storz connection unless otherwise approved by the fire department in writing.
- c. Both the hydrant and FDC shall be between 18” and 23” above finished grade as a pair.
- d. There shall be dedicated space for a fire engine to have unobstructed access to the pumper pad.
- e. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. Any variances shall be approved by the AHJ in writing.
- f. The pumper pad shall be free of vegetation, plant, shrubs, or other obstructions at least 5 feet on each side.
- g. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant.

- h. The Fire Department connection shall be constructed along with an underground drain with access for inspection.
- i. The area around the pumper pad shall be comprised of a hard surface such as asphalt or concrete.
- j. The pumper pad area shall have some form of posted signage or painted pavement designation indicating no parking or obstructions in that area.
- k. Refer to the Village specification drawing for the pumper pad design.

25. Bollards:

- a. Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) that are subject to damage.
- b. Bollards shall be six (6) inches in diameter. Bollards shall not obstruct charged fire hoses.
- c. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.

26. Standpipes:

- a. The building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve.
- b. Where required, standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 (I).
- c. No 1-1/2" cap reductions are required.

27. Pump Room / Riser Room Door:

- a. The exterior door that accesses either the fire pump or riser room shall be labeled in the following manner outlined below
 - i. At the center upper 1/3 of the door, utilizing 4" reflective RED block lettering, the following title.
 - ii. "FIRE PUMP ROOM" or "FIRE RISER ROOM", respective for the type of existing room.
- b. This door shall have a Knox-Box installed adjacent to the door. The specific location heights and details are documented in the "Fire Department – Appendix A" attachment.

28. MSDS / SDS Station:

- a. Within the pump or riser room locate a (SDS) Safety Data Sheet Station in a conspicuous and accessible location. The station shall be labelled so to be readily identified.
- b. Products used for maintenance, production or stored within the facility shall have their SDS information located at this SDS station.
- c. The SDS information shall be organized in such manner that access to product information is intuitive.
- d. The contents of the SDS station shall be updated and/or reviewed at least annually by the building owner or active tenant. A dated record log shall be kept with the SDS station indicating such review.

29. Strobe Light:

- a. All strobe lights required below shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. The lens color shall be RED.
- b. A strobe light and 10" dome bell shall be provided, visible from the pumper pad to indicate a waterflow alarm condition.
- c. If the building has a fire pump, an additional strobe light shall be required and installed adjacent to the waterflow alarm and activated when the fire pump is running.
- d. Both notification devices above (b & c) shall be labeled appropriately as "WATERFLOW" and "PUMP RUN" below the respective devices.

- e. A strobe light shall be provided and installed vertically at each riser location on the exterior of the building. No bell or signage is required. In instances where two or more risers are located at one location, only one exterior strobe is required. The strobe shall activate on any one riser waterflow.
 - f. A separate "Appendix A" document is available to provide visual detail supporting the above requirements.
30. **Fire Alarm System:** There shall be a full function remote annunciator installed. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **PIV & Exterior Valves:** shall be monitored by the Fire Alarm system.
 - f. **Strobe & Bell:** Strobe light and Bell devices shall be identified and documented on the submitted Fire Alarm plan submittal. It is understood that typically this work is completed by the electrical contractor and not part of the alarm plan per say.
 - g. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as an alarm condition.
 - h. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.
 - i. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
 - j. **Initiating Devices Labeling:** All initiating devices e.g.: pull stations, smoke detectors, tampers, etc shall be labeled with the FA device number that matches the system nomenclature programmed. The font/letters shall be at least 14pt and of such size that they are visible based on accessibility to the device. (e.g.: ceiling initiating devices may require a larger font size)
 - k. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - l. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. (e.g. RF Radio, cellular, VOIP, or other approved technologies allowed by code.)
 - m. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
 - n. **Fire Alarm Map:** An "as-is" drawing of the fire alarm system shall be provided and posted in the riser or pump room of the building. The drawing shall have at minimum, the initiating device numbers, locations, and door numbering scheme on the posted drawing. Size of the drawing to be discussed with the fire department.
 - o. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue

Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
Emergency:	(262) 694-1402
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

31. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department must be made aware and the system must meet all NFPA 72 requirements.
32. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
- a) a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
 - b) A minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
 - c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a "Telecommunications Systems Bulletin" published by the TIA, Telecommunications Industry Association. The performance level is rated using "Delivered Audio Quality". Industry standard DAQ definitions are shown in Table 1.
 - d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

Table 1 - Delivered Audio Quality Definitions

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

- e) The frequency range which must be supported shall be 151.0000 to 160.0000 MHz, in both digital and analog signals.

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

1. Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage: a radiating cable system or an internal multiple antenna system with or without FCC type accepted signal booster amplifiers as needed. The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio System.
2. In the event that a signal booster is employed it shall meet the following minimum requirements:
 - a. be fully encased within a dust resistant case;
 - b. be contained in a National Electrical Manufacturer's Association (NEMA) 4-type waterproof cabinet;
 - c. battery systems used for the emergency power source shall be contained in a NEMA 4-type waterproof cabinet;
 - d. the signal booster system and battery system shall be electrically supervised and monitored by a supervisory service, or shall sound an audible signal at a constantly attended location;
 - e. Have FCC certification prior to installation.

Secondary Power

Emergency responder radio coverage systems shall be provided with an approved secondary source of power conforming to NFPA 72. The secondary power supply shall be capable of operating the emergency responder radio coverage system for a period of at least twenty-four (24) hours. When primary power is lost, the power supply to the emergency responder radio coverage system shall automatically transfer to the secondary power supply.

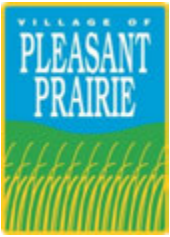
Field Testing

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

33. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N if modifications are made to the system.
 - b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is "100% operational and built according to the design" if modifications are made to the system.
 - c. Copy of contract with fire alarm central monitoring station.
 - d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - e. Copies of the fire protection underground flushing documents.
 - f. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - g. Copies of the fire sprinkler operational test certificates.
 - h. Copies of the fire alarm test documents.
 - i. Copies of other test documents such as, hood/duct, smoke, etc...
 - j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - k. Provide in electronic format (USB, CD, etc) all Floor plans and fire protection plans for the building in an as-built condition.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing

bulky clothes and equipment.

- m. AED is in place at such time a tenant takes occupancy.
- n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

Subject: Froedtert South MOB

Date: February 26, 2018

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We are currently inspecting to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit all applicable plans (Building, HVAC, Fire Suppression, Fire Detection, Conveyance, Plumbing, etc.) to the state for review (DSPS). Please be aware state plumbing plan review has a long lead time, plan accordingly.
7. Building Inspection Department will not issue permits until we receive the applicable state approval letter and plans.
8. All state approved drawing must be available at job site for inspector review during inspections.
9. Please submit emergency egress lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
10. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.

11. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
12. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.
13. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
14. All equipment must be “LISTED” by a nationally recognized testing laboratory.
15. All equipment, materials, etc. must be rated for the environment in which they will be used.
16. Please contact me with any questions on permitting and/or plan submittal.
17. Provide adequate ADA accessible parking and locate per 2009 IBC.



SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT

For all applications that require Village Plan Commission Approval

APPROVAL REQUESTED	TYPE OF WORK
<input type="checkbox"/> Final Site and Operational Plan <input type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit <input checked="" type="checkbox"/> Preliminary Site and Operational Plan <input type="checkbox"/> Preliminary Site and Operational Plan/ Conditional Use Permit <input type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement)	<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Building Alteration <input type="checkbox"/> New Tenant

Name of Business: FROEDTERT SOUTH MEDICAL OFFICE BUILDING

Site Address: NE CORNER STH 31 & STH 165 Suite #: _____

Tax Parcel Number: 92-4-122-223-0202

Zoning District(s): B2 COMMUNITY BUSINESS DISTRICT

Name of Development: MAIN STREET MARKET

Estimated Date of Occupancy: MAY 2019

Detailed Description of the Proposed Project and Use:

* PLEASE SEE FS MOB NARRATIVE LETTER *

Detailed Description of Company:

* PLEASE SEE FS MOB NARRATIVE LETTER *

Select One Option

- ☐ Relocation of Business from _____
- ☐ New Location for Business in Pleasant Prairie
- ☐ Expansion/Change to Existing Business in Pleasant Prairie
- ☒ New Start Up Business

SITE AND BUILDING INFORMATION

Lot Area: 145,086 sq. ft. Lot Area: 3.33 ac.
Building Area: 49,507 sq. ft. Building Height: _____ ft.
Tenant Area: _____ sq. ft. 56' @ WEST
Addition Area: N/A sq. ft. Addition Height: 42' @ EAST ft.
Total Impervious Surface Area: * sq. ft. * A COMPONENT OF ENTIRE 22 ACRE
Total Landscape Area: * sq. ft. Site % of Open Space * % PARCEL

ON-SITE PARKING/TRAFFIC INFORMATION

Total # of parking spaces (on-site): 247
Total # of regular parking spaces (on-site): 231
Total # of handicapped accessible spaces (on-site): 16
Total # of truck parking spaces (on-site): —
Total # of dock doors: —

Anticipated automobile trips to and from the site (excluding trucks):

Number of daily average trips: 300 Maximum number of daily trips: 300

Anticipated truck trips to and from the site:

Number of daily average trips: * OCCASIONAL DELIVERIES *
Maximum number of daily trips: VARIES

OPERATIONAL INFORMATION

Hours (Open to the public): M-F 6am-8pm, SAT 7am-5pm, CLOSED SUNDAY
Delivery hours: DURING BUSINESS HOURS

EMPLOYMENT INFORMATION

Proposed total number of full-time employees: 15 (* AT FULL BUILDOUT, 60 FTE'S ARE ANTICIPATED)
Proposed total number of part-time employees: 10
Number of shifts: 1
Total of number of employees per shift: 1st 25/60*, 2nd —, 3rd —
Largest number of employees on site at any one time: 25/60*

PUBLIC FACILITIES INFORMATION

Check all that apply:

- ☒ The property is serviced by Public Sanitary Sewer
- ☒ The property is serviced by Public Water
- ☒ The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: *
* PLEASE SEE INFORMATION CONTAINED IN INDUSTRIAL WASTE SURVEY

If property is zoned M-1, M-2 or M-5 then the following shall be completed:

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- | | | |
|--|-------|---------|
| <input type="checkbox"/> Factory Group F-1 (Moderate-hazard) | _____ | sq. ft. |
| <input type="checkbox"/> Factory Group F-2 (Low-hazard) | _____ | sq. ft. |
| <input type="checkbox"/> Storage Group S-1 (Moderate-hazard) | _____ | sq. ft. |
| <input type="checkbox"/> Storage Group S-2 (Low-hazard) | _____ | sq. ft. |
| <input type="checkbox"/> Business Group B | _____ | sq. ft. |
| <input type="checkbox"/> High-Hazard Group H | _____ | sq. ft. |
| <input type="checkbox"/> Other _____ | _____ | sq. ft. |

Types and quantities of goods and materials to be made, used or stored on site:

** PLEASE SEE FS MOB NARRATIVE LETTER **

Types of equipment or machinery to be used on site:

** PLEASE SEE FS MOB NARRATIVE LETTER **

Types and quantities of solid or liquid waste material which require disposal:

** PLEASE SEE FS MOB NARRATIVE LETTER **

Method of handling, storing and disposing of solid or liquid waste materials:

** PLEASE SEE NARRATIVE LETTER **

Methods of providing site and building security other than the Village Police Department:

** PLEASE SEE FS MOB NARRATIVE LETTER **

Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

* PLEASE SEE FS MOB NARRATIVE LETTER *

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

* PLEASE SEE FS MOB NARRATIVE LETTER *

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

* PLEASE SEE FS MOB NARRATIVE LETTER *

PLANS AND OTHER ATTACHMENTS

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- ☒ Title Sheet
- ☒ Survey
- ☒ Site Plan
- ☒ Grading and Drainage Plan
- ☒ Building and Fire Protection Plans
- ☒ Lighting Plan (including photometric plan)
- ☒ Landscape and Open Space Plan
- ☒ Signage Plan
- ☒ Industrial Waste Survey
- ☒ Required Application Fee and Pre-Development Agreement

The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.

I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

PROPERTY OWNER:

Print Name: PETER J. MOLTER

Signature: 

Address: 9555 76th STREET
PLEASANT PRAIRIE, WI 53158
(City) (State) (Zip)

Phone: 262.656.2011

Fax: 262.653.5742

Email: Peter.Molter@froedterstgouth.com

Date: 02.09.18

APPLICANT/AGENT:

Print Name: DAVID A. CARROLL

Signature: 

Address: 600 52ND ST, SUITE 220
KENOSHA WI 53140
(City) (State) (Zip)

Phone: 262.652.2800

Fax: —

Email: davec@pidarchitects.com

Date: 02.09.18

TENANT CONTACT:

Print Name: (SEE ABOVE)

Signature: _____

Address: _____

(City) (State) (Zip)

Phone: _____

Fax: _____

Email: _____

Date: _____

Preliminary Site and Operational Plan
Froedtert South, Inc.
Pleasant Prairie
Medical Office Building
February 1, 2018



Preliminary Site and Operational Plan for a Medical Office Building on Highway 165 and Green Bay Road

Introduction

In September 2017, a Master Campus Conceptual Plan was submitted by Bear Development for a 22-acre parcel of property located at the corner of Highway 165 and Green Bay Road in Pleasant Prairie, Wisconsin. This site is commonly known as Main Street Market was approved by the Village Board in November 2017. In November 2017, Froedtert South, Inc. (FS) submitted a Master Conceptual Plan for approximately 3.47 acres in the Main Street Market development and was subsequently approved in January 2018. This Preliminary Site and Operational Plan (Plan) further refines the conceptual plan as the building plans are being further developed.

The primary focus of the Main Street Market plan is a mixed-use site that includes medical office and retail operations. As part of that conceptual plan for Main Street Market, the medical office building for FS, is on the southern portion of the 22-acre parcel of property. Toward that end, FS is now seeking approval for the Plan from the Village of Pleasant Prairie for the development of a free-standing medical office building on the southern portion of the 22-acre parcel of property, which, if approved by the Village of Pleasant Prairie, would include space designated for physician offices that could be used for either the Froedtert South Medical Group (employed) physicians or independent (non-employed) physicians under a landlord-tenant relationship, walk-in clinic, diagnostic services, and physical therapy.

This Plan is intended to complement the Main Street Market plan for the development, which is generally described above. This Plan is also intended to provide greater detail and to further define FS's objectives as part of the original master plan that was envisioned for Main Street Market.

The proposed medical office building will be developed as a four-story building consisting of approximately 12,500 square feet per floor for a total of approximately 50,000 square feet. The first floor would contain rehabilitation services that provide physical therapy, occupational therapy, imaging services, and the support functions for each service. Previously an aquatic therapy pool was as part of the Master Conceptual Plan, that service is no longer planned for this site. In additions the CT Scan and MRI units are being planned for in the imaging suite but would be installed at a later date. The Froedtert South Medical Group (employed) physicians as well as independent (non-employed) physicians would treat patients on an outpatient basis in physician office space located on the second through fourth floors. These physicians include primary care, specialist and subspecialist. Initially, the second floor will be built out to include primary care and the walk-in service for those that do not have an appointment. The third and fourth floors would be shelled in for future medical office space. Services offered in the facility would occur during in the building, during normal business hours.

Process, Operations, or Functions of Buildings

The proposed free-standing medical office building in the Main Street Market will be built in the same architectural style as our St. Catherine's Medical Center Campus located in the Prairie Ridge development. The exterior of the proposed medical office building will use the same aesthetically pleasing natural materials of brick, stone, and window glazing used on the St. Catherine's Medical Center Campus. The proposed medical office building will have separate parking from the rest of the development, which will allow patients easy access and the ability to enter the building close to the respective service they may require on two different levels. Each of the entrances will be covered to protect patients that are being picked-up and dropped-off for appointments. Consistent with the mission, vision, and values of FS and consistent with what patients, guests, and employees have come to expect at FS, the atmosphere will provide a warm and welcoming environment for patients seeking service provided in the medical office building as well as guests and employees.

Parking

Parking for the clinic will be based on the Village of Pleasant Prairie ordinance and blended with the adjacent portions of the development. On the perimeter, the site parking will most likely be shared and overlap with the adjoining uses. This will not pose any issues due to the time of day and varied hours of operations. There are 247 proposed parking spaces for the development of this medical office building. The distance from the parking areas to the medical office building shall not exceed 400 feet from any one parking space to either of the proposed entries to the medical office building. In addition, the number of parking spaces will include the required amount of handicap parking spaces, 16, as identified in the State Building Code.

Green Space

The calculation for green space, presuming approval by the Village of Pleasant Prairie of the proposed medical office building, is based upon the entire 22-acre parcel of property as submitted by Bear Development and includes the retention ponds, adjacent grass area, and parking lot islands.

Hours of Operation

The hours of operation for the various services that will be provided within the proposed medical office building and by the various tenants who may be located within the proposed medical office building will be Monday through Friday from approximately 6:00 A.M. to approximately 8:00 P.M. and Saturdays from approximately 7:00 A.M. to approximately 5:00 P.M. Sunday operations may occur based on patient demand but would be for limited hours.

Anticipated Number of Total Full-Time and Part-Time Employees

The proposed four-story medical office building will initially be built out on the first two floors and the remaining two floors of the building will be shelled in. At full build-out we anticipate 60 full-time equivalents (FTEs).

Estimated Daily Truck and Automobile Trips To and From the Medical Office Building

The estimated passenger and truck activity to the proposed medical office building will be approximately 300 trips per day, with peak traffic times being relatively even and stable throughout the course of the work day, Monday through Friday. Truck traffic is anticipated to be minimal with occasional traffic to deliver medical supplies and office supplies to the various offices located within the proposed medical office building.

Type of Materials and Equipment to be Stored On-site

At the present time, there is no external storage of materials planned for the proposed medical office building. Materials necessary to support the daily operation of the various providers and tenants who may be located within the proposed medical office building such as medical and office supplies shall be stored internally within the proposed medical office building. Such materials would be consistent with those required in any medical practice and may include, but are not limited to, minor instruments, bandages and patient care supplies, medications, and office supplies.

Equipment necessary to support the daily operation of the various providers and tenants who may be located within the proposed medical office building such as weight sets and other related rehabilitation equipment shall be stored internally within the proposed medical office building and used predominantly for providing direct patient care. Note that there is one exception to the above related to a free-standing emergency electrical generator for use by the facility for emergency lighting and elevator operations during power failures.

All grounds maintenance equipment will be stored within the building. This equipment includes snow removal equipment, lawn maintenance equipment, and other related equipment. This equipment will be rotated, depending on the season, from our central grounds facilities on the St. Catherine's Medical Center Campus.

Methods of Handling and Storing Solid and Liquid Waste Disposal Materials

Waste management for the proposed medical office building will be accomplished through various mechanisms, with general and recyclable wastes handled through third-party providers, on-site dumpsters, and recycling bins. These dumpsters and recycling bins will be located within an enclosed exterior holding area located near the lower level of the medical office building. This trash area will be screened from public view by a screen wall that will obscure the dumpster from traffic passing the proposed medical office building, as well as contain any potential spills and keep any possible debris from blowing into the neighboring areas. This trash area will only be used for general waste and recycling refuse. Medical waste generated within the proposed medical office building will be handled independently until pick-up has been arranged by an appropriate third-party provider. No hazardous materials will be on site.

Method of Site and Building Security (Other than the Village Police Department)

Consistent with System policies within FS security will be performed predominantly through the Guest Relations Department of FS. In addition, security measures that are planned such as, but not limited to, security cameras per Village of Pleasant Prairie ordinance, access control, and alarm systems are to be installed. The Village of Pleasant Prairie police officers have always been most helpful and supportive when they respond to our St. Catherine's Medical Center Campus and it is anticipated that such assistance will continue to be requested in the future at this site in the event of a violation of law or when such assistance or intervention will serve the best interests of those involved.

Method of Exterior Site and Structure Maintenance

Maintenance of the exterior site and structure of the proposed medical office building will continue to be provided by the Grounds Department of FS, with support from outside contractors, as deemed necessary. Maintaining parking lots and roads, specifically snow removal, will be addressed via the declarations for the development and be part of the common area maintenance process. Maintenance of the proposed medical office building will be in accordance with the products used to construct the facility.

Copies of all Kenosha Water Utility, Highway Access, Air Quality and Other Special Use Permits Issued by the Federal, State, or County Agencies

Based on information obtained from the Wisconsin Department of Natural Resources, there is no need for an Air-Operating Permit for the site as a direct result of the proposed development of the medical office building. The medical office building will be accessed from the existing road system on-site and will not require specific access points to any municipal or state roads. The standard Erosion Control Permits for construction sites will be required for the project. Apart from the permits noted above, we are not aware of any additional Special Use Permits required for the proposed development of the medical office building on the 22-acre parcel of property commonly known as Main Street Market.

Village of Pleasant Prairie, Wisconsin Chapter 420. Zoning Ordinance §420-38 Performance Standards

FS warrants and represents that the proposed medical office building that will be built on the 22-acre parcel of property known as Main Street Market will be operated in accordance with the performance standards generally set forth in the Village of Pleasant Prairie, Wisconsin Chapter 420. Zoning Ordinance, Article VI. General Provisions. More precisely, FS warrants and represents that the proposed medical office building property and use will be operated in accordance with the performance standards outlined in §420-38. Performance Standards.



PartnersinDesign
A R C H I T E C T S

**Partners in Design
Architects, Inc.**

W I S C O N S I N
600 Fifty Second Street
Suite 220
Kenosha, WI 53140
voice: 262.652.2800
fax: 262.652.2812

I L L I N O I S
2610 Lake Cook Road
Suite 280
Riverwoods, IL 60015
voice: 847.940.0300
fax: 847.940.1045

February 9, 2018

Ms. Jean Werbie-Harris
9915 39th Avenue
Pleasant Prairie, WI 53158

RE: Froedtert South MOB Pleasant Prairie
New Medical Office Building
NEC STH 165 & Green Bay Road
Pleasant Prairie, Wisconsin 53158

Dear Ms. Werbie-Harris,

Attached is a completed site and operational plan application for the above referenced project. The following is an item-by-item response for the Operational Plan Requirements (a-t), as well as Pleasant Prairie Engineering Department and Fire Department comments received from the Village.

Site and Operational Plan Criteria (a-t)

- a) A detailed narrative description of the operations, processes and function of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, plans, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

The proposed free-standing medical office building in the Main Street Market will be built in the same architectural style as the St. Catherine's Medical Center Campus located in the Prairie Ridge development. The exterior of the proposed medical office building will use the same aesthetically pleasing natural materials of brick, stone, and window glazing used on the St. Catherine's Medical Center Campus. The proposed medical office building will have separate parking from the rest of the development, which will allow patients easy access and the ability to enter the building close to the respective service they may require on two different levels. Each of the entrances will be covered to protect patients that are being picked-up and dropped-off for appointments. Consistent with the mission, vision, and values of FS and consistent with what patients, guests, and employees have come to expect at FS, the atmosphere will provide a warm and welcoming environment for patients seeking service provided in the medical office building as well as guests and employees.

- b) A detailed description of the proposed project or activity giving rise to the need for site and operation plan approval and detailed explanation of how

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P A S S I O N C O L L A B O R A T I O N V I S I O N

such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

The proposed medical office building will be developed as a four-story building consisting of approximately 12,500 square feet per floor for a total of approximately 50,000 square feet. The first floor would contain rehabilitation services that provide physical therapy, occupational therapy, imaging services, and the support functions for each service. Previously an aquatic therapy pool was as part of the Master Conceptual Plan, that service is no longer planned for this site. In additions the CT Scan and MRI units are being planned for in the imaging suite but would be installed at a later date. The Froedtert South Medical Group (employed) physicians as well as independent (non-employed) physicians would treat patients on an outpatient basis in physician office space located on the second through fourth floors. These physicians include primary care, specialist and sub specialist. Initially, the second floor will be built out to include primary care and the walk-in service for those that do not have an appointment. The third and fourth floors would be shelled in for future medical office space. Services offered in the facility would occur during in the building, during normal business hours.

- c) Gross Floor area of the existing building(s) and/or proposed addition.

The proposed four story medical office building will consist of approximately floors ranging in area from 13,444 s.f. to 11,980 s.f. per floor for a total of 49,507 square feet.

- d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

The hours of operation for the various services that will be provided within the proposed medical office building and by the various tenants who may be located within the proposed medical office building will be Monday through Friday from approximately 6:00 A.M. to approximately 8:00 P.M. and Saturdays from approximately 7:00 A.M. to approximately 5:00 P.M. Sunday operations may occur based on patient demand but would be for limited hours. Deliveries and shipments would be primarily FedEx/UPS type deliveries made during operating hours.

- e) Anticipated startup and total number of full and part-time employees.

The proposed four-story medical office building will initially be built out on the first two floors and the remaining two floors of the building will be shelled in. Initially, there will be 15 full time employees and 10 part time employees. At full build-out we anticipate 60 full-time equivalents (FTEs).

- f) Anticipated number of shifts and the anticipated number of employees per shift.

There will only be one shift (please see above for anticipated employee count).

- g) Anticipated maximum number of employees on site at any time of the day.

There will only be one shift (please see above for anticipated employee

count).

- h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

Not applicable.

- i) Number of parking spaces required per this chapter and the method used to calculate such number.

Parking for the clinic is based on the Village of Pleasant Prairie ordinance and blended with the adjacent portions of the development. On the perimeter, the site parking will most likely be shared and overlap with the adjoining uses. This will not pose any issues due to the time of day and varied hours of operations. There are 247 proposed parking spaces for the development of this medical office building. The distance from the parking areas to the medical office building shall not exceed 400 feet from any one parking space to either of the proposed entries to the medical office building. In addition, the number of parking spaces will include the required amount of handicap parking spaces, 16, as identified in the State Building Code.

- j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped spaces to be stated separately).

There are no existing parking spaces on site. A total of 244 parking spaces are proposed with 228 being conventional and 16 handicapped accessible.

- k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

The estimated passenger and truck activity to the proposed medical office building will be approximately 300 trips per day, with peak traffic times being relatively even and stable throughout the course of the work day, Monday through Friday. Truck traffic is anticipated to be minimal with occasional traffic to deliver medical supplies and office supplies to the various offices located within the proposed medical office building.

- l) Anticipated daily average and maximum potential number of truck trips to and from the site.

Truck traffic is anticipated to be minimal with occasional traffic to deliver medical supplies and office supplies to the various offices located within the proposed medical office building.

- m) Types of goods and materials to be made, used or stored on site..

At the present time, there is no external storage of materials planned for the proposed medical office building. Materials necessary to support the daily operation of the various providers and tenants who may be located within the proposed medical office building such as medical and office supplies shall be stored internally within the proposed medical office building. Such materials would be consistent with those required in any medical practice and may include, but are not limited to, minor

instruments, bandages and patient care supplies, medications, and office supplies.

- n) Types of equipment or machinery to be used on site.

Equipment necessary to support the daily operation of the various providers and tenants who may be located within the proposed medical office building such as weight sets and other related rehabilitation equipment shall be stored internally within the proposed medical office building and used predominantly for providing direct patient care. Note that there is one exception to the above related to a free-standing emergency electrical generator for use by the facility for emergency lighting and elevator operations during power failures.

All grounds maintenance equipment will be stored within the building. This equipment includes snow removal equipment, lawn maintenance equipment, and other related equipment. This equipment will be rotated, depending on the season, from our central grounds facilities on the St. Catherine's Medical Center Campus.

- o) Types of solid or liquid waste materials which will require disposal.

Waste management for the proposed medical office building will be accomplished through various mechanisms, with general and recyclable wastes handled through third-party providers, on-site dumpsters, and recycling bins. These dumpsters and recycling bins will be located within a masonry exterior holding area located near the lower level of the medical office building. This trash area will be screened from public view by a brick veneer screen wall that will obscure the dumpster from traffic passing the proposed medical office building, as well as contain any potential spills and keep any possible debris from blowing into the neighboring areas. This trash area will only be used for general waste and recycling refuse. Medical waste generated within the proposed medical office building will be handled independently until pick-up has been arranged by an appropriate third-party provider. No hazardous materials will be on site.

- p) Method of handling, storing and disposing of solid or liquid waste materials.

Please see above.

- q) Methods of providing site and building security other than the Village Police Department.

Consistent with System policies within FS security will be performed predominantly through the Guest Relations Department of FS. In addition, security measures that are planned such as, but not limited to, security cameras per Village of Pleasant Prairie ordinance, access control, and alarm systems are to be installed. The Village of Pleasant Prairie police officers have always been most helpful and supportive when they respond to our St. Catherine's Medical Center Campus and it is anticipated that such assistance will continue to be requested in the future at this site in the event of a violation of law or when such assistance or intervention will serve the best interests of those involved.

- r) Description of the methods to be used to maintain all buildings, structures,

site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Maintenance of the exterior site and structure of the proposed medical office building will continue to be provided by the Grounds Department of FS, with support from outside contractors, as deemed necessary. Maintaining parking lots and roads, specifically snow removal, will be addressed via the declarations for the development and be part of the common area maintenance process. Maintenance of the proposed medical office building will be in accordance with the products used to construct the facility.

- s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

We feel that the proposed medical office building will have a positive impact on neighboring properties and public facilities by providing increased health care service to the community. Furthermore, a development of this type will help spur development in this area of the Village, much in the same way it has in the Village of Somers.

- t) A list of all local, county, state and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval and copies of such permits and approvals that have been obtained.

Based on information obtained from the Wisconsin Department of Natural Resources, there is no need for an Air-Operating Permit for the site as a direct result of the proposed development of the medical office building. The medical office building will be accessed from the existing road system on-site and will not require specific access points to any municipal or state roads. The standard Erosion Control Permits for construction sites will be required for the project. Apart from the permits noted above, we are not aware of any additional Special Use Permits required for the proposed development of the medical office building on the 22-acre parcel of property commonly known as Main Street Market. Prior to construction, signed, sealed and DSPS State Approved construction documents will be submitted to the Village's Building Department.

Village of Pleasant Prairie Fire Department comments (12.21.2017)

- 1) *Partners in Design Architects met with Chief Craig Roepke and staff to discuss a preferred location for the remote FDC. The submitted site plans represent this communication.*
- 2) *Interior elevator cab dimensions are appropriate.*
- 3) *Access to the interior pump/riser room will be through the western door to the facilities area. A knox box is provided at this location. Site contours adjacent to the pump/riser room make this the best viable scenario based on our discussion.*

- 4) *Public Radio Coverage will be provided by Froedtert South within the building if it is found that coverage is found to be lacking by the VOPP FD.*
- 5) *Floors 3 and 4 are currently proposed as future shell space for physician suites similar to the other tenant spaces on floors 1 and 2.*
- 6) *Entrance canopies provide 11'-0" clearance.*
- 7) *A dedicated 911 phone will be placed adjacent to the east 2nd floor entry to the building. This is where the Immediate Care Clinic is to be located.*
- 8) *Camera positions for the 911 phone will be provided by the hospital.*
- 9) *Architectural site plan A1.1 shows a sidewalk connecting this exit access point from the building stairwell to the common sidewalk.*
- 10) *Froedtert South will provide the Pleasant Prairie Fire Department with a compliance letter prior to receiving a building permit.*
- 11) *As other comments are developed, we will work closely with Pleasant Prairie to resolve them.*
- 12) *Requirements have been reviewed.*

Village of Pleasant Prairie Engineering Department comments (01.02.2018)

- 1) *Partners in Design Architects has developed an exhibit regarding the trash enclosure at the Medical Office Building (ex 003). This demonstrates an identical trash enclosure built for Froedtert South in Somers, WI. The current MOB is modeled after this example. In the exhibit, a series of photographs have been taken as a car drives around the building to demonstrate the trash area is not visible behind the 20' tall masonry screen wall at the facilities entrance to the building. This wall is constructed of veneer face brick and limestone banding matching the building. It is ours and Froedtert South's position that over time, metal gates would become a maintenance issue for the hospital. By screening them from view with a decorative masonry wall, we're able to avoid this situation.*
- 2) *Partners in Design Architects and Froedtert South will continue to work closely with Bear to share details of site signage consistent with those erected at St. Catherine's Medical Center Campus. Primary, secondary and all ancillary and directional signage will comply with Village requirements.*
- 3) *Froedtert South and Bear Development will coordinate efforts on providing site light fixtures that meet Village requirements. All LED light temperatures will coordinate.*
- 4) *Civil drawings submitted address all walkways so that none compromise more than 50% of the landscaped islands.*
- 5) *Mechanical units are screened from view, and no units/meters will be mounted on the side of the building.*
- 6) *All entrances and exits shall be numbered on the exterior and interior (see site signage exhibit 002) with 4" tall letters per the Fire Department comments.*
- 7) *Complete landscape plans have been provided for the FS Medical Office Building.*

Feb 9, 2018

**Partners in Design
Architects, Inc.**

8) A public sidewalk has been developed along Old Green Bay Road, and a sidewalk connecting the new medical office building to that sidewalk has been included in the civil and architectural site plans submitted to the Village.

Ms. Werbie-Harris, if you have any questions regarding this project, please do not hesitate to call our office at 262.652.2800.

Sincerely,

David A. Carbol

Partners in Design Architects, Inc.

cc: Peter J. Molter, Froedtert South, Inc.

Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: 2-7-18

Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

To be submitted to the

Kenosha Water Utility

General Information

1. Facility Name: FROEDTERT SOUTH, INC
2. Mailing Address: 6308 8th AVE
3. City, State, Zip Code: KENOSHA WI
4. ☒ Site Address: HWY 165 & OLD GREEN BAY ROAD. (ADDRESS WHEN GM IS RELOCATED)
5. Standard Industrial Classification Code (SIC): 8011
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Name: PETER MOLTEN
Title: J. P.
Phone #: 262-656-2420

Company Contact

Name: PETER MOLTEN
Title: J. P.
Phone #: 262-656-2420

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

NONE

☒ IN MAIN STREET MARKET DEVELOPMENT.

Operational Characteristics

1. Existing Number of Employees: Full Time 15 Part Time 10
2. Operational Schedule: Days/Wk 6 Hours/Day 8-12 # Shifts 1
3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): MEDICAL OFFICE BUILDING,
PHYSICIAN OFFICES.
4. List principal raw materials used: NONE
5. List products produced and the average rate of production: NONE
6. List types of wastes created during production and any by-products produced: NONE - ROUTINE SANITARY WASTE
7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. _____ gallons.
Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X
Meter number or address assigned to water meter(s). TBO
8. Type of discharges: Continuous _____ Batch X
If batch was indicated, give the average frequency and approximate volume of any batch discharges: BASED ON BUILDING USE FOR SANITARY NEEDS
9. Describe the uses of water at this facility: WATER CLOSETS, HAND WASHING
AND LANDSCAPING

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process

Time and Duration of Discharges

NONE

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

NOPE

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? NO
4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day for each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	<u>Consumed</u>	<u>Discharges</u>	
Sanitary Usage			<u>BATCH/CONTINUOUS</u>
Process Wastewater Usage	<u>0</u>	<u>15</u>	
Cooling Water Usage	<u>0</u>	<u>0</u>	
Other Usage	<u>0</u>	<u>0</u>	
Total Volume			

5. Describe all locations where wastewaters enter the collection system PLANNED CONNECTION IS ON SOUTH SIDE OF BUILDING #15 PART OF DEVELOPMENT SYSTEM.

6. Is there a sampling manhole on site? No _____ Yes X
If yes, describe the locations: IN

7. Are sanitary and process wastewaters separated? No X Yes _____
8. Is boiler blowdown water discharged to the sanitary sewer? No X Yes _____
9. Does your facility haul any process wastewater? No X Yes _____

Compliance Information

1. Is there any usage of toxic compounds at the facility? No X Yes _____
If yes, list and use check list on last page.
2. Are there any floor drains in the manufacturing or chemical storage area? No X Yes _____
3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?
No X Yes _____ If yes, describe procedure: _____

5. Is any form of waste water pretreatment practiced at this facility? No X Yes _____
If yes, describe: _____

6. List any specific pretreatment standards that apply to this facility: NONE

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.

N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.

N/A

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

PETER J. MOGEE

Print Name: Authorized Representative

[Signature]

Signature: Authorized Representative

J. P.

Title

2-6-18

Date

Appendix
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinated ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chloroform
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Halogenated
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrene
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo-p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

Froedtert South

Delegation of Signatory Authority

The Chief Executive Officer ("CEO") of Froedtert South, Inc. is the exclusive delegating authority and may elect to grant signatory authority to persons holding applicable Froedtert South positions ("Delegatee"). The authorized representative of Froedtert South, named below has been granted authority to negotiate and/or execute certain Terms and Conditions, which may result in the eventual execution of a contract within the Level of Approval identified below.

The negotiation and eventual execution of a contract may not be exercised by a representative of Froedtert South without completion of this document and may not be exercised prior to the effective date of the project described below. This delegation may be modified and/or revoked at any time by the CEO.

Delegatee (Person allowed to negotiate and/or sign as an authorized representative of United Hospital System as expressly described below):

Name: Molter Peter Title: VP
Last First

Project: Pleasant Prairie Clinic

Signatory Level Approval

- ☐ **LEVEL 1**
- Delegatee has the authority to negotiate contract.
 - Delegatee does not have the authority to execute contract.
- ☐ **LEVEL 2**
- Delegatee has the authority to negotiate contract.
 - Delegatee has the authority to execute a contract only after receiving prior approval from CEO.
- ☒ **LEVEL 3**
- Delegatee has the authority to negotiate contract.
 - Delegatee has the authority to execute contract.
 - CEO must be kept informed regarding the contract.
- ☐ **LEVEL 4**
- Delegatee has the authority to negotiate a contract.
 - Delegatee has the authority to execute a contract.
 - CEO does not need to be kept informed regarding the contract.

Notes: Village of Pleasant Prairie building permit forms, Industrial Waste survey and Site and Operational plans.

CEO Signature: [Signature]

Date: 2/9/18

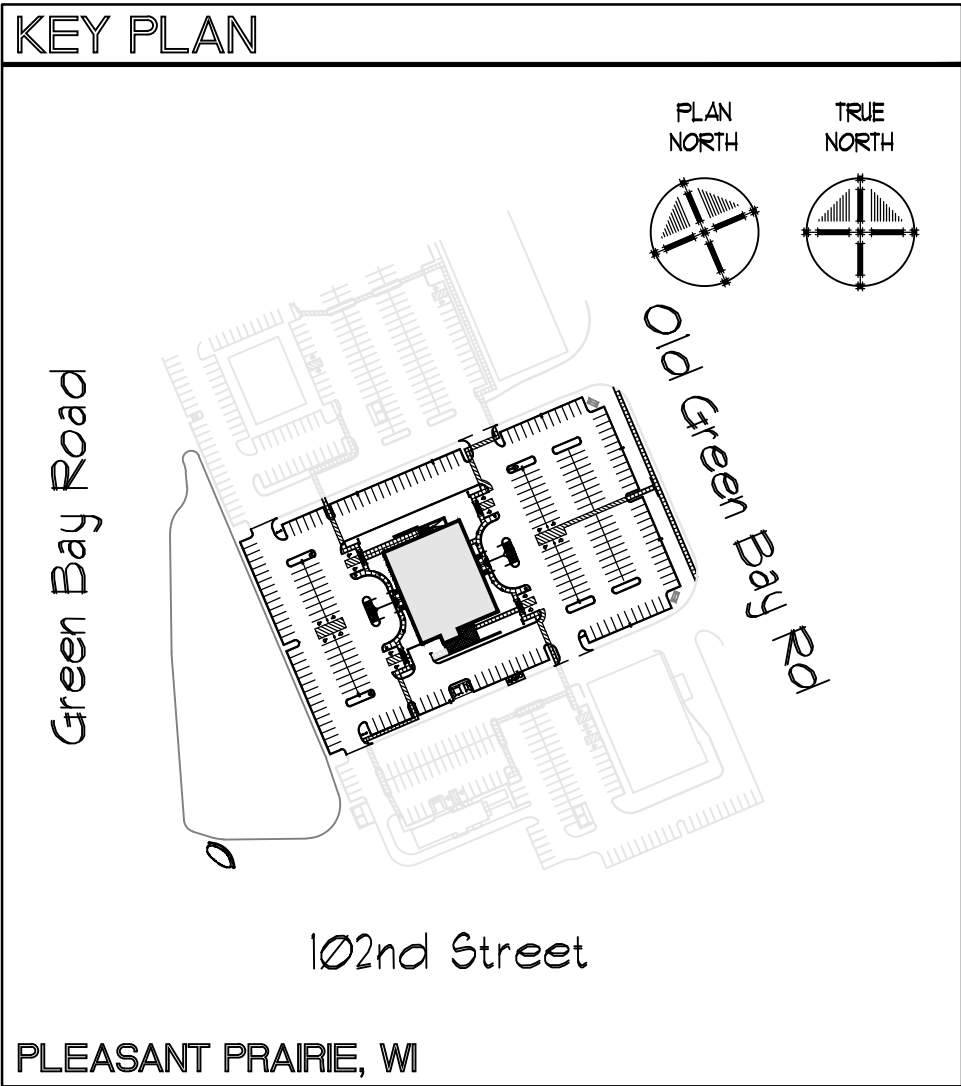
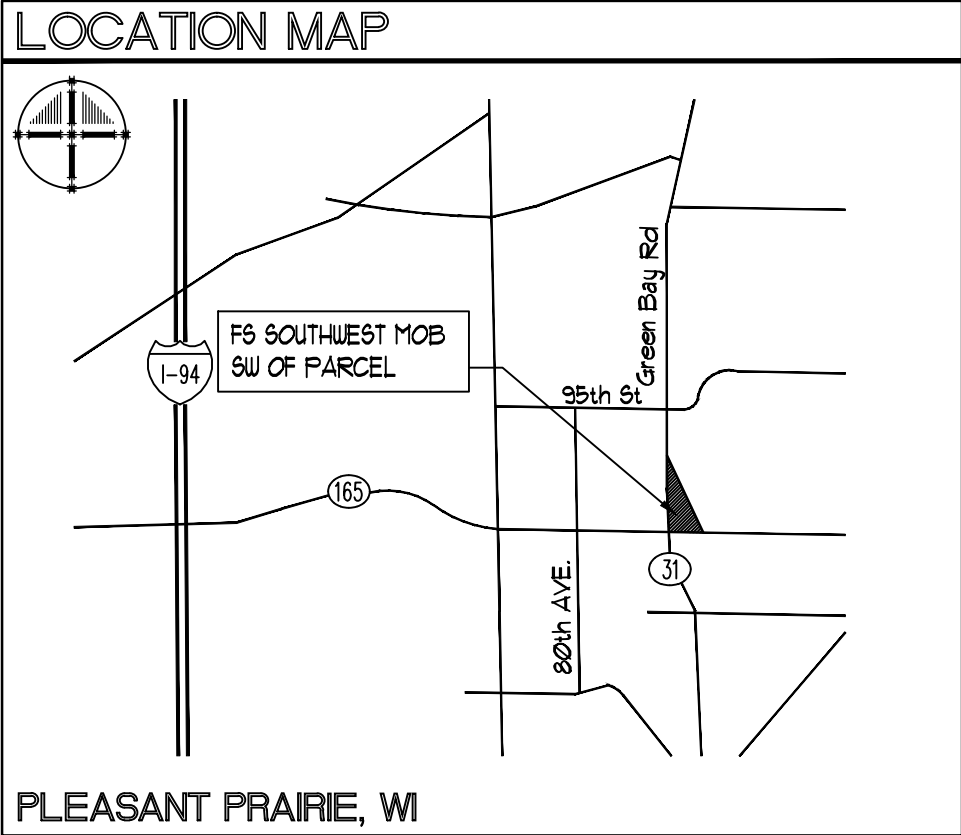
Note:

An executed copy of this Delegation of Signatory Authority Form shall be kept by the CEO, the Delegatee, and with the original agreement. Any document signed by the Delegatee shall have the same force and effect as if the document was signed by the CEO, and the Delegatee will be limited to the project and signatory level as authorized on this Delegation of Signatory Authority Form.

FROEDTERT SOUTH
MEDICAL OFFICE BUILDING
PLEASANT PRAIRIE
NEC GREEN BAY ROAD & STH 165
PLEASANT PRAIRIE, WISCONSIN 53158



PROJECT DATA		ID# 3025434
REVIEW INFORMATION:		
TRANSACTION ID NUMBER:		
SITE ID NUMBER: 3025434		
REVIEW LOCATION: D9PS WALKESHA OFFICE		
REVIEWER: MARK PIQUETTE		
REVIEW DATE: 01/04/18 (SUBMITTED TO D9PS WALKESHA 12/21/17)		
2009 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS		
2009 INTERNATIONAL BUILDING CODE		
2012 NFPA 101 LIFE SAFETY CODE		
USE AND OCCUPANCY CLASSIFICATION:		
MEDICAL OFFICE BUILDING		GROUP B (BUSINESS) 2009 IBC
BUILDING CLASSIFICATION:		
CONSTRUCTION TYPE II-B		NON-COMBUSTIBLE, NON-PROTECTED
SPRINKLER SYSTEM:		
FULLY SPRINKLERED		PER NFPA 13
BUILDING AREA:		
FIRST FLOOR:		13,444 SF.
WEST CANOPY:		1,203 SF.
SECOND FLOOR:		12,103 SF.
EAST CANOPY:		1,203 SF.
THIRD FLOOR:		11,880 SF.
FOURTH FLOOR:		11,880 SF.
TOTAL:		51,313 SF.



ELECTRICAL ENGINEER:

LEE PLUMBING, HEATING,
COOLING & ELECTRIC
295 60th STREET
KENOSHA, WISCONSIN 53140
PHONE: 262.651.9430
ATTN: FRANK RUFFOLO

PLUMBING ENGINEER:

LEE PLUMBING, HEATING,
COOLING & ELECTRIC
295 60th STREET
KENOSHA, WISCONSIN 53140
PHONE: 262.651.9430
ATTN: BOB LEE, JR.

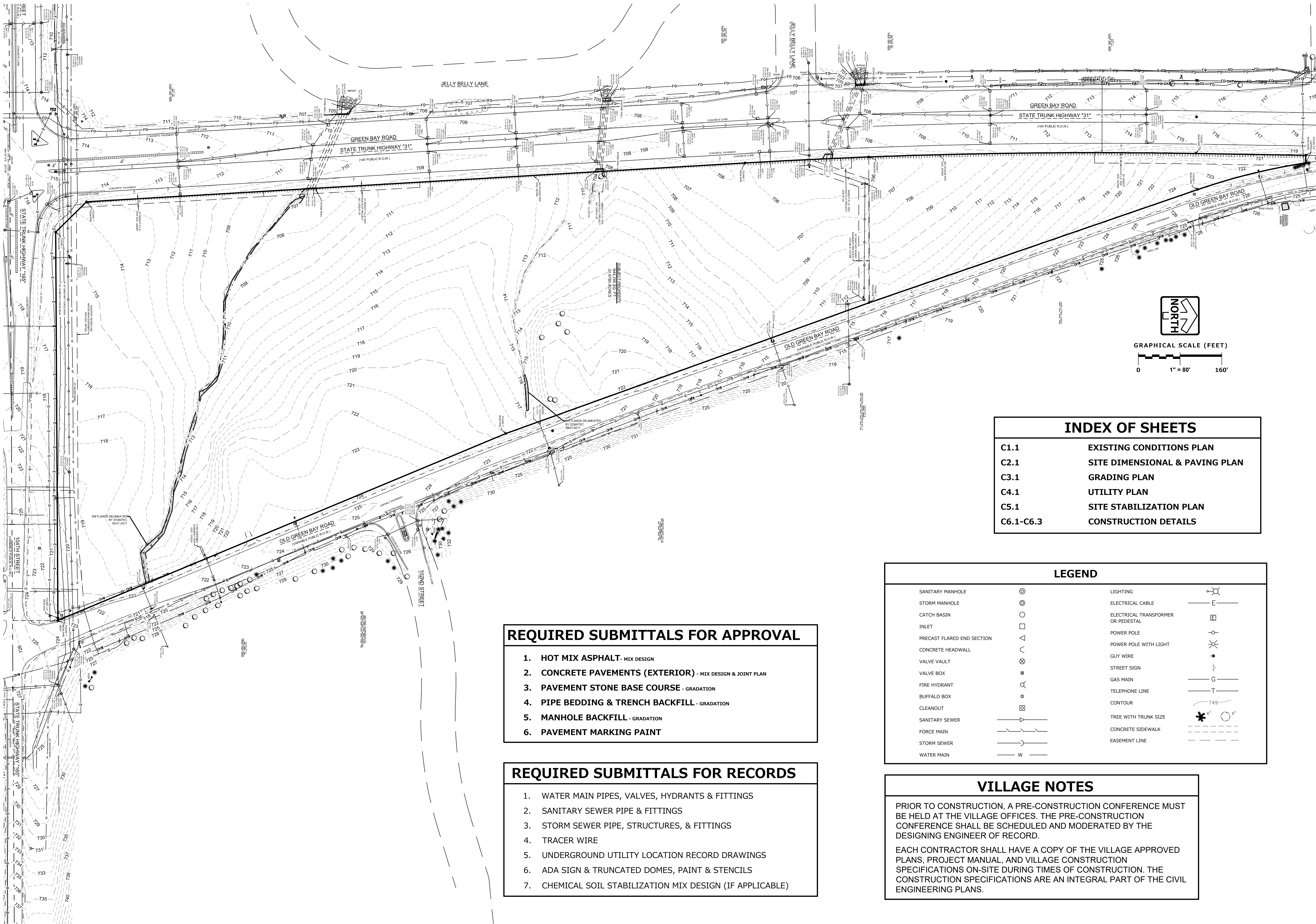
SHEET INDEX	
T1	TITLE SHEET
CIVIL	
C1	EXISTING CONDITIONS PLAN
C2	SITE DIMENSIONAL AND PAVING PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
C5	SITE STABILIZATION PLAN
C6	CONSTRUCTION DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS
LANDSCAPE	
L10	SITE LOCATION LANDSCAPE PLAN
L11	OVERALL LANDSCAPE PLAN
L12	ENLARGED LANDSCAPE PLAN
L13	LANDSCAPE DETAILS, NOTES & SCHEDULES
ARCHITECTURAL	
A1	ARCHITECTURAL SITE PLAN
A3	FIRST FLOOR TENANT PLAN
A3.2	SECOND FLOOR TENANT PLAN
A2	THIRD FLOOR SHELL PLAN
A2.4	FOURTH FLOOR SHELL PLAN
A4	SOUTH AND WEST BUILDING ELEVATIONS
A4.2	NORTH AND EAST BUILDING ELEVATIONS
OWNER:	
FROEDTERT SOUTH 9555 16th STREET PLEASANT PRAIRIE, WISCONSIN 53158 PHONE: 262.656.2011 ALT PHONE: 262.571.8000 FAX: 262.653.5142 ATTN: PETER MOLTZER	
ARCHITECT:	
PARTNERS IN DESIGN ARCHITECTS 6000 52nd STREET, SUITE 210 KENOSHA, WISCONSIN 53140 PHONE: 262.651.2800 ATTN: MARK MOLINARO, JR., AIA, LEED AP DAVE CARBOL, AIA, LEED AP	
CONSTRUCTION MANAGER:	
RILEY CONSTRUCTION COMPANY, INC. 5301 99TH AVENUE KENOSHA, WISCONSIN 53144-7810 PHONE: 262.658.4381 FAX: 262.658.0312 ATTN: DAVE RILEY ERIN ANDERSON	
CIVIL ENGINEER:	
PINNACLE ENGINEERING GROUP 15080 W. BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 PHONE: 262.754.8888 FAX: 262.754.8880 ATTN: ADAM ARIZ, PE MATT CAREY, PE	
LANDSCAPE ARCHITECT:	
HELLER & ASSOCIATES LLC 4115 JAMES AVENUE RACINE, WISCONSIN 53402 PHONE: 262.638.9133 FAX: 262.638.9131 ATTN: DAVID HELLER, ASLA	
STRUCTURAL ENGINEER:	
R.A. SMITH NATIONAL, INC. 16745 WEST BLUEMOUND ROAD, SUITE 200 BROOKFIELD, WISCONSIN 53005 PHONE: 262.781.0000 ATTN: STEVE ROLOFF, P.E. ROBERT RAY, P.E.	
MECHANICAL ENGINEER:	
MARTIN PETERSEN COMPANY, INC. 3800 55TH STREET KENOSHA, WISCONSIN 53144 PHONE: 262.658.1326 FAX: 262.658.1048 ATTN: DANIEL A. YOUNG, P.E.	

MEP DESIGN / BUILD

1. MECHANICAL, ELECTRICAL, PLUMBING, POOL, FIRE ALARM AND FIRE PROTECTION TRADES ARE TO BE BID AS DESIGN/BUILD CONTRACTS. REFER TO CONSTRUCTION DOCUMENTS FOR PROJECT SCOPE. EACH BIDDING CONTRACTOR WILL BE RESPONSIBLE FOR ENGINEERED CONSTRUCTION DOCUMENTATION, ALL STATE AND LOCAL CODES AND REQUIRED PLAN REVIEW AND REVIEW FEES.
2. MEP COMPONENTS REQUIRE FIXTURE SUBMITTALS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
3. BIDDING CONTRACTOR TO INCLUDE ALL PERMIT FEES IN BASE BID.

Partners in Design
ARCHITECTS
FROEDTERT SOUTH
MEDICAL OFFICE BUILDING
PLEASANT PRAIRIE

DATE: 02.09.18
NUMBER: 634.17.051



REQUIRED SUBMITTALS FOR APPROVAL

- 1. HOT MIX ASPHALT - MIX DESIGN
- 2. CONCRETE PAVEMENTS (EXTERIOR) - MIX DESIGN & JOINT PLAN
- 3. PAVEMENT STONE BASE COURSE - GRADATION
- 4. PIPE BEDDING & TRENCH BACKFILL - GRADATION
- 5. MANHOLE BACKFILL - GRADATION
- 6. PAVEMENT MARKING PAINT

REQUIRED SUBMITTALS FOR RECORDS

- 1. WATER MAIN PIPES, VALVES, HYDRANTS & FITTINGS
- 2. SANITARY SEWER PIPE & FITTINGS
- 3. STORM SEWER PIPE, STRUCTURES, & FITTINGS
- 4. TRACER WIRE
- 5. UNDERGROUND UTILITY LOCATION RECORD DRAWINGS
- 6. ADA SIGN & TRUNCATED DOMES, PAINT & STENCILS
- 7. CHEMICAL SOIL STABILIZATION MIX DESIGN (IF APPLICABLE)

INDEX OF SHEETS

- C1.1 EXISTING CONDITIONS PLAN
- C2.1 SITE DIMENSIONAL & PAVING PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 SITE STABILIZATION PLAN
- C6.1-C6.3 CONSTRUCTION DETAILS

LEGEND

SANITARY MANHOLE	⊗	LIGHTING	⊗
STORM MANHOLE	⊙	ELECTRICAL CABLE	— E —
CATCH BASIN	○	ELECTRICAL TRANSFORMER OR PEDESTAL	⊞
INLET	□	POWER POLE	⊙
PRECAST FLARED END SECTION	△	POWER POLE WITH LIGHT	⊗
CONCRETE HEADWALL	▽	GUY WIRE	•
VALVE VAULT	⊗	STREET SIGN	⊙
VALVE BOX	⊞	GAS MAIN	— G —
FIRE HYDRANT	⊙	TELEPHONE LINE	— T —
BUFFALO BOX	⊙	CONTOUR	749
CLEANOUT	⊞	TREE WITH TRUNK SIZE	* 6" 5"
SANITARY SEWER	— S —	CONCRETE SIDEWALK	— — —
FORCE MAIN	— F —	EASEMENT LINE	— — —
STORM SEWER	— ST —		
WATER MAIN	— W —		

VILLAGE NOTES

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD.

EACH CONTRACTOR SHALL HAVE A COPY OF THE VILLAGE APPROVED PLANS, PROJECT MANUAL, AND VILLAGE CONSTRUCTION SPECIFICATIONS ON-SITE DURING TIMES OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS.

REVISIONS:

A	12.07.17	ADDENDA NO. 1
A	02.07.18	SITE & OPERATIONAL

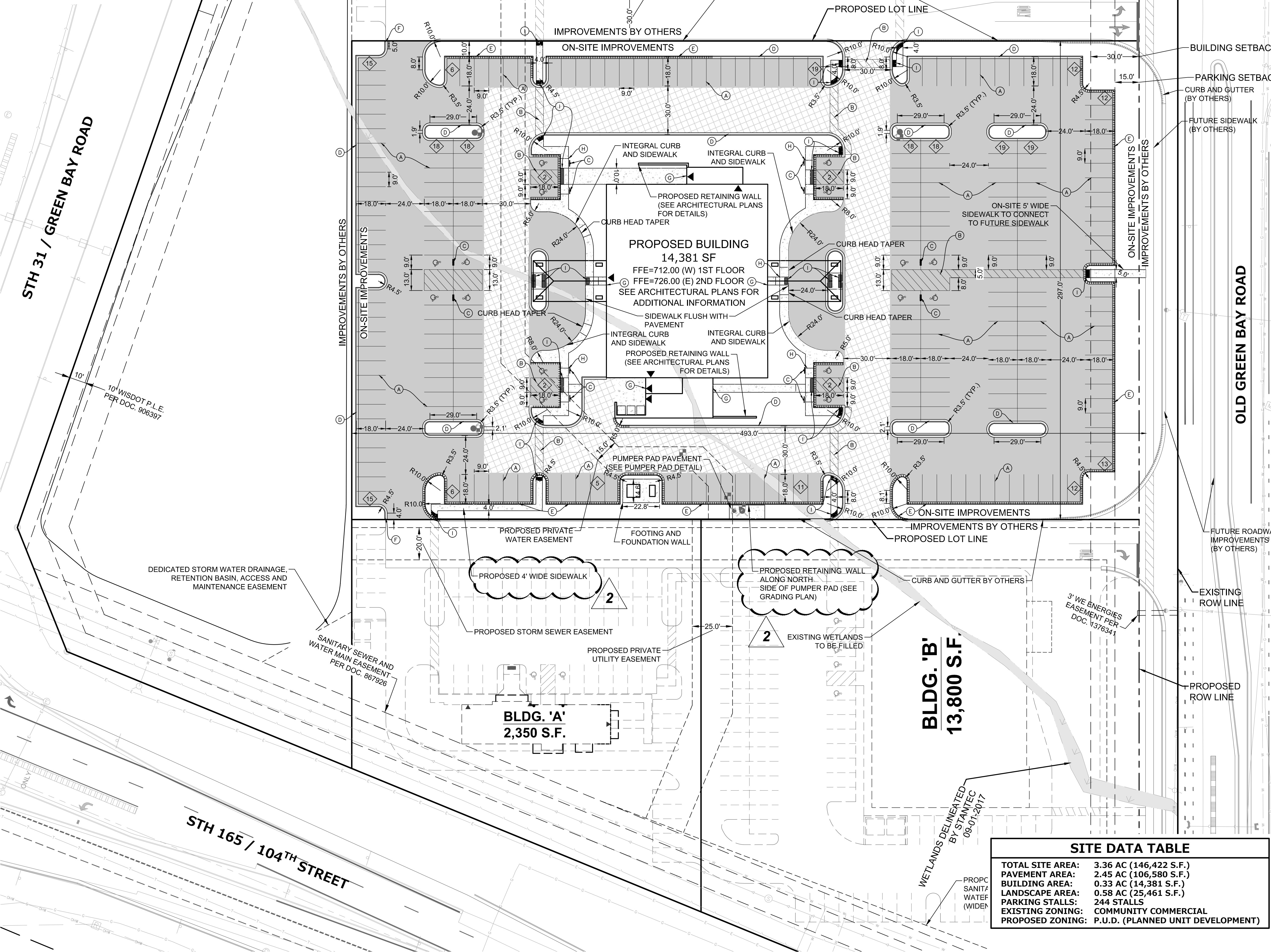
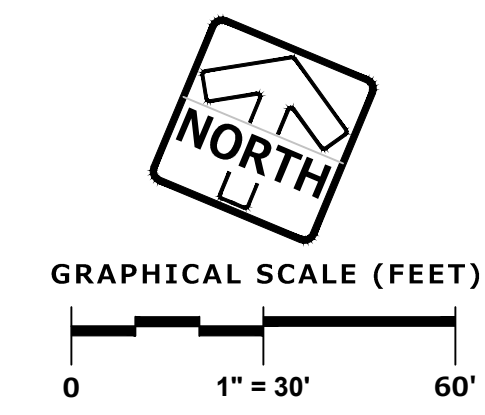
FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

EXISTING CONDITIONS PLAN

PLAN DESIGN/DELIVER
WWW.PINNACLEENGINEERINGGROUP.COM

PINNACLE ENGINEERING GROUP
SUSTAINABLE DESIGN
MAINTAINING NATURAL RESOURCES

PROJECT NO.: 634.17.051
DRAWN BY: EP
CHECKED BY: MAC
DATE: 11.28.17
SHEET NO.: C1.1



- ### NOTES
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT, EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL). UNLESS OTHERWISE NOTED, CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
 - ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - SEE ADDITIONAL NOTES AND DETAILS ON CONSTRUCTION DETAILS.
 - ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
 - CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
 - PROVIDE CONTRACTOR GRADE ACRYLIC STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
 - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
 - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
 - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
 - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
 - BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
 - ASPHALTIC CONCRETE PAVING SPECIFICATIONS:-

CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.

WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).

GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.

BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.

SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.

ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.

SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

LEGEND	
	LIGHT DUTY PAVEMENT - 9" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) - 4" ASPHALTIC CONC. (2 LIFTS) 1.75" LOWER LAYER (3 LT 58-28 S) 2.25" UPPER LAYER (5 LT 58-28 S)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) - 4" ASPHALTIC CONC. (2 LIFTS) 1.75" LOWER LAYER (3 MT 58-28 S) 2.25" UPPER LAYER (4 MT 58-28 S)
	CONCRETE DUMPSTER AREA - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) - 6" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH 6x6x6 GAUGE STEEL MESH)
	CONCRETE SIDEWALK - 4" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LESTONE) - 5" PCC (6x6 WELDED WIRE FABRIC PER RACI 315-92)
	4" SOLID WHITE STRIPE
	4" DIAGONAL AT 45° SPACED 2' O.C.
	R7-8 HANDICAP PARKING SIGN (SEE ARCHITECTURAL PLANS FOR DETAIL)
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE CURB & GUTTER (SEE DETAIL)
	TAPER CURB HEAD (SEE DETAIL)
	BUILDING DOOR SLAB (2% MAX SLOPE WITHIN DRIVE IN OR MAN DOOR)
	ADA ACCESSIBLE RAMP W/ CURB TAPERS (SEE DETAIL)
	TAPER CURB HEADS, INSTALL DEPRESSIONED CURB WITH ACCESSIBLE RAMP AND TRUNCATED DOMES
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR

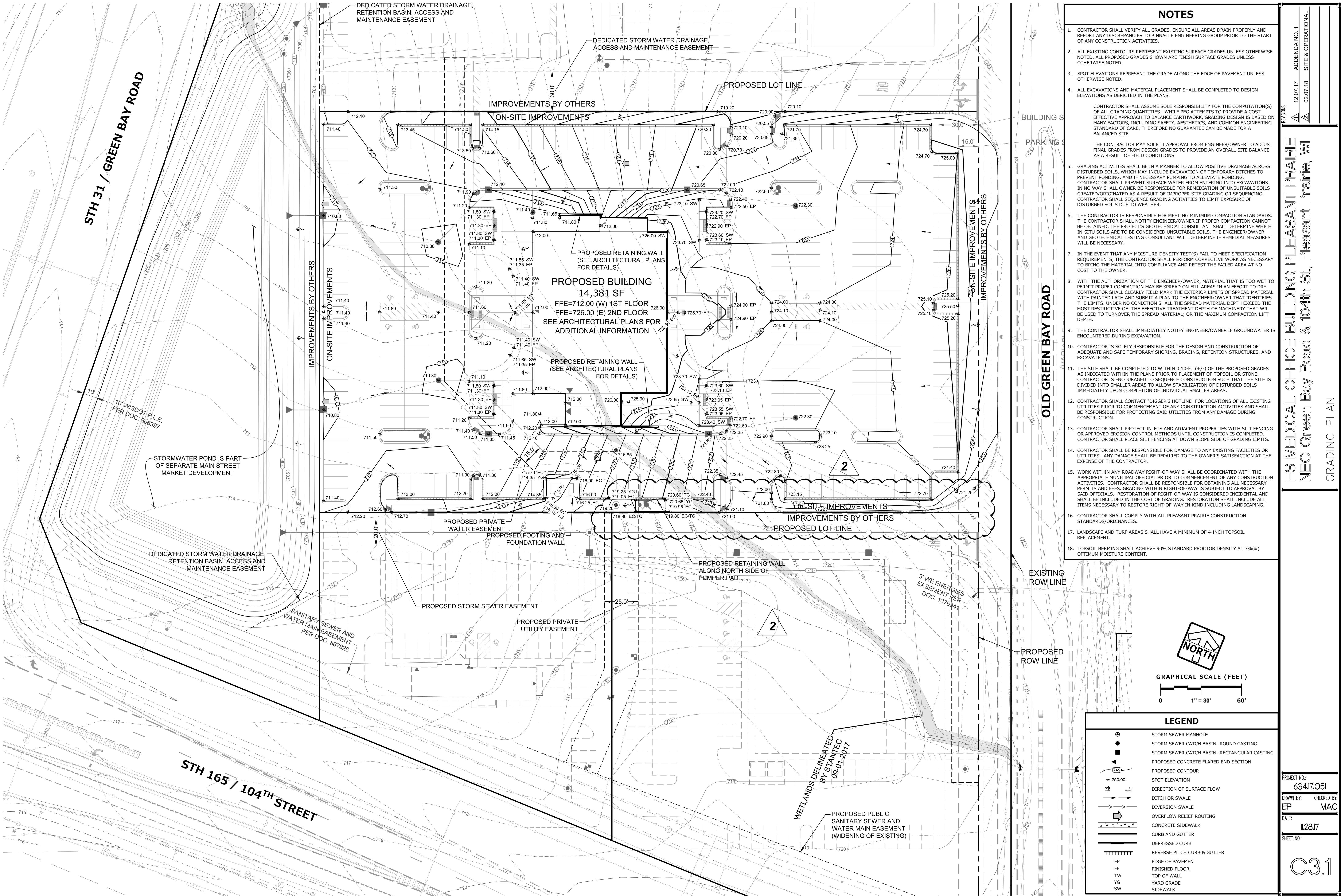
SITE DATA TABLE	
TOTAL SITE AREA:	3.36 AC (146,422 S.F.)
PAVEMENT AREA:	2.45 AC (106,580 S.F.)
BUILDING AREA:	0.33 AC (14,381 S.F.)
LANDSCAPE AREA:	0.58 AC (25,461 S.F.)
PARKING STALLS:	244 STALLS
EXISTING ZONING:	COMMUNITY COMMERCIAL
PROPOSED ZONING:	P.U.D. (PLANNED UNIT DEVELOPMENT)

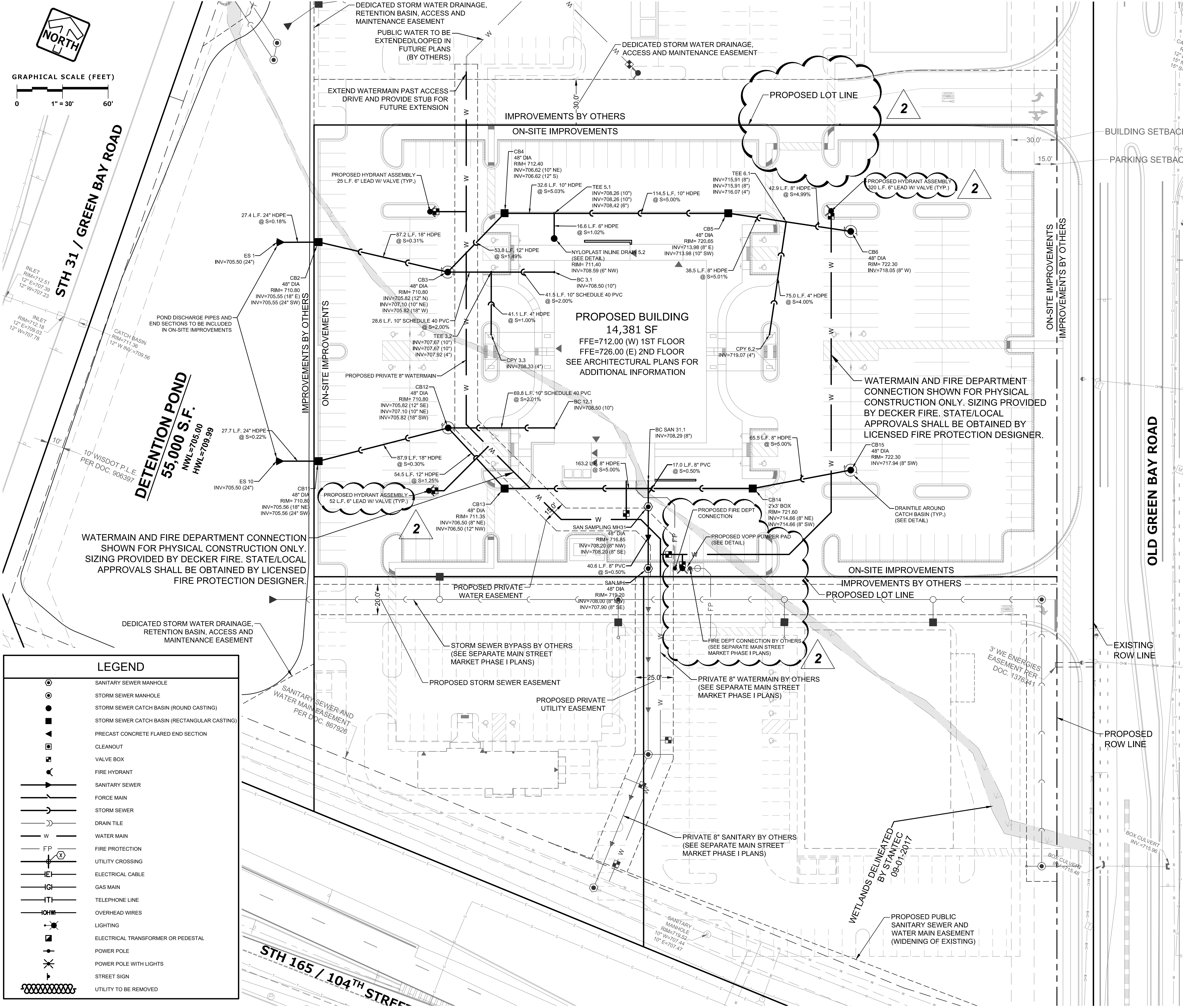
REVISIONS:
A 12.07.17 ADDENDUM NO. 1
A 02.07.18 SITE & OPERATIONAL

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
SITE DIMENSIONAL & PAVING PLAN

PLANNING DESIGN/DELIVER
WWW.PINNACLEENGINEERINGGROUP.COM
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MAINTAINING NATURAL RESOURCES & LANDSCAPES

PROJECT NO.:
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DATE: 11.28.17
SHEET NO.:
C2.1





- ### NOTES
- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
 - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
 - UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMM 82.
 - LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
 - CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
 - CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 - THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
 - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICES(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
 - STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443. STRENGTH CLASSIFICATIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

HEIGHT OF COVER (FEET):	0-2	2-3	3-6	6-15	15-25	25+
MINIMUM CONCRETE PIPE CLASSIFICATION:	IV	III	II	III	IV	ENGINEER TO SPECIFY

HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE "B", OR POLYVINYL CHLORIDE (PVC) CLASS 156 MEETING AASHTO M-278, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
 - INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 1'-8" X 2'-6" MAXIMUM OPENING. FRAME & GRATE SHALL BE NEENAH R-1580 WITH TYPE G GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NEENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPES) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
 - BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS". MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
 - WATER MAIN SPECIFICATIONS -
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON G.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE ANWYA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 25-INCHES.
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATIONS" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
 - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
 - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
 - TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDINGS.
 - SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

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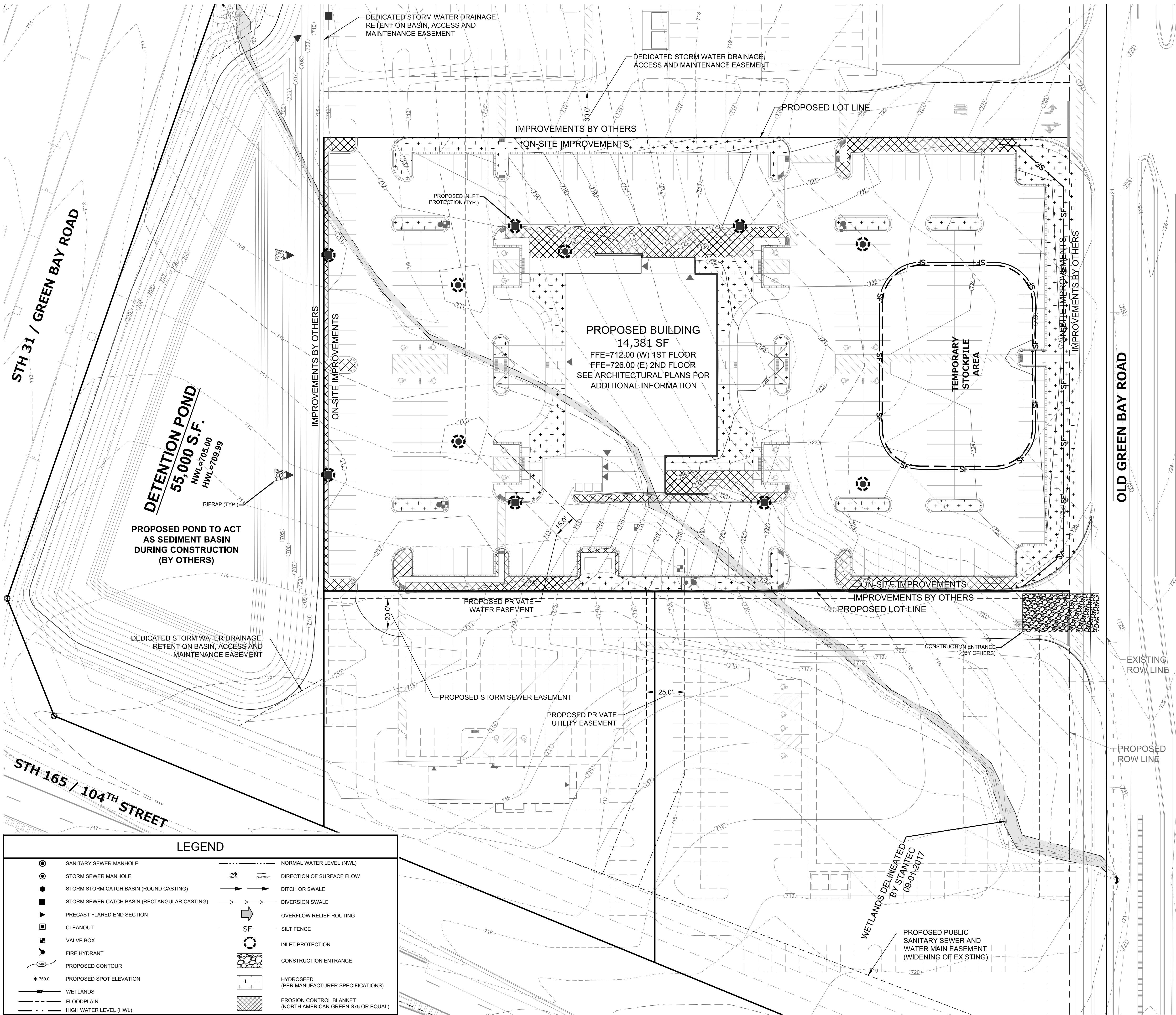
FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

UTILITY PLAN

PINNACLE ENGINEERING GROUP

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A	12.07.17	ADDENDUM NO. 1
A	02.07.18	SITE & OPERATIONAL

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

SITE STABILIZATION PLAN

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PINNACLE ENGINEERING GROUP
MAINTAINING NATURE'S RESOURCES SERVING

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1.0 POTENTIAL POLLUTANT SOURCES

OVER THE PROPOSED ACTIVITY ON THE PROJECT SITE. THE PRIMARY POTENTIAL POLLUTANT SOURCE ASSOCIATED WITH THIS CONSTRUCTION PROJECT IS SOIL EROSION AND TRANSPORTATION. REFER TO SECTION 4 OF THIS PLAN ADDITIONAL POTENTIAL SOURCES OF POLLUTION MAY INCLUDE: FUEL TANKS, WASTE CONTAINERS, OIL OR OTHER PETROLEUM PRODUCTS, DETERGENTS, PAINTS, CONSTRUCTION DEBRIS, SANITARY STATIONS, FERTILIZERS, AND DUST; REFER TO SECTION 5 OF THIS PLAN.

2.0 EROSION AND SEDIMENT CONTROL IMPLEMENTATION

THE FOLLOWING ARE DESCRIPTIONS OF THE EROSION AND SEDIMENT CONTROL PRACTICES THAT SHALL BE IMPLEMENTED DURING CONSTRUCTION OF THIS PROJECT. IN ADDITION TO THESE MEASURES, CONTRACTOR SHALL DISTURB ONLY AREAS NECESSARY TO COMPLETE THE CONSTRUCTION PROJECT. ALL PRACTICES SHALL BE CONDUCTED IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES (BMP).

2.1 CONSTRUCTION AND EROSION CONTROL SEQUENCING

CONSTRUCTION SEQUENCING WILL BE UTILIZED AS A MEANS OF CONTROLLING EROSION AND LIMITING SEDIMENT TRANSPORT. SEQUENCING AS LISTED BELOW IS GENERAL IN NATURE AND MAY VARY DEPENDING ON WEATHER CONDITIONS AND/OR PHASING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED SITE SEQUENCING PLAN TO OWNER FOR APPROVAL AT LEAST 5 BUSINESS DAYS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 6 AS NEEDED TO COMPLETE CONSTRUCTION ONLY IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL REQUIREMENTS.

1. INSTALL TEMPORARY CONSTRUCTION ENTRANCES, INLET PROTECTION ON EXISTING STORM SEWER AND CULVERT INLET LOCATIONS, AND PERIMETER SILT FENCING.
2. INSTALL SILT FENCING ALONG THE PERIMETER OF PROPOSED TOPSOIL STOCKPILE LOCATIONS. THE FIRST TOPSOIL DEPOSITED WITHIN THE STOCKPILE LIMITS SHALL BE PLACED TO CREATE TEMPORARY BERMING ALONG THE SILT FENCE TO PREVENT DIRECT STORMWATER RUNOFF AGAINST SILT FENCING. CONTRACTOR SHALL LIMIT LAND DISTURBING ACTIVITIES ASSOCIATED WITH TEMPORARY BERMING TO A MINIMUM.
3. STRIP TOPSOIL WITHIN THE LIMITS OF THE SEDIMENT TRAPS THAT WILL BE USED FOR TEMPORARY SEDIMENT CONTROL. STRIPPED TOPSOIL SHALL BE PLACED TO CONSTRUCT DIVERSION BERMING OR PLACED WITHIN THE STOCKPILE LIMITS.
4. STRIP TOPSOIL ALONG THE REMAINDER OF DIVERSION BERMING AND IMMEDIATELY PLACE TOPSOIL TO CREATE THE BERMING. MASS TOPSOIL STRIPPING SHALL NOT OCCUR UNTIL ALL DOWNSTREAM SEDIMENT CONTROLS ARE IN PLACE.
5. CONDUCT ROUGH GRADING OPERATIONS AND UTILITY PIPING INSTALLATION. DRAIN TILE SHALL NOT BE INSTALLED UNTIL UPLAND AREAS CONTRIBUTING STORMWATER RUNOFF ARE STABILIZED. DITCH CHECKS SHALL BE INSTALLED WITHIN DRAINAGE DITCHES IMMEDIATELY FOLLOWING CREATION OF DITCHES AND INLET PROTECTION SHALL BE INSTALLED TO PROTECT ANY STORM SEWER OR CULVERTS THAT WILL FUNCTION DURING CONSTRUCTION.
6. FINE GRADE SUB-GRADE SOLS WITHIN PAVEMENT AND BUILDING LIMITS. PLACE STONE BASE MATERIAL AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
7. FINE GRADE REMAINING DISTURBED AREAS. PLACE SALVAGED TOPSOIL, EROSION BLANKETS/MATTING, AND SEED/MULCH AS SOON AS POSSIBLE FOLLOWING COMPLETION OF FINE GRADING EFFORTS.
8. EROSION CONTROLS SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR 70% VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF SILT FENCE, TEMPORARY FENCING/PROTECTION, DITCH CHECKS, AND OTHER TEMPORARY CONTROLS, AND RESTORATION PRACTICES AS NECESSARY, TO THE SATISFACTION OF THE OWNER.

2.2 STABILIZATION PRACTICES

THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE RECORDED ON THE STABILIZATION SCHEDULE FOR MAJOR GRADING ACTIVITIES.

STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED UNLESS:

THE INITIATION OF STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECEDDED BY SNOW COVER. IN THAT EVENT, STABILIZATION MEASURE SHALL BE INITIATED AS SOON AS PRACTICABLE.

CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITIES CEASED. (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. SEE THE SOIL PROTECTION CHART PRESENTED IN THE CONSTRUCTION DOCUMENTS FOR RATES OF PERMANENT AND TEMPORARY VEGETATION.

STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES.

PERMANENT SEEDINGS: IN ACCORDANCE WITH APPROVED LANDSCAPING PLAN
TEMPORARY SEEDING MAY CONSIST OF SPRING CATS (100LS/ACRE) AND/OR WHEAT OR CEREAL RYE (150LS/ACRE)
HYDROMULCHING WITH A TACKIFIER
GEOTEXTILE EROSION MATTING
SODDING

2.3 STRUCTURAL PRACTICES

THE FOLLOWING ARE DESCRIPTIONS OF STRUCTURAL PRACTICES TO BE IMPLEMENTED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS, OR OTHERWISE LIMIT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE INCLUDING THE PROPOSED AND EXISTING WETLAND AREAS.

SUCH PRACTICES COULD INCLUDE SILT FENCE, PROTECTION FENCE, CONSTRUCTION ENTRANCE, DITCH CHECK, EROSION CONTROL MATTING, DIVERSION BERMS/WALE, SEDIMENT TRAP, LEVEL SPREADER, INLET PROTECTION, OUTLET PROTECTION, AND TEMPORARY OR PERMANENT SEDIMENT BASIN. THE FOLLOWING STRUCTURAL PRACTICES ARE TO BE UTILIZED DURING THIS PROJECT.

SILT FENCE SHALL BE PLACED DOWN SLOPE OF DISTURBED AREAS OF THE CONSTRUCTION SITE AND AROUND THE PERIMETER OF THE TOPSOIL STOCKPILE. THIS INCLUDES PROTECTION OF EXISTING WETLAND AREAS TO BE MAINTAINED. SILT FENCE MAY ALSO BE USED AS A TEMPORARY CONTROL DEVICE WHERE SEDIMENTATION RUNOFF IS DISCOVERED.

CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO REDUCE SOIL EROSION POLLUTANTS FROM LEAVING THE SITE DURING CONSTRUCTION ACTIVITIES. IF THE CRUSHED STONE DOES NOT ADEQUATELY REMOVE MUD FROM VEHICLE TIRES, THEY SHALL BE HOSED OFF BEFORE ENTERING A PAVED ROADWAY. ANY SOIL DEPOSITED ON THE PUBLIC PAVED ROAD WAY SHALL BE REMOVED IMMEDIATELY.

DITCH CHECK (STRAW BALES) SHALL BE INSTALLED IN DRAINAGE CHANNELS AS NEEDED.

EROSION CONTROL MATTING SHALL BE PLACED ON AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 3H:1V. BEFORE VEGETATION IS ESTABLISHED.

DIVERSION BERMS/WALE SHALL BE CONSTRUCTED TO DIVERT RUNOFF AROUND THE SITE AND TO DIVERT RUNOFF FROM THE DISTURBED AREA TO A SEDIMENT TRAP OR OTHER CONTROL. BERMS/WALES SHALL BE STABILIZED WITH EQUIPMENT TRACKING AND TEMPORARY SEEDING.

SEDIMENT TRAPS/BASIN SHALL BE CONSTRUCTED TO COLLECT RUNOFF AND RUNOFF FROM SITE DIVERSION BERMS/WALES.

INLET PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE INLETS TO REDUCE SEDIMENT WITHIN STORM SEWER CONVEYANCE FEATURES.

OUTLET SCOUR PROTECTION SHALL BE INSTALLED AT STORMWATER DRAINAGE OUTLETS TO DIFFUSE FLOWS.

3.0 ADDITIONAL PRACTICES

ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OR SEDIMENT. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN TO PREVENT BLOWING DEBRIS.

DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:

COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.

ROUGHENING (EQUIPMENT TRACKING) THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.

FREQUENT WATERING OF EXCAVATION AND FILL AREAS.

PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.

STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.

4.0 EROSION AND SEDIMENT STRUCTURAL PRACTICE MAINTENANCE

THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.

SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.

DITCH CHECK (STRAW BALES) - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.

EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.

DIVERSION BERMS/WALE - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.

SEDIMENT TRAP - REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT WHEN IT HAS REACHED THE SEDIMENT STORAGE ELEVATION.

INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE ONE-HALF FULL OF SEDIMENT.

OUTLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC, TURF REINFORCEMENT MATTING AND/OR STONE WHEN CONTROL MEASURE IS ONE-HALF FULL OF SEDIMENT.

SEDIMENT BASIN - AT THE END OF CONSTRUCTION, CONTRACTOR SHALL REMOVE AND DISPOSE OF THE ACCUMULATED SEDIMENT AND RESTORE BASIN AREA TO INTENDED POST-CONSTRUCTION DESIGN GRADES.

5.0 INSPECTION

INSPECTIONS SHALL BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS ONE-HALF INCH OR GREATER OR EQUIVALENT SNOWFALL, OR AT A MINIMUM ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTIONS SHALL BE UNDERTAKEN BY QUALIFIED PERSONNEL PROVIDED BY THE CONTRACTOR, AND SHALL INCLUDE: DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE. A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT SHALL BE COMPLETED AND ADDED TO THE SWPPP. RAINFALL SHALL BE RECORDED ON THE SWPPP RAINFALL LOG. CONTRACTOR SHALL IMMEDIATELY ARRANGE FOR REPAIR OR REPLACEMENT OF ANY DAMAGED OR DEFICIENT CONTROL MEASURES OBSERVED DURING THE INSPECTION.

QUALIFIED PERSONNEL MEANS A PERSON KNOWLEDGEABLE IN THE PRINCIPLES AND PRACTICES OF EROSION AND SEDIMENT CONTROL MEASURES, SUCH AS A LICENSED PROFESSIONAL ENGINEER, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL, A CERTIFIED EROSION SEDIMENT OR STORMWATER INSPECTOR, OR OTHER TRAINED INDIVIDUAL.

6.0 SPILL PREVENTION

6.1 GENERAL MATERIAL MANAGEMENT PRACTICES

THE GOOD HOUSEKEEPING PRACTICES LISTED BELOW SHALL BE FOLLOWED THROUGHOUT THE CONSTRUCTION PROJECT.

1. CONTRACTOR SHALL STORE ONLY ENOUGH PRODUCTS REQUIRED TO COMPLETE THIS PROJECT.
2. ALL MATERIAL SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR ORIGINAL CONTAINERS CONTAINING MANUFACTURER'S LABEL.
3. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
4. MATERIALS REQUIRED TO HAVE A MATERIAL SAFETY DATA SHEET (MSDS) SHALL HAVE A COPY STORED IN THE PROJECT'S MSDS DATABASE.

6.2 SPILL CONTROL PRACTICES

THE PRACTICES LISTED BELOW SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

1. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE MAINTAINED ONSITE.
2. IMMEDIATELY UPON DISCOVERY, ALL SPILLS SHALL BE CLEANED UP ACCORDING TO THE MANUFACTURERS' RECOMMENDED METHODS.
3. PERSONNEL CLEANING UP A SPILL SHALL USE PERSONAL PROTECTIVE EQUIPMENT.
4. IMMEDIATELY UPON DISCOVERY, SPILLS OF TOXIC OR HAZARDOUS MATERIALS SHALL BE REPORTED TO THE OWNER AND GENERAL CONTRACTOR.
5. NOTIFICATION AND REPORTING TO THE APPROPRIATE FEDERAL, STATE, AND LOCAL GOVERNMENT AGENCIES SHALL BE MADE AS REQUIRED.

GENERAL INFORMATION:

THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN DEVELOPED TO FULFILL ONE OF THE REQUIREMENTS OF THE GENERAL ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (WISCONSIN POLLUTION DISCHARGE ELIMINATION SYSTEM "WPDES" PERMIT NO. WI-507631-A) FOR THE DISCHARGE OF STORMWATER ASSOCIATED WITH CONSTRUCTION PROJECTS DISTURBING ONE ACRE OR MORE. THE OWNER AND CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF THE WPDES FOR ALL SUCH CONSTRUCTION PROJECTS. THE STORMWATER DISCHARGES ASSOCIATED WITH THE CONSTRUCTION ACTIVITY FROM THIS SITE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE PERMITS.

THE EXECUTED OWNER CERTIFICATION AND THE CONTRACTOR CERTIFICATIONS SHALL BE KEPT ONSITE WITH THE APPROVED PLANS.

SWPPP AVAILABILITY:

THE OWNER SHALL RETAIN A COPY OF THE SWPPP AT THE CONSTRUCTION SITE FROM THE DATE OF THE PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

KEEPING PLANS CURRENT:

THE CONTRACTOR SHALL AMEND THE PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY CONTROLLING POLLUTANTS IN STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE ACTIVITY. IN ADDITION, THE PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT A MEASURE OF THE PLAN. AMENDMENTS TO THE PLAN MAY BE REQUIRED BY THE MUNICIPALITY, OWNER, OR OTHER REVIEWING AGENCY. COPIES OF THE AMENDMENTS SHALL BE KEPT ONSITE AS PART OF THE SWPPP.

RETENTION OF RECORDS:

THE OWNER SHALL RETAIN COPIES OF THIS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT, AND RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT, FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE PERMIT COVERAGE EXPIRES OR IS TERMINATED. THIS PERIOD MAY BE EXTENDED BY THE REQUEST OF THE AGENCY AT ANY TIME. IN ADDITION, THE OWNER SHALL RETAIN A COPY OF THE PLAN REQUIRED BY THIS PERMIT AT THE CONSTRUCTION SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

A NOTICE OF INTENT (NOI) APPLICATION MUST BE COMPLETED AND INCORPORATED INTO THE SWPPP.

WPDES NOTICE OF TERMINATION GUIDANCE:

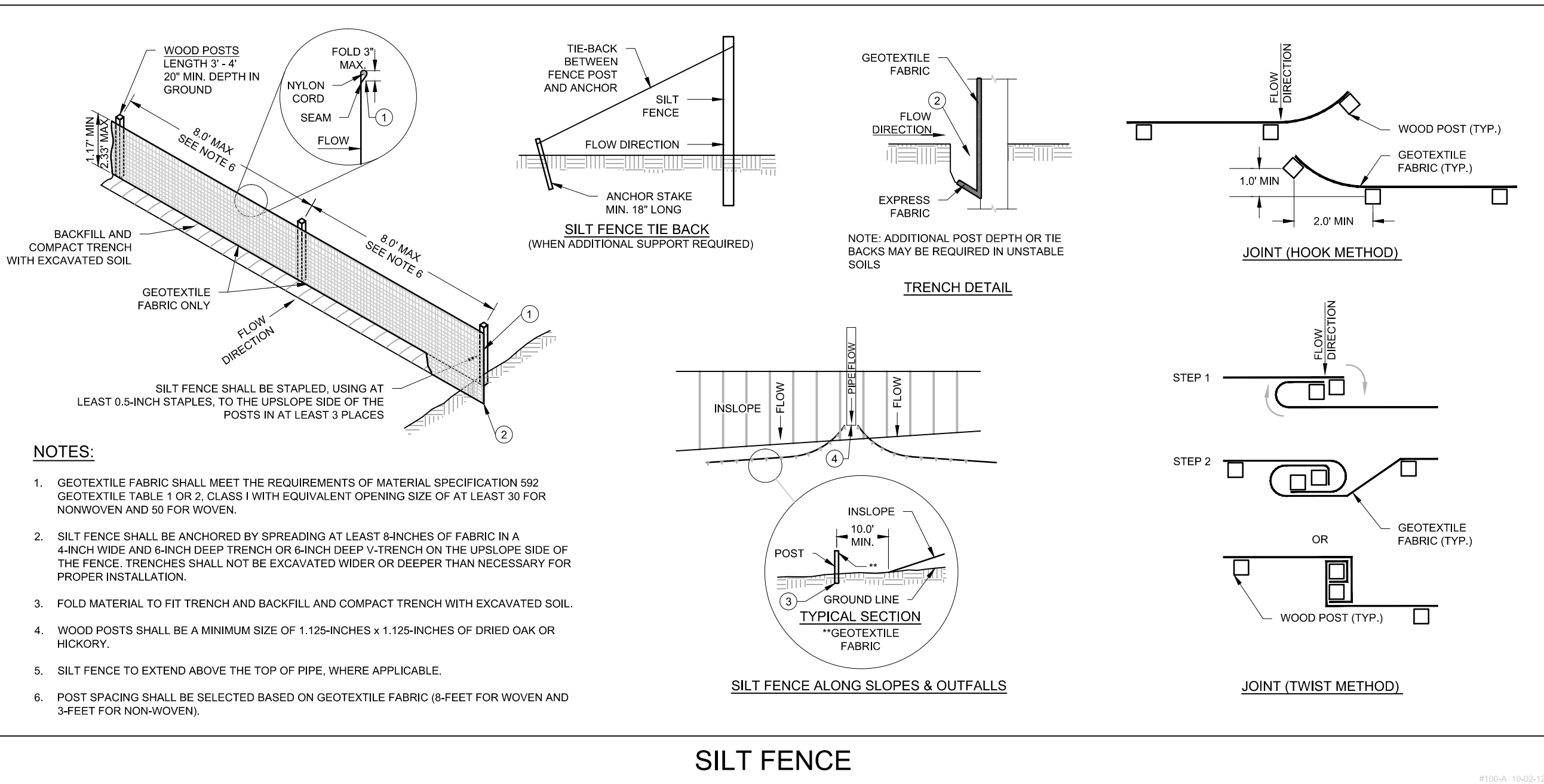
WHEN A SITE HAS BEEN FINALLY STABILIZED AND ALL STORMWATER DISCHARGES FROM CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT ARE ELIMINATED, THE OWNER OF THE FACILITY MUST SUBMIT A COMPLETED NOTICE OF TERMINATION THAT IS SIGNED IN ACCORDANCE WITH THE PERMIT. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION TO OWNER FOR EXECUTION PRIOR TO THEIR FINAL PAY APPLICATION REQUEST.

CONTROL MEASURE GROUP	CONTROL MEASURE	CONTROL MEASURE CHARACTERISTICS
VEGETATIVE SOIL COVER	TEMPORARY SEEDING	PROVIDES QUICK TEMPORARY COVER TO CONTROL EROSION WHEN PERMANENT SEEDING IS NOT DESIRED OR TIME OF YEAR IS INAPPROPRIATE.
	PERMANENT SEEDING	PROVIDES PERMANENT VEGETATIVE COVER TO CONTROL EROSION, FILTERS SEDIMENT FROM WATER, MAY BE PART OF FINAL LANDSCAPE PLAN.
NON VEGETATIVE SOIL COVER	AGGREGATE COVER	PROVIDES TEMPORARY COVER ON ROADS AND PARKING LOTS AND AREAS WHERE VEGETATION CANNOT BE ESTABLISHED, PREVENTS MUD FROM BEING PICKED UP AND TRANSPORTED OFF-SITE.
	PAVING	PROVIDES PERMANENT COVER ON PARKING LOTS AND ROADS OR OTHER AREAS WHERE VEGETATION CANNOT BE ESTABLISHED.
DIVERSIONS	DIVERSION BERM / SWALE	DIVERTS RUNOFF TO A SEDIMENT TRAP OR OTHER CONTROL.
ENCLOSED DRAINAGE	STORM SEWER	CONVEYS SEDIMENT LADEN WATER TO A SEDIMENT BASIN.
OUTLETS	APRON ENDWALL OR RIPRAP	PROTECTS DOWNSTREAM CHANNEL FROM HIGH VELOCITY OF FLOW DISCHARGING FROM STRUCTURE.
SEDIMENT BASINS	TEMPORARY SEDIMENT TRAP	CONSTRUCTED TO REMOVE SILTATION FROM RUNOFF FROM SITE DIVERSION BERMS/WALES AND IN OVERLAND FLOOD ROUTE. CAN BE CONVERTED TO PERMANENT SEDIMENT BASIN.
	SILT FENCE	PLACED DOWN SLOPE OF DISTURBED AREA TO KEEP RUNOFF CONTAINED ON-SITE.
	INLET PROTECTION	INSTALLED IN OPEN GRATE STRUCTURES TO COLLECT SEDIMENT.
	DITCH CHECK	PLACED IN DRAINAGE CHANNELS TO FILTER SEDIMENT FROM RUNOFF.
	CONSTRUCTION ENTRANCE	REDUCES SOIL EROSION POLLUTANTS BEING TRANSPORTED OFF-SITE.
MUD AND DUST CONTROL	STREET SWEEPING	REDUCES POLLUTANTS TRACKED FROM CONSTRUCTION SITE.
	DUST CONTROL	PREVENTS DUST FROM LEAVING CONSTRUCTION SITE.

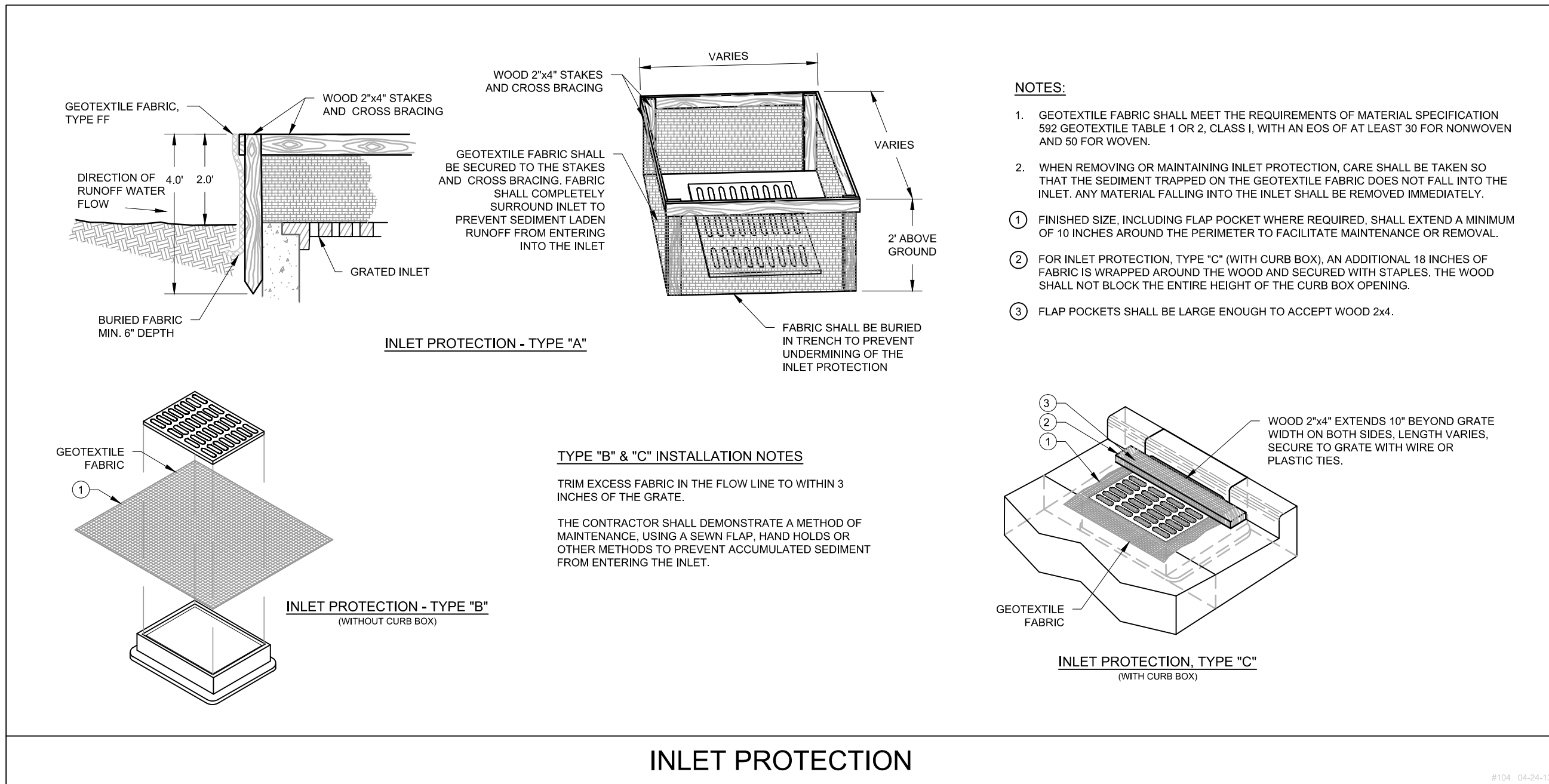
STABILIZATION EFFECTIVENESS (TIME OF YEAR)

STABILIZATION TYPE	STABILIZATION UTILIZATION PERIODS											
	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
PERMANENT SEEDING			*	*	*	*	*	*	*	*	*	*
DORMANT SEEDING	*											*
TEMPORARY SEEDING			*	*	*	*	*	*	*	*	*	*
SODDING			*	*	*	*	*	*	*	*	*	*

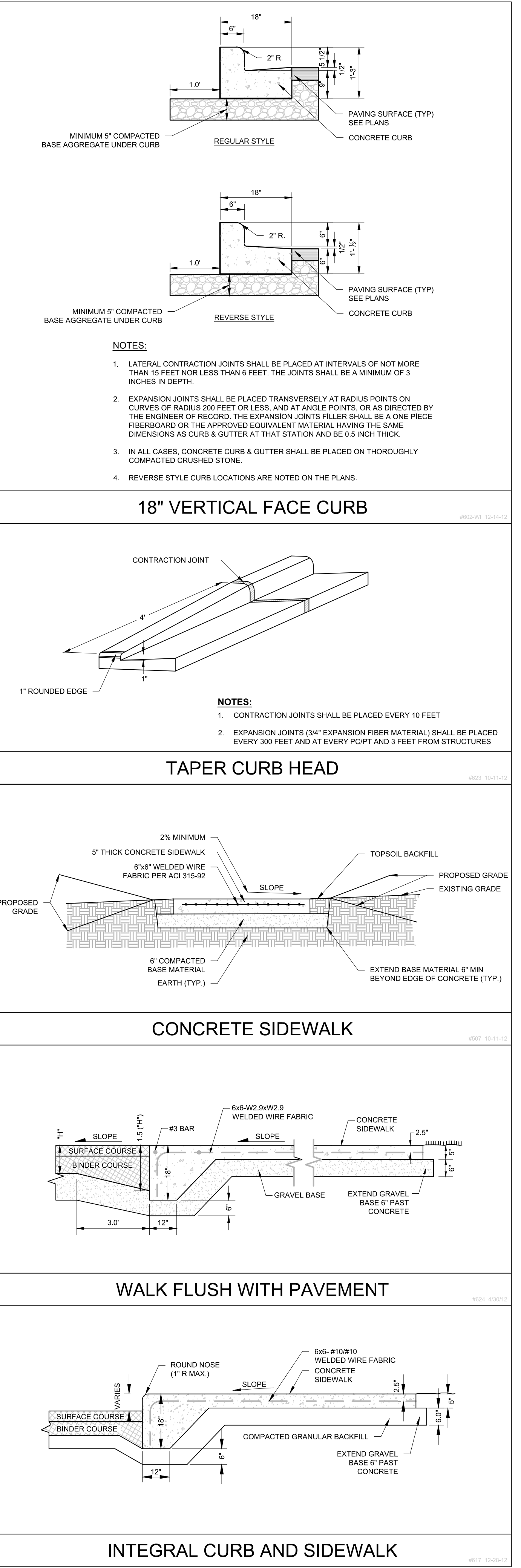
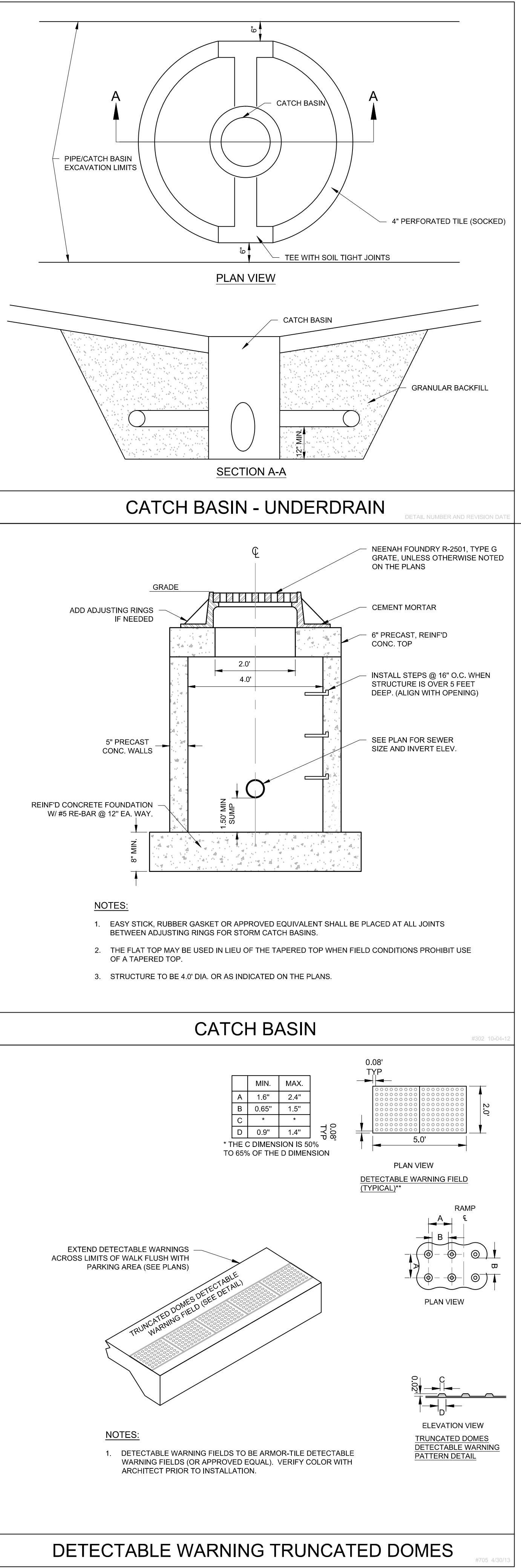
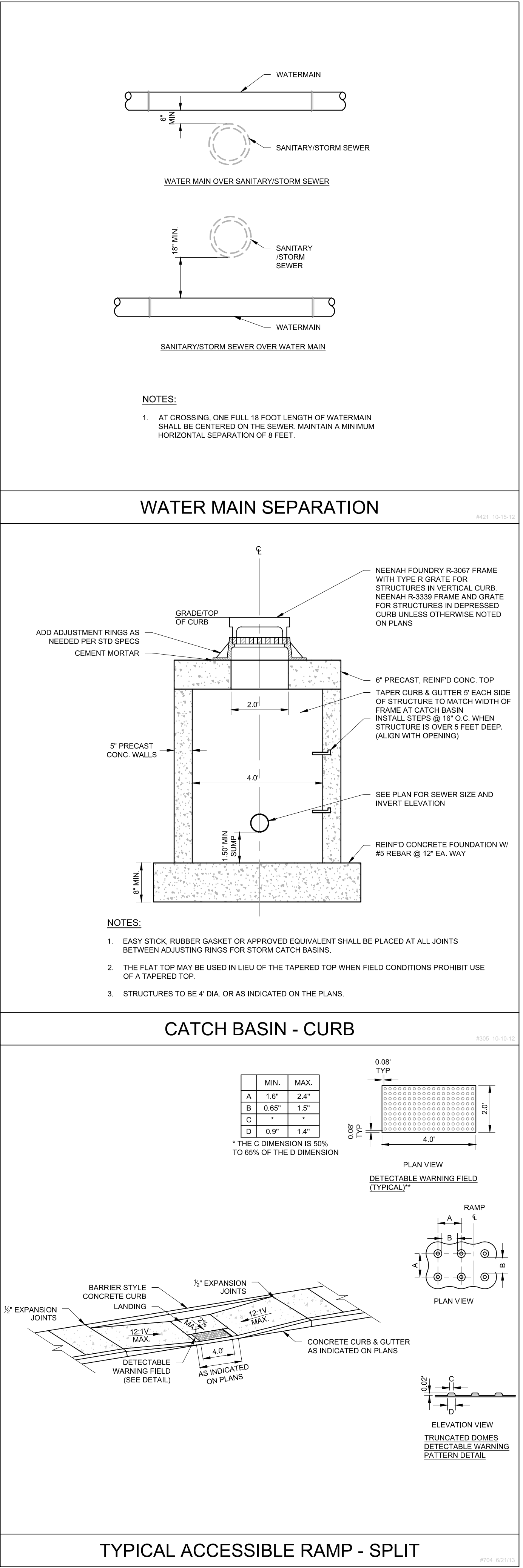
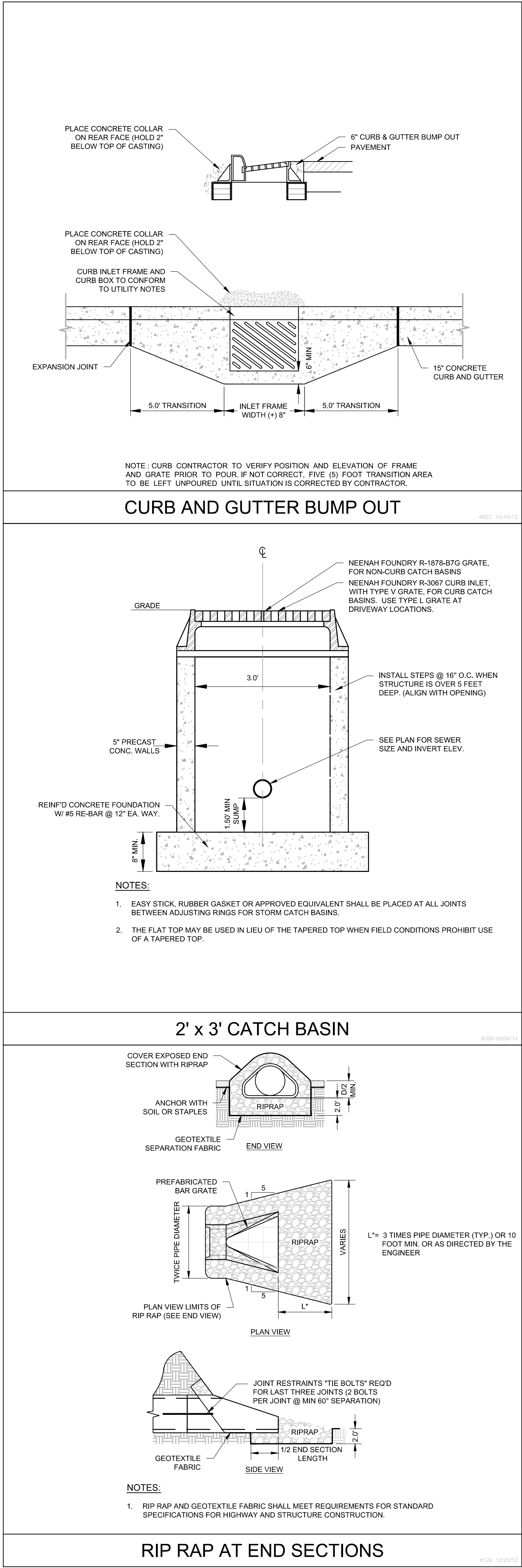
- A. KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.
B. KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE.
C. SPRING CATS 100 LBS/ACRE.
D. WHEAT OR CEREAL RYE 150 LBS/ACRE.
E. SOD.
F. STRAW MULCH 2 TONS/ACRE.
* IRRIGATION/WATERING REQUIRED TO SUPPORT ESTABLISHMENT AS NEEDED.



SILT FENCE



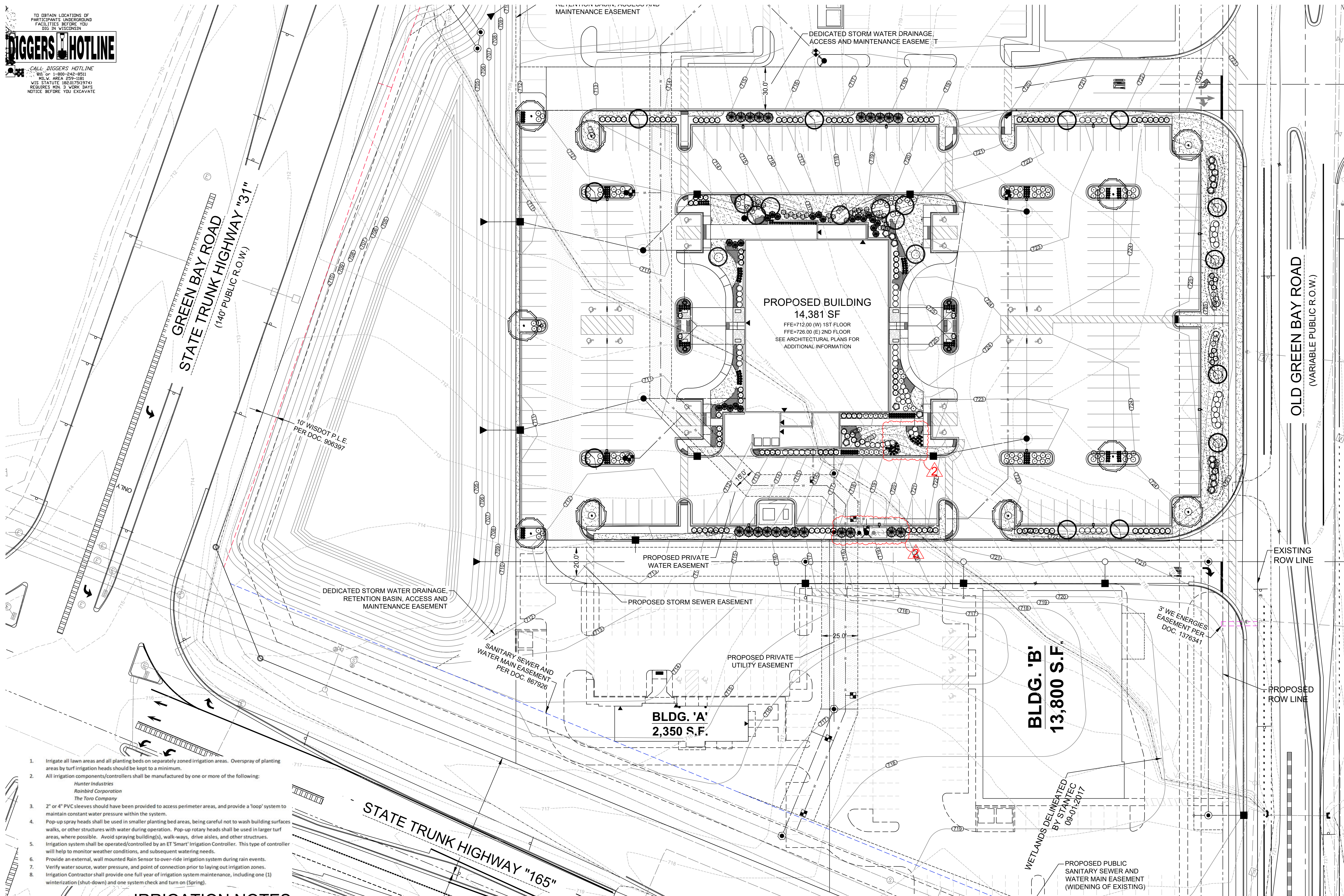
INLET PROTECTION



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

CALL DIGGER'S HOTLINE
800 or 1-800-248-8211
MILWAUKEE AREA 259-1181
WIS. STATUTE 186.0175(9)749
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



1. Irrigate all lawn areas and all planting beds on separately zoned irrigation areas. Overspray of planting areas by turf irrigation heads should be kept to a minimum.
2. All irrigation components/controllers shall be manufactured by one or more of the following:
Hunter Industries
Rainbird Corporation
The Toro Company
3. 2" or 4" PVC sleeves should have been provided to access perimeter areas, and provide a 'loop' system to maintain constant water pressure within the system.
4. Pop-up spray heads shall be used in smaller planting bed areas, being careful not to wash building surfaces, walks, or other structures with water during operation. Pop-up rotary heads shall be used in larger turf areas, where possible. Avoid spraying building(s), walk-ways, drive aisles, and other structures.
5. Irrigation system shall be operated/controlled by an ET 'Smart' Irrigation Controller. This type of controller will help to monitor weather conditions, and subsequent watering needs.
6. Provide an external, wall mounted Rain Sensor to over-ride irrigation system during rain events.
7. Verify water source, water pressure, and point of connection prior to laying out irrigation zones.
8. Irrigation Contractor shall provide one full year of irrigation system maintenance, including one (1) winterization (shut-down) and one system check and turn on (Spring).

IRRIGATION NOTES



SITE LOCATION PLAN

Scale: 1" = 30'0"

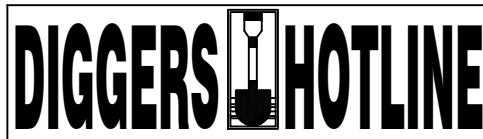
FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
SITE LOCATION LANDSCAPE PLAN

P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262 639 9733
david@wdaheller.com
www.wdaheller.com

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

PROJECT NO: 634.17.051
DRAWN BY: PCA CHECKED BY: WDH
DATE: 02.07.18
SHEET NO:

L1.0



TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS' HOTLINE
811 or 1-800-242-8511
MILWAUKEE AREA 259-1181
WIS. STATUTE: 90.01(20)9740
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

SHADE TREES (DECIDUOUS)

ARM Armstrong Red Maple
ABM Autumn Blaze Maple
SHL Skyline Honeylocust
AGM Autumn Gold Maidenhair
VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)

ABS Autumn Brilliance Serviceberry
TCH Thornless Cockspur Hawthorn
JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

HCJ Hetzi Columnar Juniper (upright)
FVJ Fairview Upright Juniper (upright)

EVERGREEN SHRUBS

SGJ Sea Green Juniper
KCPJ Kallay Compact Pfitzer Juniper
BuJ Buffalo Juniper

DECIDUOUS SHRUBS

HC Peking (Hedge) Cotoneaster
IH Incredible Hydrangea
UH Unique Hydrangea
GLS Gro Low Fragrant Sumac
KOSR Knock Out Shrub Rose
PPSR Pink Pavement Series Rose
NFS Neon Flash Spirea
MKL Miss Kim Dwarf Lilac
MV Mahican Viburnum

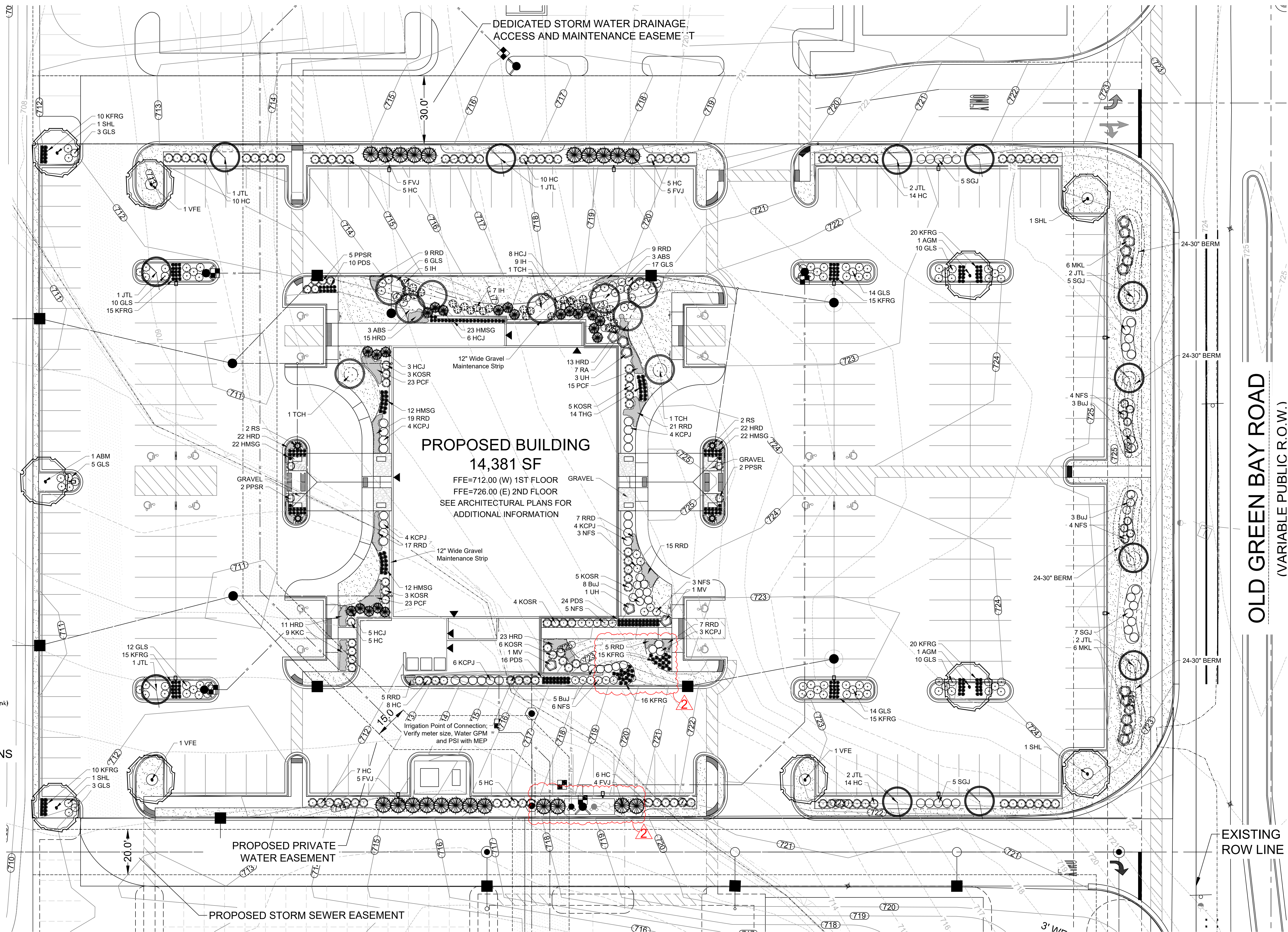
ORNAMENTAL GRASSES

KFRG Karl Foerster Feather Reed Grass
THG Tufted Hair Grass
HMSG Heavy Metal Switch Grass
PDS Prairie Dropseed

HERBACEOUS PERENNIALS

RA Rhineland Astilbe (Pink)
PCF Magnus Purple Coneflower
HRD Happy Returns Daylily
RRD Rosy Returns Daylily
MDL Catherine Woodbury Daylily (Soft Pink)
MDL Hyperion Daylily (Lemon Yellow)
MDL Summer Wine Daylily (Maroon)
KKC Dwarf Catmint
RS Russian Sage

PLANT ABBREVIATIONS



OVERALL LANDSCAPE PLAN

Scale: 1" = 20'0"

12.07.17 ADDENDA NO. 1
2.07.18 SITE AND OPERATION SET

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
OVERALL LANDSCAPE PLAN

P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com

HELLER &
ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE

PROJECT NO.: 634.17.051
DRAWN BY: PCA
CHECKED BY: WDH
DATE: 02.17.18
SHEET NO.:

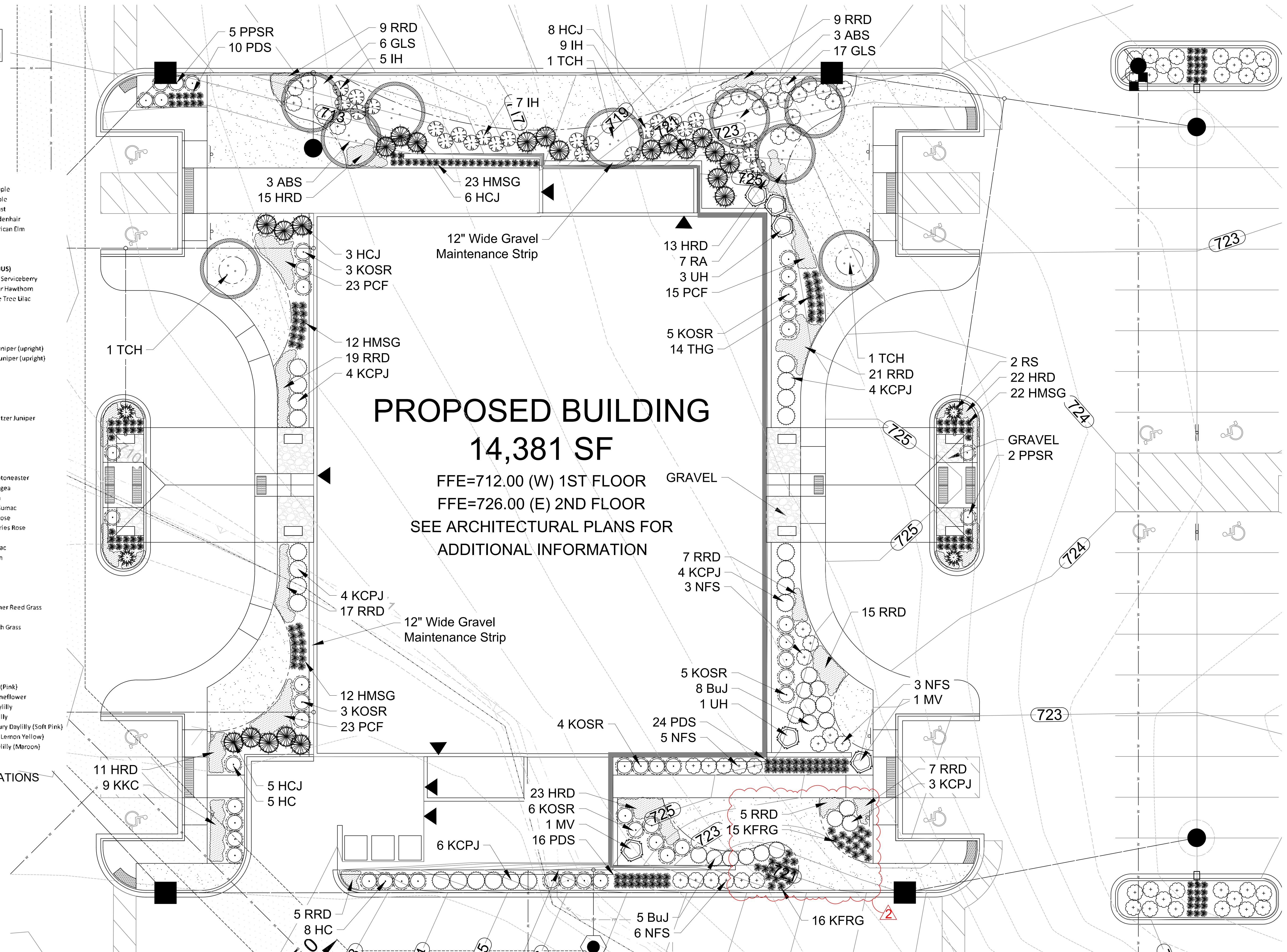
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TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES, BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

CALL DIGGER'S HOTLINE
811 or 1-800-242-8511
MILWAUKEE AREA 259-1181
WIS. STATUTE 195.01(2)(b) 1974
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

- SHADE TREES (DECIDUOUS)**
- ARM Armstrong Red Maple
 - ABM Autumn Blaze Maple
 - SHL Skyline Honeylocust
 - AGM Autumn Gold Maidenhair
 - VFE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - TCH Thornless Cockspear Hawthorn
 - JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
- HCJ Hetzel Columnar Juniper (upright)
 - FVJ Fairview Upright Juniper (upright)
- EVERGREEN SHRUBS**
- SGJ Sea Green Juniper
 - KCPJ Kallay Compact Pfritzer Juniper
 - BuJ Buffalo Juniper
- DECIDUOUS SHRUBS**
- HC Peking (Hedge) Cotoneaster
 - IH Incredible! Hydrangea
 - UH Unique Hydrangea
 - GLS Gro Low Fragrant Sumac
 - KOSR Knock Out Shrub Rose
 - PPSR Pink Pavement Series Rose
 - NFS Neon Flash Spirea
 - MLK Miss Kim Dwarf Lilac
 - MV Mohican Viburnum
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
 - THG Tufted Hair Grass
 - HMSG Heavy Metal Switch Grass
 - PDS Prairie Dropseed
- HERBACEOUS PERENNIALS**
- RA Rhineland Astilbe (Pink)
 - PCF Magnus Purple Coneflower
 - HRD Happy Returns Daylily
 - RRD Rosy Returns Daylily
 - MDL Catherine Woodbury Daylily (Soft Pink)
 - MDL Hyperion Daylily (Lemon Yellow)
 - MDL Summer Wine Daylily (Maroon)
 - KKC Dwarf Catmint
 - RS Russian Sage
- PLANT ABBREVIATIONS**



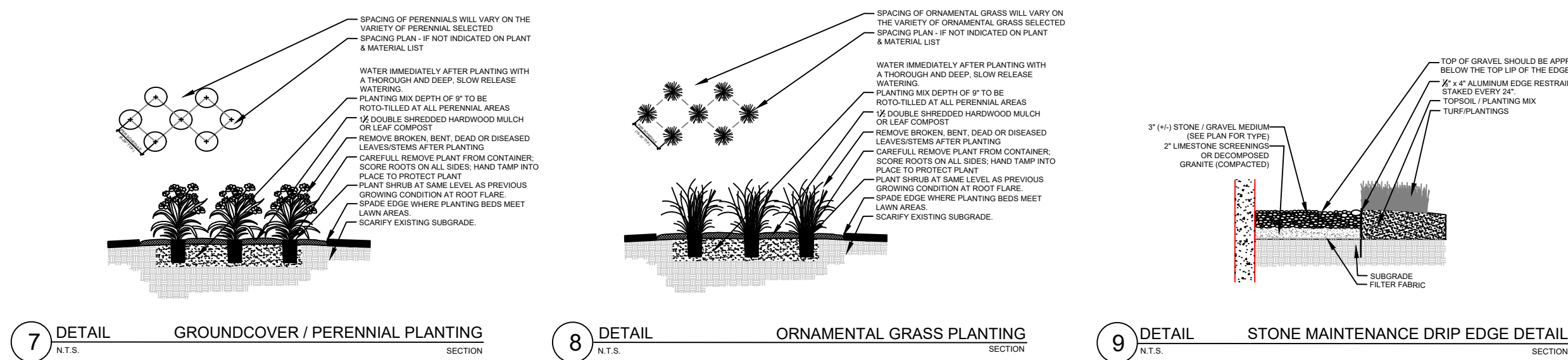
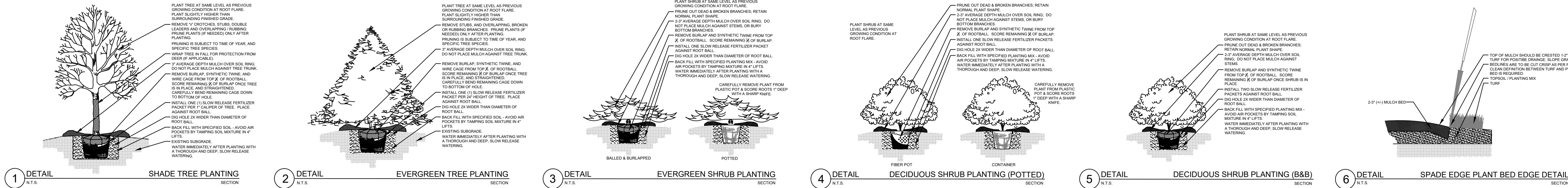
ENLARGED LANDSCAPE PLAN

Scale: 1" = 10'0"

TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
811 or 1-800-242-8511
M/W, AREA 259-1181
WIS. STATUTE, 18C.01(2C)9740
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



PLANTING & HARDSCAPE DETAILS

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to reject, in whole or in part, any plant material that is inferior, compromised, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top $\frac{1}{3}$ of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining $\frac{2}{3}$ of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is $\frac{2}{3}$ full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are $\frac{2}{3}$ full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:

Per 100 SF of bed area (Soil Amendment composition):
 $\frac{3}{4}$ CY Peat Moss or Mushroom Compost
 $\frac{3}{4}$ CY blended/pulverized Topsoil
 $\frac{1}{4}$ CY composted manure

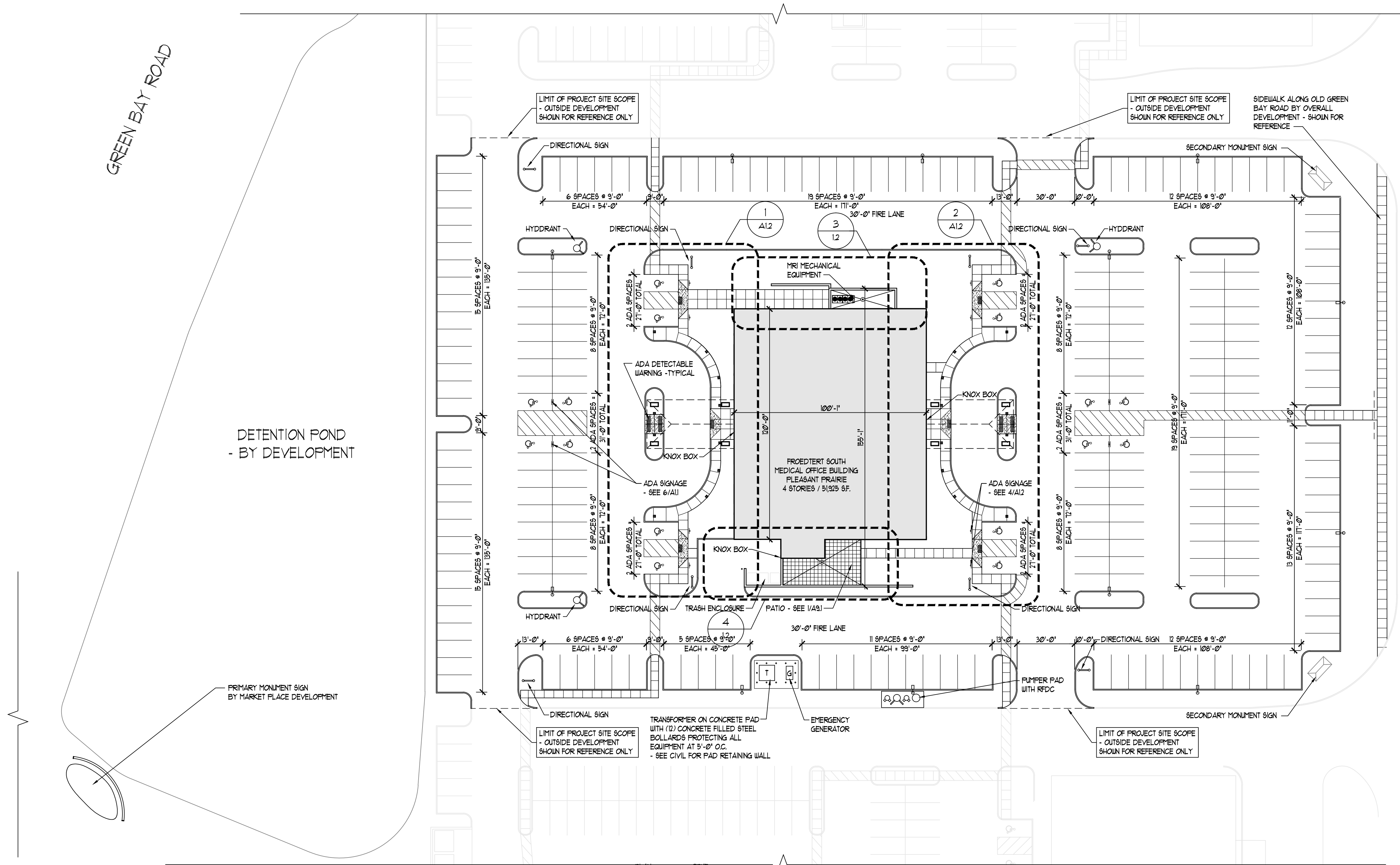
In roto-tilled beds only, also include in above mixture:
2 lbs Starter Fertilizer

- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing red canary grass is NOT acceptable as a mulch covering.
- An acceptable quality seed installation is defined as having:
No bare spots larger than one (1) square foot
No more than 10% of the total area with bare areas larger than one (1) square foot
A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

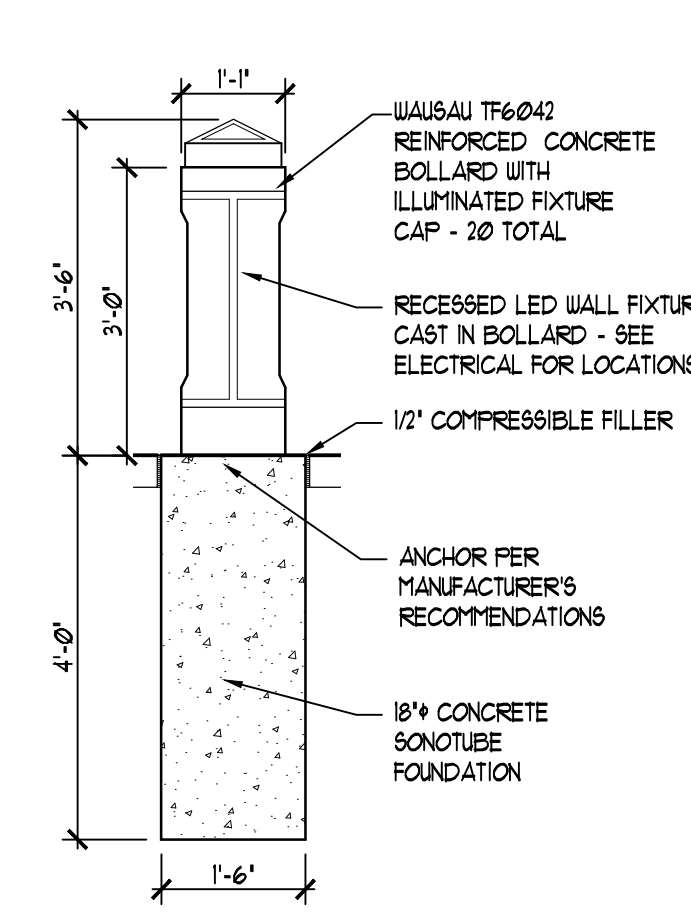
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ABM	1	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight center leader, full and even crown. Prune only after planting	
SBL	4	Gleditsia xtracornis 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight center leader, full and even crown. Prune only after planting	
AGM	2	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	2.5"	B&B	Straight center leader, full and even crown. Prune only after planting	
VFE	3	Viburnum acerifolium 'Valley Forge'	Valley Forge American Elm	2.5"	B&B	Straight center leader, full and even crown. Prune only after planting	
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
ORNAMENTAL TREES (DECIDUOUS)							
ABS	6	Amelanchier xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7.8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
TCH	3	Catalpa bignonioides 'Thermis'	Thornless Cigar Tree	7.8"	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
JTL	12	Juncus xulata 'Juncus'	Ivory Silk Japanese Tree Lilac	7.0"	B&B	Straight center leader, full and even crown. Prune only after planting	
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT SIZE	ROOT	SPECIFICATION / NOTES	PLANT SPACING
EVERGREEN TREES							
HJC	22	Juniperus chinensis 'Hetzl Columnar'	Hetzl Columnar Juniper (var. ght)	5'	B&B	Evenly shaped tree with branching to the ground	42'
FVJ	19	Juniperus scopulorum 'Faiview'	Faiview Upright Juniper (var. ght)	5'	B&B	Evenly shaped tree with branching to the ground	60'
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
EVERGREEN SHRUBS							
SGL	22	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub	54"
KCPJ	25	Juniperus chinensis 'Kallay'	Kallay Compact Pillar Juniper	#5	Cont.	Full rounded well branched shrub	48"
Bul	19	Juniperus sabiniana 'Buffalo'	Buffalo Juniper	#3	Cont.	Full rounded well branched shrub	42"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
DECIDUOUS SHRUBS							
HC	89	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	36"	B&B	Full, well rounded plant with moist rootball and healthy appearance	30"
IR	21	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	45"	Cont.	Full, well rounded plant, evenly shaped	48"
UH	4	Hydrangea serrata 'Uniqu'	Unique Hydrangea	36"	Cont.	Full, well rounded plant, evenly shaped	60"
GLS	104	Rhus glabra 'Glossy Low'	Glossy Low Fragrant Sumac	18"	Cont.	Full, well rounded plant, evenly shaped	42"
KOSR	26	Rosa 'Knock Out'	Knock Out Shrub Rose	18"	Cont.	Full, well rounded plant, evenly shaped	48"
PPSR	9	Rosa rugosa 'Pink Pavement'	Pink Pavement Spirea Rose	18"	Cont.	Full, well rounded plant, evenly shaped	42"
NFS	25	Spiraea xbumaldii 'Neon Flash'	Neon Flash Spirea	24"	Cont.	Full, well rounded plant, evenly shaped	60"
MKL	12	Syringa oblata 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rounded plant, evenly shaped	60"
MV	2	Viburnum lantana 'Molichan'	Molichan Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	60"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
ORNAMENTAL GRASSES							
KFG	151	Calamagrostis acutiflora 'Forsyester'	Forsyester Feather Reed Grass	#1	Cont.	Full, well rounded plant	15-18"
THG	14	Deschampsia cespitosa	Tufted Hair Grass	#1	Cont.	Full, well rounded plant	24"
HMSG	91	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rounded plant	18"
POS	50	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rounded plant	18"
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
HERBACEOUS PERENNIALS							
RA	7	Astilbe arundinacea 'Rhine end'	Rhine end Astilbe (Pink)	#1	Cont.	Full, well rounded plant, evenly shaped	15"
PJF	61	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	#1	Cont.	Full, well rounded plant, evenly shaped	18"
HBD	106	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rounded plant, evenly shaped	18"
RBD	93	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	#1	Cont.	Full, well rounded plant, evenly shaped	18"
KKC	9	Noxola 'Daisy'	Daisy	#1	Cont.	Full, well rounded plant, evenly shaped	24"
RS	4	Russian Sage	Russian Sage	#2	Cont.	Full, well rounded plant, evenly shaped	36"
LAWN							
L470	1470	Lawn Establishment Area / Grading Area		SY		Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)	
L3200	13200	Erosion Matt'ng for sloped seeded areas	see plan for area delineation	SF		EroTex D575 (ros on Conto Blanket (or approved equal)	
Hardscape Materials							
12	12	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 825 SF	TN		2" depth	
525	525	Aluminum Edge Restraint (gravel areas)	Permaloc ProS 3/16"x5.5" Black DuraFlex F'n sh	LF			
825	825	Landscape Fabric	Woven Heavy-Duty Landscape Fabric, water-permeable	SF			
124	124	Shredded Hardwood Mulch (3" depth)	Area: 13,400 SF	CY		Bark Mulch; apply Pre-emergent after installation of mulch	
82	82	Soil Amendments (2" depth)	Area: 13,400 SF	CY			
41	41	Pulverized Topsoil (Lawn Area)	Area: 13,400 SF	CY			
82	82	Pulverized Topsoil (2" over bed areas)	Area: 13,400 SF	CY			
95	95	Non-Pulverized Soil (Berms)	Area: 1,700 SF	CY			
*Landscape counts and quantities are provided as a service to the Landscape Contractor. Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan, including the graphics and notations depicted thereon, shall govern.							
Seed Compositions:							
Cedar Creek Premium Blue Tag (Ph: 888-313-6807):				Seed at rate of 3# per 1000 SF			
10% Mid Atlantic Kentucky Bluegrass				10% Atlantic Kentucky Bluegrass			
20% Mid Atlantic Kentucky Bluegrass				10% Oregon Kentucky Bluegrass			
20% Boreal Red Fescue				10% Palmer III Fine Perennial Ryegrass			
20% Pennant Fine Perennial Ryegrass							

PLANT & MATERIAL SCHEDULE

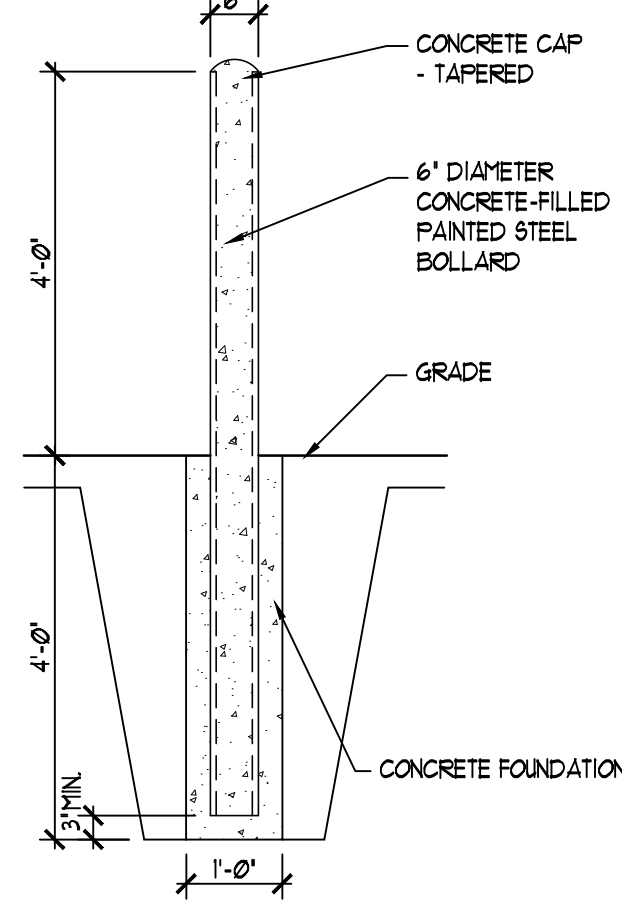
LANDSCAPE GENERAL NOTES



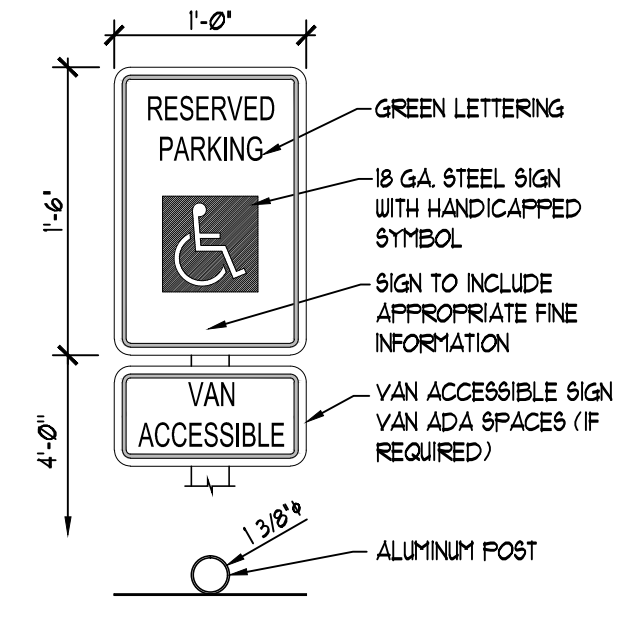
1 ARCHITECTURAL SITE PLAN
 A1.1 1" = 30'-0"
 MAIN STREET MARKET - NEC 5TH ST & 5TH & 6TH



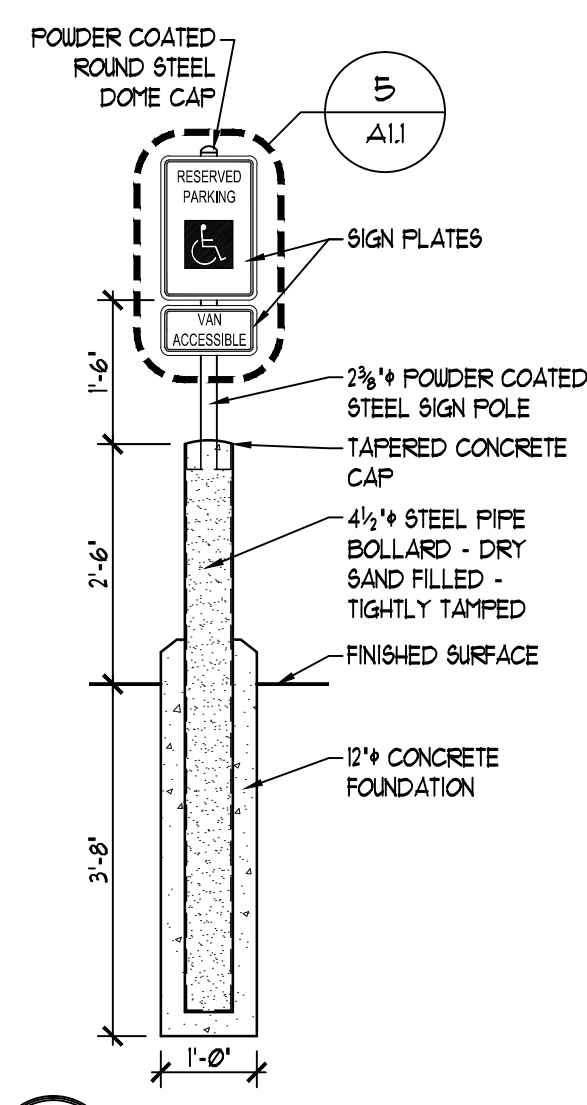
3 BOLLARD
 A1.1 1/2" = 1'-0" QTY. - 20



4 TYP. BOLLARD
 A1.1 1/2" = 1'-0" QTY. - 13

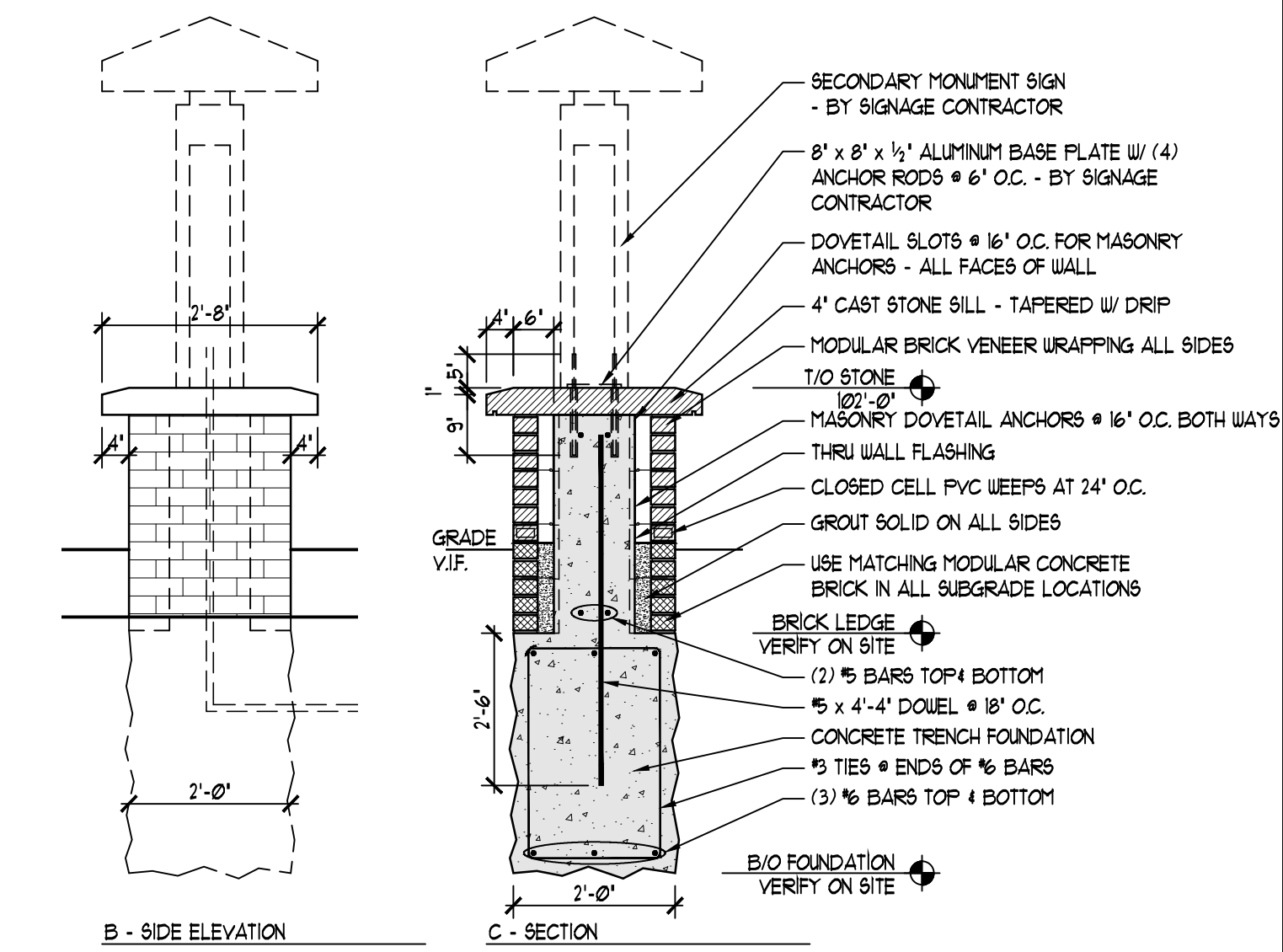


5 ADA PARKING SIGNAGE
 A1.1 1" = 1'-0"

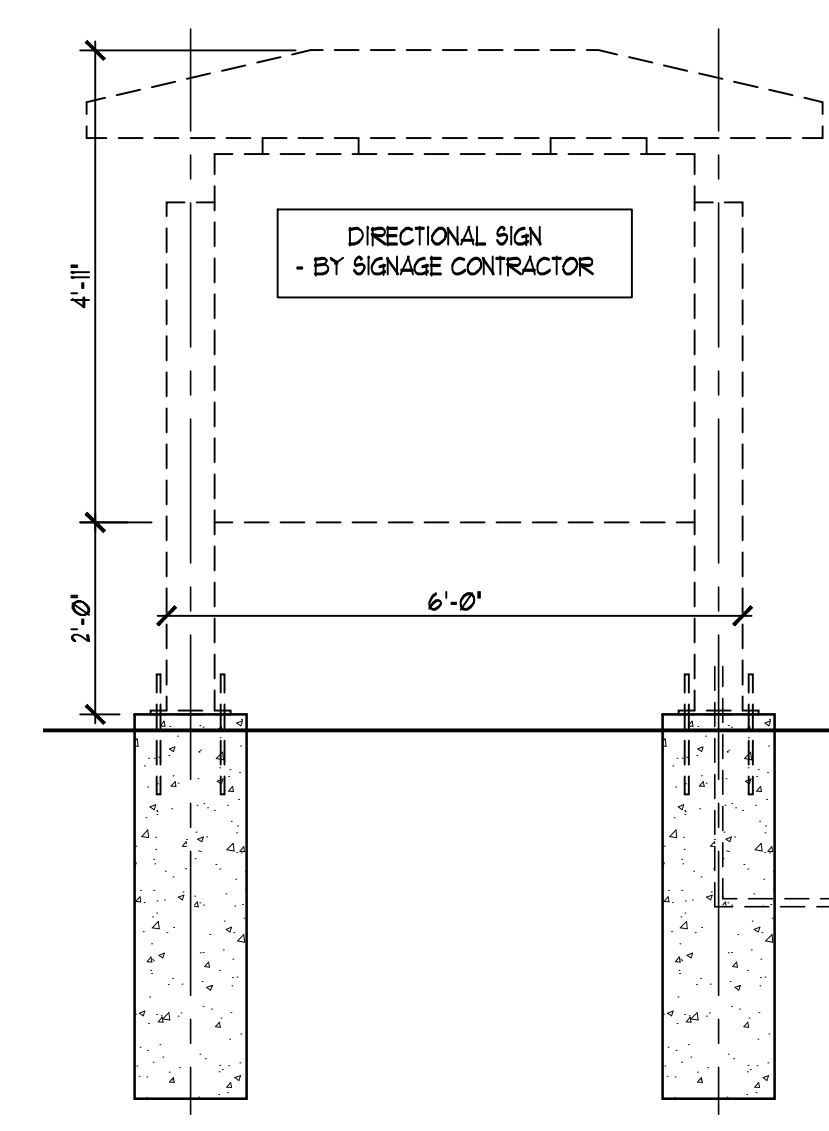


6 ADA PARKING SIGNAGE
 A1.1 1/2" = 1'-0" QTY. - 16

OLD GREEN BAY ROAD



2 SECONDARY MONUMENT SIGN DETAILS
 A1.1 1/2" = 1'-0" (2) REQUIRED



7 DIRECTIONAL SIGN DETAILS
 A1.1 1/2" = 1'-0" (8) ANTICIPATED

REVISIONS:

NO.	DATE	DESCRIPTION

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

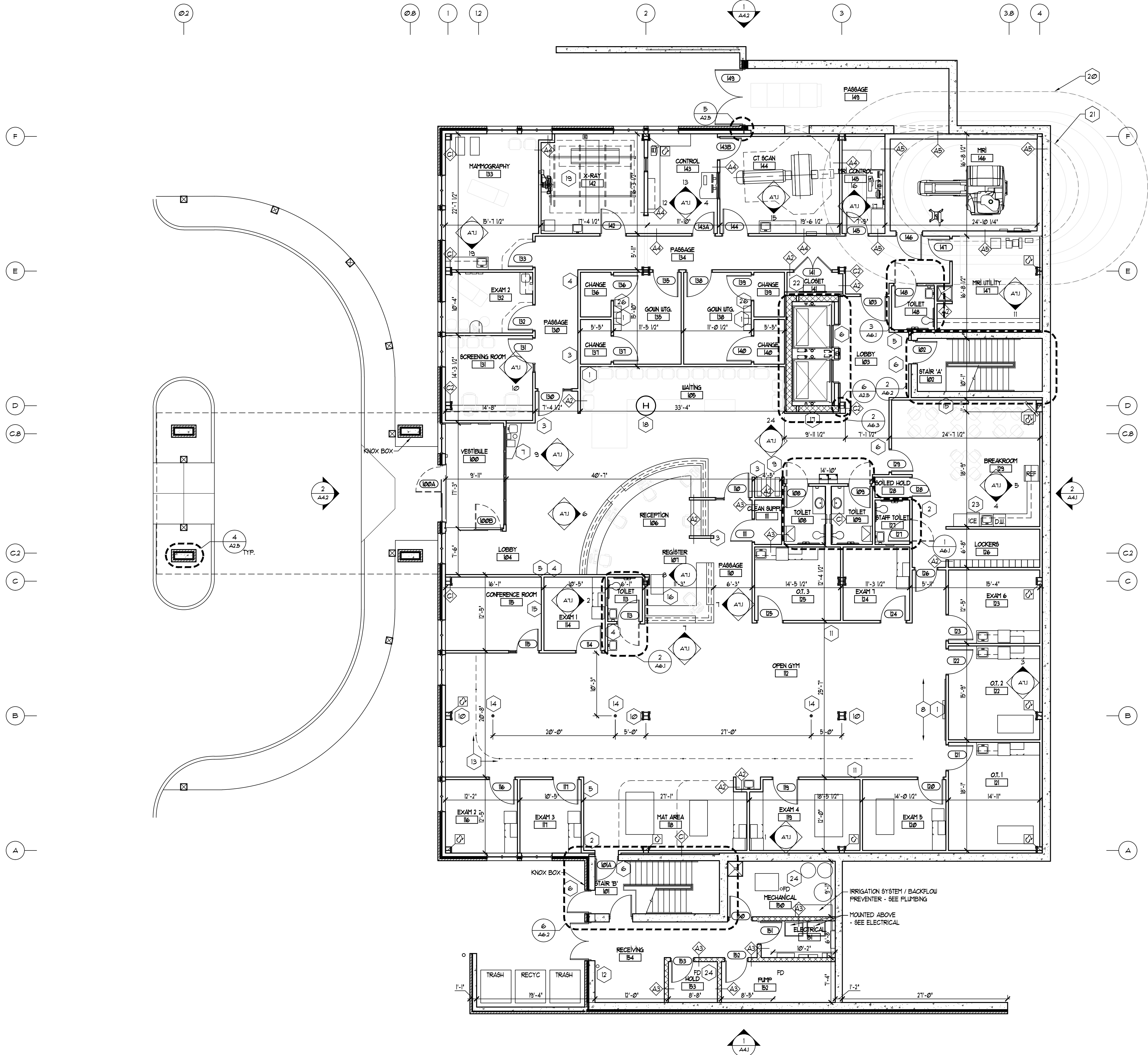
ARCHITECTURAL SITE PLAN

600 Fifty-Second Street
 Suite 220
 Kenosha, WI 53142
 Ph: (262) 652-2800
 Fax: (262) 652-2812

Partners in Design
ARCHITECTS

PROJECT NO.: **634.17.051**
 DRAWN BY: **DAC** CHECKED BY: **MAM**
 DATE: **11.28.17**
 SHEET NO.:

A1.1



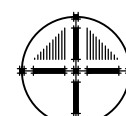
FLOOR PLAN KEY NOTES

* NOTE:
CONTRACTOR TO COORDINATE LOCATIONS OF ALL ITEMS
WITH OWNER PRIOR TO INSTALLATION.

- 1 TV LOCATIONS - PROVIDE MOUNTING, POWER AND CABLE.
- 2 KRONOS TIMELOCK LOCATIONS - SEE ELECTRICAL
- 3 AUTOMATIC DOOR ADA WALL MOUNTED
PUSH BUTTON OPERATOR
- 4 AED DEVICE IN SEMI-RECESSED CABINET - MODEL # FFE1023D,
CENTERLINE MOUNTING HEIGHT AT 48" AFF.
- 5 SEMI-RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER
- 6 PROVIDE CARD ACCESS FUNCTIONALITY AT DOOR / FRAME
- SEE ELECTRICAL
- 7 CAFE STATION - PROVIDE POWER, WATER AND DRAIN
- SEE ELECTRICAL AND PLUMBING
- 8 1/4" WALL MOUNTED MIRROR WITH SAFETY BACKING AND POLISHED
EDGES - MOUNT WITH 'U' CHANNEL TOP AND BOTTOM - MIRROR TO BE
MOUNTED 1'-6" AFF. AND SHALL EXTEND TO A HEIGHT OF 7'-0" AFF.
- 9 WHEELCHAIR STORAGE
- 10 TRX ANCHOR - PROVIDE HEAVY DUTY BLOCKING AT EACH
FACE OF COLUMN FOR OWNER PROVIDED TRX ANCHOR
- 11 REINFORCED WALL SHEATHING FOR WALL MOUNTED PULLEYS AND
THROUGH BALL' PHYSICAL THERAPY EXERCISES (1/2" PLYWOOD
BELOW 5/8" GYPSUM BOARD - FULL HEIGHT)
- 12 WALL MOUNTED FIRE EXTINGUISHER
- 13 SOLO STEP OVERHEAD TRACK - BY OWNER, UNISTRUT
AND INSTALLATION BY GC (10'-0" AFF.)
- 14 UNDER FLOOR QUAD OUTLET LOCATIONS - SEE ELECTRICAL
- 15 A/V EQUIPMENT - COORDINATE WITH OWNER'S REPRESENTATIVE
- 16 COPIER - BY OWNER, POWER AND DATA - SEE ELECTRICAL
- 17 COAT ROD AND PLASTIC LAMINATE SHELF
- 18 38" TWO PIECE PLASTIC LAMINATE MILLWORK COLUMN COVER
- 19 DRX ASCEND X-RAY EQUIPMENT AS BASIS FOR DESIGN - BY OWNER
LEAD LINING TO BE DETERMINED BY PHYSICIAN'S REPORT - BY OWNER
- 20 MRI: FERROUS OBJECTS MUST NOT MOVE INTO OR INSIDE
OF THE MOVING METAL SENSITIVITY LINE DURING SCANS
- 21 MRI: MOVING METAL SENSITIVITY LINE FOR CARS,
MINIVANS, PICKUP TRUCKS, AND AMBULANCES
- 22 LOCKABLE ELECTRICAL PANELS - SEE ELECTRICAL
- 23 ICE/MAKER - SYMPHONY 100 CT COUNTERTOP UNIT
- BY OWNER - SEE ELECTRICAL AND PLUMBING
- 24 PITCH FLOOR TO FLOOR DRAINS
- 25 MED SELECT FLEX UNIT - BY OWNER - SEE ELECTRICAL
- 26 HALF HEIGHT LOCKERS

1 FIRST FLOOR TENANT PLAN
A3.1 1/8"=1'-0"

14/02/09 SF.



REVIEWS:

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

FIRST FLOOR TENANT PLAN

600 Fifty-Second Street
Suite 220
Kenosha, WI 53142
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Fax: (262) 652-2812

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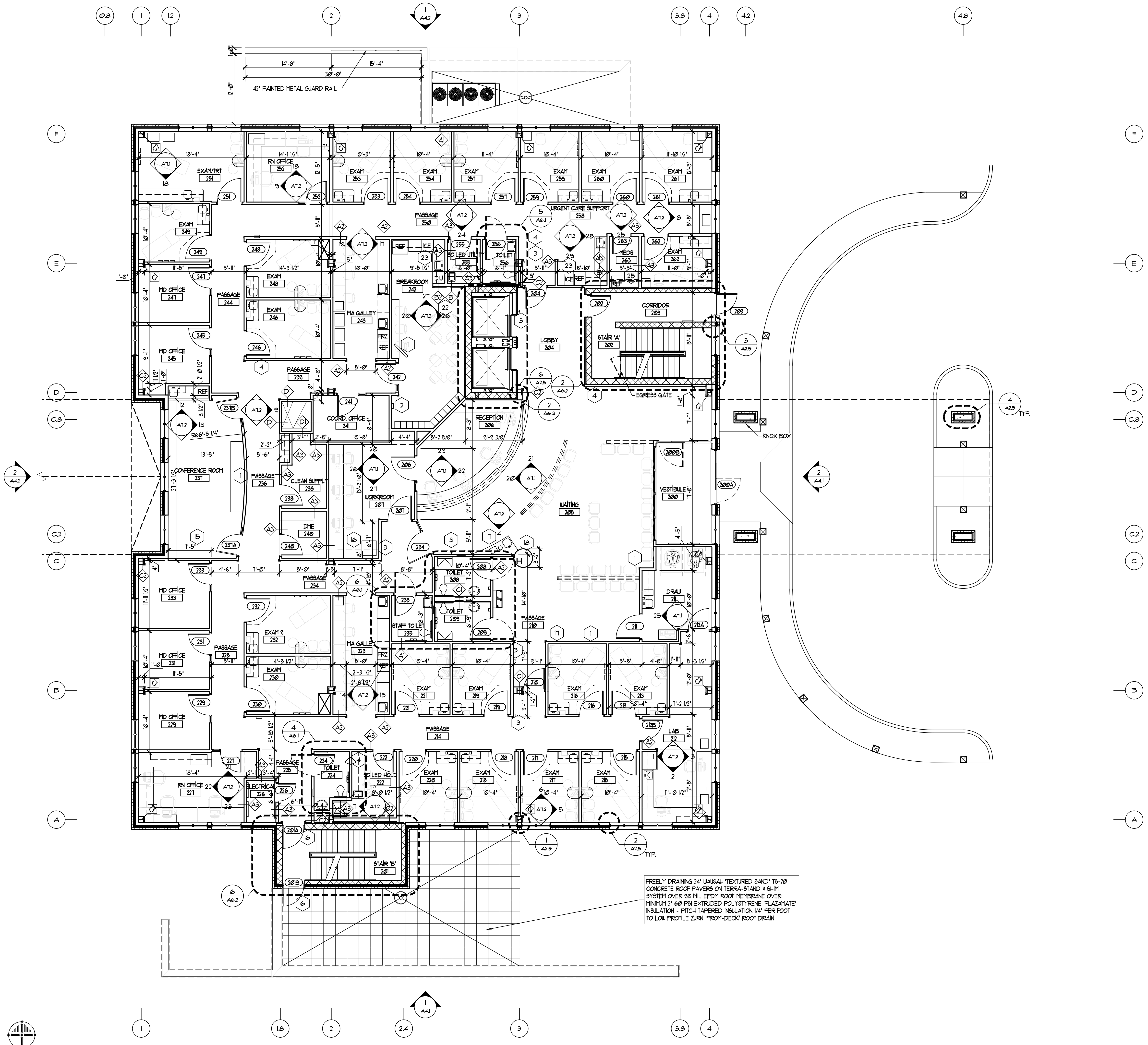
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SHEET NO.:

A3.1

FLOOR PLAN KEY NOTES

* NOTE:
CONTRACTOR TO COORDINATE LOCATIONS OF ALL ITEMS
WITH OWNER PRIOR TO INSTALLATION.

- 1 TV LOCATIONS - PROVIDE MOUNTING, POWER AND CABLE.
- 2 KRONOS TIMECLOCK LOCATIONS - SEE ELECTRICAL
- 3 AUTOMATIC DOOR ADA WALL MOUNTED
PUSH BUTTON OPERATOR
- 4 AED DEVICE IN SEMI-RECESSED CABINET - MODEL *PFE1023D,
CENTERLINE MOUNTING HEIGHT AT 48" AFF.
- 5 SEMI-RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER
- 6 PROVIDE CARD ACCESS FUNCTIONALITY AT DOOR / FRAME
- SEE ELECTRICAL
- 7 CAFE STATION - PROVIDE POWER, WATER AND DRAIN
- SEE ELECTRICAL AND PLUMBING
- 8 1/4" WALL MOUNTED MIRROR WITH SAFETY BACKING AND POLISHED
EDGES - MOUNT WITH 'J' CHANNEL TOP AND BOTTOM - MIRROR TO BE
MOUNTED 1'-6" AFF. AND SHALL EXTEND TO A HEIGHT OF 1'-0" AFF.
- 9 WHEELCHAIR STORAGE
- 10 TRX ANCHOR - PROVIDE HEAVY DUTY BLOCKING AT EACH
FACE OF COLUMN FOR OWNER PROVIDED TRX ANCHOR
- 11 REINFORCED WALL SHEATHING FOR WALL MOUNTED PULLEYS AND
'THROW BALL' PHYSICAL THERAPY EXERCISES (1/2" PLYWOOD
BELOW 5/8" GYPSUM BOARD - FULL HEIGHT)
- 12 WALL MOUNTED FIRE EXTINGUISHER
- 13 SOLO STEP OVERHEAD TRACK - BY OWNER, UNISTRUT
AND INSTALLATION BY GC (10'-0" AFF.)
- 14 UNDER FLOOR QUAD OUTLET LOCATIONS - SEE ELECTRICAL
- 15 A/V EQUIPMENT - COORDINATE WITH OWNER'S REPRESENTATIVE
- 16 COPIER - BY OWNER, POWER AND DATA - SEE ELECTRICAL
- 17 COAT ROD AND PLASTIC LAMINATE SHELF
- 18 38" TUB PIECE PLASTIC LAMINATE MILLWORK COLUMN COVER
- 19 DRX ASCEND X-RAY EQUIPMENT AS BASIS FOR DESIGN - BY OWNER
LEAD LINING TO BE DETERMINED BY PHYSICIAN'S REPORT - BY OWNER
- 20 **MRU** FERROUS OBJECTS MUST NOT MOVE INTO OR INSIDE
OF THE MOVING METAL SENSITIVITY LINE DURING SCANS
- 21 **MRU** MOVING METAL SENSITIVITY LINE FOR CARS,
MINIVANS, PICKUP TRUCKS, AND AMBULANCES
- 22 LOCKABLE ELECTRICAL PANELS - SEE ELECTRICAL
- 23 ICEMAKER - SYMPHONY 10 CT COUNTERTOP UNIT
- BY OWNER - SEE ELECTRICAL AND PLUMBING
- 24 PITCH FLOOR TO FLOOR DRAINS
- 25 MED SELECT FLEX UNIT - BY OWNER - SEE ELECTRICAL
- 26 HALF HEIGHT LOOKERS



1 SECOND FLOOR TENANT PLAN
A3.2 1/8"=1'-0" 1/2"=0'

REVIEWS:

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
SECOND FLOOR TENANT PLAN

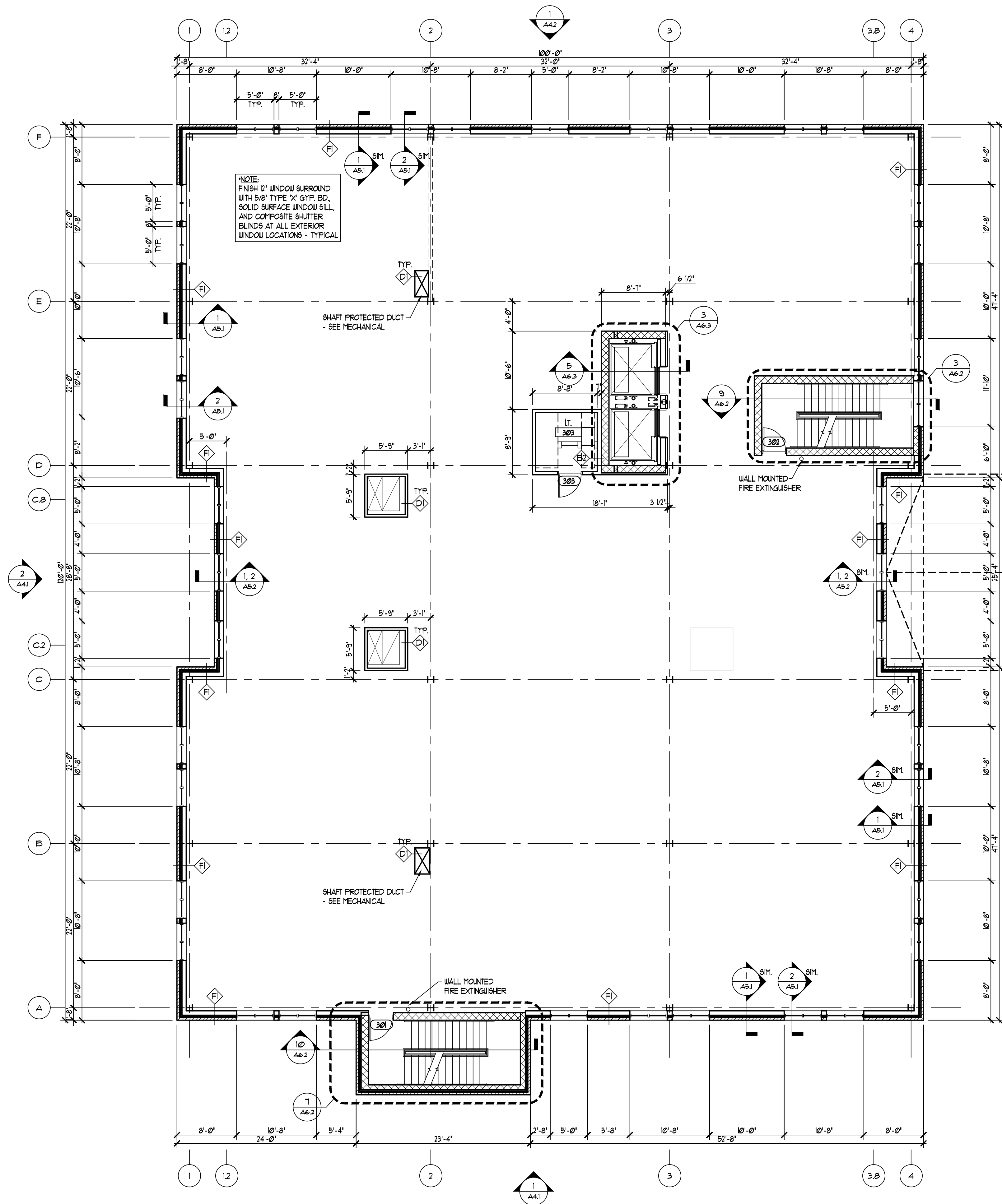
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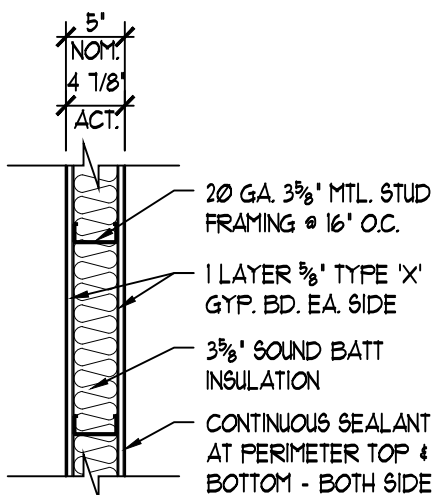
A3.2



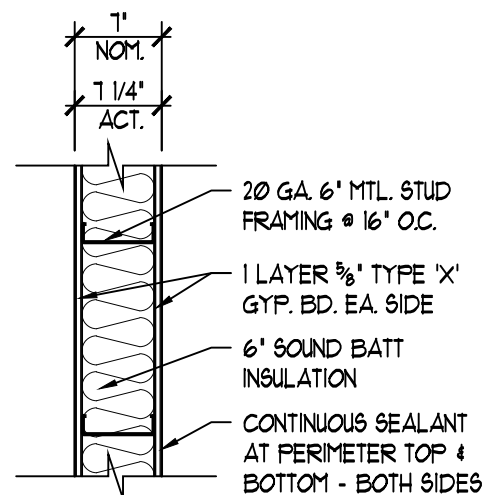
1 THIRD FLOOR SHELL PLAN
A2.3 1/8"=1'-0"

WALL TYPES AI - UNLESS NOTED OTHERWISE

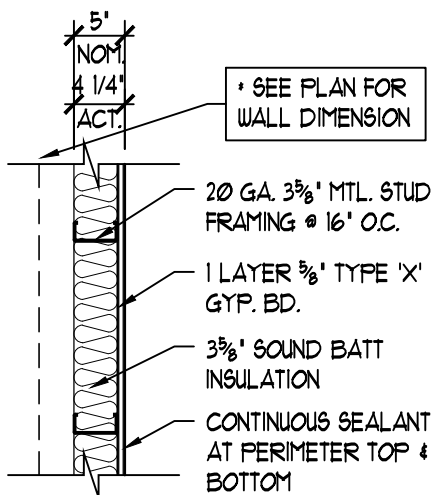
1. PROVIDE TRANSFER GRILLES TO ACCOMMODATE PLENUM CEILING RETURN IN ALL NON-RATED PARTITIONS - SEE MECHANICAL FOR LOCATIONS AND SPECIFICATIONS.
2. ALL GYP. BD. TO BE 5/8" TYPE 'X' UNLESS NOTED OTHERWISE.
3. PROVIDE DEFLECTION TRACK WITH 3" LEGS AT TOP OF ANY FRAMING EXTENDING TO UNDERSIDE OF DECK/STRUCTURE TO ALLOW FOR 1" DEFLECTION MINIMUM AND 1" CLEAR BETWEEN TRACK AND ANY APPLIED WALL SURFACE - NO WELD OR MECHANICAL FASTENING BETWEEN STUD AND TRACK.
4. PROVIDE 5/8" TYPE 'X' MOISTURE RESISTANT GYP. BD. AT ALL WET WALLS AND WALL FACES WITHIN 12" OF PLUMBING FIXTURES, AND AS NOTED.
5. PROVIDE GYPSUM BOARD EXPANSION JOINTS IN WALLS APPROXIMATELY EVERY 30' MAX. LOCATE AT DOOR HEADS WHERE APPLICABLE. CONSULT ARCHITECT FOR FINAL LOCATIONS PRIOR TO INSTALLATION.
6. TYPICAL INTERIOR WALL CONSTRUCTION: 3 5/8" x 20 GA. STUDS @ 16" O.C. WITH 3 5/8" x 18 GA. CONTINUOUS TRACK TOP AND BOTTOM. 20 GA. DOUBLE STUD REQUIRED AT ALL DOOR, WINDOW AND WALL OPENINGS.
7. ALL WALLS TO BE BRACED.
8. VERIFY DIMENSIONS, LAYOUT AND CONFIGURATION REQUIREMENTS OF ALL SHAFT AND EQUIPMENT WITH MECHANICAL, ELECTRICAL AND PLUMBING DESIGNERS.



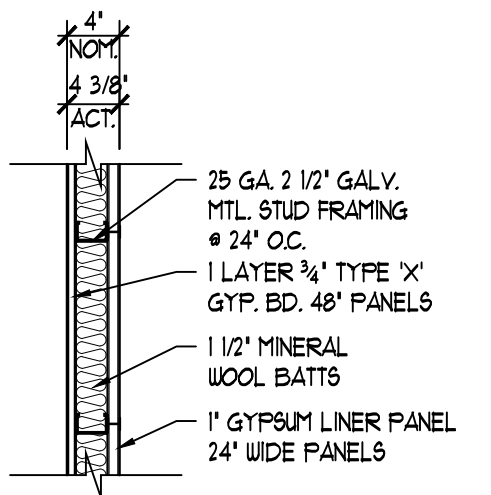
- AI
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK. SEE MECHANICAL FOR PLENUM RETURN DIRECTION.
 - A2
 1. DELETE BATT INSULATION.
 - A3
 1. 1-HOUR RATED WALL MEETING UL DESIGN #419 - EXTEND TO DECK.
 - A4
 1. INSTALL 1/2" LEAD LAYER BELOW GYP. BD. ON X-RAY SIDE OF ROOM.
 - A5
 1. INSTALL RF BARRIER WALL PER MRI MANFR SPECIFICATIONS.



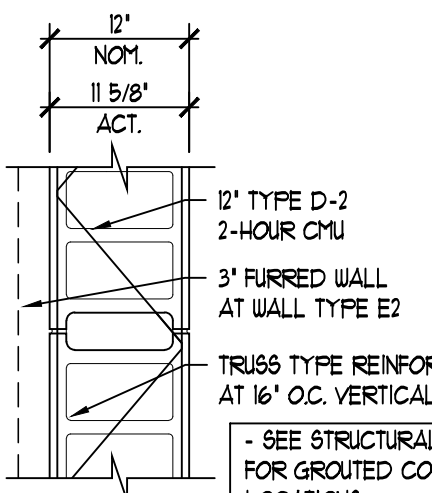
- BI
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK. SEE MECHANICAL FOR PLENUM RETURN DIRECTION.
 - B2
 1. DELETE BATT INSULATION.



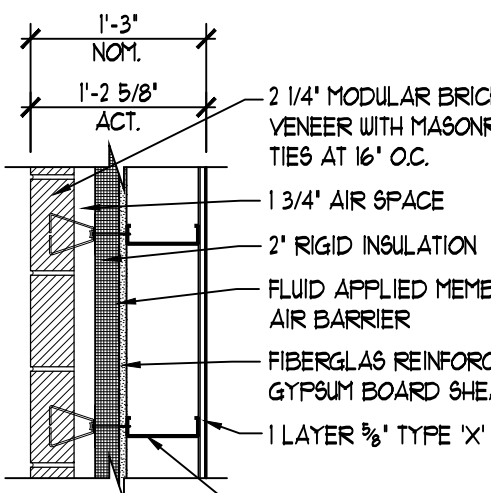
- CI
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK.
 - C2
 1. DELETE BATT INSULATION.
 - C3
 1. 2 1/2\"/>
 2. 2 1/2\"/>



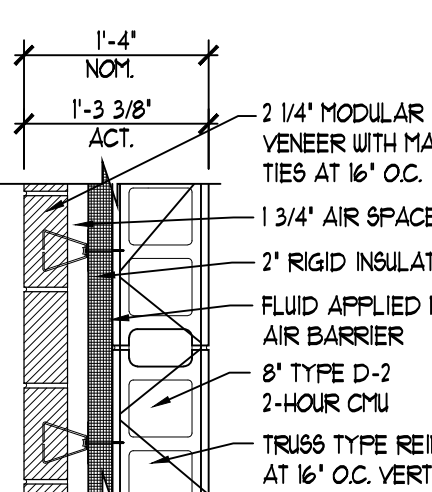
- DI
1. 2-HOUR RATED SHAFT WALL MEETING UL DESIGN #418-SYS. E.



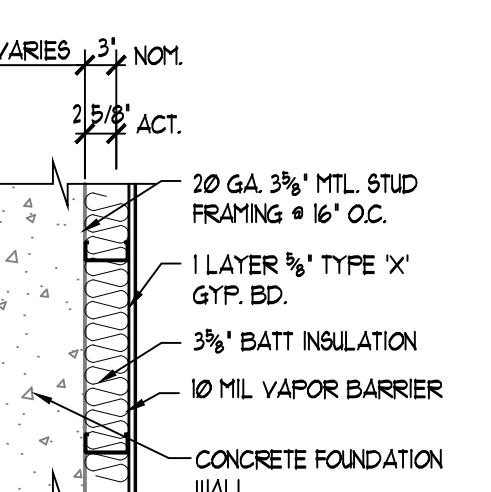
- EI
1. 2-HOUR RATED WALL.
 - E2
 1. 2-HOUR RATED WALL. FUR OUT WITH 20 GA. 2 1/2\"/>
 - E3
 1. USE 8\"/>



- FI
1. OMIT INTERIOR LAYER 5/8\"/>



- G1
1. SUBSTITUTE 12\"/>



- H1
1. INSTALL 1/2\"/>

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

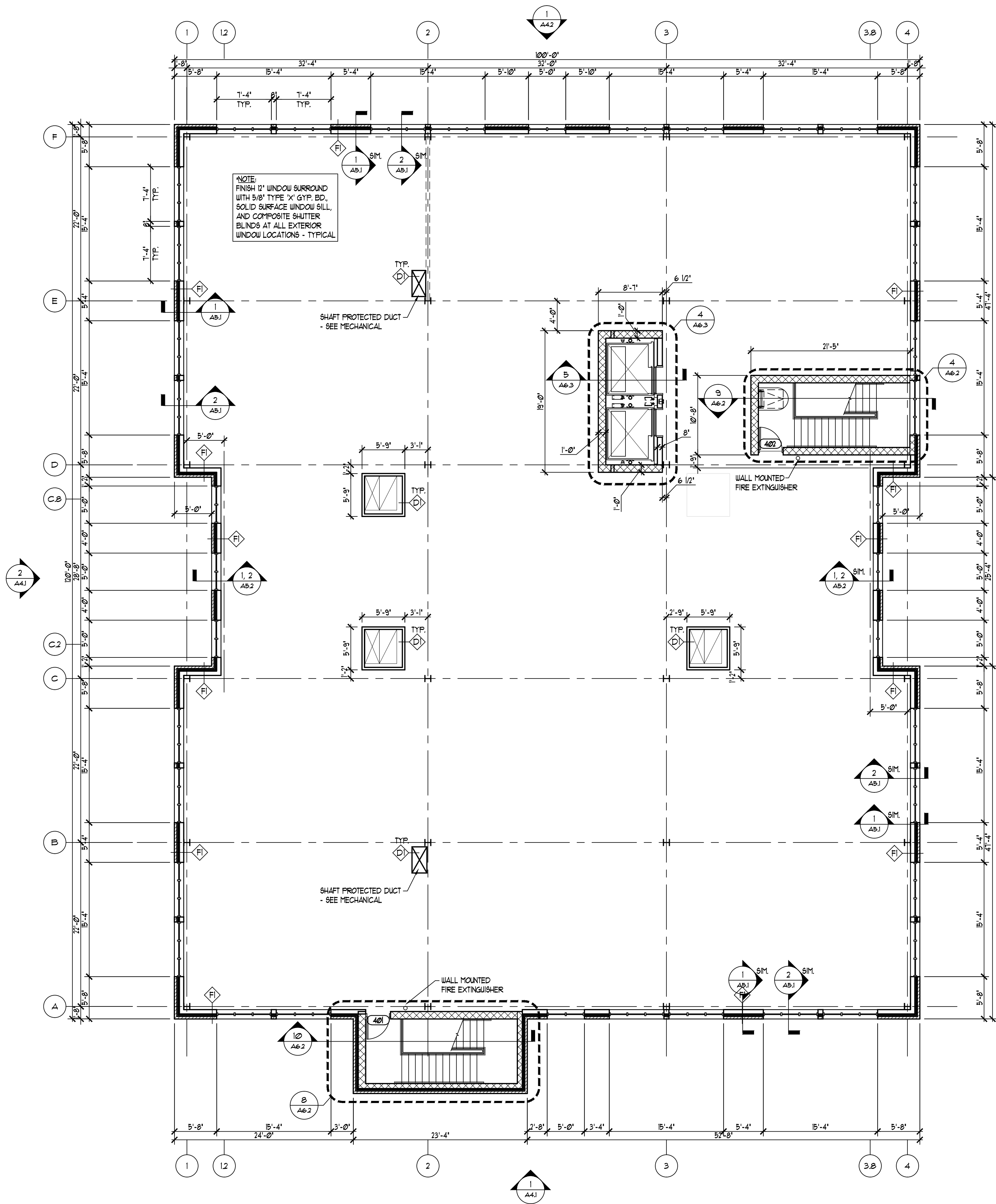
600 Fifty-Second Street
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Ph: (262)652-2800
Fax: (262)652-2812

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A2.3

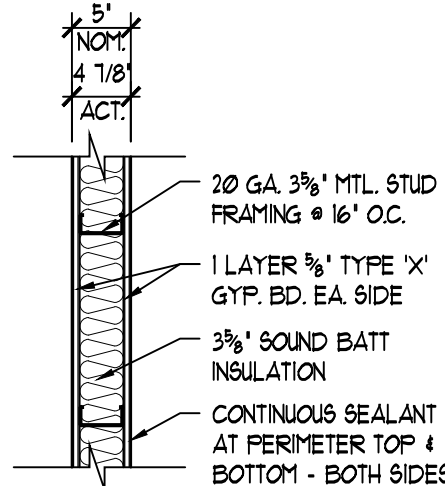


1 FOURTH FLOOR SHELL PLAN
A2.4 1/8"=1'-0"

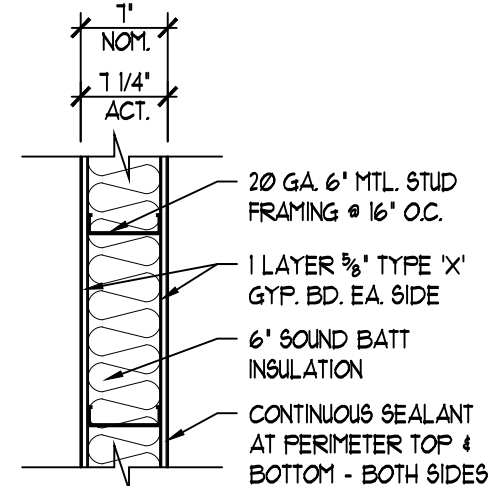
WALL TYPES

AI - UNLESS NOTED OTHERWISE

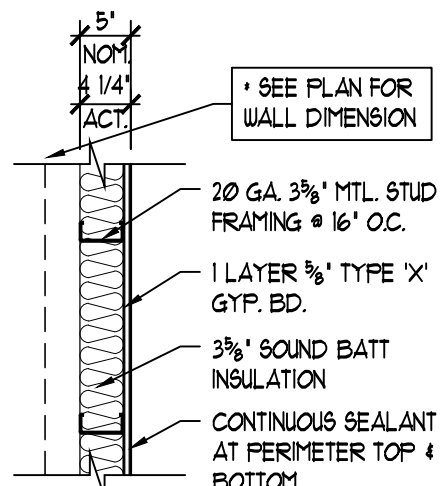
1. PROVIDE TRANSFER GRILLES TO ACCOMMODATE PLENUM CEILING RETURN IN ALL NON-RATED PARTITIONS - SEE MECHANICAL FOR LOCATIONS AND SPECIFICATIONS.
2. ALL GYP. BD. TO BE 5/8" TYPE 'X' UNLESS NOTED OTHERWISE.
3. PROVIDE DEFLECTION TRACK WITH 3" LEGS AT TOP OF ANY FRAMING EXTENDING TO UNDERSIDE OF DECK/STRUCTURE TO ALLOW FOR 1" DEFLECTION MINIMUM AND 1" CLEAR BETWEEN TRACK AND ANY APPLIED WALL SURFACE - NO WELD OR MECHANICAL FASTENING BETWEEN STUD AND TRACK.
4. PROVIDE 5/8" TYPE 'X' MOISTURE RESISTANT GYP. BD. AT ALL WET WALLS AND WALL FACES WITHIN 12" OF PLUMBING FIXTURES, AND AS NOTED.
5. PROVIDE GYPSUM BOARD EXPANSION JOINTS IN WALLS APPROXIMATELY EVERY 30' MAX. LOCATE AT DOOR HEADS WHERE APPLICABLE. CONSULT ARCHITECT FOR FINAL LOCATIONS PRIOR TO INSTALLATION.
6. TYPICAL INTERIOR WALL CONSTRUCTION: 3 5/8" x 20 GA. STUDS AT 16" O.C. WITH 3 5/8" x 18 GA. CONTINUOUS TRACK TOP AND BOTTOM. 20 GA. DOUBLE STUD REQUIRED AT ALL DOOR, WINDOW AND WALL OPENINGS.
7. ALL WALLS TO BE BRACED.
8. VERIFY DIMENSIONS, LAYOUT AND CONFIGURATION REQUIREMENTS OF ALL SHAFT AND EQUIPMENT WITH MECHANICAL, ELECTRICAL AND PLUMBING DESIGNERS.



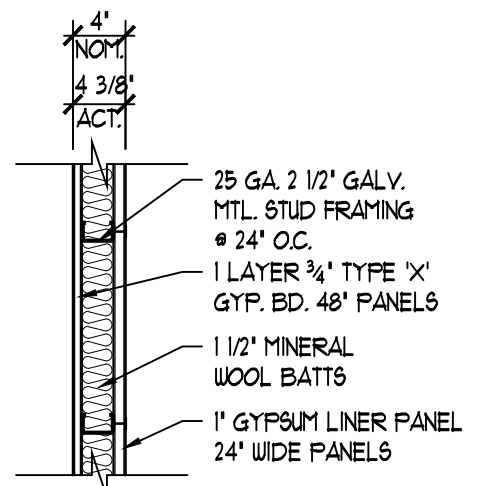
- AI
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK. SEE MECHANICAL FOR PLENUM RETURN DIRECTION.
 - A2
 1. DELETE BATT INSULATION.
 - A3
 1. 1-HOUR RATED WALL MEETING UL DESIGN #419 - EXTEND TO DECK.
 - A4
 1. INSTALL 1/2" LEAD LAYER BELOW GYP. BD. ON X-RAY SIDE OF ROOM.
 - A5
 1. INSTALL RF BARRIER WALL PER MRI MANFR SPECIFICATIONS.



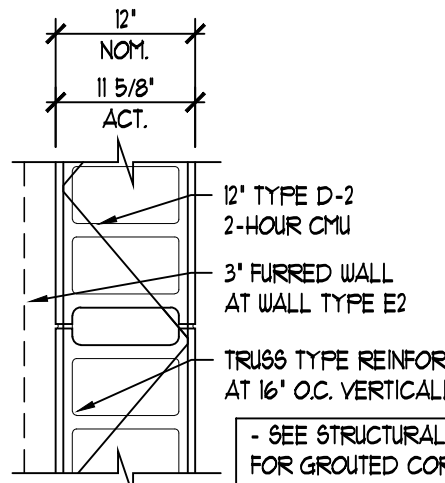
- BI
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK. SEE MECHANICAL FOR PLENUM RETURN DIRECTION.
 - B2
 1. DELETE BATT INSULATION.



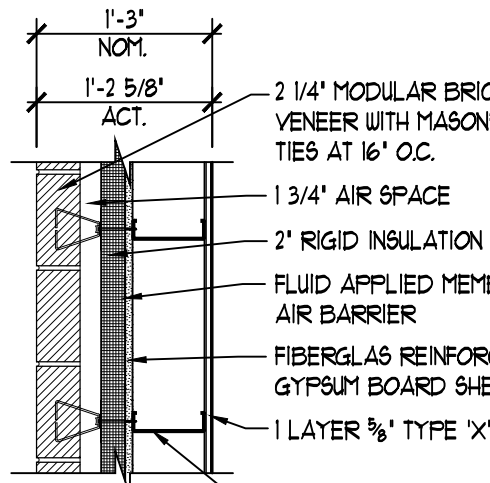
- CI
1. EXTEND FRAMING TO UNDERSIDE OF DECK WITH DEFLECTION TRACK.
 - C2
 1. DELETE BATT INSULATION.
 - C3
 1. 2 1/2\"/>
 2. 2 1/2\"/>



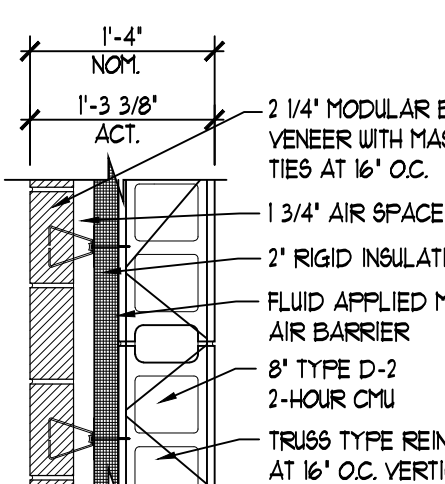
- DI
1. 2-HOUR RATED SHAFT WALL MEETING UL DESIGN #418-SYS. E.



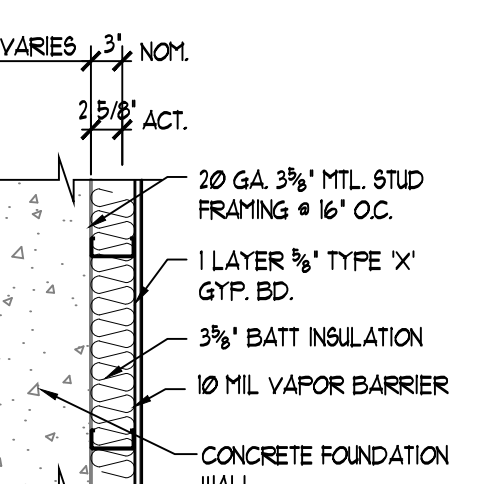
- EI
1. 2-HOUR RATED WALL.
 - E2
 1. 2-HOUR RATED WALL. FIR OUT WITH 20 GA. 2 1/2\"/>
 - E3
 1. USE 8\"/>



- FI
1. OMIT INTERIOR LAYER 5/8\"/>



- G1
1. SUBSTITUTE 12\"/>



- H1
1. INSTALL 1/2\"/>

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

600 Fifty-Second Street
Suite 220
Kenosha, WI 53142
Ph: (262)652-2800
Fax: (262)652-2812

PartnersinDesign
ARCHITECTS



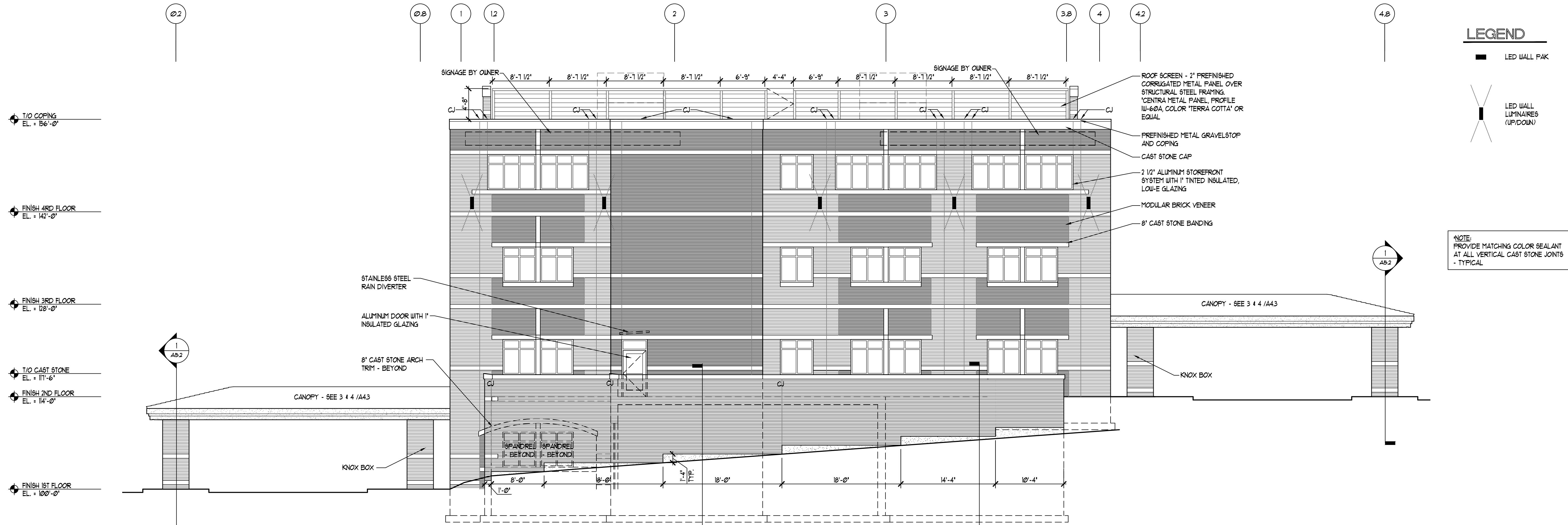
PROJECT NO:
634.17.051

DRAWN BY: MAM
CHECKED BY: DAC

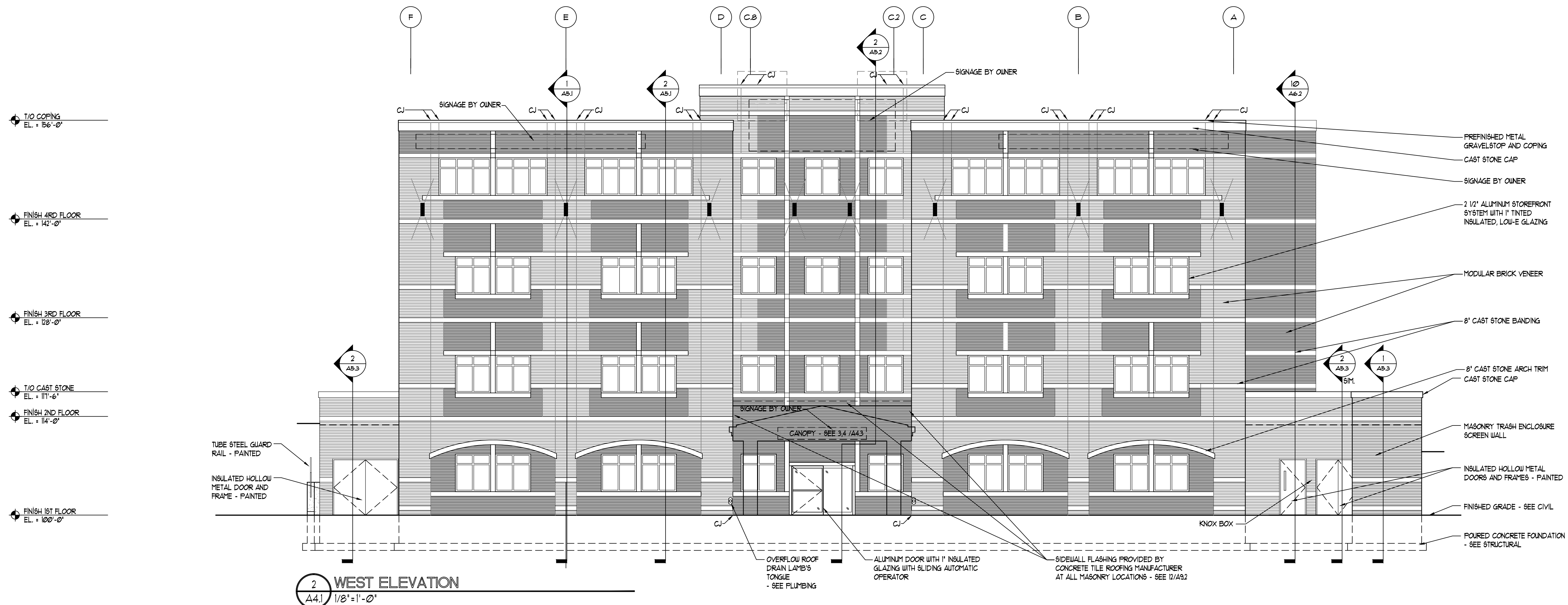
DATE:
11/28/17

SHEET NO.:

A2.4



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
SOUTH AND WEST BUILDING ELEVATIONS

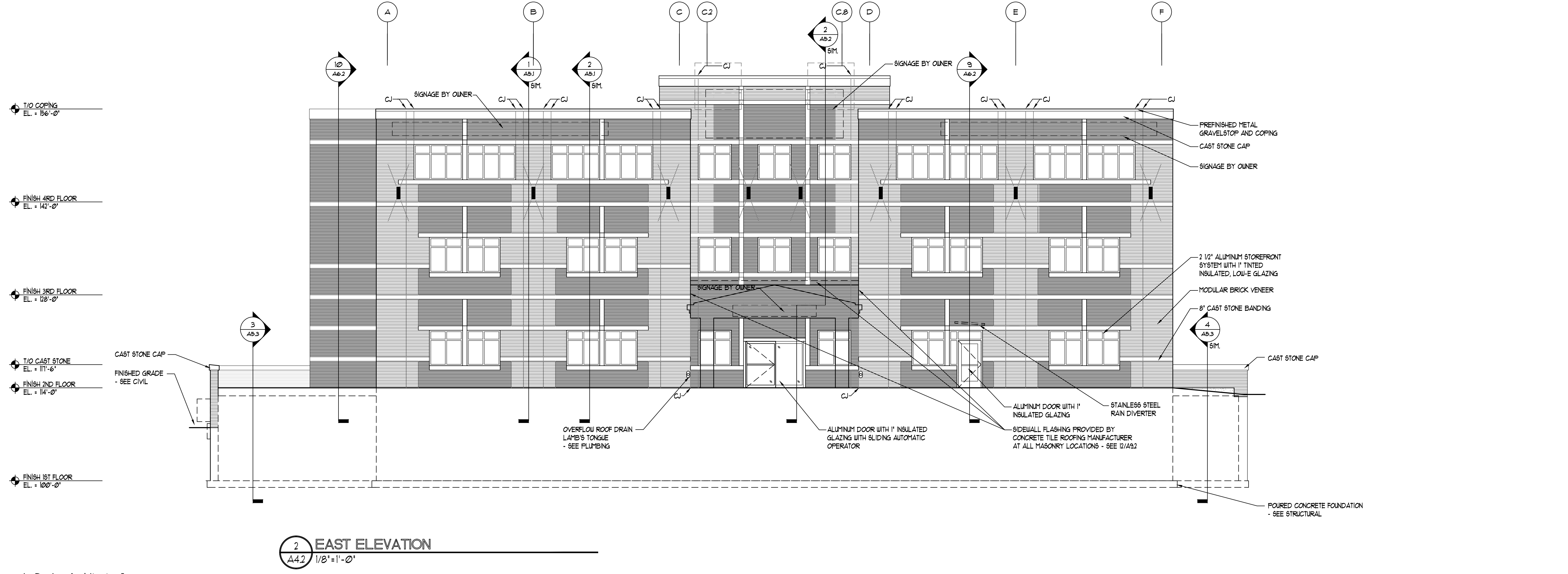
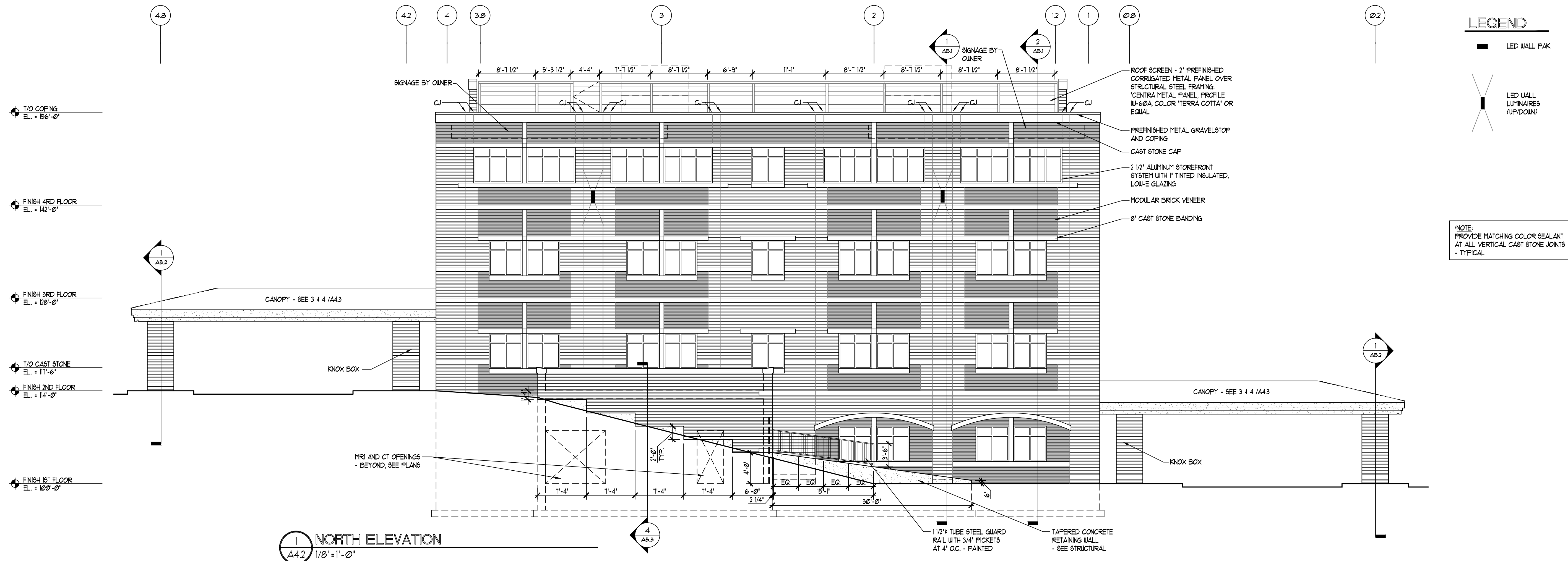
600 Fifty-Second Street
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Partners in Design
ARCHITECTS



PROJECT NO.: 634.17.051
DRAWN BY: DAC CHECKED BY: MAM
DATE: 11/28/17
SHEET NO.:

A4.1



LEGEND

LED WALL PAK

LED WALL LUMINAIRES (UP/DOWN)

NOTE:
PROVIDE MATCHING COLOR SEALANT AT ALL VERTICAL CAST STONE JOINTS - TYPICAL

REVIEWS:

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE

NEC Green Bay Road & 104th St., Pleasant Prairie, WI

NORTH AND EAST BUILDING ELEVATIONS

600 Fifty-Second Street

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PartnersinDesign

ARCHITECTS

PROJECT NO:

634.17.051

DRAWN BY:

DAC

CHECKED BY:

MAM

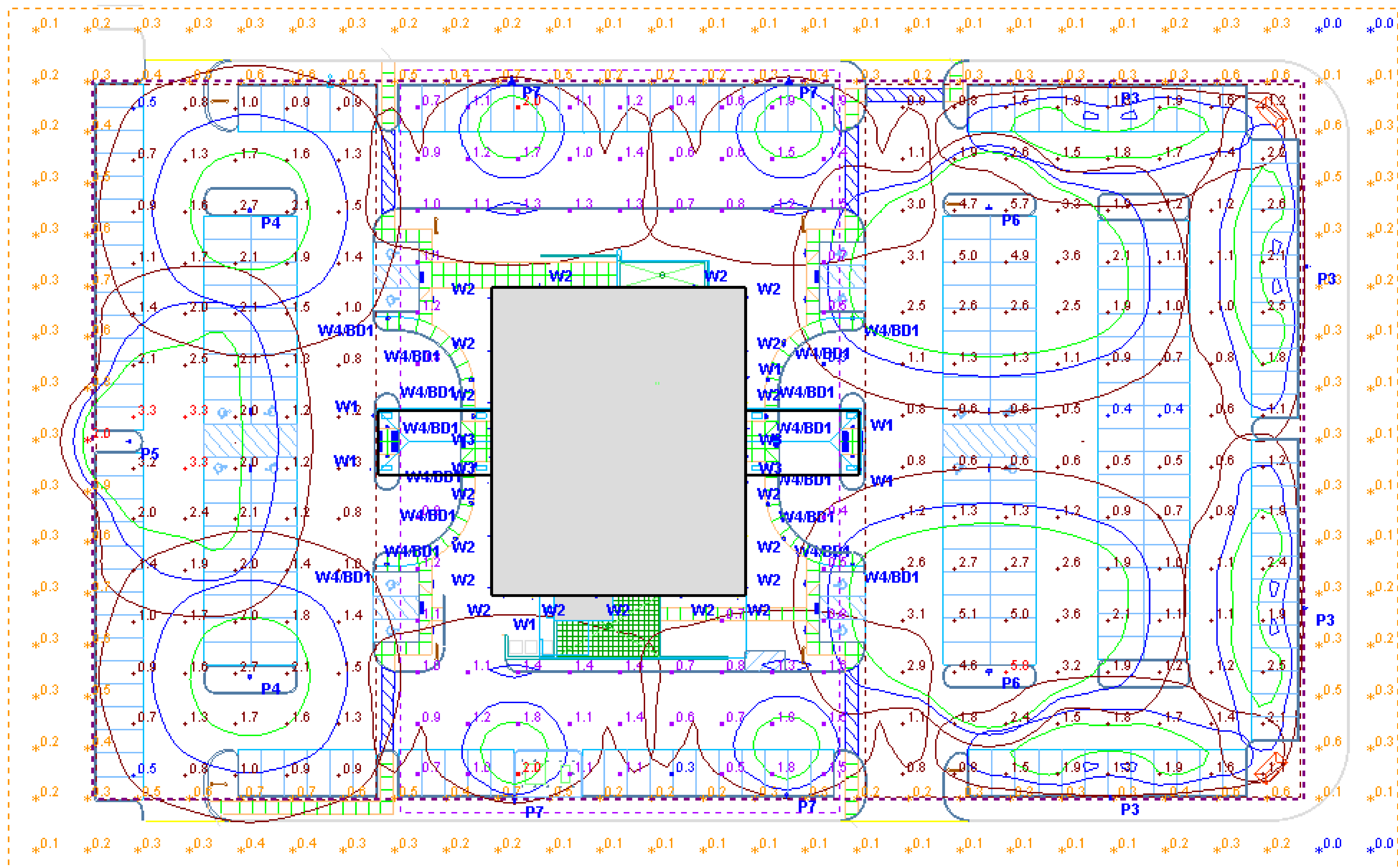
DATE:

11.28.17

SHEET NO:

A4.2

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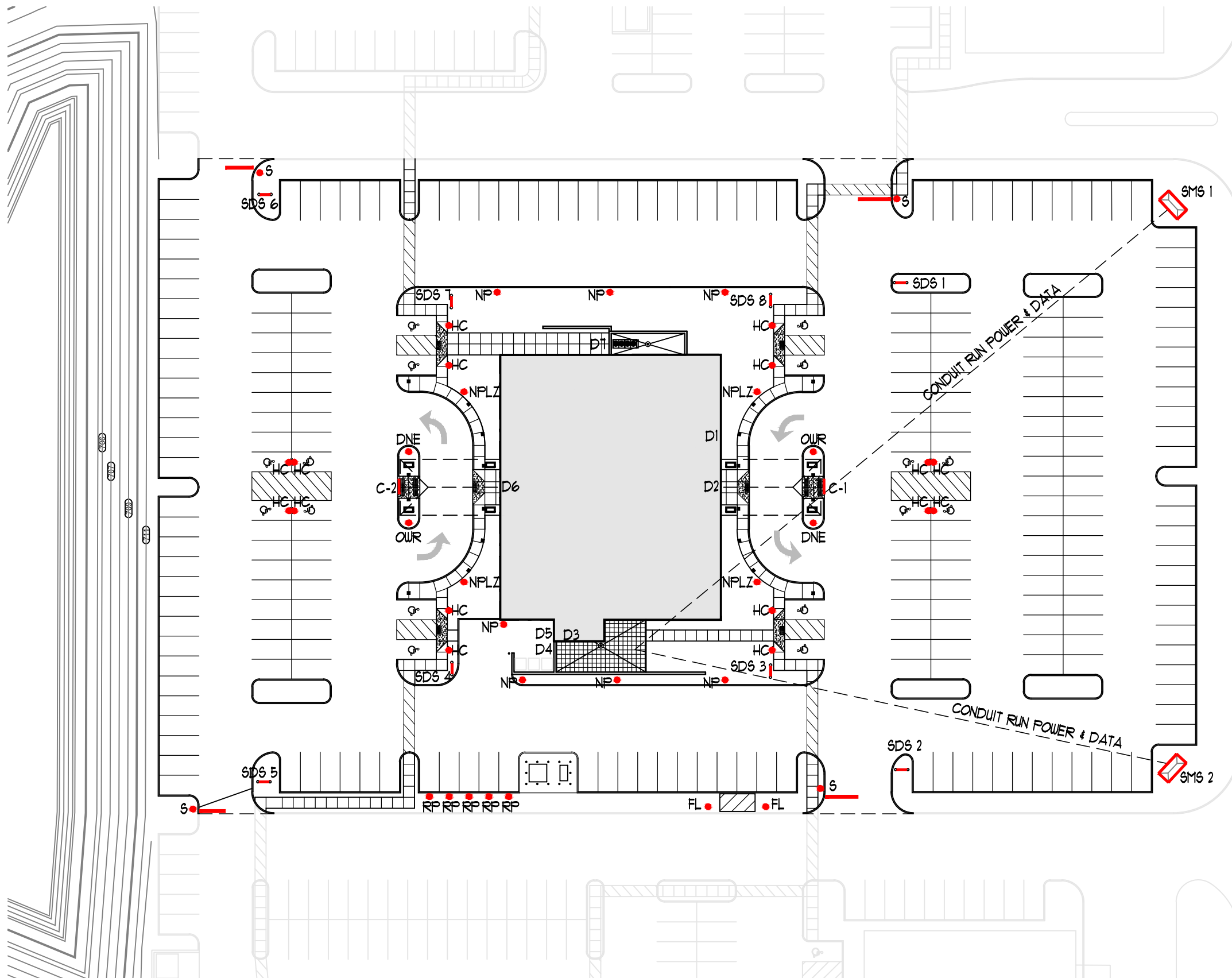


Luminaire Schedule							
Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Light Loss Factor	Wattage
W1	6	Lithonia Lighting	OLWX1 LED 13W 40K DDB	13W 4000K LED WALL PACK	LED	0.83	14
W2	19	BEGA-US	66 516-K4-BRZ			0.83	28.23
W3	4	BEGA-US	66 655-K4-BRZ			0.83	15.33
W4/B D1	16	BEGA-US/ Wausau Tile	2690P-BRZ + TF6042-09-116-JUL		(2) 26W CF QUAD-4P	0.748	52
P3	4	EATON	VTS-E05-LED-E1-SL2-BZ-HSS	VENTUS LED SITE LUMINAIRE (5) LIGHTBARS WITH AccuLED OPTICS - TYPE 2 W/ SPILL LIGHT CONTROL AND HOUSE SIDE SHIELD	(105) 4000K CCT, 70 CRI LEDs	0.83	127.3
P4	2	EATON	VTS-E08-LED-E1-5XQ-BZ	VENTUS LED SITE LUMINAIRE (8) LIGHTBARS WITH AccuLED OPTICS - TYPE 5 SQUARE EXTRA WIDE	(168) 4000K CCT, 70 CRI LEDs	0.83	194.5
P5	1	EATON	VTS-E08-LED-E1-T4-BZ	VENTUS LED SITE LUMINAIRE (8) LIGHTBARS WITH AccuLED OPTICS - TYPE 4	(168) 4000K CCT, 70 CRI LEDs	0.83	194.5
P6	2	EATON	VTS-E12-LED-E1-T4-BZ	VENTUS LED SITE LUMINAIRE (12) LIGHTBARS WITH AccuLED OPTICS - TYPE 4	(252) 4000K CCT, 70 CRI LEDs	0.83	291.7
P7	4	EATON	VTS-E05-LED-E1-SL4-BZ-HSS	VENTUS LED SITE LUMINAIRE (5) LIGHTBARS WITH AccuLED OPTICS - TYPE 4 W/ SPILL LIGHT CONTROL AND HOUSE SIDE SHIELD	(105) 4000K CCT, 70 CRI LEDs	0.83	127.3

Note
1. All poles are 25ft Square Straight Steel.
2. Concrete bases planned for 2ft 6in tall.
3. Every photometric plot point is 20ft spacing.
4. Type W3 planned for upright only.
5. Types W2 & W3 planned for mounting just below 3rd floor.
6. Parking lot is plotted for elevation from building west-side up to building east side.
Westmost and eastmost parking lots are planned for flat elevation.

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Center - in lot	■	1.1 fc	2.0 fc	0.3 fc	6.7:1	3.7:1	0.6:1
East - in lot	+	1.8 fc	5.8 fc	0.4 fc	14.5:1	4.5:1	0.3:1
Rest of Property	×	0.3 fc	2.0 fc	0.0 fc	N/A	N/A	0.2:1
West - in lot	+	1.6 fc	3.3 fc	0.5 fc	6.6:1	3.2:1	0.5:1

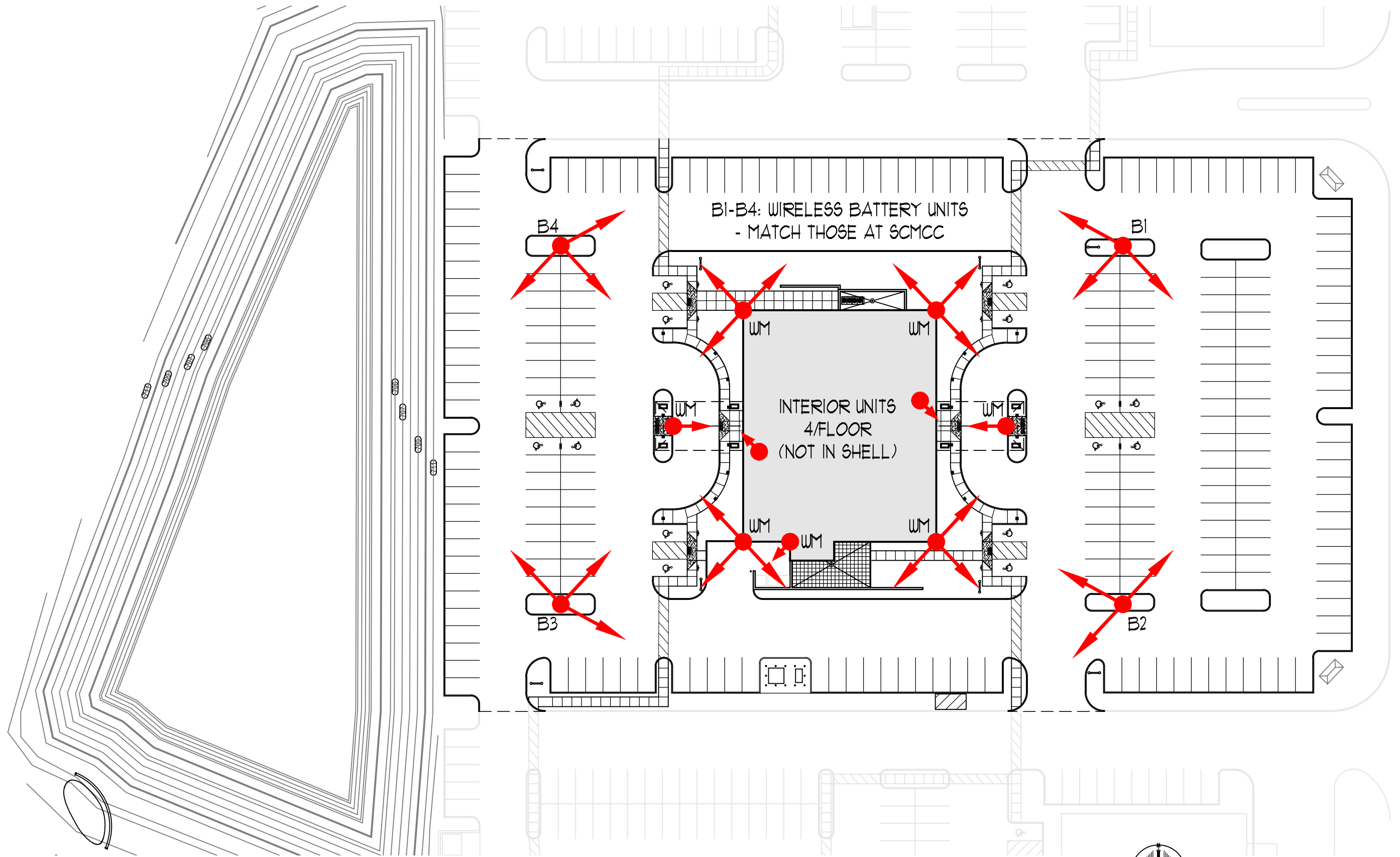




SIGN TYPE	NUMBER	DESCRIPTION
SMS 1	1	NORTHEAST CORNER - ELECTRONIC
SMS 2	1	SOUTHEAST CORNER - ELECTRONIC
FL	2	NO PARKING - FIRE LANE
NP	6	NO PARKING (5 ON POSTS, 1 ON BUILDING)
NPLZ	4	NO PARKING - LOADING ZONE
RP	5	RESERVED PARKING
D1 - D7	7	EXTERIOR DOOR LETTERING
HC	16	HANDICAP PARKING (8 INDIVIDUAL, 4 BACK TO BACK)
DNE	2	DO NOT ENTER
OUR	2	ONE WAY AND ROAD ARROWS
S	4	STOP SIGN AND ROAD MARKING
C-1	1	CANOPY LABEL 'EAST ENTRANCE'
C-2	1	CANOPY LABEL 'WEST ENTRANCE'
SDS 1	1	ON SITE DIRECTIONAL
SDS 2	1	ON SITE DIRECTIONAL
SDS 3	1	ON SITE DIRECTIONAL
SDS 4	1	ON SITE DIRECTIONAL
SDS 5	1	ON SITE DIRECTIONAL
SDS 6	1	ON SITE DIRECTIONAL
SDS 7	1	ON SITE DIRECTIONAL
SDS 8	1	ON SITE DIRECTIONAL

Froedtert South MOB Pleasant Prairie - Site Signage Plan

SCALE: 1"=50'-0"



Froedtert South MOB Pleasant Prairie - Site Camera Plan

SCALE: 1"=50'-0"



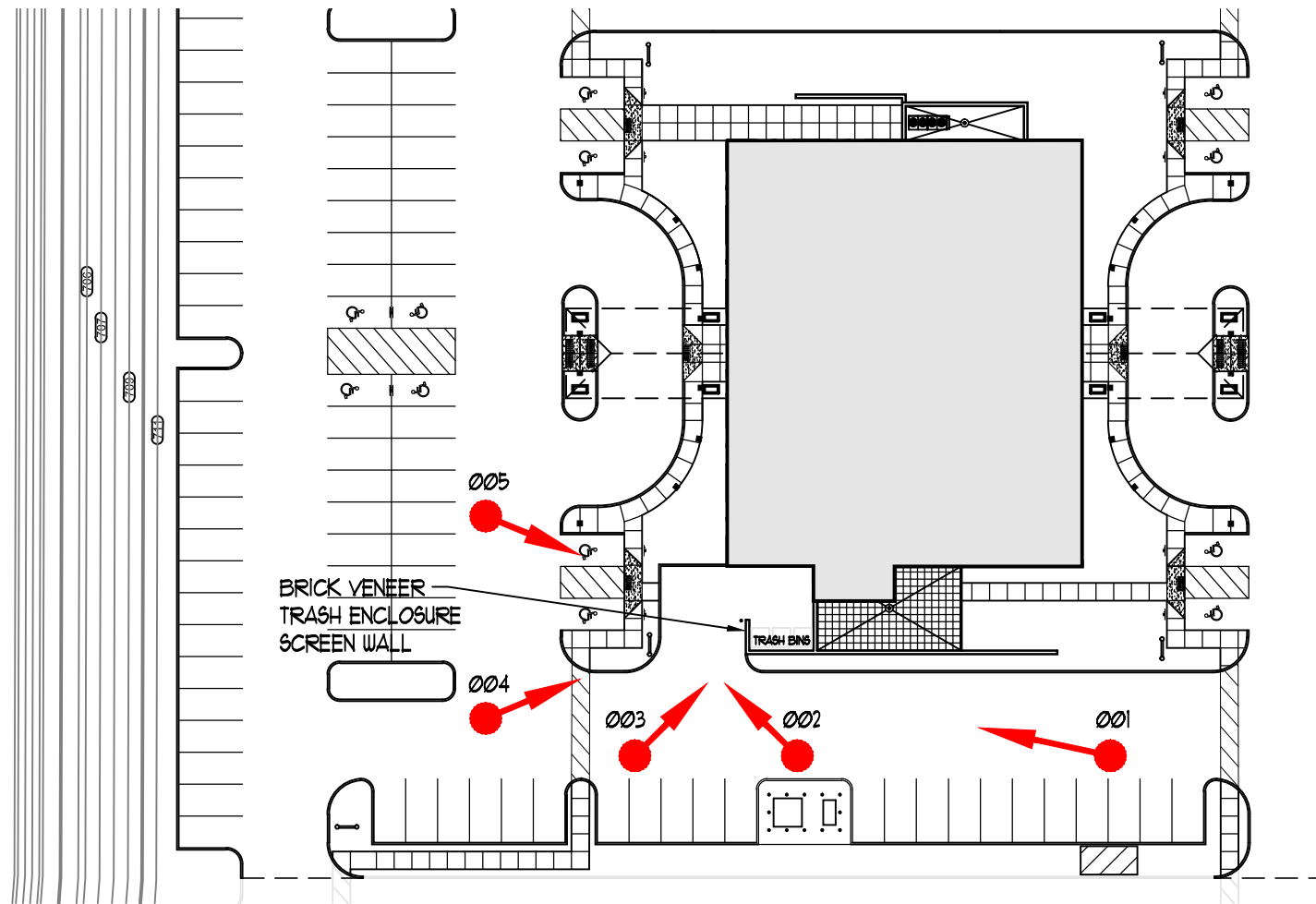


IMAGE 004



IMAGE 005



IMAGE 001



IMAGE 002

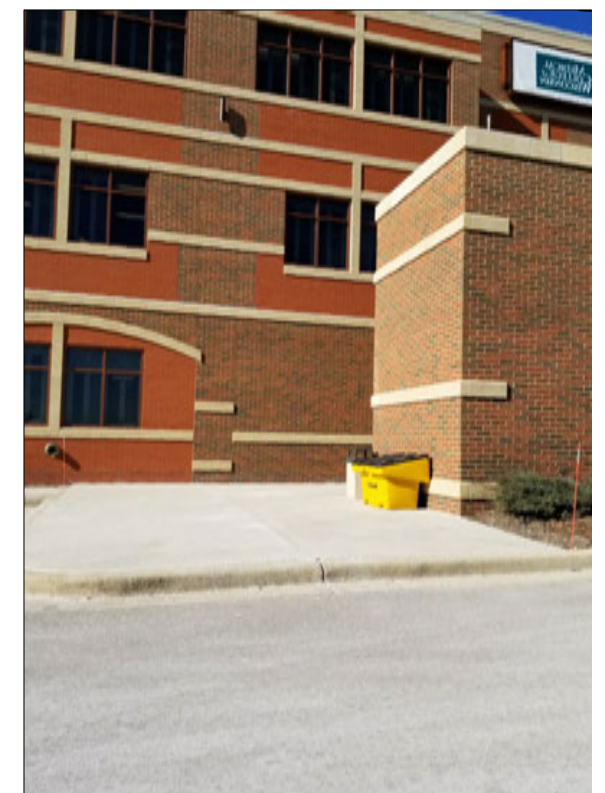
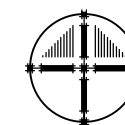


IMAGE 003

Froedtert South MOB Pleasant Prairie - Masonry Trash Enclosure

SCALE: 1"=50'-0"



- K. **PUBLIC HEARING AND CONSIDERATION OF A PLAN COMMISSION RESOLUTION #18-08 FOR A COMPREHENSIVE PLAN AMENDMENT** to amend a portion of the Barnes Creek Neighborhood Plan for the request of Dan Szczap, agent for Bear Development, for the proposed residential development of the vacant land at the southeast corner of 91st Street and Springbrook Road to be known as Eva Manor. The development includes a 42-unit senior housing apartment building and an 8-unit family townhome building.

Recommendation: Village staff recommends that the Plan Commission approve Plan Commission Resolution #18-08 and send a favorable recommendation to the Village Board to approve the Comprehensive Plan Amendment as presented.

- L. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Dan Szczap, of agent for Bear Development for the proposed residential development of the vacant land at the southeast corner of 91st Street and Springbrook Road to be known as Eva Manor. The development includes a 42-unit senior housing apartment building and an 8-unit family townhome building.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Conceptual Plan subject to the comments and conditions of the Village Staff Report dated March 26, 2016

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

VILLAGE STAFF REPORT OF MARCH 26, 2018

CONSIDERATION OF A PLAN COMMISSION RESOLUTION #18-09 FOR A COMPREHENSIVE PLAN AMENDMENT

to amend a portion of the Barnes Creek Neighborhood Plan for the request of Dan Szczap, agent for Bear Development, for the proposed residential development of the vacant land at the southeast corner of 91st Street and Springbrook Road to be known as Eva Manor. The development includes a 42-unit senior housing apartment building and an 8-unit family townhome building.

CONSIDERATION OF A CONCEPTUAL PLAN for the request of Dan Szczap, of agent for Bear Development for the proposed residential development of the vacant land at the southeast corner of 91st Street and Springbrook Road to be known as Eva Manor. The development includes a 42-unit senior housing apartment building and an 8-unit family townhome building.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.

The petitioner is requesting the Village to amend the Village 2035 Comprehensive Plan, to approve a Conceptual Plan for the proposed redevelopment of the property located at the southeast corner of 22nd Avenue and 91st Street with a 42-unit senior housing apartment building and an 8-unit family townhome building to be known as Eva Manor.

BACKGROUND INFORMATION: In **December of 2007** the Village approved a Final Condominium Plat for the Springbrook Place condominium development (4 7-unit buildings) and the Developer entered into a Development Agreement and submitted an Irrevocable Letter of Credit for the public and private improvements on the site. In 2007, a Developer funded (Pau-Go) Tax Increment District (TID #4) was created by the Village to assist the Developer in the reimbursement of the site remediation costs as tax increment is generated from the new development on the site. Under the TID, the Village agreed to reimburse the Developer for certain eligible costs incurred by the Developer in connection with the demolition of an existing dilapidated structure and the remediation of contaminated soils as an incentive to the Developer to redevelop the property in accordance with an approved TID Project Plan. The Village believes that unless the Village had provided the financial incentive to the Developer, the Developer would not have undertaken the purchase of the blighted site and remediation and redevelopment of the property. Since the TID was created, the Developer has demolished the existing commercial structure, remediated the known soil contamination and monitored the ground water. Between 2007 and 2017 the general decline in the condominium housing market has made the construction schedule for the proposed condominium buildings economically challenging and the Developer has requested several time extensions through TID Development Agreement amendments related to the new development construction timeline.

On **August 16, 2010** the Village Board approved the Third Amendment to the Development Agreement relating to extending the time frame to start the project. The Developer vacated the Springbrook Place Condominium Plat, but reserved the right to bring back the Preliminary Plat back at a later date. The Village Board granted the Developer's request for the TID to remain in place as long as the Developer took the necessary steps to comply with the conditions to fill in the stormwater basins, to spread the large stock pile of top soil on the site or remove it and to stabilize the site. The Village then released the Developer's Letter of Credit as the project was put on hold.

The Developer indicated that he did not intend to develop the property until market conditions improve; however in order to fulfill his commitment to the redevelopment the property, the Developer requested and the Village Board approved a Preliminary Condominium Plat for Springbrook Place II Condominium, which was identical to the previous plat pursuant to the Village Board Resolution #10-34 (September 20, 2010). The approval was valid for three (3) years or until September 20, 2013.

On **January 30, 2012** the Village Board conditionally approved a Comprehensive Plan Amendment (Ord. #12-03) and a Conceptual Plan to develop the property with a 46-unit, affordable, independent senior-only apartment complex. In addition, a Zoning Text and Zoning Map Amendments (Ord. #12-04 and #12-05) were approved to amend the Zoning Map to remove the Planned Unit Development Overlay (PUD) District from the property and to amend the Zoning Text to delete the Springbrook Place Condominium Planned Unit Development as a result of the proposed senior housing development.

On **February 28, 2017**, the Village provided the **attached** letter to the Wisconsin Housing Economic Development Authority that outlined the extent of financial participation including the funds spent to-date, future financial contributions and waiver of a portion of the impact fees by the Village for the senior apartment building.

CONCEPTUAL PLAN FOR PROPOSED SENIOR HOUSING PROJECT: At this time, the Developer is proposing to develop the property with a 42-unit senior housing apartment and an 8-unit multi-family townhome component.

Senior Housing: a four story senior apartment building with 42-units of affordable, independent senior apartments is proposed. There will be a variety of 25-1 bedroom units and 17-2 bedroom units with amenities including a community room, fitness facilities and outdoor patio gather space. Trees and landscaping will remain on the south side of the site and attractive landscaping will be provided though out the development. The building will include 7 unique floor plans as identified below:

Unit	Beds/Bath	Sq. Ft.	# of Units
A	1/1	709	8
B	2/2	1,001	4
C	2/2	1,098	3
D	1/1	696	4
E	1/1	679	13
F	2/2	985	8
G	2/2	1,005	2
Average unit size		821 square feet	
Average 1-bedroom size		691 square feet	
Average 2-bedroom size		1,011 square feet	

Multi-Family Townhomes: a two-story townhome building with 8-3 bedroom units will include individual entrances and an attached one car garage for each unit with direct entry from the garage into the unit. The 8 unit townhome units will average 1,312 square feet.

The site will also include 12 detached garage units that will be available for any of the units on the site and 66 surface parking spaces (including 4 handicapped accessible parking spaces). The site will also include storm water detention facility at the northeast corner of the site, adjacent to 91st Street. The garbage dumpster enclosure will be attached to the south end of the garage units.

WHEDA Tax Credit: The Developer has received approval from the Wisconsin Housing Economic Development Authority (WHEDA) for tax credits. To the extent consistent with applicable laws of the State of Wisconsin and the United States concerning fair housing, the senior housing component of the development shall be age restricted to individuals who are 55 years and older. In addition, 40 units within the senior building shall be income restricted for a period of 15 years commencing on the date such facility is placed into service. Subsequent to the foregoing time period, the Developer may, at its option, charge market rents for any or all of the units within the building. The Developer has agreed to place a written commitment/restrictive covenant that the senior independent apartment building will remain as housing for seniors (over age 55) after the WHEDA tax credits are all paid off in 15 years for another 15 years (or a total of 30 years). The 8-unit buildings will have a similar 30 year income restriction.

The monies raised via the sale of the tax credits will be used as equity for the development. In addition to the tax credit equity, the Developer will also be seeking a traditional construction/permanent loan, and AHP grant for the Federal Home Loan Bank of New York and deferred developer fees to finance the balance of the project costs. In exchange for the tax credits, the Developer agrees to lease 96% of the units to seniors making at or below 60% of the median county income. All 8 of the three-bedroom units will be lease to households earning less than 50% of the County median income. The following presents the proposed monthly rental rates for each unit type under the requirements of the WHEDA tax credit programs.

Number of Bedrooms	Unit Count	Unit Type	AMI Aside	Net Rent
1 bedroom	7	Senior	30%	\$356
1 bedroom	7	Senior	50%	\$617
1 bedroom	10	Senior	60%	\$728
1 bedroom	1	Senior	MKT	\$815
2 bedrooms	3	Senior	30%	\$428
2 bedrooms	5	Senior	50%	\$742
2 bedrooms	8	Senior	60%	\$875
2 bedrooms	1	Senior	MKT	\$975
3 bedrooms	8	Family	50%	\$757

* MKT – indicates a market rate unit; these units are not income restricted.

Wetlands: A detailed wetland delineation was completed on the site by RA Smith in September of 2017. Two (2) small wetland pockets were delineated. The petitioner obtained the **attached** permit dated January 5, 2018 to fill a portion of the wetlands from the WI DNR and is working with the US ACOE to obtain the required permit from them. The WI DNR will require that 175 square feet of wetland as shown on the **attached** exhibit to remain on the property adjacent to 22nd Avenue since the WI DNR requires applicants to “avoid and minimize” to the greatest extent. The townhomes are proposed to be at least 15’ from wetland area to remain and the intend to create a flat area west of the townhome building and slope down at 4:1 to the preserved the 175 square foot “wetland” that is not allowed to be filled. Copies of the US ACOE fill permit shall be provided to the Village. The wetland area that is not being allowed to be filled will be required to be shown on the Comprehensive Land Use Map and the Zoning Map.

Onsite Parking: Pursuant to the Village Zoning Ordinance, the minimum number of parking spaces for senior housing is 1 space per 2 bedrooms; and the minimum number of parking spaces for 3 bedroom multi-family units is 2.5 spaces for each dwelling unit, 75% of the spaces shall be within an enclosed garage structure, plus 1 space for every 8 units for guest parking wherein the location of parking spaces and garage location is subject to Plan Commission approval. In addition, to these minimum requirements the required handicapped accessible parking spaces per the State code shall be provided.

The senior housing component of the development will have 59 bedrooms; therefore, at least 30 parking spaces are required. The 3 bedroom townhomes require a minimum of 20 parking spaces wherein 15 spaces shall be enclosed, plus 1 space for guest parking. In addition, the required handicapped accessible parking spaces per the State code are also required. Based on the foregoing, 51 parking spaces of which 15 are enclosed are required plus the required handicapped accessible parking. The development includes 66 surface parking spaces (including 4 handicapped accessible spaces) and 20 enclosed garages of which 8 are attached to the townhome buildings. The parking spaces will need to be reconfigured at the entrance to have a longer neck—removing 4 to 6 parking spaces will not affect the minimum number of parking spaces requirements.

Municipal Services/Public Improvements:

- Municipal Water will be extended within 22nd Avenue to service the two buildings.
- The buildings will connect to the existing sanitary sewer within 22nd Avenue.
- The 91st Street right-of-way is located in the City of Kenosha. Springbrook Road (22nd Avenue) right-of-way is located in the Village. No sidewalks are being proposed in either 91st Street or 22nd Avenue at this time.
- Street trees will be required to be installed every 50 feet along 22nd Avenue and 91st Street.
- Approximately 0.16 acre (6,754 square feet) of land was already dedicated for the future widening of 22nd Avenue by CSM # 2616 so no additional right-of-way is intended to be dedicated by the Developer. Some easements dedicated by CSM 2616 will need to be vacated and some new storm water, utility and other easements will need to be dedicated on a new or revised CSM.

COMPREHENSIVE PLAN AMENDMENT (Plan Commission Resolution #18-08): The proposed development is located within the northern portion of the Barnes Creek Neighborhood. The Barnes Creek Neighborhood is generally bounded by 89th and 91st Streets on the north, Sheridan Road on the east, STH 165 (104th Street) on the south and 30th Avenue on the west. The 2035 Land Use Plan indicates that this property is located within the Lower-Medium Residential land use designation. Neighborhood Plans are a component of the Village's Comprehensive Plan and they are essential to the orderly growth of the community because they establish a framework as to how development should occur and, if and when it does occur.

In support of this development, several of the housing element goals in the Village's Comprehensive Plan are being met to encourage the provision of a diverse housing supply that meets the Village's future population needs. Some of Plan's housing recommendation objectives include: to promote a range of affordable housing choices for Village residents; to promote a range of affordable housing choices for the Village's aging and disabled population; to promote the use of design that allows access and livability for disabled and elderly people in new construction; to continue to support reducing or waiving a portion of impact fees for proposed senior housing development; and to encourage the location of senior developments in areas where public transportation and other transit services for the elderly and disabled are offered. On January 30, 2012, the Village Board approved an amendment to the Barnes Creek Neighborhood Plan to develop the property with a 46-unit, affordable, independent, senior-only apartment building on the property.

At this time the petitioner is requesting an amendment to the Barnes Creek Neighborhood Plan for the proposed residential development as shown on the conceptual plan that includes a 42-unit senior housing apartment building and an 8-unit family townhome building.

ZONING TEXT AND MAP AMENDMENTS: The current zoning of the property is R-11 Multi-Family Residential District. A portion of the property is located within the shoreland boundary of a tributary to Barnes Creek. At the time that the final plans are submitted, a specific PUD Ordinance will be written for this development and the property will be rezoned with a new PUD Overlay District. Developing as a PUD will allow for flexibility with some requirements of the Village Zoning Ordinance provided there is a defined benefit to the community. The following modifications from the Zoning Ordinance are proposed to be included in the PUD:

- To allow more than one multi-family building on the property.
- To increase the number of apartment units allowed per building from 24 to 42 for senior-only apartments.
- To increase the net density allowed in the R-11 District from 9.6 to 15.6 dwelling units per net acre. The 3.2 net-acre property (0.004 acres or 175 square feet of wetland to remain) will provide a net density of 15.6 units per acre. A total of 1.8 acres or 56% of

the site will remain as open space. The open space areas will include a storm water basin at the northeast corner of the site, a woodland area along the southern portion of the property and setback open space.

- To allow for the senior apartment one bedroom units to be reduced from a minimum of 700 square feet to 675 square feet per unit.
- To allow for senior apartment two bedroom units to be reduced from a minimum of 1,000 square feet to 980 square feet per unit.
- To increase the building height of the senior building from 35 feet to 53 feet.
- To allow for the setbacks of the building to be reduced from 25 feet to 15 feet from the wetlands that will remain.
- To reduce the minimum building setback to the 91st Street from 65 feet to a 50 feet.
- To reduce the minimum building setback to the 22nd Avenue from 65 feet to a 28 feet.

In consideration of these modifications to the Village Zoning Ordinance, the following shall be required:

- The senior apartment units shall be restricted for seniors 55 years of age and over. The Developer has agreed to place a written commitment/restrictive covenant that the senior independent apartment building will remain as housing for seniors after the WHEDA tax credits are all paid off in 15 years for another 15 years (total of 30 years). (The Developer shall provide the wording related to this restrictive covenant provision for Village staff review.)
- Although there is no C-2 woodland conservancy zoning on the property, the wooded area located along the southern boundary shall continue to be preserved and has been located within a Dedicated Woodland Preservation and Protection, Access and Maintenance Easement. In addition, evergreen trees shall be planted as an additional buffer.
- Both the senior apartment building and the townhome style apartment building shall be fully sprinklered.
- A Village approved Digital Security Imaging System pursuant to Chapter 410 of the Village Municipal Code shall be installed, inspected and be operational for the development.

A PUD Ordinance will be drafted and considered by the Plan Commission and the Village Board at the time the final plans are submitted for review. The required public hearing for the PUD Zoning Text and Zoning Map Amendments will be held at the same time as the Plan Commission and Village Board considers a new or corrected CSM and the required Development Agreement for the installation of the public water main improvements.

The developer anticipates commencing construction on the development in July, 2018 with completion in July, 2019.

Recommendations:

Village staff recommends approval of **Plan Commission Resolution #18-08** to approve amendments to the Comprehensive Plan as presented.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the **Conceptual Plan** subject to the above comments and the following conditions:

1. The Conceptual Plan approval will be valid for a period of one (1) year. Prior to the expiration of the Conceptual Plan, the CSM, Zoning Map and Text Amendments for the required Planned Unit Development including the Final Development Plans and Development Agreement shall be approved by the Village.

2. If any additional changes/amendments are required to the Development Agreement for TID #4 then that Agreement and Memo shall be re-executed by the parties. Further discussion and evaluation is warranted.
3. Provide a site closure letter from the WI Dept. of Commerce/WI DNR regarding the site remediation. Submit final paperwork to the Village to verify that the site may be redeveloped as proposed.
4. The **attached** wetland fill permits from the WI DNR dated January 5, 2018 was submitted; however the wetland fill permits or non-jurisdictional letter from the US AOCE shall be submitted.
5. Comprehensive Land Use Map Amendment application shall be submitted to place the wetlands that are required to remain on the site into the correct land use designation. In addition, the wetlands that will remain shall be rezoned into the C-1, Lowland Resource Conservancy District. The applications for the Comprehensive Land Use Plan Amendment (if applicable) shall be submitted with the Zoning Map and Zoning Text Amendment applications.
6. The project is proposed to be developed as a Planned Unit Development (PUD). Developing as a PUD will allow for more flexibility with some dimensional requirements of the Village Zoning Ordinance provided there is a defined benefit to the community. The Village staff will begin preparing a detailed PUD Ordinance for review by the Developer, the Plan Commission and Village Board upon approval of the Conceptual Plan and submittal of the CSM and Zoning Map and Text Amendment applications that will include the Final Development Plans.
7. The Developer has agreed to provide to the Village a restrictive covenant that all of the senior independent living apartment buildings within this development will remain as housing for seniors after the WHEDA tax credits are all paid off in 15 years for another 15 years (total of 30 years). A Restrictive Covenant, as agreed to by the Developer, shall be executed and recorded by the Developer as a condition prior to approval of the Certified Survey Map and related Development Agreement.
8. The entire site, including entrances and exits to the site and to the units shall be covered by a DSIS system pursuant to Chapter 410 of the Municipal Code. Detailed camera coverage plans and specifications for the site shall be submitted for the staff to draft the DSIS Agreement and DSIS Access Easement with the Final Development Plans and the PUD application.
9. A new or corrected Certified Survey Map will be required to dedicate additional easements including an easement over the wetland area to remain. A CSM cannot be used to vacate any existing easements. Draft CSM and Draft Easement vacation documents (with illustrations) shall be submitted for staff review and final review and approval by the Plan Commission and Village Board. The following comments relate to the new CSM and easement vacations:
 - a. The Village will not vacate the following easements shown on CSM 2616. They may need to be adjusted slightly but will be required on the CSM. They are required for all residential and commercial projects:
 - i. Dedicated Storm Water Drainage, Detention Basin, Access and Maintenance Easement – easement is required for all private or public projects.
 - ii. Dedicated Woodland Preservation and Protection, Access and Maintenance Easement – easement is required and area is to be densely landscaped and protected-language can be written to match the revised landscape plan.
 - iii. Dedicated Landscape, Fence, Access and Maintenance Easement – easement is required along 22nd Avenue and along 91st Street.

- iv. Dedicated Vision Triangle Easement- easement required on both sides of private entrance driveway from 91st Street.
 - v. Dedicated Utility Easement – easement is required for utility and communication facilities.
 - b. The Village may be willing to vacate the following easements on CSM 2616 – sanitary sewer and water easements (discuss with Village Engineer) because they are private) and it would be up to the Utility and Communication Companies whether they would vacate their un-needed easements. However – these easements shall be vacated by a separate easement document with illustration and legal description prepared by the Developer and approved by the Village Board.
10. The Conceptual Plan has been for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. The following changes shall be made to the plans and resubmitted as part of the Final Development Plans with the Zoning Map and Text Amendment and the Certified Survey Map (three full size copies and a pdf of all documents):
- a. 22nd Avenue is no longer CTH ML. Correct all plan sheets.
 - b. Sheet C-1 – Add all government agency, owner, engineer and architect contact information. Add all City DPW, Engineering and ROW contact information (91st Street ROW is in the City of Kenosha).
 - c. Sheet C-1 – Clearly show City/Village corporate limit line on the location map.
 - d. Sheet C-3 – How long do the groundwater monitoring wells need to remain on the site?
 - e. Entire development shall be provided with curb and gutter.
 - f. The existing curb cuts in 91st Avenue that are not being used shall be removed and replaced. Note on the plans.
 - g. The parking spaces will need to be reconfigured at the entrance to have a longer neck—removing 4 to 6 parking spaces will not affect the minimum number of parking spaces requirements.
 - h. All service laterals that are not being utilized shall be abandoned at the main. This applies to Sanitary, Water, and Storm. Note on the plans.
 - i. See **attached** comments from the Village Engineer dated March 5, 2018
 - j. All service laterals that are not being utilized will be abandoned at the main. This applies to Sanitary, Water, and Storm laterals. Note on the plans.
 - k. See **attached** comments from the Village Building Inspection Department dated March 5, 2018.
 - l. See **attached** comments from the Village Fire & Rescue Department dated March 5, 2018.
 - m. The following comments related to the building and elevations:
 - i. Clarify/label the locations of the brick veneer on the front of the building and the east side of the garages.
 - ii. Entrance posts on north elevation of senior building shall be brick or CMU to minimize damage at the bases.

- iii. Add additional window or architectural detail to the rear elevation of senior building.
 - iv. North and south elevations of the townhouse building shall have brick which extends $\frac{2}{3}$ ^{rds} up the side of the building.
 - v. Add brick to center upper town house building east elevation. Add an architectural element at this location at the peak and on two of the peaks on the west side of this building.
 - vi. Show exterior lighting details on all buildings – senior building, townhouse building and garage.
 - vii. Add lighting at the entrance. Verify with the City if they will require a public street light at the entrance.
 - viii. Label heights of each of the buildings on the site plan.
 - ix. Provide the materials sample boards for the project.
 - x. Dumpster shall have steel pipes that are painted to match the enclosure with rounded top caps. Provide greater details to dumpster. Dumpster doors shall be Trex deck material panels or metal panels with an easy movable door mechanism.
- n. A detailed landscaping plan is required. At a minimum the plan shall include:
- i. The base map for the Landscape Plans shall be the approved grading plan.
 - ii. An irrigation system for the foundation plantings is required and shall be shown on the plans.
 - iii. The location of all pedestals and transformers and proposed screening.
 - iv. Street trees shall be planted every 50 feet along 22nd Avenue and 91st Street.
 - v. Show more of a berm with plantings and attractive fence to the west of the townhouse building adjacent to 22nd Avenue.
 - vi. Additional evergreen buffer landscaping shall be provided in the woodland preservation easement on the south side of the development.
 - vii. Provide all required landscaping details.
 - viii. Provide four (4) parking lot landscaped islands. All lights shall be located within landscaped areas.
 - ix. Provide low growing plantings in pumper pad island – this should be fully landscaped but will be restricted due to pumper pad – requires further discussion.
 - x. Provide details of open/green space and impervious surface percentages on the plan set.
 - xi. Include the location and design of the required Multifamily Residential Development Identification Sign and the required landscaping around the base of the sign. The sign shall meet the following requirements:
 - (a.) Minimum setback: five (5) feet from the right-of-way line of 91st Street and 22nd Avenue.
 - (b.) Maximum height: eight (8) feet.
 - (c.) Maximum area: 36 square feet per face.
 - (d.) Landscaping shall extend a minimum of three feet in every direction

from the base or other support structure of the sign, except if the sign is located in a boulevard island, then the landscaping shall not extend closer than two feet from the back of the curb of the boulevard island.

- (e.) May be illuminated.
- (f.) May be placed on two supports or may be placed on a solid-appearing decorative base which supports a minimum of 75% of the display of the sign.
- (g.) The sign supports or base shall be constructed of materials that complement the materials used in the development.
- (h.) Maximum height of base under display: four (4) feet.
- o. A detailed Lighting Plan with photometric shall be provided. Parking lot lights are required to be located within landscaped areas. Lights shall be directed downward, with a maximum height of 20 feet and any concrete base shall not be more than 12" high. Include details/specification for pole head and standard details.

NEXT STEPS:

1. Upon approval of the Conceptual Plan by the Village Board the following documents shall be submitted to the Village for staff review:
 - a. A draft copy of the Certified Survey Map
 - b. A draft copy of the easement vacation documents with illustrations.
 - c. Three (3) full size and a pdf copy of the Final Development Plan that address all of the plan changes as noted above.
 - d. A draft of the Restrictive Covenant related to the age restriction.
 - e. Ownership verification documents.
2. After the above documents are received, the Village will begin its review of the documents and begin to prepare the Development Agreement (for the installation of public water main, and the public street trees, if required within 22nd Avenue and 91st Street and two public street lights at the entrance-City of Kenosha to determine if public or private), the PUD Ordinance for the Developer's review.
3. Upon the staff's satisfactory review of the CSM and Final Development Plans including the detailed Engineering Plans and Specifications and other items specified above, the CSM, Development Agreement and Zoning Text and Map Amendment Application, Comprehensive Plan Amendment and related application materials shall be submitted for consideration of the Plan Commission and Village Board.
4. Upon Village staff approval of the Engineering Plans and Specifications, the Developer shall submit the approved plans, profiles and specifications copies of WI DNR water application checklists to the Village so that the Village can request approval from the Kenosha Water Utility (KWU) and obtain bids for field staking and inspection services for the public improvements.
5. A copy of the approval letters from the KWU and WI DNR shall be submitted to the Village.
6. At least two weeks prior to Village Board consideration of the CSM, Development Agreement and related documents the following shall be finalized and submitted:
 - a. The original executed Certified Survey Map and easement vacation documents.
 - b. Five (5) full size copies and a pdf copy of the Final Development Plans including Civil Plans, Grading and Drainage Plans, Storm Water Management Plans and Reports, Landscaping Plans, Building Plans and Lighting Plans.

- c. A copy of the signed contracts, certificates of insurance, and performance and payment bonds shall be provided to the Village. The contracts shall have the Developer's name as shown on the title of the property. The certificates of insurance shall also list the Village of Pleasant Prairie as an insured party. **All contractors shall be pre-qualified by the Village.**
 - d. A copy of the signed public street tree contract, street tree planting plan and certificate of insurance. **All contractors shall be pre-qualified by the Village.**
 - e. A copy of the public water approval letters from the Kenosha Water Utility, WI DNR.
 - f. A Policy of Title Commitment equal to the cost of public improvements. The title policy shall indicate that the right-of-way is being dedicated free and clear of any encumbrance liens or judgments.
 - g. A copy of the signed We Energies contract and five (5) paper copies and a pdf copy of the Street Lighting Plan only if public street lights are required by the City of Kenosha at the entrance.
 - h. Erosion Control Permit application, plans and related fee including the required Street Sweeping Cash Deposit.
 - i. Copy of the Notice of Intent from the WI DNR
 - j. Copy of the WI DNR wetland fill permits.
 - k. Copy of the US ACOE wetland fill permits.
 - l. The Work in the Right-of-Way Permits (from City of Kenosha for 91st Street and Village for 22nd Avenue).
 - m. Right of Recovery Agreement (to be drafted by the Village and reviewed by the Developer) for the municipal water system within 22nd Avenue.
 - n. The TID Development Agreement if needed to be modified.
 - o. A "draft" LOC shall be provided to the Village for staff review. (See comment below related to the LOC.)
 - p. Final Memorandum of Development Agreement (to be drafted by the Village and reviewed by the Developer).
 - q. Final Development Agreement (to be drafted by the Village and reviewed by the Developer).
 - r. Final Declaration of Restrictions.
 - s. Title Report Commitment, updated the day before closing and again within 7 days after closing and recording of the documents.
 - t. Verification of taxes and outstanding special assessments being paid. Any outstanding taxes, special assessments or invoices shall be paid prior to recording the CSM and Memorandum of Development Agreement.
7. A one year minimum Irrevocable Letter of Credit (LOC) to the Village, in the amount of 115% of the total cost of public related improvements, including street trees, street lights, street signs, field staking, inspections and construction related services (including sanitary sewer, and storm sewer cleaning and televising), shall be submitted to the Village. The Itemized Cost Breakdown Exhibit will be prepared by the Village staff to determine the amount of the Letter of Credit and the cash payments. **IMPORTANT: A draft Letter of Credit equal to the cost breakdown analysis (need to verify proper format and dollar amount of Letter of Credit prior submitting the Original Letter of Credit.** The Cash payments and the "Final" LOC shall be provided prior to the Village at the closing.
8. If any of the units are proposed to be used as a model or marketing office, a Conditional

Use Permit application will be required to be submitted for consideration by the Village Plan Commission.

9. The Final Engineering Plans shall be submitted to the Village in electronic format which satisfies the following acceptance criteria. If you have any questions contact Matt Fineour, Village Engineer at (262) 925-6778.
10. Upon Village Board approval of the CSM and Final Development Plans and within seven (7) days of said approval the Village will host a closing to have the Plat(s) and all of the Development Agreement documents signed. The Developer shall be responsible for recording all required documents at the Kenosha County Register of Deeds Office and provide proof of recording to the Village within 72 hours of closing with the Village.
11. Following the closing, the Developer's engineer shall conduct a pre-construction meeting at the Village Hall with all of the contractors, utilities and Village on-site inspectors (meeting is required prior to public improvement field work commencing). Contact Jean Werbie-Harris to coordinate the pre-con meeting.
12. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
13. All Village fees incurred by the Village Community Development Department, Village Engineering Department and/or expert legal assistant required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner. Any conflicts between the Village Design Standards and Construction Specifications, Land Division and Development Control Ordinance will require compliance with the Village Design Standards and Construction Specifications.
14. Impact fees are due at the time building permits are issued. Pursuant to the **attached** letter dated February 28, 2017 the Village has agreed to waive the Village's neighborhood and community park impact fees for each senior unit. Furthermore, sewer connection fees may be adjusted as noted in the same letter.
15. All public and private improvements shall be completed, inspected, and Village approved including having sanitary sewer and storm sewer televised, water sampled with safe samples, roadways completed, electric and gas utilities installed, signage installed and as-built utility and grading plans submitted prior to the issuance of any building permits in accordance with the Development Agreement on file with the Village.

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION
RESOLUTION #18-09
TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
2035 COMPREHENSIVE PLAN**

WHEREAS, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

WHEREAS, the 2035 Comprehensive Land Use Plan Map 9.9 sets forth the generalized land use designations of the Village and shall be consistent with other components of the Comprehensive Plan including Neighborhood Plans and the Village Zoning Map; and

WHEREAS, Neighborhood Plans serve as a further refinement to the 2035 Comprehensive Land Use Map and identify the location of future lots, building layouts, right-of-way dedications and roadway configurations, environmental restrictions, if any; storm water drainage facilities; internal and external driveway access locations to adjacent roadways and certain details for potential institutional buildings and their parking lot locations, all pursuant to the land uses identified on the 2035 Comprehensive Land Use Plan Map; and

WHEREAS, the Village has received a request to amend a portion of the Barnes Creek Neighborhood Plan, specifically for the development of Eva Manor a 42-unit senior housing apartments and 8-unit townhome building on the property located at the southeast corner of 91st Street and 22nd Avenue as shown on **Exhibit A**, and located within U.S. Public Land Survey Section 18, Township 1 North, Range 23 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 93-4-123-183-0480; and

WHEREAS, on February 23, 2018 the required 30-day notice was published in the Kenosha News and notices were sent to property owners within 300 feet of the proposed Neighborhood Plan area regarding public hearing being held by the Village Plan Commission on March 26, 2018.

NOW THEREFORE, BE IT RESOLVED, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby recommends approval to amend a portion of the Barnes Creek Neighborhood Plan, a component of Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan as presented at the March 26, 2018 public hearing and shown and described in **Exhibit A**.

BE IT FURTHER RESOLVED that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting said amendments, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

Adopted this 26th day of March 2018.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

James Bandura
Plan Commission Secretary

Thomas W. Terwall
Plan Commission Chairman

Date Posted: _____

09-Barnes Creek NP Amend-Eva Manor
CODE1802-003

Neighborhood Plan 2 of Appendix 9-3

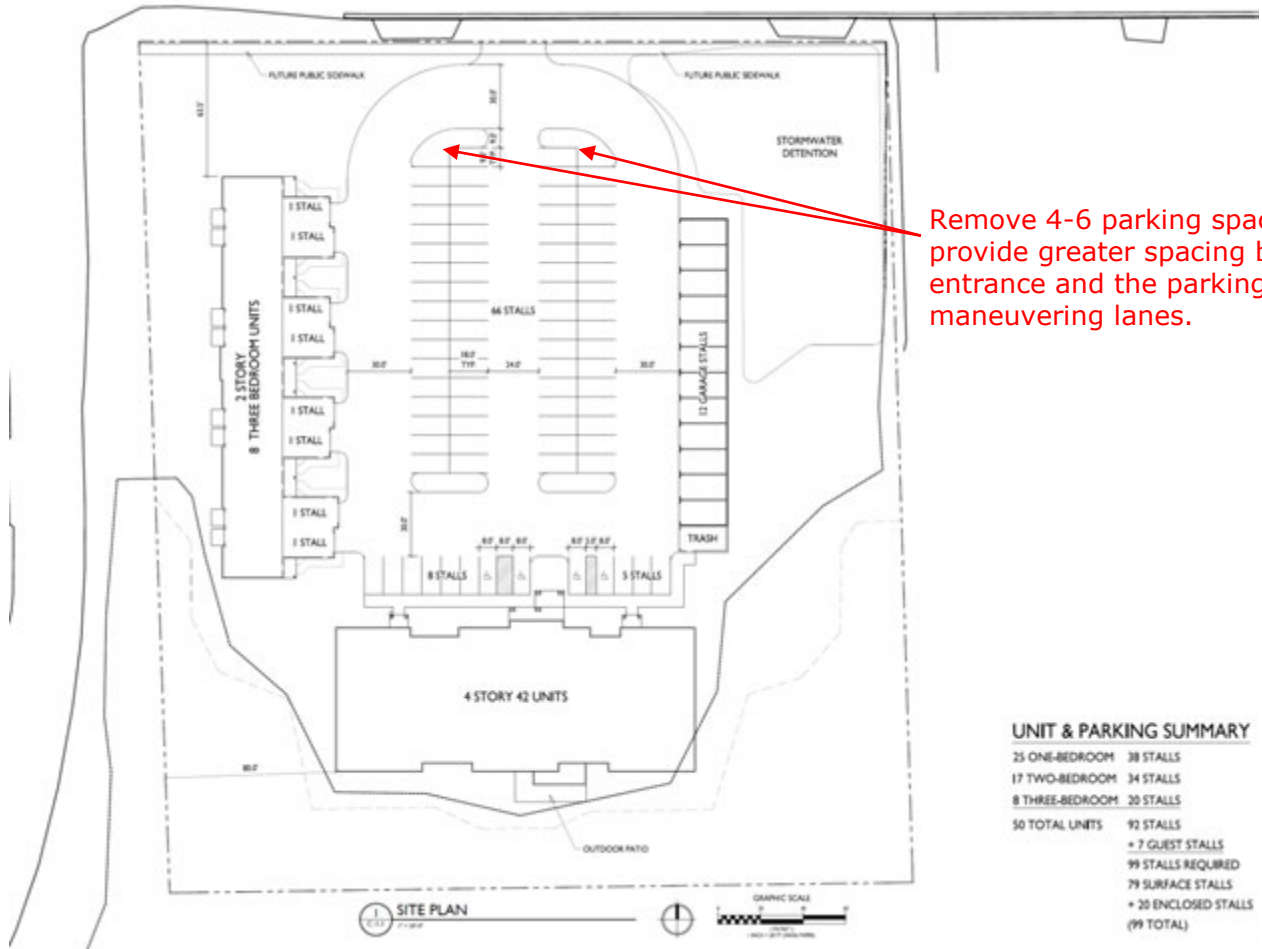
Barnes Creek Neighborhood

The Barnes Creek Neighborhood is located within the Village and a small portion is located within the within the City of Kenosha. A Neighborhood Plan for a portion of this Neighborhood has been prepared and adopted by the Plan Commission on September 10, 2007 by Resolution #07-21 and the Village Board adopted a resolution of support on September 17, 2007 by Resolution #07-55. In 2012, ~~a revised Neighborhood Plan,~~ the neighborhood plan was amended as adopted by the Plan Commission on January 30, 2012 by Resolution #12-04 and the Village Board adopted Ordinance #12-03 on January 30, 2012. In 2018, a revised Neighborhood Plan was adopted by the Plan Commission on March 26, 2018 by Resolution #18-08 and the Village Board adopted Ordinance # _____ on _____, 2018

The Barnes Creek Neighborhood is bounded by 89th Street and 91st Street on the north, Sheridan Road on the east, STH 165 (104th Street on the south) and 30th Avenue on the west in the Village. This neighborhood comprises of a number of older subdivisions including Springbrook, Brookside Gardens and Hickory Grove Subdivisions with the remainder of the area to the southeast being primarily farm land. There are a number of home sites adjacent to the arterial roadways and the Keno Drive-In Theater is located at the southwest corner of STH 32 and 91st Street.

Approximately 3.2 acres of the neighborhood located at the southeast corner of 22nd Avenue and 91st Street ~~had a neighborhood plan approved to develop the property with a 46 unit affordable, independent senior apartment building.~~ is proposed to be developed with a includes a 42 unit senior housing apartment building and an 8-unit family townhome building as shown on Neighborhood Plan Map 2.

Neighborhood Plan Map 2
Barnes Creek Neighborhood Plan (portion of)
 Adopted by Plan Commission Resolution **#18-09** ~~#12-04~~ and
 Village Board Ordinance ~~#12-03~~ **#18-**



UNIT & PARKING SUMMARY

25 ONE-BEDROOM	38 STALLS
17 TWO-BEDROOM	34 STALLS
8 THREE-BEDROOM	20 STALLS
50 TOTAL UNITS	92 STALLS
	+ 7 GUEST STALLS
	99 STALLS REQUIRED
	79 SURFACE STALLS
	+ 20 ENCLOSED STALLS
	(99 TOTAL)



Office of the Village Administrator
Michael R. Pollocoff

February 28, 2017

Sean O'Brien, Director, Commercial Lending
Wisconsin Housing Economic Development Authority
201 West Washington Avenue, Suite 700
Madison, WI 53703

RE: Tax Parcel 93-4-123-183-0480

Dear Mr. O'Brien:

In response to a request from Bear Development, LLC (Bear), we are providing the following information relating to the above referenced parcel located in the Village of Pleasant Prairie (Village). Tax Increment District # 4 was created to assist in mitigating environmental and blight issues and incent development on the site. We have been working with Bear for several years on this proposal to construct affordable, primarily senior housing on this site. The financial participation calculation can be broken down into three distinct categories: 1) Village and State funds spent to-date, 2) future financial contributions and 3) waived fees by the Village.

Funds Spent To-Date. WEDC awarded \$150,000 via a Brownfield Grant and the Village allocated TIF funding of \$715,365 to raze the blighted building and begin the extensive environmental remediation effort. All awarded and allocated funds were used in connection with the demolition of the blighted structure and remediation of the contaminates stemming from the former dry cleaners within the blighted building. All soils are now remediated and the site is ready for the primarily senior LIHTC housing proposal.

Future Financial Contributions. Future financial benefit will accrue to the development via the extended TID time frame which will now expire on 12/31/2034. The mechanism for this funding will be via a pay-go TIF by way of annual real estate tax reimbursements. 100% of the increment created will be reimbursed to the development entity or assigns.

Connection Fee Charges Reduced by the Village. The Village of Pleasant Prairie Municipal Ordinance 285-23 C. (2) provides the rationale for the application as a partial reduction of connection fees for sanitary sewer laterals for multi-family dwellings. At discretion of the Village, the ordinance provides an option for the property owner to

evaluate the utilization of water from the 13 month flow after full occupancy to the 18th month for an adjustment to the connection fee. The ordinance provides the steps that must be followed in order to receive an adjustment.

A previous adjustment for a similar development reflected a *reduction of 68%* in the connection fee. The current connection fees are \$1,600 per unit. The previous example would equate to a partial reduction waiver in the payment of $\$1,600 \times 68\% = \$45,696$. The Village is committed to continuing to maintain this adjustment process through the completion of the proposed Bear Senior Housing Development in Pleasant Prairie, and the current connection fee throughout the time required for this adjustment to be made.

Impact Fees Waived by the Village. The Village has agreed to waive the Village's neighborhood and community Park Impact Fees for each senior unit, which equates to a reduction from \$632.00 per senior unit to \$0.00 per senior unit or a cost savings to the Developer of \$26,544.00 for the 42-senior unit building.

If I can be of further assistance relating to this matter, please feel free to contact me at 262-925-6721 or via email at villageadmin@plprairie.com.

Michael Pollocoff
Village Administrator



January 5, 2018

GP-SE-2017-30-03961

BFU II, LLC
c/o Daniel Szczap
4011 80th Street
Kenosha, WI 53142

RE: Coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, located in the Village of Pleasant Prairie, Kenosha County, also described as being in the SW1/4 of the SW1/4 of Section 18, Township 1 North, Range 23 East.

Dear Mr. Szczap:

Thank you for submitting an application for coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, s. 281.36, Wis. Stats.

You have certified that your project meets the eligibility criteria and conditions for this activity. Based upon your signed certification you may proceed with your project to fill 0.08 acres of wetlands. Please take this time to re-read the permit eligibility standards and conditions. The eligibility standards can be found on your application checklist or in the statewide general permit WDNR-GP1-2017 (found at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html>). The permit conditions are attached to this letter. You are responsible for meeting all general permit eligibility standards and permit conditions. This includes notifying the Department before starting the project, and submitting photographs within one week of project completion. Please note your coverage is valid for 5 years from the date of the department's determination or until the activity is completed, whichever occurs first. This permit coverage constitutes the state of Wisconsin's wetland water quality certification under USCS s. 1341 (Clean Water Act s. 401).

The Department conducts routine and annual compliance monitoring inspections. Our staff may follow up and inspect your project to verify compliance with state statutes and codes. If you need to modify your project please contact your local Water Management Specialist, Elaine Johnson at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov to discuss your proposed modifications.

The Department of Natural Resources appreciates your willingness to comply with wetland regulations, which help to protect the water quality, fish and wildlife habitat, natural scenic beauty and recreational value of Wisconsin's wetland resources for future generations. Please be sure to obtain any other local, state or federal permits that are required before starting your project.

If you have any questions, please call me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "Elaine Johnson", with a stylized, cursive script.

Elaine Johnson
Water Management Specialist

cc: Rachel Nuetzel, Project Manager, U.S. Army Corps of Engineers
Peggy Herrick, Village of Pleasant Prairie

WDNR-GP1-2017 Permit Conditions – Residential/Commercial/Industrial

You agree to comply with the following conditions:

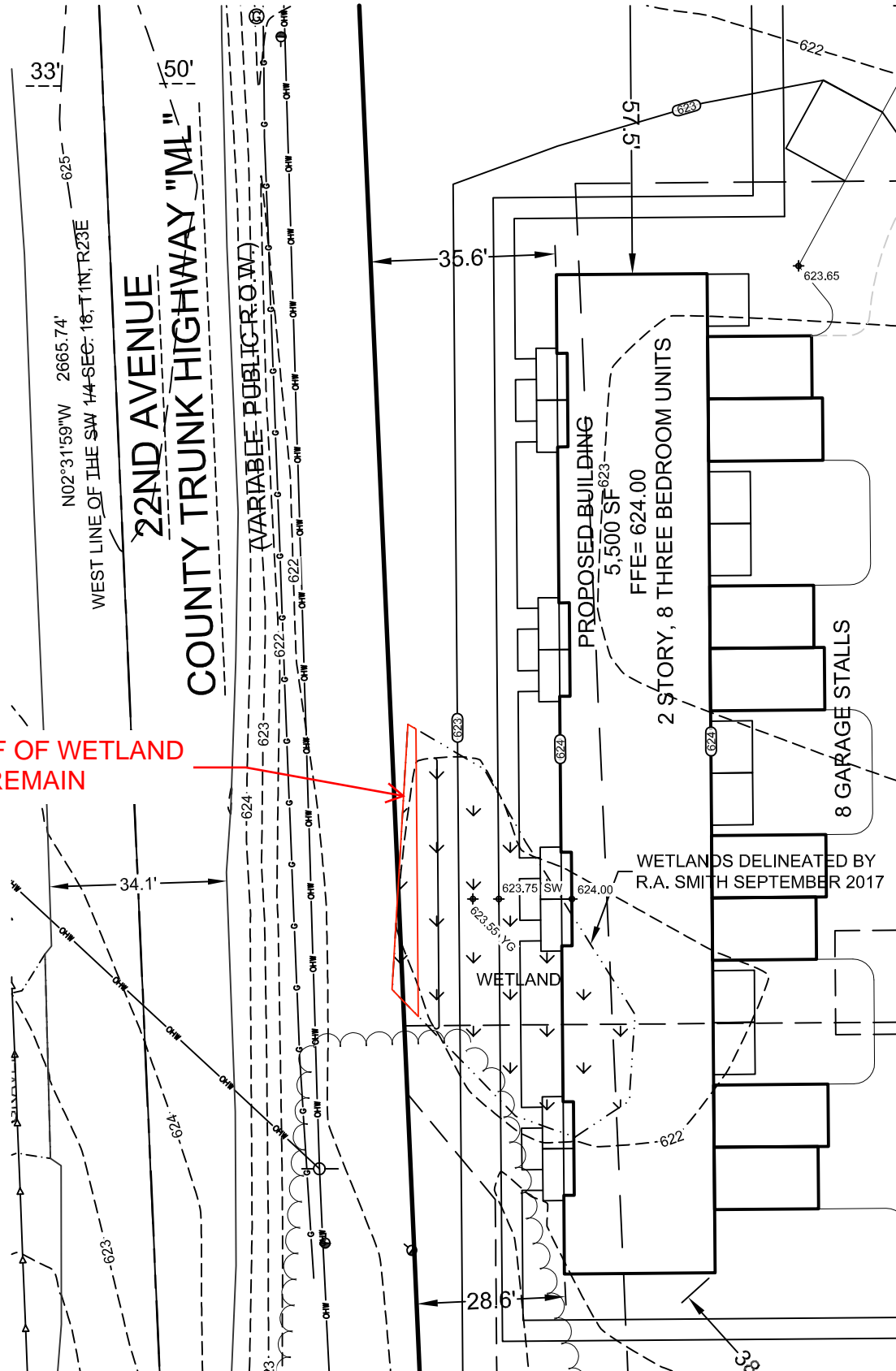
1. **Application.** You shall submit a complete application package to the Department as outlined in the application materials and section 2 of this permit. If requested, you shall furnish the Department, within a reasonable timeframe, any information the department needs to verify compliance with the terms and conditions of this permit.
2. **Certification.** Acceptance of general permit WDNR-GP1-2017 and efforts to begin work on the activities authorized by this general permit signifies that you have certified the project meets all eligibility standards outlined in Section 1 of this permit and that you have read, understood and have agreed to follow all terms and conditions of this general permit.
3. **Reliance on Applicant's Data.** The determination by this office that a confirmation of authorization is not contrary to wetland water quality standards will be based upon the information provided by the applicant and any other information required by the DNR.
4. **Project Plans.** This permit does not authorize any work other than what is specifically described in the notification package and plans submitted to the Department and you certified is in compliance with the terms and conditions of WDNR-GP1-2017
5. **Expiration.** This WDNR-GP1-2017 expires on October 31, 2022. The time limit for completing work authorized by the provisions of WDNR-GP1-2017 ends 5 years after the date on which the discharge is considered to be authorized under WDNR-GP1-2017 or until the discharge is completed, whichever occurs first.
6. **Other Permit Requirements.** You are responsible for obtaining any other permit or approval that may be required for your project by local zoning ordinances, other local authority, other state permits and by the U.S. Army Corps of Engineers before starting your project.
7. **Authorization Distribution.** You must supply a copy of the permit coverage authorization to every contractor working on the project.
8. **Project Start.** You shall notify the Department before starting construction.
9. **Permit Posting.** You must post a copy of this permit coverage letter at a conspicuous location on the project site prior to the execution of the permitted activity, and remaining at least five days after stabilization of the area of permitted activity. You must also have a copy of the permit coverage letter and approved plan available at the project site at all times until the project is complete.

10. **Permit Compliance.** The department may modify or revoke coverage of this permit if the project is not constructed in compliance with the terms and conditions of this permit, or if the Department determines the project will be detrimental to wetland water quality standards. Any act of noncompliance with this permit constitutes a permit violation and is grounds for enforcement action. Additionally, if any applicable conditions of this permit are found to be invalid or unenforceable, authorization for all activities to which that condition applies is denied.
11. **Construction Timing.** Once wetland work commences, all wetland construction activities must be continuous until the permitted activity is completed and the site is stabilized.
12. **Construction.** No other portion of the wetland may be disturbed beyond the area designated in the submitted plans.
13. **Project Completion.** Within one week of completion of the regulated activity, you shall submit to the Department a statement certifying the project is in compliance with all the terms and conditions of this permit, and photographs of the activities authorized by this permit. This statement must reference the Department-issued docket number, and be submitted to the Department staff member that authorized coverage.
14. **Proper Maintenance.** You must maintain the activity authorized by WDNR-GP1-2017 in good condition and in conformance with the terms and conditions of this permit utilizing best management practices. Any structure or fill authorized shall be properly maintained to ensure no additional impacts to the remaining wetlands.
15. **Site Access.** Upon reasonable notice, you shall allow access to the site to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance with the terms and conditions of WDNR-GP1-2017 and applicable laws.
16. **Erosion and siltation controls.** The project site shall implement erosion and sediment control measures that adequately control or prevent erosion, and prevent damage to wetlands as outlined in NR 151.11(6m), Wis. Adm. Code.
17. **Equipment use.** The equipment used in the wetlands must be low ground weight equipment as specified by the manufacturer specifications.
18. **Invasive Species.** All project equipment shall be decontaminated for removal of invasive species prior to and after each use on the project site by utilizing other best management practices to avoid the spread of invasive species as outlined in NR 40, Wis. Adm. Code. For more information, refer to <http://dnr.wi.gov/topic/Invasives/bmp.html>.
19. **Federal and State Threatened and Endangered Species.** WDNR-GP1-2017 does not affect the DNR's responsibility to insure that all authorizations comply with Section 7 of the Federal Endangered Species Act, s. 29.604, Wis. Stats and applicable State Laws. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. No activity is authorized which is likely to jeopardize the continued existence of a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act and/or State law or which is likely to destroy or adversely modify the critical habitat of a species as identified under the Federal Endangered Species Act.

20. **Special Concern Species.** If the Wisconsin National Heritage Inventory lists a known special concern species to be present in the project area you will take reasonable action to prevent significant adverse impacts or to enhance the habitat for the species of concern.
21. **Historic Properties and Cultural Resources.** WDNR-GP1-2017 does not affect the DNR's responsibility to insure that all authorizations comply with Section 106 of the National Historic Preservation Act and s. 44.40, Wis. Stats. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. Information on the location and existence of historic resources can be obtained from the State Historic Preservation Office and the National Register of Historic Places. If cultural, archaeological, or historical resources are unearthed during activities authorized by this permit, work must be stopped immediately and the State Historic Preservation Officer must be contacted for further instruction.
22. **Preventive Measures.** Measures must be adopted to prevent potential pollutants from entering a wetland or waterbody. Construction materials and debris, including fuels, oil, and other liquid substances, will not be stored in the construction area in a manner that would allow them to enter a wetland or waterbody as a result of spillage, natural runoff, or flooding. If a spill of any potential pollutant should occur, it is the responsibility of the permittee to remove such material, to minimize any contamination resulting from this spill, and to immediately notify the State Duty Officer at **1-800-943-0003**.
23. **Suitable fill material.** All fill authorized under this permit must consist of clean suitable soil material, as defined by s. NR 500.03(214), Wis. Admin. Code, free from hazardous substances as defined by s. 289.01(11), Wis. Stats., and free from solid waste as defined by s. 289.01(11) and (33), Wis. Stats.
24. **Standard for Coverage.** Wetland impacts from the project will cause only minimal adverse environmental impacts as determined by the Department.
25. **Transfers.** Coverage under this permit is transferable to any person upon prior written approval of the transfer by the Department.
26. **Limits of State Liability.** In authorizing work, the State Government does not assume any liability, including for the following:
- Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the State in the public interest.
 - Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - Design or construction deficiencies associated with the permitted work.
 - Damage claims associated with any future modification, suspension, or revocation of this WDNR-GP1-2017.
27. **Reevaluation of Decision.** The Department may suspend, modify or revoke authorization of any previously authorized activity and may take enforcement action if any of the following occur:
- The applicant fails to comply with the terms and conditions of WDNR-GP1-2017.

- b. The information provided by the applicant in support of the permit application proves to have been false, incomplete, or inaccurate.
- c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.

175 SF OF WETLAND
CAN REMAIN





MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Eva Manor Multi-Family – Concept Plan

DATE: March 5, 2018

Peggy,

The Engineering Department has reviewed the submitted concept plan for the proposed multi-family development. We have the following comments listed below and noted on the attached mark-up plan. Refer to both this memo and mark-up plan sheets for all engineering comments.

See comments on attached mark-up plan sheets.

1. Only plan sheets with comments are included.
2. Comments that apply to multiple locations are not repeated for every occurrence.

General Comments

3. The intersection of 91st Street and 22nd Avenue shall be evaluated to determine if geometrical or functional improvement are needed or warranted.
4. The permit from the City of Kenosha is required for the proposed entrance drive to 91st Street and storm sewer connection. A copy of the permit shall be provided to the Village when obtained.
5. A plan and profile is required for the public water main extension along with a project manual. Upon Village approval of the public water main plan, the Village will then submit the plans to the Kenosha Water Utility (KWU) for their system level review. Upon obtaining both Village and KWU approval, the Developer shall submit the plans to the WDNR for their approval.
6. A development agreement is required for the public water main extension.
7. Any existing sewer or water laterals servicing the property, which will not be used, shall be plugged at the main in accordance with DPW requirements. Address and note in plans.
8. Provide status and information pertaining to the environmental site conditions, remediation, and monitoring wells.

The engineering plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and as additional information is provided.

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REVIEWED: MAC

DESIGNED: DOS

DRAWN: EP


CONCEPT PLAN - SITE, GRADING, & UTILITY PLANS

FOR

EVA MANOR MULTIFAMILY

VILLAGE OF PLEASANT PRAIRIE, WI

PLANS PREPARED FOR



VOPP ENGINEERING

PLAN MARK UP

MARCH 5, 2018

LEGEND


	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN		■
STORM SEWER INLET (ROUND CASTING)	○	●
STORM SEWER INLET (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	∩	∩
AIR RELEASE ASSEMBLY	⊗	⊗
VALVE BOX	⊞	⊞
FIRE HYDRANT	⊗	⊗
BUFFALO BOX	⊗	⊗
CLEANOUT	⊞	⊞
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING		⊗
LIGHTING	⊗	⊗
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY		⊗
ELECTRICAL TRANSFORMER OR PEDESTAL	⊞	⊞
POWER POLE	⊗	⊗
POWER POLE WITH LIGHT	⊗	⊗
STREET SIGN	⊗	⊗
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	749	749
SPOT ELEVATION	X (750.00)	X 750.00
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊗	⊗
SOIL BORING	⊗	⊗
TOPSOIL PROBE	⊗	⊗
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

LOCATION MAP

SCALE: 1" = 150'



PROJECT TEAM CONTACTS

CIVIL ENGINEER: MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888	APPLICANT: DANIEL SZCZAP BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142
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BENCHMARKS

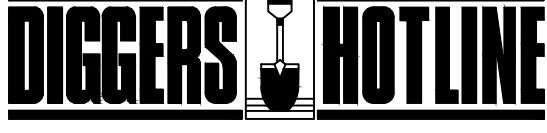
VERTICAL DATUM: HORIZONTAL DATUM:	NGVD 29 NAD 1927
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BM 1: CONCRETE MONUMENT WITH BRASS CAP AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 SECTION 18, TOWN 1 NORTH, RANGE 23 EAST, ELEVATION = 623.90.

INDEX OF SHEETS

C-1	CONCEPT PLAN COVER SHEET
C-2	CONCEPT PLAN EXISTING CONDITIONS
C-3	CONCEPT SITE PLAN
C-4	CONCEPT GRADING PLAN
C-5	CONCEPT UTILITY PLAN

EXPIRATION DATE: JULY 31, 2018


Toll Free (800) 242-8511
Milwaukee Area (414) 239-1181
Hearing Impaired TDD (800) 545-2289
www.DiggersHotline.com

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PLAN | DESIGN | DELIVER

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WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

EVA MANOR MULTIFAMILY

VILLAGE OF PLEASANT PRAIRIE, WI

CONCEPT PLAN COVER SHEET

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	CONCEPT SUBMITTAL	02/14/18	MAC

PROJECT NO. 1106.00-WI

MAC

START DATE: 10-04-17

SCALE: N.T.S.

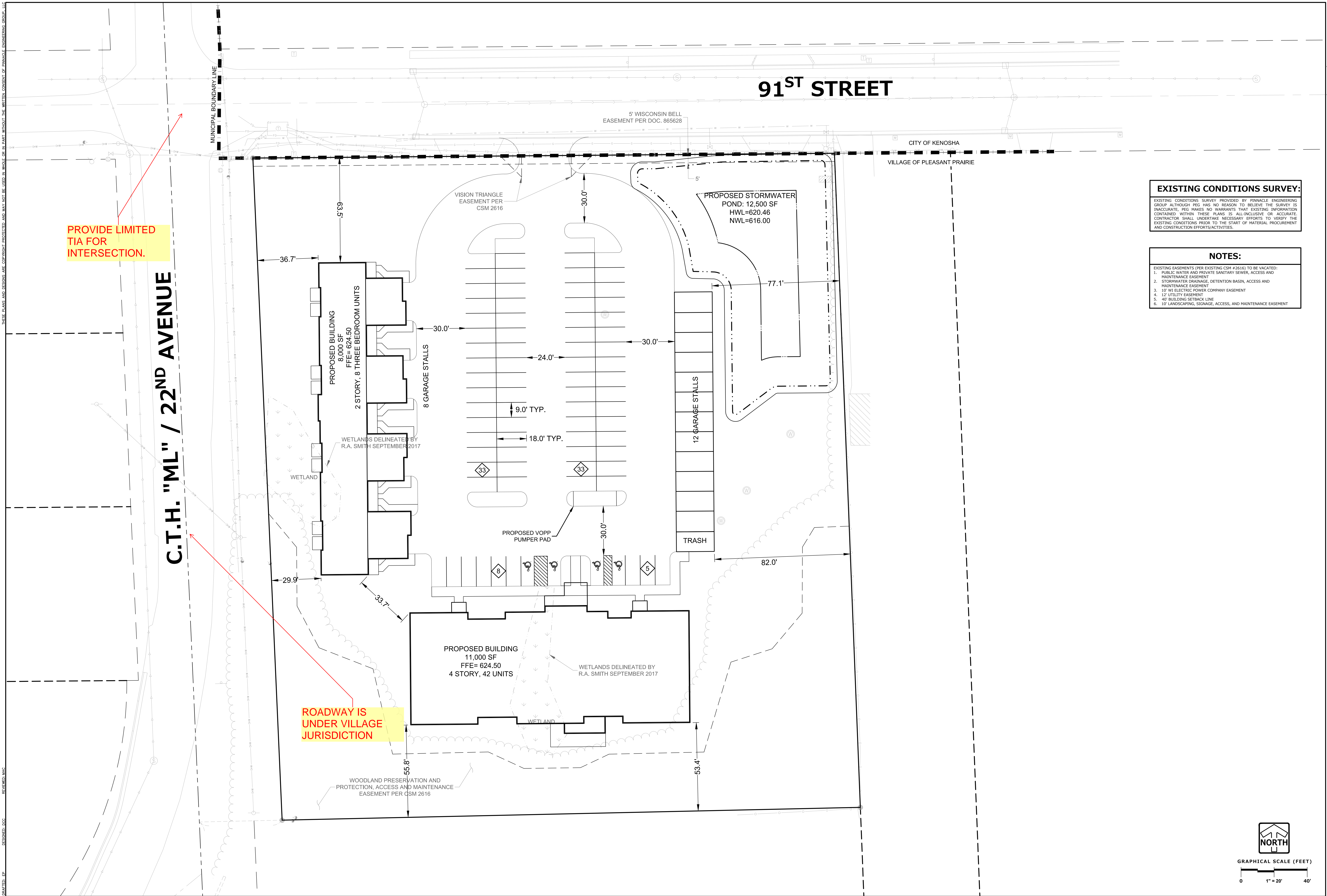
SHEET C-1 of C-5

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CONCEPT PLAN

CONCEPT PLAN COVER SHEET

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DESIGNED: EP
DRAWN: JEP
REVIEWED: MAC



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- NOTES:**
1. PUBLIC WATER AND PRIVATE SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT
 2. STORMWATER DRAINAGE, DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
 3. 10' WI ELECTRIC POWER COMPANY EASEMENT
 4. 12' UTILITY EASEMENT
 5. 40' BUILDING SETBACK LINE
 6. 10' LANDSCAPING, SIGNAGE, ACCESS, AND MAINTENANCE EASEMENT



GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

PLAN | DESIGN | DELIVER
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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

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**EVA MANOR MULTIFAMILY
VILLAGE OF PLEASANT PRAIRIE, WI**

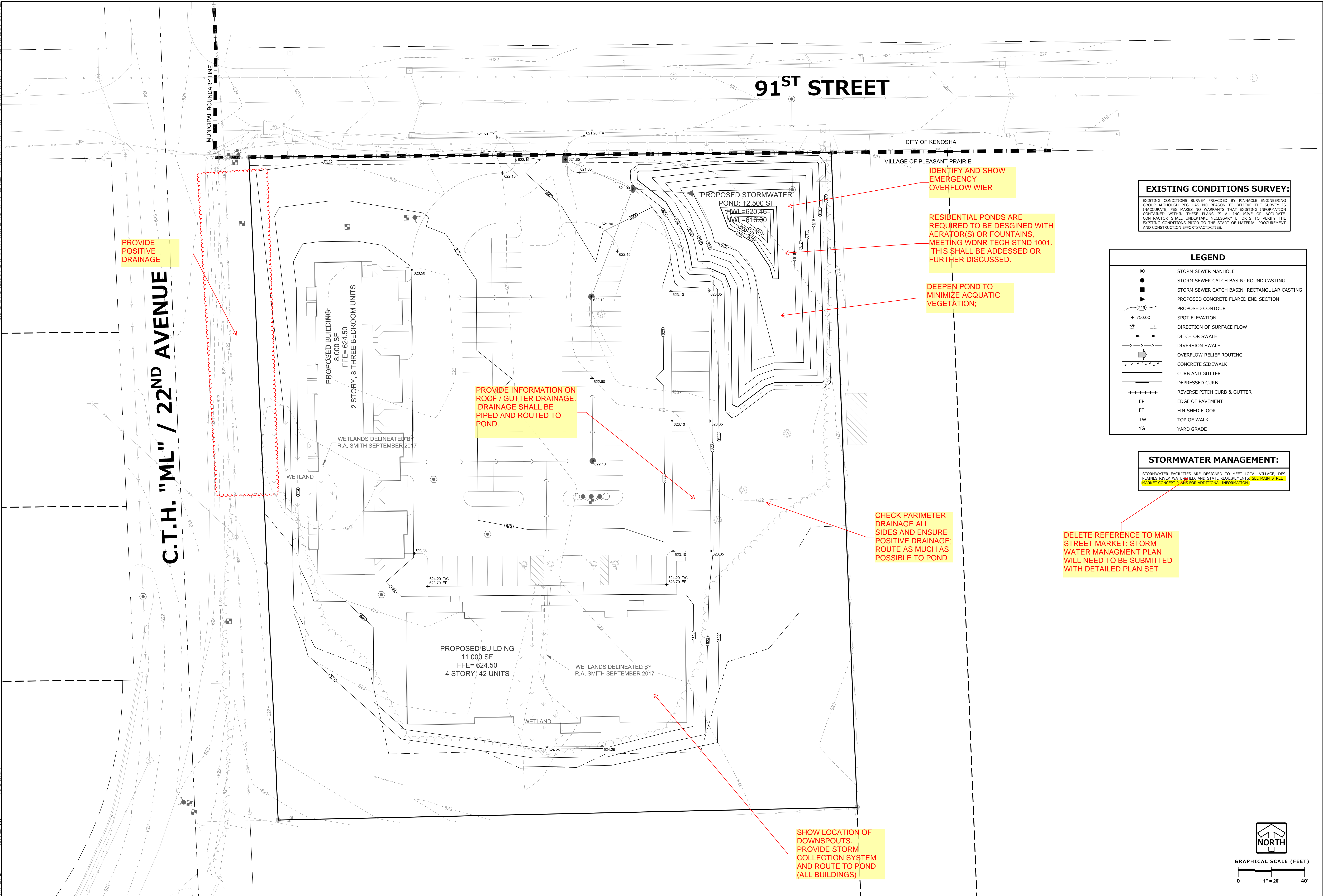
CONCEPT SITE PLAN

REVISIONS		SHEET
NO.	DESCRIPTION	
1	CONCEPT SUBMITTAL	C-3
		C-4
		C-5

REG. JOB NO. 1106.00-WI
MAC
START DATE 10-04-17
SCALE 1" = 20'

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DESIGNED: EP
DRAWN: MAC
REVIEWED: MAC



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LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER
	EDGE OF PAVEMENT
	FINISHED FLOOR
	TOP OF WALK
	YARD GRADE

STORMWATER MANAGEMENT:

STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS. SEE MAIN STREET MARKET CONCEPT PLANS FOR ADDITIONAL INFORMATION.

DELETE REFERENCE TO MAIN STREET MARKET; STORM WATER MANAGEMENT PLAN WILL NEED TO BE SUBMITTED WITH DETAILED PLAN SET

CHECK PARIMETER DRAINAGE ALL SIDES AND ENSURE POSITIVE DRAINAGE; ROUTE AS MUCH AS POSSIBLE TO POND

SHOW LOCATION OF DOWNSPOUTS, PROVIDE STORM COLLECTION SYSTEM AND ROUTE TO POND (ALL BUILDINGS)

PROVIDE INFORMATION ON ROOF / GUTTER DRAINAGE. DRAINAGE SHALL BE PIPED AND ROUTED TO POND.

PROVIDE POSITIVE DRAINAGE

C.T.H. "ML" / 22ND AVENUE

91ST STREET

CITY OF KENOSHA

VILLAGE OF PLEASANT PRAIRIE

PROPOSED BUILDING
8,000 SF
FFE= 624.50
2 STORY, 8 THREE BEDROOM UNITS

WETLANDS DELINEATED BY
R.A. SMITH SEPTEMBER 2017

WETLAND

PROPOSED BUILDING
11,000 SF
FFE= 624.50
4 STORY, 42 UNITS

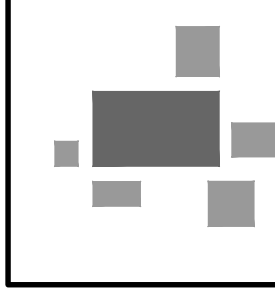
WETLANDS DELINEATED BY
R.A. SMITH SEPTEMBER 2017

WETLAND



GRAPHICAL SCALE (FEET)

0 1" = 20' 40'



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**EVA MANOR MULTIFAMILY
VILLAGE OF PLEASANT PRAIRIE, WI**

CONCEPT GRADING PLAN

REVISIONS	
1. CONCEPT SUBMITTAL	02/14/18

REG. JOB NO. 1106.00-WI
MAC
START DATE 10-04-17
SCALE 1" = 20'

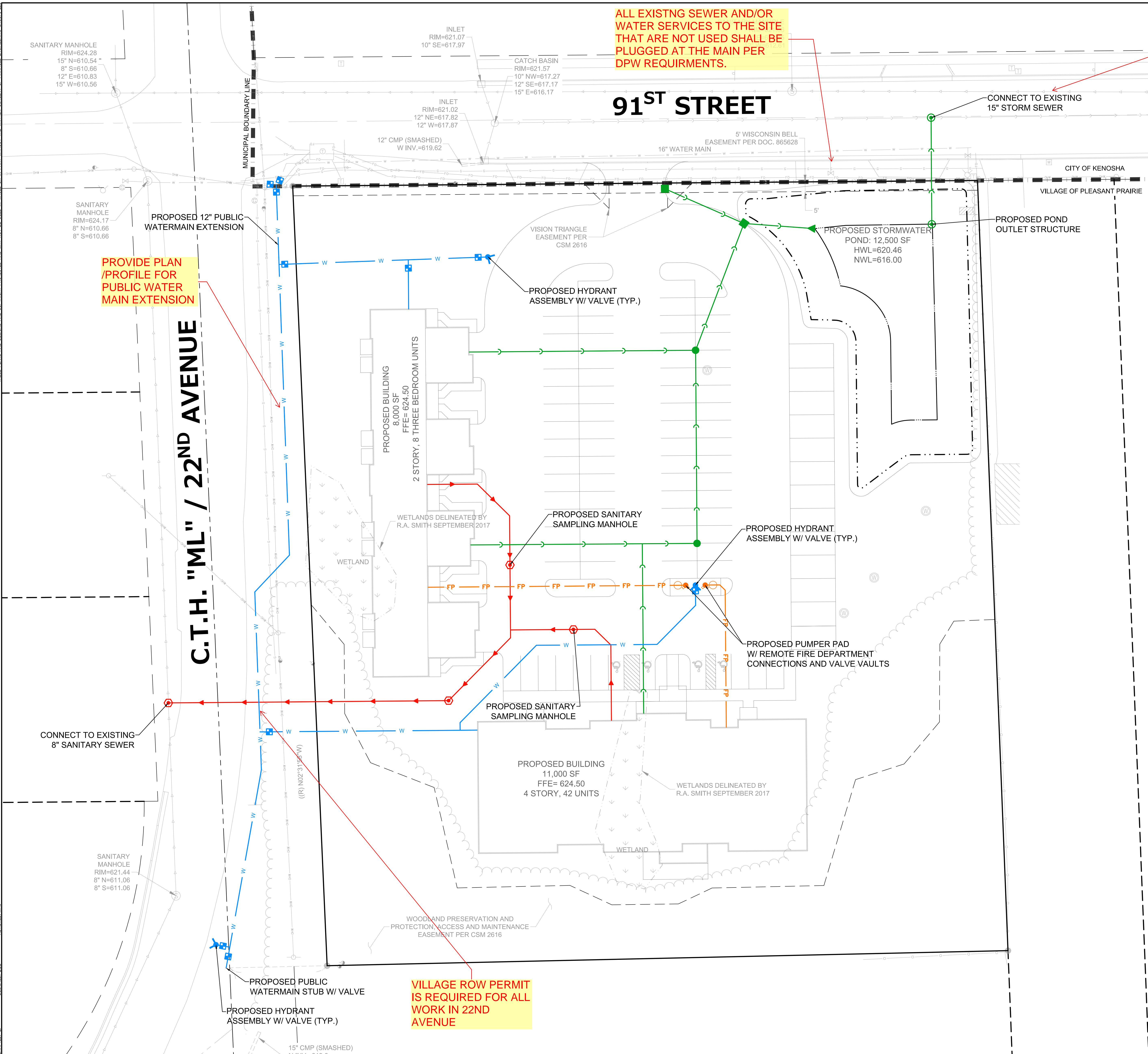
SHEET
C-4
C-5

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DESIGNED: EP

REVIEWED: MAC

DRAWN: MAC



ALL EXISTNG SEWER AND/OR
WATER SERVICES TO THE SITE
THAT ARE NOT USED SHALL BE
PLUGGED AT THE MAIN PER
DPW REQUIREMENTS.

OBTAIN AND PROVIDE CITY OF
KENOSHA APPROVAL FOR STORM
CONNECTION. PROVIDE ROAD
CUT AND RESTORATION
REQUIREMENTS

PROVIDE PLAN
/PROFILE FOR
PUBLIC WATER
MAIN EXTENSION

EXISTING CONDITIONS SURVEY:

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STORMWATER MANAGEMENT:

STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS. SEE MAIN STREET MARKET CONCEPT PLANS FOR ADDITIONAL INFORMATION.

LEGEND

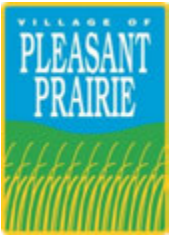
	SANITARY SEWER MANHOLE		FIRE PROTECTION
	STORM SEWER MANHOLE		UTILITY CROSSING
	STORM SEWER CATCH BASIN - ROUND CASTING		ELECTRICAL CABLE
	STORM SEWER CATCH BASIN - RECTANGULAR CASTING		GAS MAIN
	PRECAST CONCRETE FLARED END SECTION		TELEPHONE LINE
	CLEANOUT		OVERHEAD WIRES
	VALVE BOX		LIGHTING
	FIRE HYDRANT		ELECTRICAL TRANSFORMER OR PEDESTAL
	SANITARY SEWER		POWER POLE
	FORCE MAIN		POWER POLE WITH LIGHTS
	STORM SEWER		STREET SIGN
	DRAIN TILE		UTILITY TO BE REMOVED
	WATER MAIN		

PROVIDED DETAILED UTILITY
INFORMATION AS PLANS
PROGRESS.

VILLAGE ROW PERMIT
IS REQUIRED FOR ALL
WORK IN 22ND
AVENUE

REVISIONS

1	CONCEPT SUBMITTAL	02/14/18			



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director

From: Sandro Perez, Building Inspection Superintendent

Subject: Eva Manor

Date: March 5, 2018

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We are currently inspecting to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit all applicable plans (Building, HVAC, Fire Suppression, Fire Detection, Conveyance, Plumbing, etc.) to the state for review (DSPS). Please be aware state plumbing plan review has a long lead time, plan accordingly.
7. Building Inspection Department will not issue permits until we receive the applicable state approval letter and plans.
8. All state approved drawing must be available at job site for inspector review during inspections.
9. Please submit emergency egress lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
10. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.

11. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
12. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.
13. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
14. All equipment must be “LISTED” by a nationally recognized testing laboratory.
15. All equipment, materials, etc. must be rated for the environment in which they will be used.
16. Please contact me with any questions on permitting and/or plan submittal.
17. Provide adequate ADA accessible parking and locate per 2009 IBC.



Office of the
Chief of Fire & Rescue
Craig Roepke

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Craig Roepke, Chief Fire & Rescue
CC: Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Fire Department review for the conceptual plan for the Eva Manor 8 and 42 unit apartment complex
Permit/Trakit#: DEV1802-008
DATE: March 5, 2018

These are comments for the conceptual plan received for the Eva Manor 8 and 42 unit apartment complex.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the information and plans submitted, the Fire & Rescue Department have the following comments regarding the project:

1. Confirming that the both buildings (8 & 42) will require automatic fire sprinkler systems and an addressable fire alarm system as outlined in the comments below.
2. The 42 unit will require at least one AED in the lobby or elevator area on the first floor, accessible to the public. Preferably in a recessed wall cabinet. These are commonly located closely with the fire extinguisher for that area. Location can be discussed at a later time.
3. It is understood that the 42 unit complex will be an over 55 living facility. Any building or room notification system (ie: residence assistance notification) shall be addressable, indicating room or area. Any notifications for assistance sent to a central station shall include this addressable room or area information so that it can be conveyed to first responders.
4. Make note of the elevator ordinance (180-20) and sizing requirement to allow for an ambulance cot to fit appropriately.
5. In the 42 unit complex, identify the location for the fire pump/riser room.
6. Identify if the Sun Room doorway to the outside (Center South) will be an established or required egress route (Exit). If so, there shall be a maintained hard surface pathway/sidewalk to parking lot. Any gates or fences surrounding the Sun Room shall have compliant Exit hardware should the door be so defined.
7. Review Public Radio Safety Coverage requirements below within the comments.
8. As the project develops and detail is provided, additional comments may be forthcoming.

Distribution of Comments: the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.

Compliance: A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

Conflicts: In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

Fire Safety System Plans: such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.

DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.

INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT

<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>

Pre-Construction Meeting: A pre-construction meeting may take place with the general contractor, the fire protection contractor, the Fire and Rescue Department, Village staff, and any other sub-contractor prior to the start of any project construction.

1. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide. All roadways and fire lanes must be unobstructed and not used any part as a parking area for automobiles or trucks/trailers.
 - b. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface. This includes all exit doors from the facility.
 - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
 - d. There shall be Knox padlocks or Knox key switches on all gates on site. The Fire & Rescue Department will review the proper placement and operation of the Knox system locks.
2. **Combination Water Sizing Confirmation:** The owner shall provide a letter from the sprinkler designer affirming that the combination water main is sized appropriately for both domestic use and fire sprinkler protection demand. This will typically include the designer's license stamp on the document.
3. **Required Licenses:** A Wisconsin licensed fire protection contractor and/or sprinkler fitter must install any and all dedicated fire protection underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
4. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
5. **Review and Comments:** At such time more information is provided for this project, the Fire Department will review and comment on the following areas outlined below.
 - A. Site and Operational Permits
 1. Site accessibility (Plans provided do not specific clearances or distances)
 2. Fire Pump Location
 3. Pumper Pad
 4. Fire hydrant spacing
 - B. Conditional Use and Operational
 1. Standpipe outlet locations
 2. Fire alarm pull stations
 3. Emergency and Exit Lighting
 4. Fire extinguishers

6. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
7. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Bulk water Usage
- b. Fire Protection Plans for Underground and Aboveground
- c. Fire Alarm System Plans
- d. Kitchen Hood Systems Plans

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

8. **Occupancy:**
 - a. All fire and life safety requirements must be in place and operational prior to any building being occupied.
 - b. No occupancy inspections shall be scheduled until all life-safety systems are complete.
 - c. Key life safety systems include: Fire sprinkler system, Fire alarm system, Fire extinguishers, Emergency Lighting, and any additional requirements determined by both the Fire Department and the Village Building inspection department.
9. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.
10. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.
11. **AED:** The owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest.
12. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.
13. **Elevators:**
 - a. If applicable, must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
 - b. Review the proper sizing requirements with the fire department early in the planning process.
14. **Severe Weather Shelter:** The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
15. **Door Numbering:** Each exterior door shall be sequentially numbered.
 - a. Shall consist of a 4" reflective number in a color that is contrasting to the door color.
 - b. Numbering shall be in an increasing sequence and located in the upper right-hand portion of the door.
 - c. The starting numbering point shall be determined in the field and approved by the AHJ.
16. **On Premise Secure Key System:** Knox Company Rapid Entry System, "Knox Boxes" shall be provided for the building. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
17. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be

in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

18. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.
19. **Sprinkler System:** The building is to be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design.

20. **The following information as applicable, must be submitted with the sprinkler plans for review:**

Building height:
Number of stories/floors:
Mezzanines:
Elevators:
Hazard class:
Commodity Class:
Exterior storage:
Fire protection:

21. **Fire Hydrants:** Fire hydrants shall meet the Village of Pleasant Prairie hydrant specification. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches.
22. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA) code standard 24 and witnessed by the Fire Chief or designee.
23. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.

24. **Pumper Pad:**

- a. A municipally fed fire hydrant and fire department connection (FDC) combination is defined to be a “pumper pad”.
- b. The FDC shall comprise of a 30 degree angled 5” Storz connection unless otherwise approved by the fire department in writing.
- c. Both the hydrant and FDC shall be between 18” and 23” above finished grade as a pair.
- d. There shall be dedicated space for a fire engine to have unobstructed access to the pumper pad.
- e. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. Any variances shall be approved by the AHJ in writing.
- f. The pumper pad shall be free of vegetation, plant, shrubs, or other obstructions at least 5 feet on each side.
- g. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire

Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant.

- h. The Fire Department connection shall be constructed along with an underground drain with access for inspection.
- i. The area around the pumper pad shall be comprised of a hard surface such as asphalt or concrete.
- j. The pumper pad area shall have some form of posted signage or painted pavement designation indicating no parking or obstructions in that area.
- k. Refer to the Village specification drawing for the pumper pad design.

25. Bollards:

- a. Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) that are subject to damage.
- b. Bollards shall be six (6) inches in diameter. Bollards shall not obstruct charged fire hoses.
- c. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.

26. Standpipes:

- a. The building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve.
- b. Where required, standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 (I).
- c. No 1-1/2" cap reductions are required.

27. Pump Room / Riser Room Door:

- a. The exterior door that accesses either the fire pump or riser room shall be labeled in the following manner outlined below
 - i. At the center upper 1/3 of the door, utilizing 4" reflective RED block lettering, the following title.
 - ii. "FIRE PUMP ROOM" or "FIRE RISER ROOM", respective for the type of existing room.
- b. This door shall have a Knox-Box installed adjacent to the door. The specific location heights and details are documented in the "Fire Department – Appendix A" attachment.

28. MSDS / SDS Station:

- a. Within the pump or riser room locate a (SDS) Safety Data Sheet Station in a conspicuous and accessible location. The station shall be labelled so to be readily identified.
- b. Products used for maintenance, production or stored within the facility shall have their SDS information located at this SDS station.
- c. The SDS information shall be organized in such manner that access to product information is intuitive.
- d. The contents of the SDS station shall be updated and/or reviewed at least annually by the building owner or active tenant. A dated record log shall be kept with the SDS station indicating such review.

29. Strobe Light:

- a. All strobe lights required below shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. The lens color shall be RED.
- b. A strobe light and 10" dome bell shall be provided, visible from the pumper pad to indicate a waterflow alarm condition.
- c. If the building has a fire pump, an additional strobe light shall be required and installed adjacent to the waterflow alarm and activated when the fire pump is running.

- d. Both notification devices above (b & c) shall be labeled appropriately as “WATERFLOW” and “PUMP RUN” below the respective devices.
 - e. A strobe light shall be provided and installed vertically at each riser location on the exterior of the building. No bell or signage is required. In instances where two or more risers are located at one location, only one exterior strobe is required. The strobe shall activate on any one riser waterflow.
 - f. A separate “Appendix A” document is available to provide visual detail supporting the above requirements.
30. **Fire Alarm System:** There shall be a full function remote annunciator installed. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
 - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
 - c. **Smoke and Heat Detection:** Shall be installed as required.
 - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
 - e. **PIV & Exterior Valves:** shall be monitored by the Fire Alarm system.
 - f. **Strobe & Bell:** Strobe light and Bell devices shall be identified and documented on the submitted Fire Alarm plan submittal. It is understood that typically this work is completed by the electrical contractor and not part of the alarm plan per say.
 - g. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as an alarm condition.
 - h. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.
 - i. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
 - j. **Initiating Devices Labeling:** All initiating devices e.g.: pull stations, smoke detectors, tampers, etc shall be labeled with the FA device number that matches the system nomenclature programmed. The font/letters shall be at least 14pt and of such size that they are visible based on accessibility to the device. (e.g.: ceiling initiating devices may require a larger font size)
 - k. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
 - l. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. (e.g. RF Radio, cellular, VOIP, or other approved technologies allowed by code.)
 - m. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
 - n. **Fire Alarm Map:** An “as-is” drawing of the fire alarm system shall be provided and posted in the riser or pump room of the building. The drawing shall have at minimum, the initiating device numbers, locations, and door numbering scheme on the posted drawing. Size of the drawing to be discussed with the fire department.
 - o. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and

supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
Emergency:	(262) 694-1402
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

31. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department must be made aware and the system must meet all NFPA 72 requirements.
32. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
- a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
 - A minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
 - Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a "Telecommunications Systems Bulletin" published by the TIA, Telecommunications Industry Association. The performance level is rated using "Delivered Audio Quality". Industry standard DAQ definitions are shown in Table 1.
 - DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

Table 1 - Delivered Audio Quality Definitions

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

- e) The frequency range which must be supported shall be 151.0000 to 160.0000 MHz, in both digital and analog signals.

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

1. Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage: a radiating cable system or an internal multiple antenna system with or without FCC type accepted signal booster amplifiers as needed. The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio System.
2. In the event that a signal booster is employed it shall meet the following minimum requirements:
 - a. be fully encased within a dust resistant case;
 - b. be contained in a National Electrical Manufacturer's Association (NEMA) 4-type waterproof cabinet;
 - c. battery systems used for the emergency power source shall be contained in a NEMA 4-type waterproof cabinet;
 - d. the signal booster system and battery system shall be electrically supervised and monitored by a supervisory service, or shall sound an audible signal at a constantly attended location;
 - e. Have FCC certification prior to installation.

Secondary Power

Emergency responder radio coverage systems shall be provided with an approved secondary source of power conforming to NFPA 72. The secondary power supply shall be capable of operating the emergency responder radio coverage system for a period of at least twenty-four (24) hours. When primary power is lost, the power supply to the emergency responder radio coverage system shall automatically transfer to the secondary power supply.

Field Testing

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

33. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
 - a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is "100% operational and built according to the design", Village Ordinance, 180-16 N if modifications are made to the system.
 - b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is "100% operational and built according to the design" if modifications are made to the system.
 - c. Copy of contract with fire alarm central monitoring station.
 - d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - e. Copies of the fire protection underground flushing documents.
 - f. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - g. Copies of the fire sprinkler operational test certificates.
 - h. Copies of the fire alarm test documents.
 - i. Copies of other test documents such as, hood/duct, smoke, etc...
 - j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - k. Provide in electronic format (USB, CD, etc) all Floor plans and fire protection plans for the building in an

as-built condition.

- l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
- m. AED is in place at such time a tenant takes occupancy.
- n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.



COMPREHENSIVE PLAN AMENDMENT

I (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie 2035 Comprehensive Plan as hereinafter requested related to the following property:

Property Location: Southeast Corner of 91st Street and 22nd Avenue

Legal Description: Please see attached

Tax Parcel Number(s): 93-4-123-183-0480

Check all that apply

☐ Land Use Plan Amendment:

To change the land use designation from _____
to _____

☒ Neighborhood Plan Amendment to Barnes Creek Neighborhood

☐ Other Amendment to the Comprehensive Plan (specify) _____

Petitioner's interest in the requested amendment:

Petitioner proposes and Neighborhood Plan Amendment to facilitate a mixed residential development including Senior Housing and Family Townhome style apartments.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: BFU II, LLC

Signature: _____

Address: 4011 80th Street

Kenosha WI 53142
(City) (State) (Zip)

Phone: (262) 842-0556

Fax: (262) 842-0557

Email: dan@beardevelopment.com

Date: 2/12/2018

APPLICANT/AGENT:

Print Name: Bear Development, LLC

Signature: _____

Address: 4011 80th Street

Kenosha WI 53142
(City) (State) (Zip)

Phone: (262) 842-0556

Fax: (262) 842-0557

Email: dan@beardevelopment.com

Date: 2/12/2018

Community Development Department, 9915 39th Avenue, Pleasant Prairie WI 53158

262-925-6717



February 12, 2018

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Dear Ms. Werbie-Harris:

Bear Development is pleased to submit this letter and the accompanying plans as formal application for a Neighborhood Plan Amendment to the Barnes Creek Neighborhood Plan. Our proposed amendment includes the Conceptual site layout for the Eva Manor project located at the southeast corner of 91st Street and 22nd Avenue.

The subject property consists of approximately 3.22 acres and was previously approved for a project known as Springbrook Place. As part of the Springbrook Place approvals a Neighborhood Plan was incorporated, and the property was zoned R-11 Multiple Family Residential District with a PUD.

Bear Development is proposing a revised multifamily residential development consisting of a mix of senior housing and a family townhome component. The senior housing portion consists of a 42 unit residential building and a family component consisting of an eight (8) unit townhome style building.

We are pleased to introduce Eva Manor as a development to enhance an underutilized property and address the need for affordable housing for senior and families in the village of Pleasant Prairie.

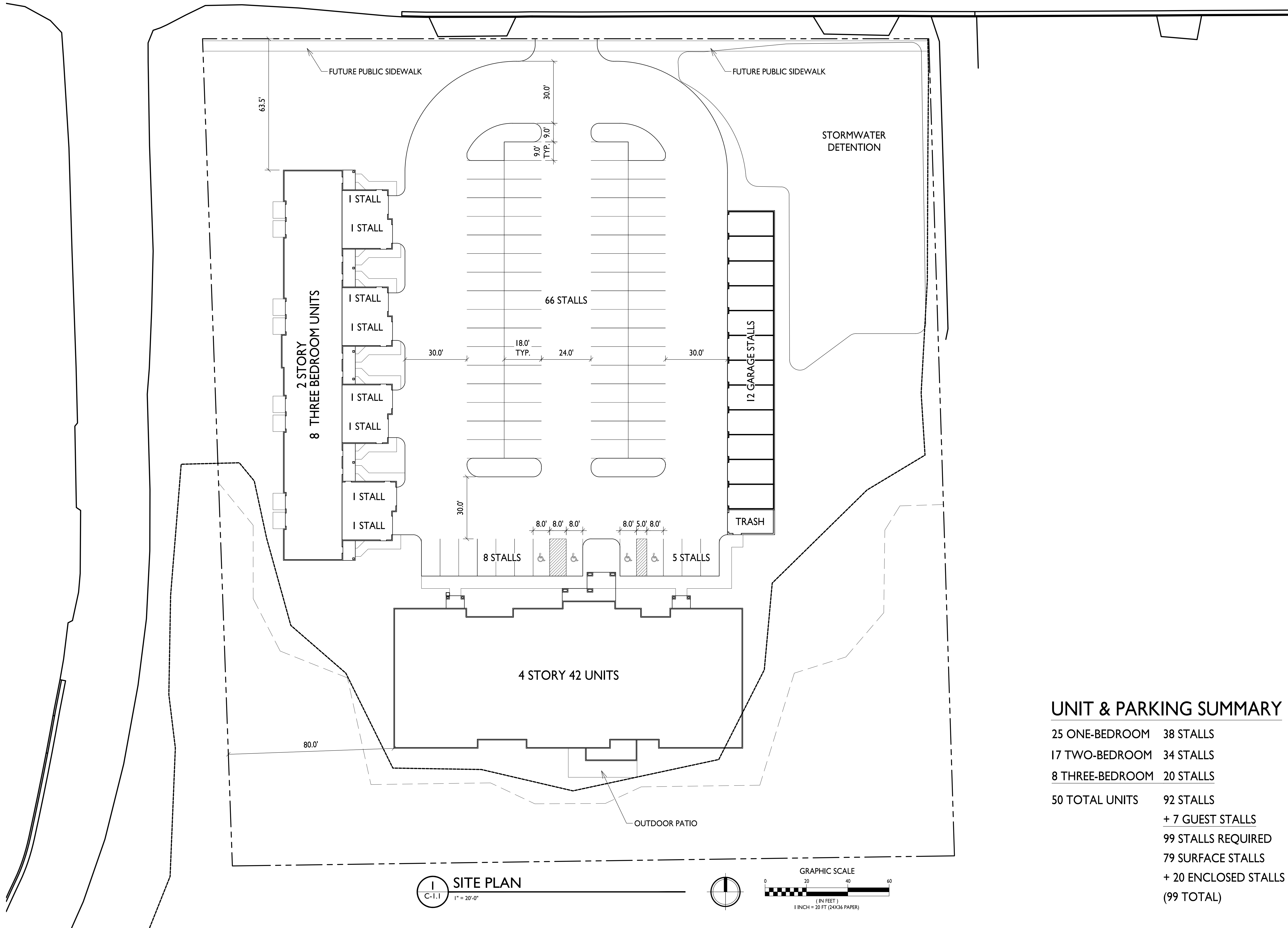
Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,



Daniel Szczap
Bear Development, LLC



ISSUED
Issued for xyz - Month Day, Year

PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1
PROJECT NO. 1128
© Knothe & Bruce Architects, LLC

UNIT & PARKING SUMMARY

25 ONE-BEDROOM	38 STALLS
17 TWO-BEDROOM	34 STALLS
8 THREE-BEDROOM	20 STALLS
50 TOTAL UNITS	92 STALLS
	+ 7 GUEST STALLS
	99 STALLS REQUIRED
	79 SURFACE STALLS
	+ 20 ENCLOSED STALLS
	(99 TOTAL)



CONCEPTUAL PLAN APPLICATION

Development Name: Eva Manor

General Location of Development: Southeast corner of 91st Street and 22nd Avenue

Tax Parcel Number(s): 93-4-123-183-0480

Number of Lots: 1 Number of Outlots: _____

Size of Development: 3.22 acres

Select All that Apply:

- ☒ The Development will be constructed in 1 phase(s)
- ☐ The Development abuts or adjoins State Trunk Highway _____
- ☒ The Development abuts or adjoins County Trunk Highway ML
- ☐ The Development abuts the Kenosha County Bike Trail

The following number and types of plans shall be submitted with this application:

- ☒ Three (3) full size and a PDF copy of the Conceptual Plan, which shall include at a minimum:
 - ☐ Detailed and Dimensioned Site Plan
 - ☐ Conceptual Engineering Plans
 - ☐ Phasing Plan (if applicable)
 - ☐ Floor Plans and Elevations (for all uses except single family)
 - ☐ Proposed Zoning District Change(s)
- ☒ Application Fee
- ☐ Draft of Declarations, Covenants, Restrictions and any Easement Documents
- ☐ Any other information as specified by the Village

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: BFD LLC

Signature: _____

Address: 4011 80th Street

Kenosha WI 53142
(City) (State) (Zip)

Phone: (262) 842-0556

Fax: (262) 842-0557

Email: dan@beardevelopment.com

Date: 2/12/2018

APPLICANT/AGENT:

Print Name: Bear Development, LLC

Signature: _____

Address: 4011 80th Street

Kenosha WI 53142
(City) (State) (Zip)

Phone: (262) 842-0556

Fax: (262) 842-0557

Email: dan@beardevelopment.com

Date: 2/12/2018



February 12, 2018

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Dear Ms. Werbie-Harris:

Bear Development is pleased to submit this letter and the accompanying plans as formal application for Conceptual Plan review and approval for a mixed residential development called Eva Manor.

The subject property is located southeast of the intersection of 91st Street and 22nd Avenue in the Village of Pleasant Prairie and consists of approximately 3.22 acres. The property is currently vacant and zoned R-11 Multiple Family Residential District with a PUD.

Bear Development is proposing a multifamily residential development consisting of a mix of senior housing and a family townhome component. The senior housing portion consists of a 42 unit residential building comprised of 1 and 2 bedroom units with amenities including a community room, fitness facilities and outdoor gathering space. The family component consists of a townhome style building including eight residences arranged in 3-bedroom units with attached garages and patios.

The enclosed materials include Preliminary Engineering, color architectural elevations and preliminary floor plans. The residential buildings feature natural exterior materials, updated floor plans and energy efficient mechanicals and appliances. The development plans call for enhanced landscaping and on-site storm water detention.

We are extremely pleased to introduce Eva Manor as a development to enhance a underutilized property and address the need for affordable housing for senior and families in the village of Pleasant Prairie.

Upon favorable hearing, Bear Development intends to submit a Planned Unit Development to address certain flexibility, including permitted density and building height that will be required to facilitate the Eva Manor Concept Plan.

Please find the following exhibits for Eva Manor:

- Eva Manor Concept Plans
 - Existing Conditions Plan
 - Concept Site Plan
 - Concept Grading Plan
 - Concept Utility Plan
- Architectural Elevations
- Preliminary Floor Plans

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel Szczap", with a stylized flourish at the end.

Daniel Szczap
Bear Development, LLC

Cc: S.R. Mills

EVA MANOR
WRITTEN NARRATIVE

Project Overview. Eva Manor is a proposed 50-unit apartment development located at the south east corner at the intersection of 91st Street and 22nd Avenue. The development will include three building:

- A 4-story 42-unit senior building containing 25 1-bedroom units and 17 2-bedroom units. In addition, the senior building will have a well-appointed community room with attached sunroom, individual storage lockers, a fitness room and management office.
- An 8-unit townhome building located on the west side of the site. Each of these units will have 3 bedrooms and feature an individual entrance and attached garage.
- A 12 stall garage (with a connected masonry dumpster enclosure) will be located on the east side of the site.

Project Financing. I think what they have already written, with the updates, is fine.

Unit Mix. The senior building will feature 42 1 and 2-bedroom units in 7 unique floorplans as identified below:

Unit	Beds Bath	Sq. Ft.	# Units
A	1/1	709	8
B	2/2	1,001	4
C	2/2	1,098	3
D	1/1	696	4
E	1/1	679	13
F	2/2	985	8
G	2/2	1,005	2
Total			42
Total Rentable Area			34,471
Gross Building Area			44,008
Average Unit Size			821
Average 1-bedroom			691
Average 2-bedroom			1,011

The 8 unit townhome units will average 1,312 square feet.

Rental Rates. The following presents the proposed monthly rental rates for each unit type under the requirements of the WHEDA tax credit programs.

Number of Bedrooms	Unit Count	Unit Type	AMI Aside	Net Rent
1 bedroom	7	Senior	30%	356
1 bedroom	7	Senior	50%	617
1 bedroom	10	Senior	60%	728
1 bedroom	1	Senior	MKT	815
2 bedrooms	3	Senior	30%	428
2 bedrooms	5	Senior	50%	742
2 bedrooms	8	Senior	60%	875
2 bedroom	1	Senior	MKT	975
3 bedrooms	8	Family	50%	757

* MKT – indicates a market rate unit; these units are not income restricted.

Project Timing. The developer anticipates commencing construction in July, 2018. All improvements to the property will be completed at the same time. Project completion is expected in July, 2019.

CONCEPT PLAN - SITE, GRADING, & UTILITY PLANS
FOR
EVA MANOR MULTIFAMILY
VILLAGE OF PLEASANT PRAIRIE, WI
PLANS PREPARED FOR



SITE DATA TABLE	
TOTAL SITE AREA:	3.2 AC (139,300 S.F.)
PAVEMENT AREA:	1.0 AC (42,540 S.F.)
BUILDING AREA:	0.4 AC (17,500 S.F.)
LANDSCAPE AREA:	1.5 AC (67,260 S.F.)
POND AREA:	0.3 AC (12,000 S.F.)
SURFACE PARKING STALLS:	79 STALLS
GARAGE STALLS:	20 STALLS
EXISTING ZONING:	G-2 COMMERCIAL
PROPOSED ZONING:	MULTIFAMILY PUD

LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN		■
STORM SEWER INLET (ROUND CASTING)	○	●
STORM SEWER INLET (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	∩	∩
AIR RELEASE ASSEMBLY	⊗	⊗
VALVE BOX	⊞	⊞
FIRE HYDRANT	⊗	⊗
BUFFALO BOX	⊗	⊗
CLEANOUT	⊞	⊞
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING		⊗
LIGHTING	⊗	⊗
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY		⊗
ELECTRICAL TRANSFORMER OR PEDESTAL	⊞	⊞
POWER POLE	⊗	⊗
POWER POLE WITH LIGHT	⊗	⊗
STREET SIGN	⊗	⊗
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	749	749
SPOT ELEVATION	X (750.00)	X 750.00
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	→	→
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊗	⊗
SOIL BORING	⊗	⊗
TOPSOIL PROBE	⊗	⊗
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS			
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FL	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

PROJECT TEAM CONTACTS	
CIVIL ENGINEER: MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888	APPLICANT: DANIEL SZCZAP BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142

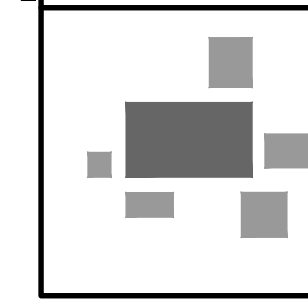
BENCHMARKS	
VERTICAL DATUM: HORIZONTAL DATUM:	NGVD 29 NAD 1927
BM 1: CONCRETE MONUMENT WITH BRASS CAP AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 SECTION 18, TOWN 1 NORTH, RANGE 23 EAST, ELEVATION = 623.90.	

INDEX OF SHEETS	
C-1	CONCEPT PLAN COVER SHEET
C-2	CONCEPT PLAN EXISTING CONDITIONS
C-3	CONCEPT SITE PLAN
C-4	CONCEPT GRADING PLAN
C-5	CONCEPT UTILITY PLAN

EXPIRATION DATE: JULY 31, 2018	DIGGERS HOTLINE Toll Free (800) 242-8511 Milwaukee Area (414) 239-1181 Hearing Impaired TDD (800) 545-2289 www.DiggersHotline.com
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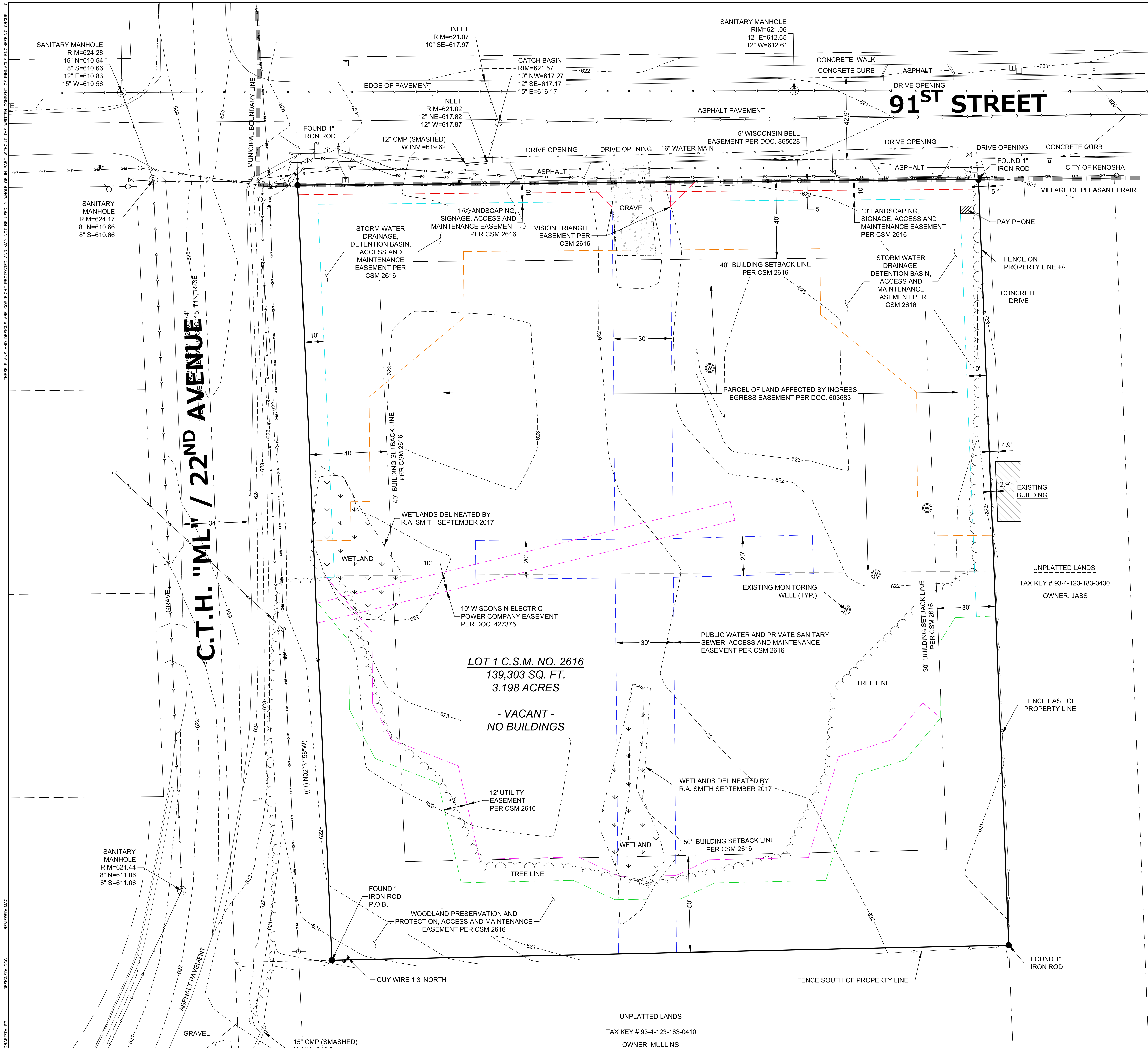


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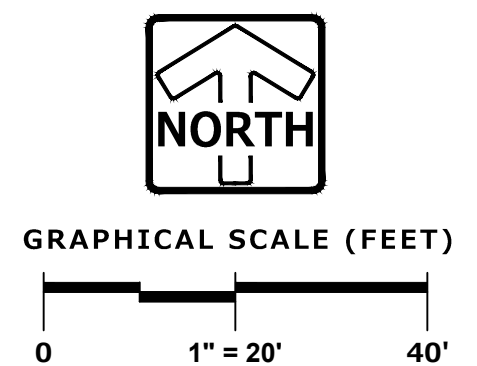
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LEGEND	
SANITARY MANHOLE	
STORM MANHOLE	
CATCH BASIN	
INLET	
PRECAST FLARED END SECTION	
CONCRETE HEADWALL	
VALVE VAULT	
VALVE BOX	
FIRE HYDRANT	
BUFFALO BOX	
CLEANOUT	
SANITARY SEWER	
FORCE MAIN	
STORM SEWER	
WATER MAIN	
LIGHTING	
ELECTRICAL CABLE	
ELECTRICAL TRANSFORMER OR PEDESTAL	
POWER POLE	
POWER POLE WITH LIGHT	
GUY WIRE	
STREET SIGN	
GAS MAIN	
TELEPHONE LINE	
CONTOUR	
TREE WITH TRUNK SIZE	
CONCRETE SIDEWALK	
EASEMENT LINE	

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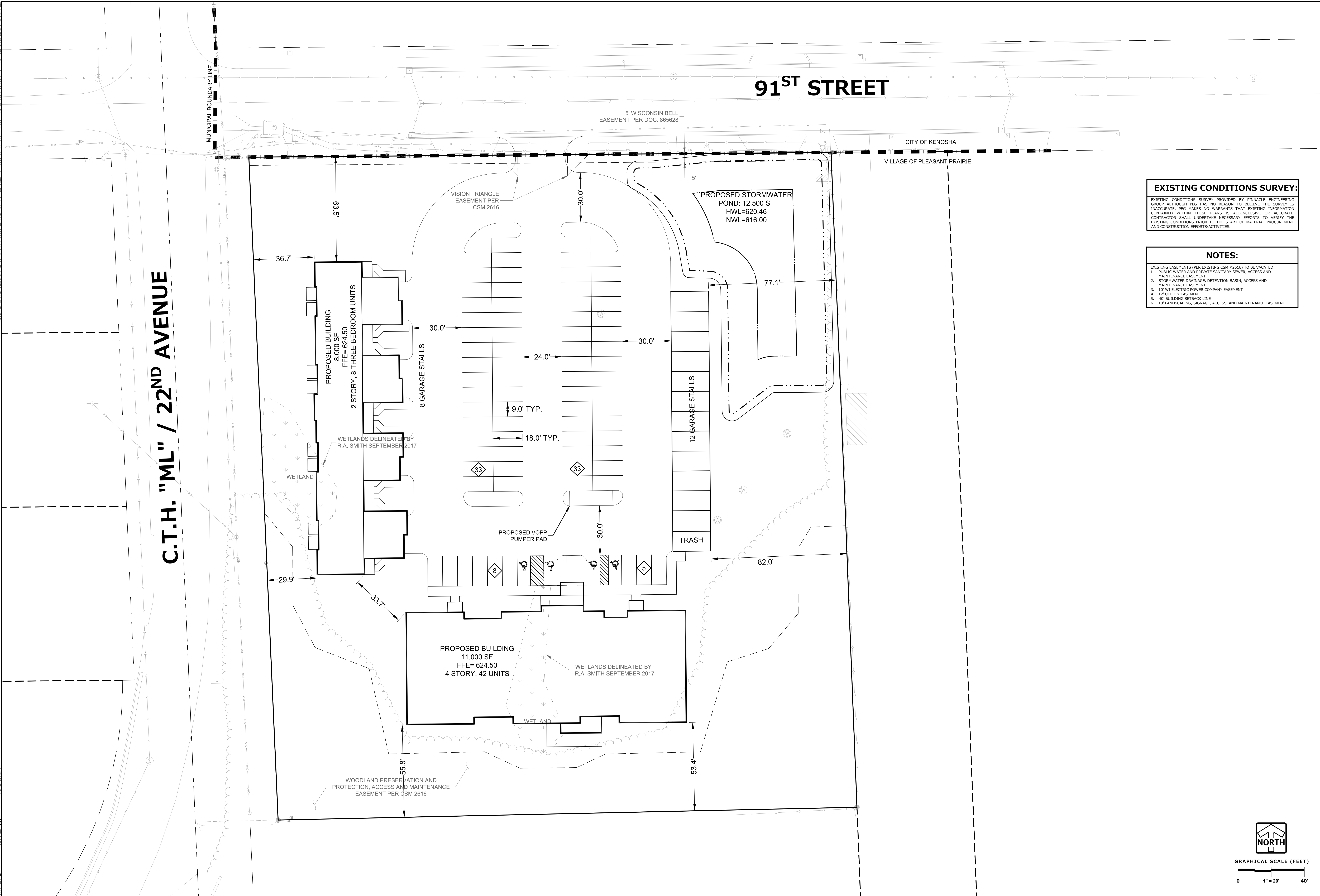
CONCEPT PLAN EXISTING CONDITIONS

REVISIONS	
1	CONCEPT SUBMITTAL 02/14/18

PEG JOB NO. 1106.00-WI	MAC
PEG PM	MAC
START DATE 10-04-17	SCALE 1" = 20'

SHEET
C-2
C-5

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- NOTES:**
- EXISTING EASEMENTS (PER EXISTING CSM #2616) TO BE VACATED:
 1. PUBLIC WATER AND PRIVATE SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT
 2. STORMWATER DRAINAGE, DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
 3. 10' WI ELECTRIC POWER COMPANY EASEMENT
 4. 12' UTILITY EASEMENT
 5. 40' BUILDING SETBACK LINE
 6. 10' LANDSCAPING, SIGNAGE, ACCESS, AND MAINTENANCE EASEMENT



GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

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**EVA MANOR MULTIFAMILY
VILLAGE OF PLEASANT PRAIRIE, WI**

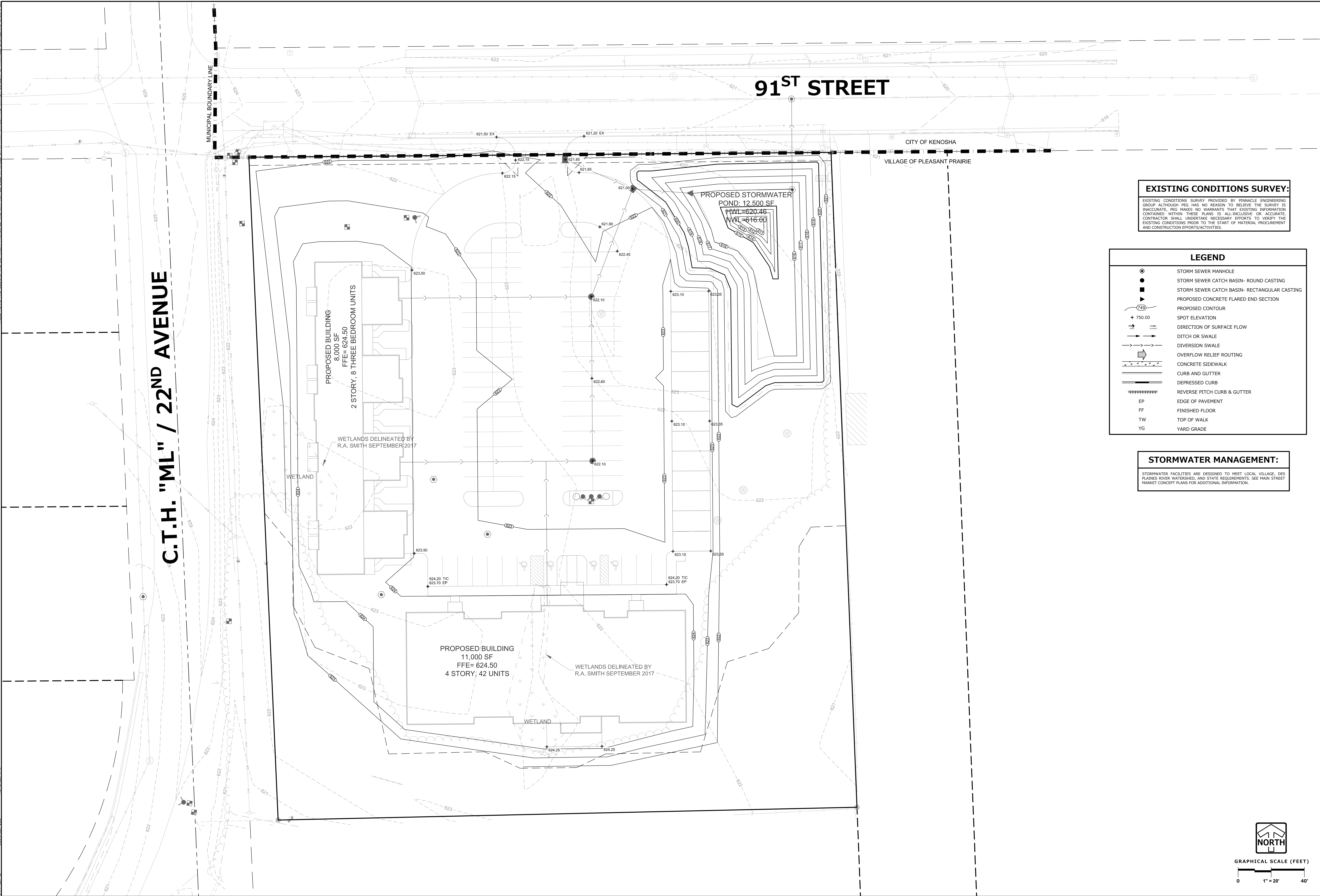
CONCEPT SITE PLAN

REVISIONS				SHEET
NO.	DESCRIPTION	DATE	BY	
1	CONCEPT SUBMITTAL	02/14/18	MAC	C-3
				C-5

REG. JOB NO. 1106.00-WI
MAC
START DATE 10-04-17
SCALE 1" = 20'

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LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER
	EDGE OF PAVEMENT
	FF
	TW
	YG

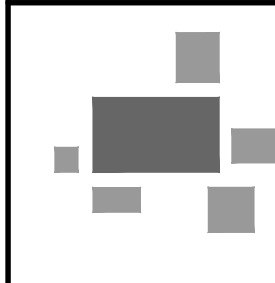
STORMWATER MANAGEMENT:

STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS. SEE MAIN STREET MARKET CONCEPT PLANS FOR ADDITIONAL INFORMATION.



GRAPHICAL SCALE (FEET)

0 1" = 20' 40'



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**EVA MANOR MULTIFAMILY
VILLAGE OF PLEASANT PRAIRIE, WI**

CONCEPT GRADING PLAN

REVISIONS	
1. CONCEPT SUBMITTAL	02/14/18

PEG JOB NO. 1106.00-WI	MAC
PEG PM	MAC
START DATE 10-04-17	SCALE 1" = 20'

SHEET	C-4
	C-5

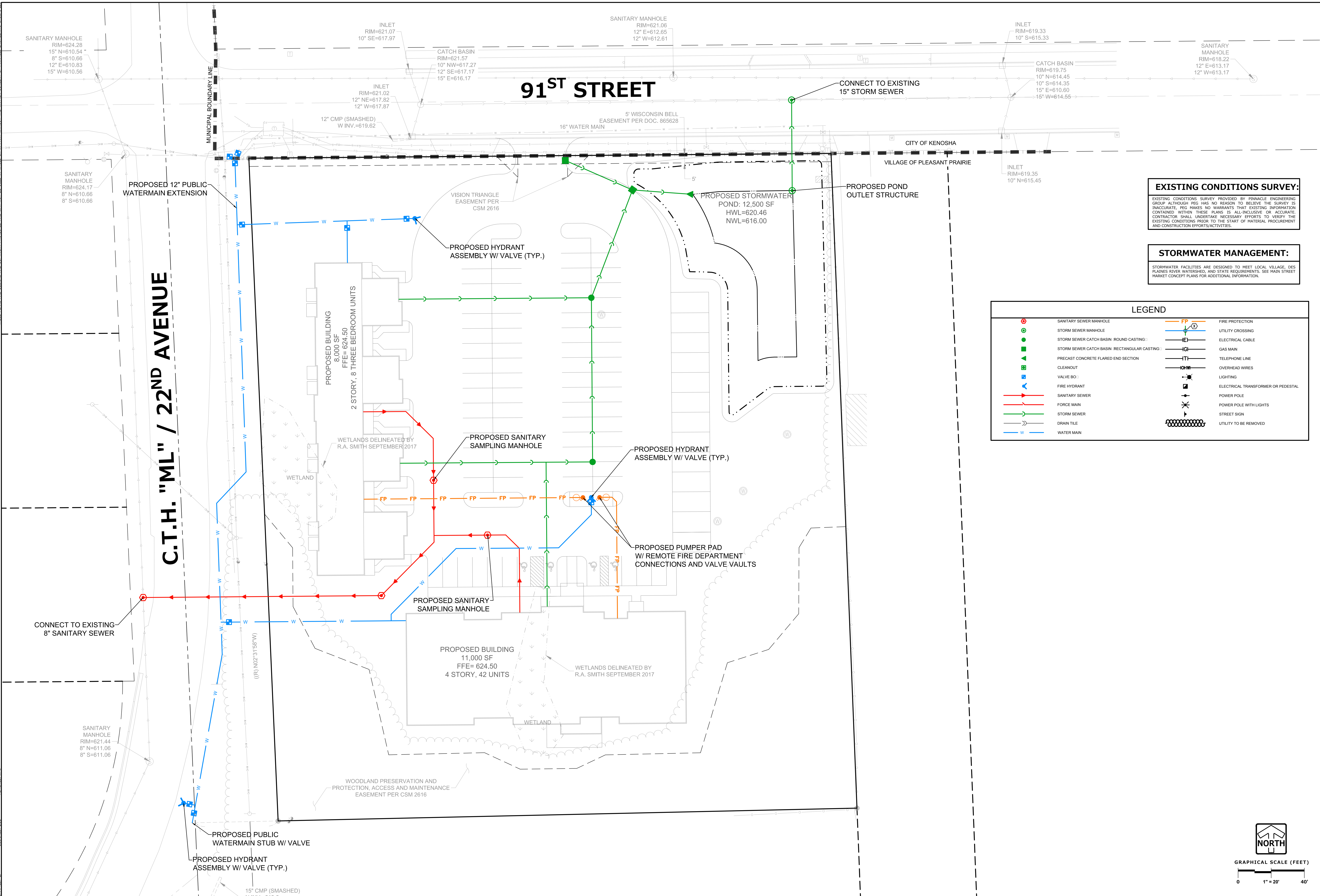
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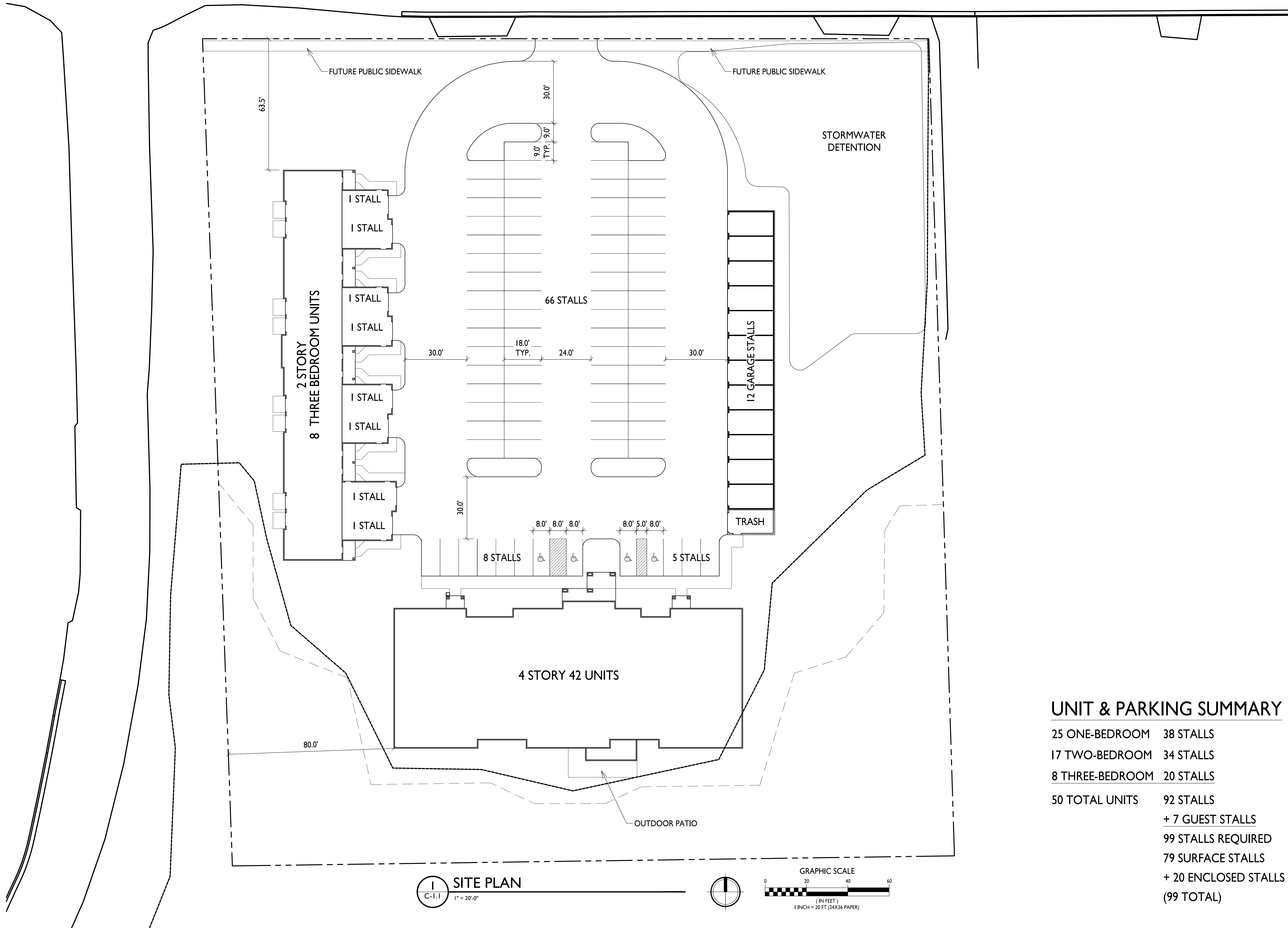
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ISSUED
Issued for xyz - Month Day, Year

PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Site Plan

SHEET NUMBER

C-1.1
PROJECT NO. 1128
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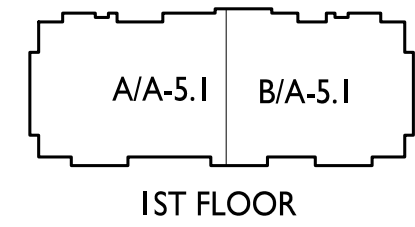
UNIT & PARKING SUMMARY

25 ONE-BEDROOM	38 STALLS
17 TWO-BEDROOM	34 STALLS
8 THREE-BEDROOM	20 STALLS
50 TOTAL UNITS	92 STALLS
	+ 7 GUEST STALLS
	99 STALLS REQUIRED
	79 SURFACE STALLS
	+ 20 ENCLOSED STALLS
	(99 TOTAL)



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608.836.3690 Middleton, WI 53562



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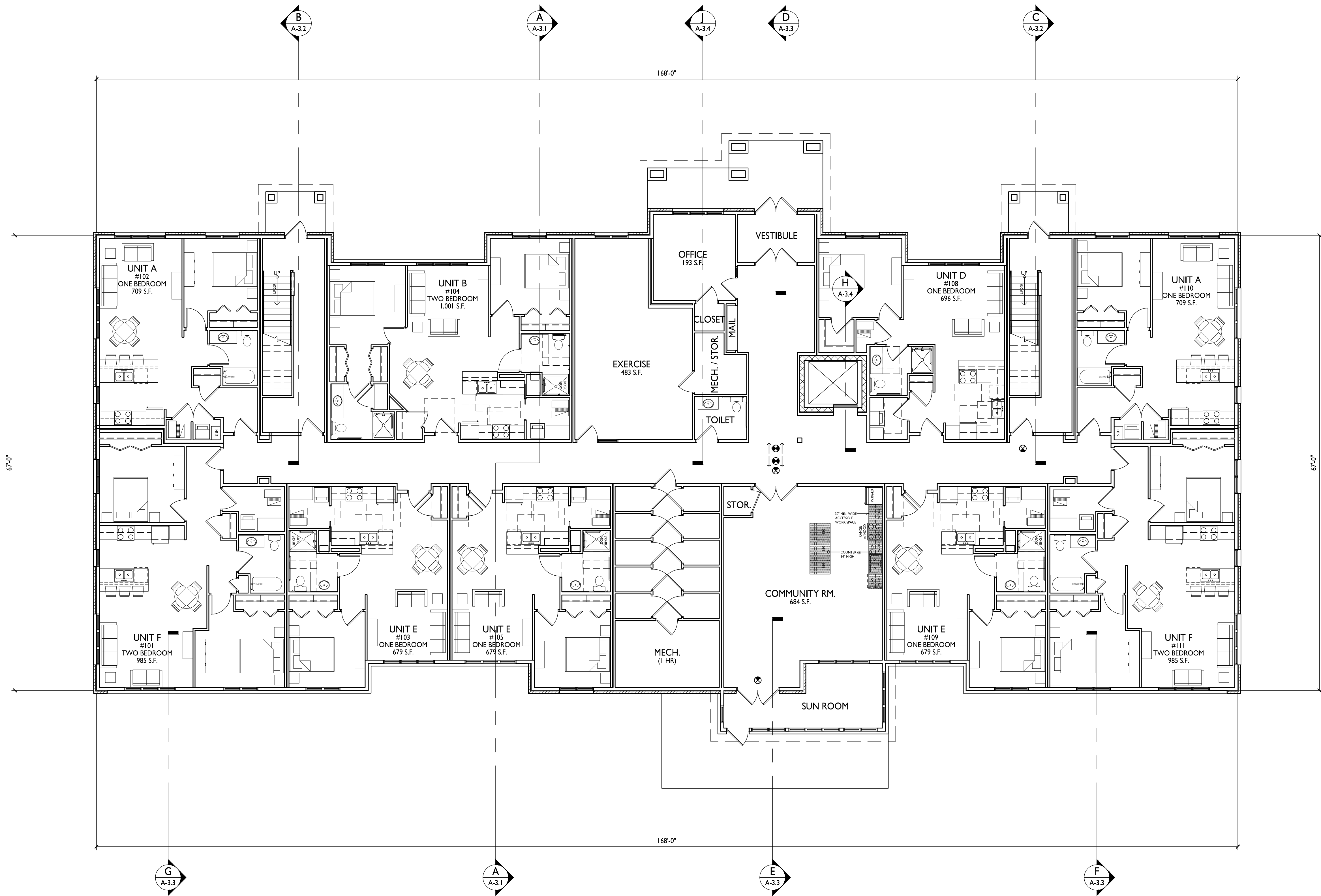
PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
First Floor Plan

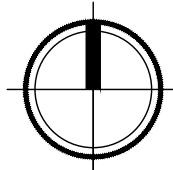
SHEET NUMBER

A-1.1

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I FIRST FLOOR PLAN
A-1.1 1/8" = 1'-0"

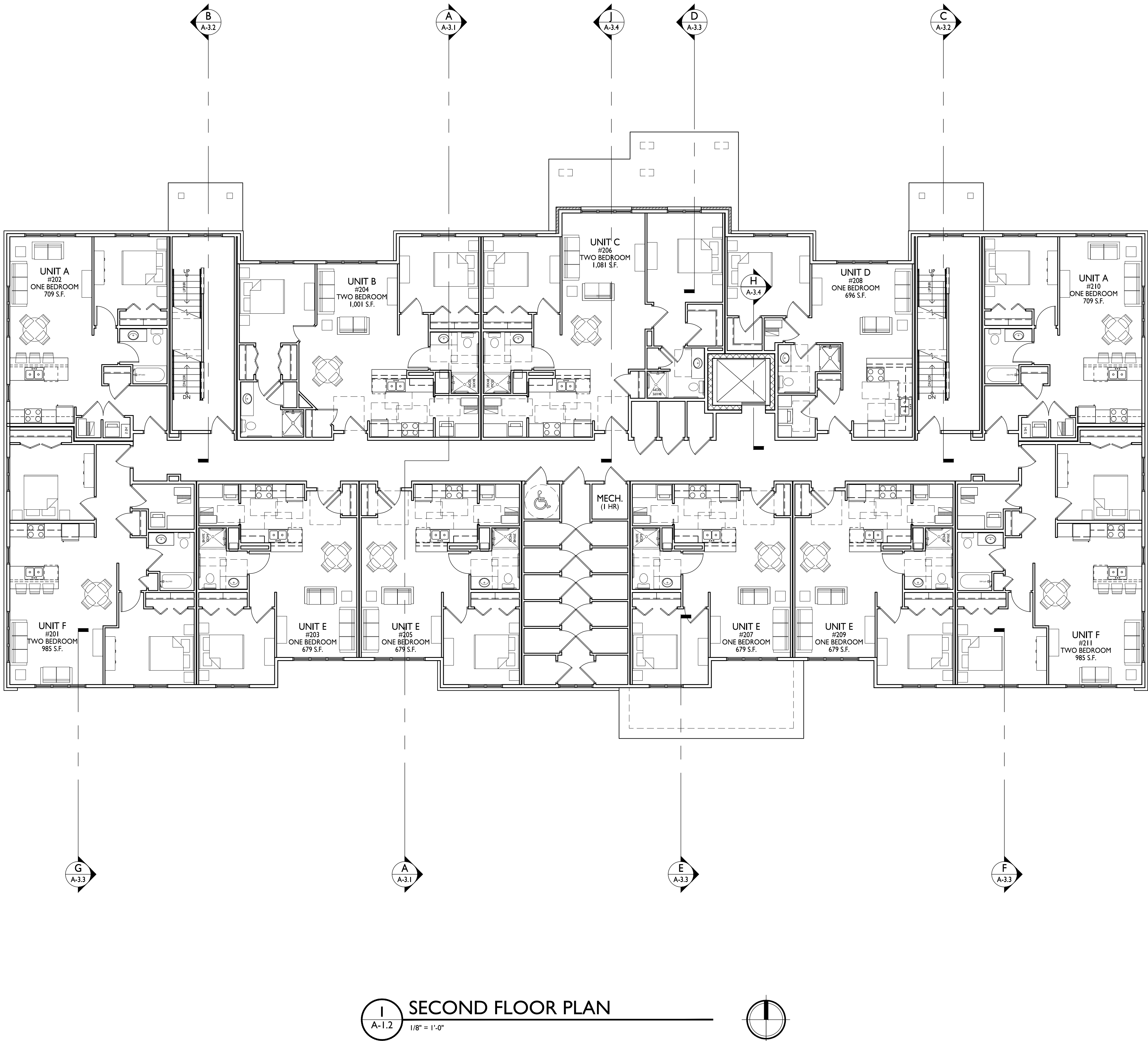


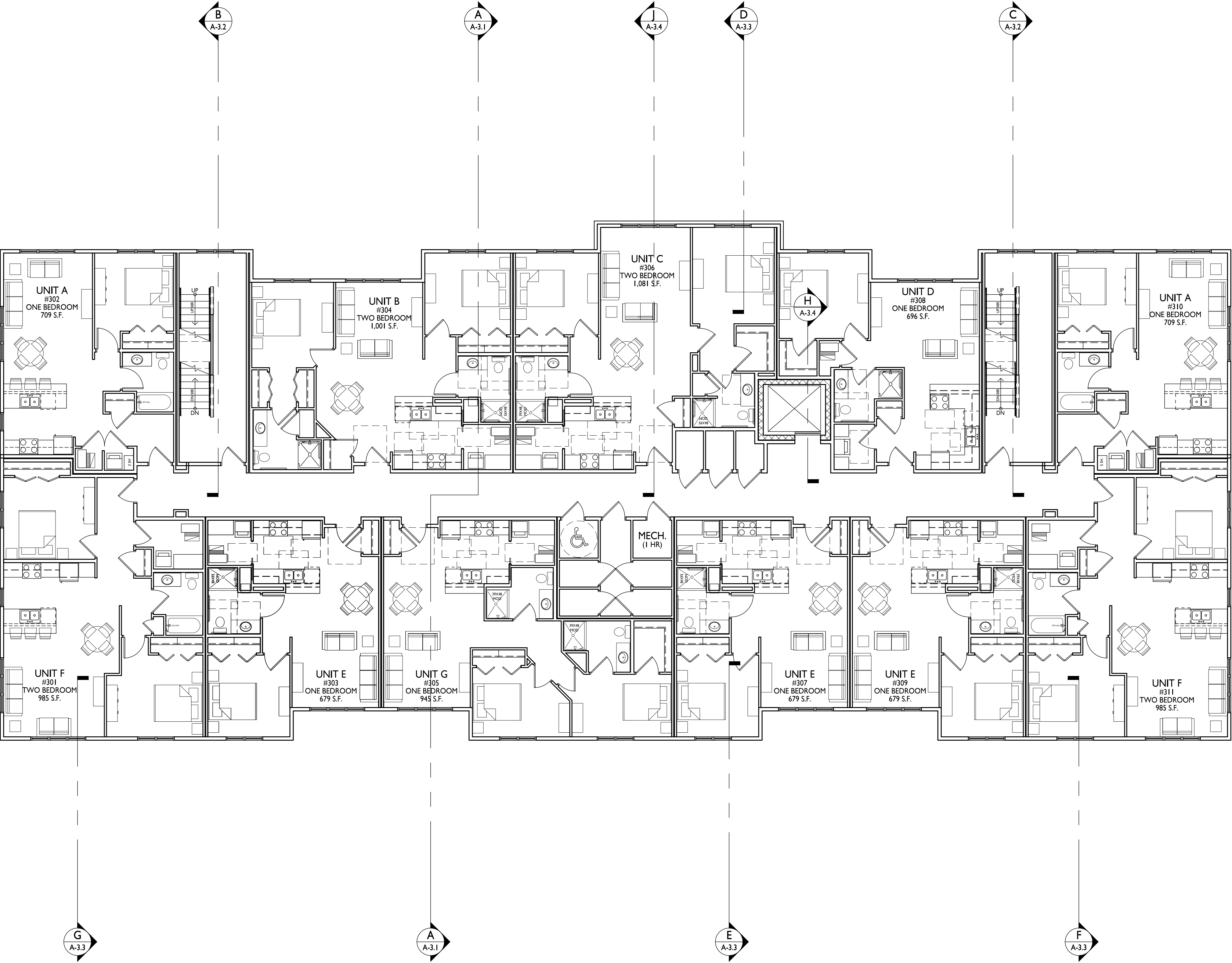
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PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Second Floor Plan

SHEET NUMBER





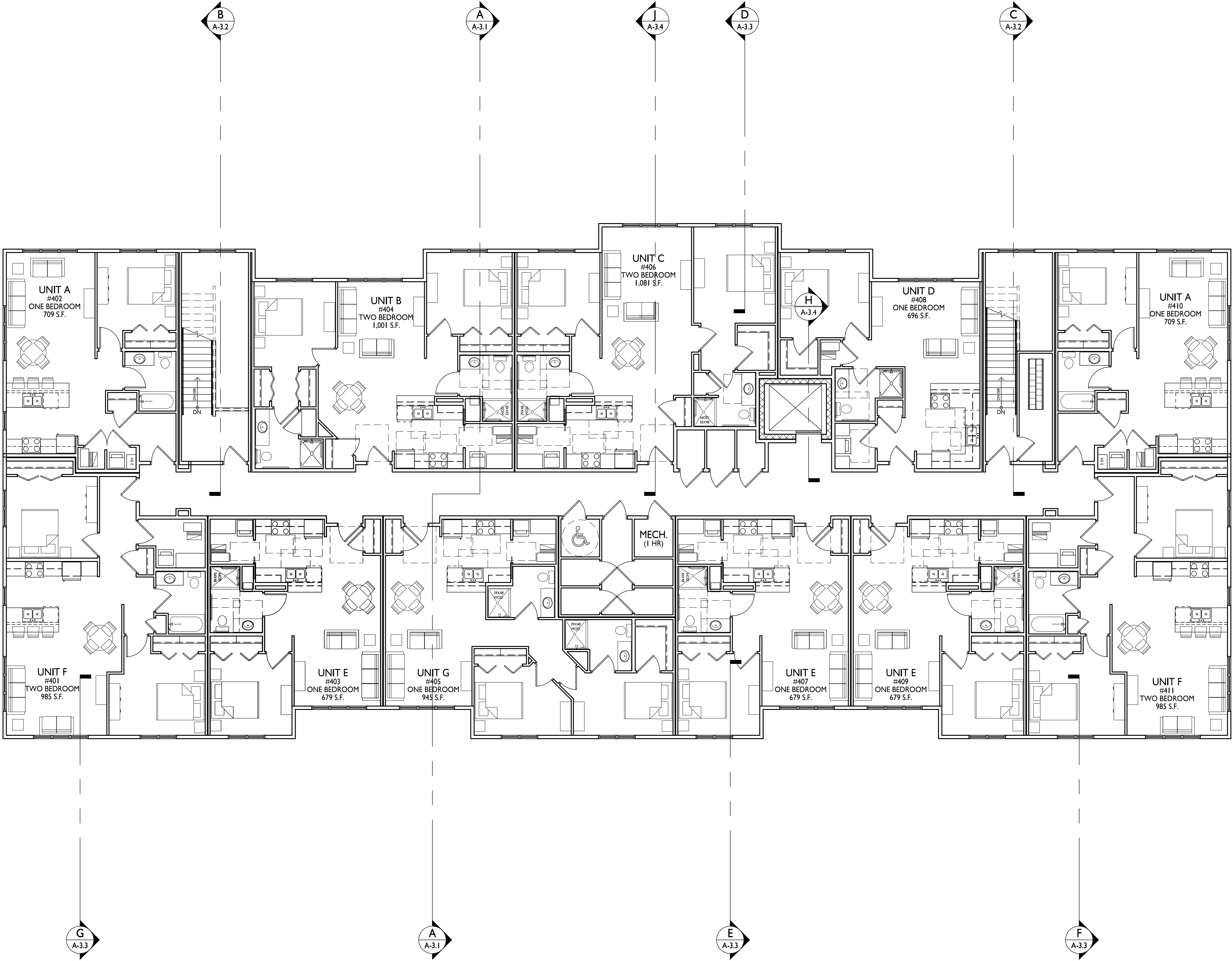
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Issued for xyz - Month Day, Year

PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Third Floor Plan

SHEET NUMBER

THIRD FLOOR PLAN
1/8" = 1'-0"



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PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Fourth Floor Plan

SHEET NUMBER

I
A-1.4

FOURTH FLOOR PLAN
1/8" = 1'-0"

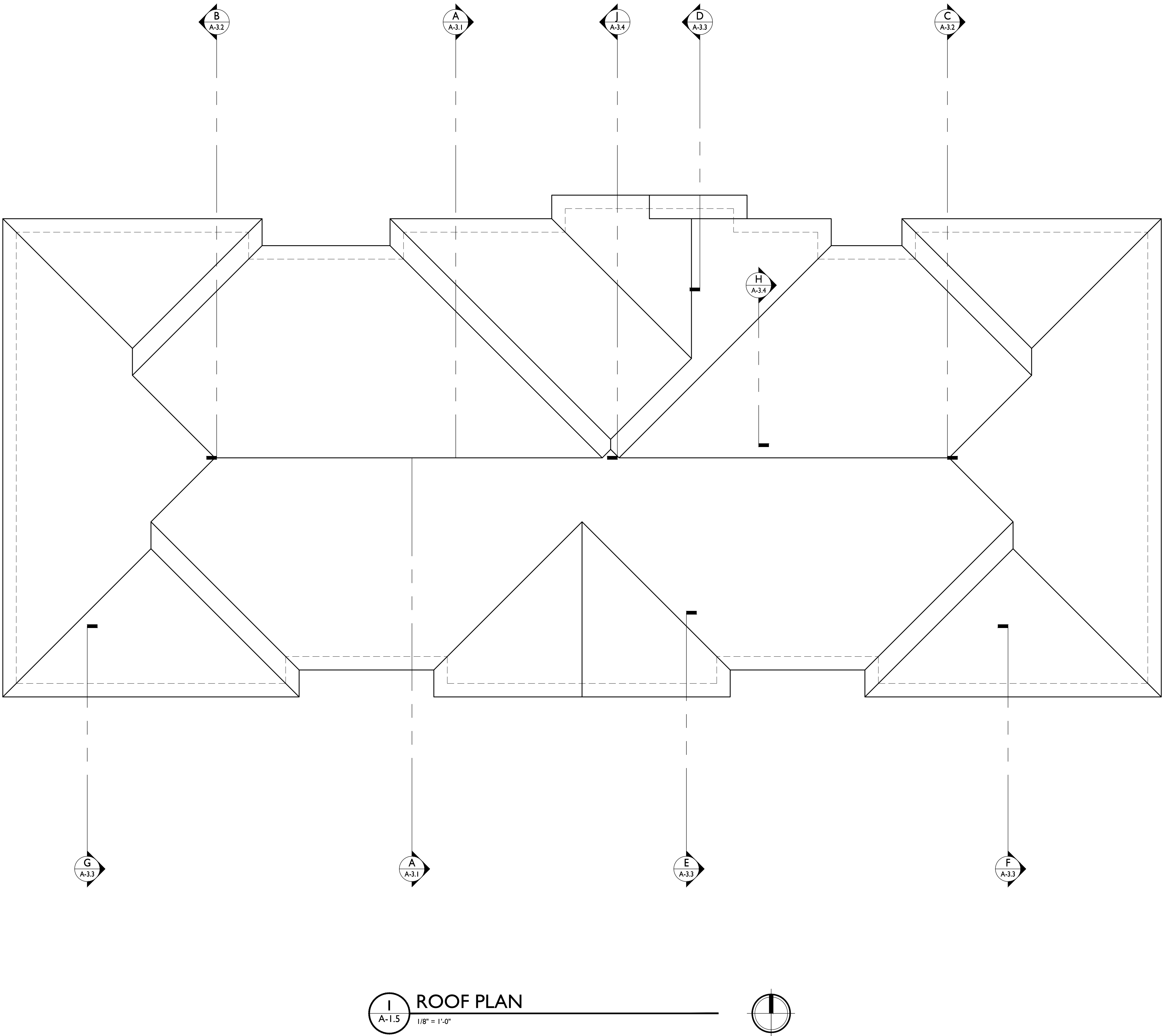
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Issued for xyz - Month Day, Year

PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Roof Plan

SHEET NUMBER

A-1.5
PROJECT NO. 1128
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1 WEST ELEVATION
A-2.1 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	MANUFACTURER	COLOR
ROOF	ASPHALT	OWENS CORNING	DRIFTWOOD
FASCIA	COMPOSITE	TBD	SW2833 ROYCROFT VELLUM
SOFFIT	ALUMINUM	TBD	TBD
PRE-FINISHED METAL FLASHING	ALUMINUM	PAC-CLAD	MATCH BUILDING MATERIAL
DOWNSPOUT	ALUMINUM	TBD	MATCH BUILDING MATERIAL
HORIZONTAL SIDING - 6" EXPOSURE	COMPOSITE	TBD	SW7695 MESA TAN
HORIZONTAL SIDING - 4" EXPOSURE	COMPOSITE	TBD	SW7509 TIKI HUT
BOARD & BATTEN SIDING	COMPOSITE	TBD	SW2833 ROYCROFT VELLUM
WINDOWS	VINYL	VISIONS	TAN
COLUMN WRAP & TRIM	COMPOSITE	TBD	SW2833 ROYCROFT VELLUM
PRECAST BANDS, SILLS, HEADS	PRECAST CONCRETE	EDWARDS	I0-025
MASONRY VENEER	BRICK	TBD	TBD
GROUND FACE MASONRY	CONCRETE	COUNTY MATERIALS	BISQUE
MORTAR	MASONRY	MORTAR TECHNOLOGIES	TAN

ISSUED
Issued for xyz - Month Day, Year



2 NORTH ELEVATION
A-2.1 1/8"=1'-0"

PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Exterior
Elevations

SHEET NUMBER



1

A-2.2

EAST ELEVATION

1/8"=1'-0"



2

A-2.2

SOUTH ELEVATION

1/8"=1'-0"

ISSUED
Issued for xyz - Month Day, Year

PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Exterior
Elevations

SHEET NUMBER



1 EAST ELEVATION
A-2.2 1/8"=1'-0"



2 SOUTH ELEVATION
A-2.2 1/8"=1'-0"

Eva Manor
Apartments
Pleasant Prairie, WI
February 14, 2018





1 WEST ELEVATION
A-2.1 1/8"=1'-0"



2 NORTH ELEVATION
A-2.1 1/8"=1'-0"

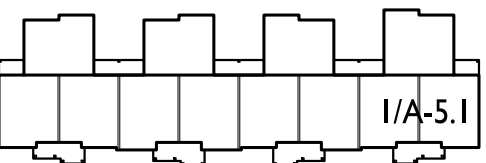
Eva Manor
Apartments
Pleasant Prairie, WI
February 14, 2018



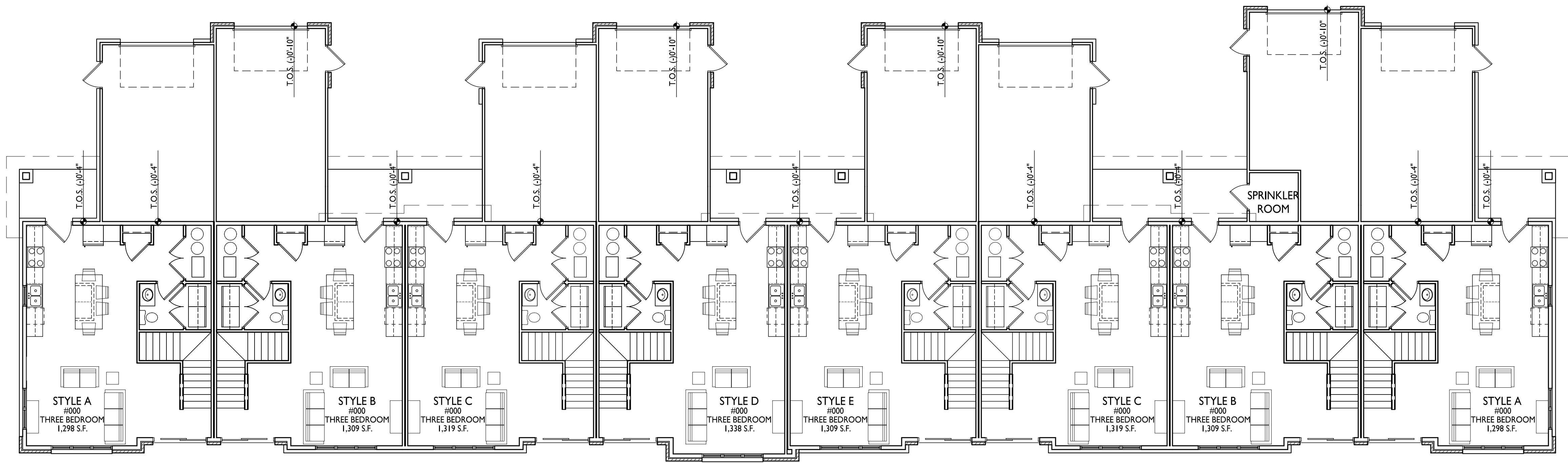
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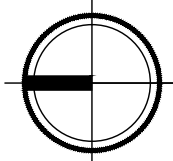
KEY PLAN



FIRST FLOOR



I FIRST FLOOR PLAN
A-1.1 1/8" = 1'-0"



ISSUED
September 18, 2017

PROJECT TITLE
Eva Manor

8 Unit Townhouse
Pleasant Prairie, WI
SHEET TITLE
First Floor Plan

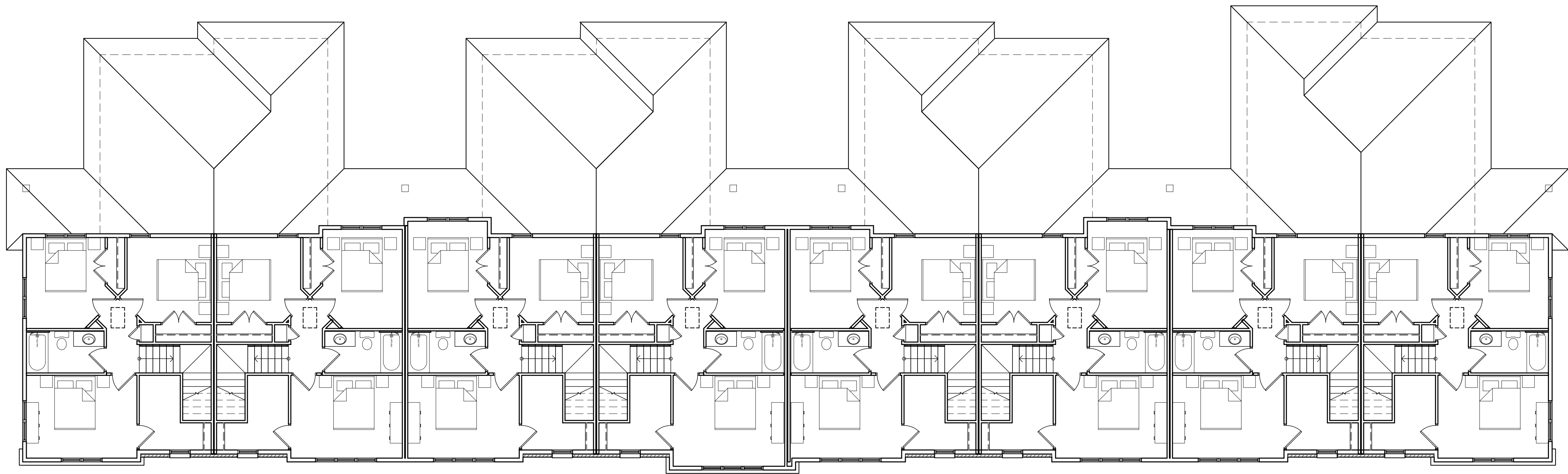
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A-1.1

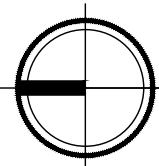
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SECOND FLOOR



1 SECOND FLOOR PLAN
A-1.2 1/8" = 1'-0"



ISSUED
September 18, 2017

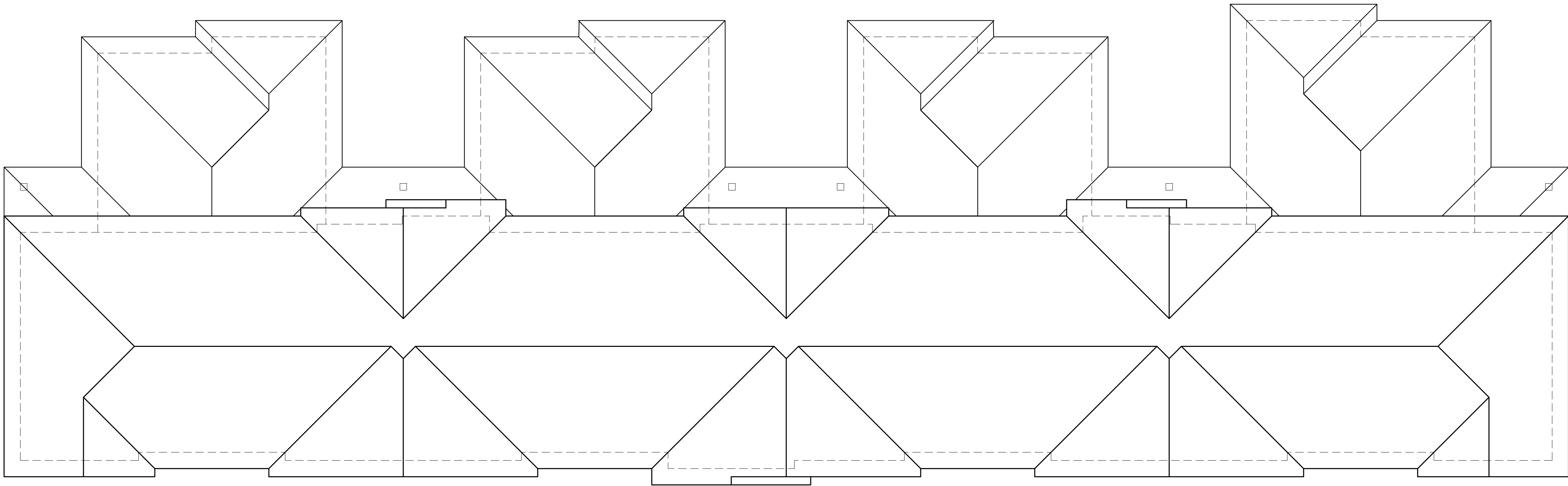
PROJECT TITLE
Eva Manor

8 Unit Townhouse
Pleasant Prairie, WI
SHEET TITLE
Townhome
Second Floor Plan

SHEET NUMBER

A-1.2

PROJECT NO. 1128
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I

A-1.3

1/8" = 1'-0"

ROOF PLAN

1. INSTALL ROOF VENTING TO PROVIDE 1 S.F. VENT AREA PER 300 S.F. ATTIC AREA. HALF OF VENTING TO OCCUR AT RIDGE AND HALF AT EAVE. DO NOT MIX CAN VENTS AND RIDGE VENTS.
2. ALL AREAS OF OVER-FRAMING TO BE VENTED TO MAIN ATTIC SPACE WITH MINIMUM 4 S.F. OPENING IN BOTTOM ROW OF SHEATHING.
3. INSTALL GRACE ICE AND WATER SHIELD AT ALL ROOF EAVES AND VALLEYS. EXTEND FROM THE EAVES' EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR HEATED WALL LINE OF THE BUILDING. INSTALL PER MANUFACTURERS SPECIFICATIONS. (SEE I.B.C. SECT. 1507.2.8.2 FOR ADDITIONAL INFO.)

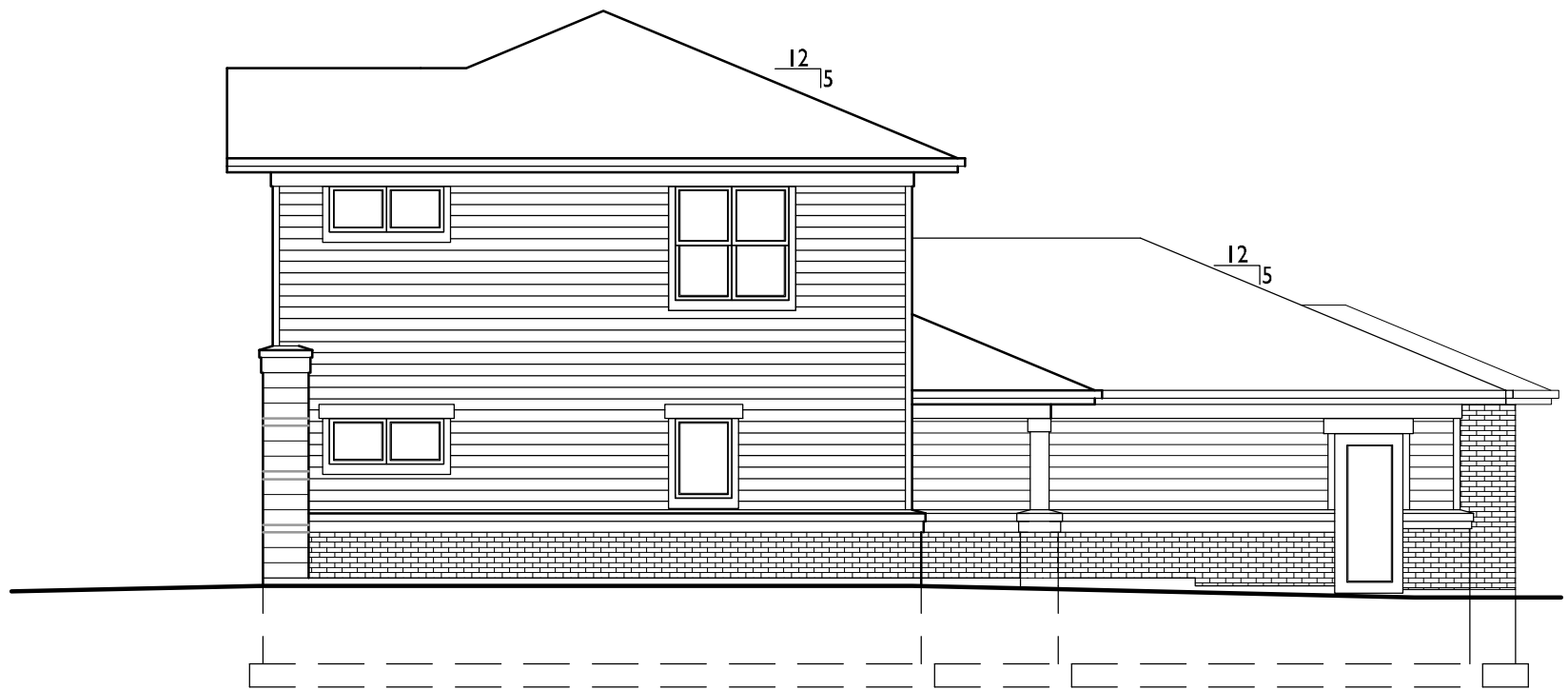
8 Unit Townhouse
Pleasant Prairie, WI

SHEET TITLE

Roof Plan

SHEET NUMBER

EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	MANUFACTURER	COLOR
ROOF	ASPHALT	OWENS CORNING	DRIFTWOOD
FASCIA	COMPOSITE	TBD	SW2833 ROYCROFT VELLUM
SOFFIT	ALUMINUM	TBD	TBD
PRE-FINISHED METAL FLASHING	ALUMINUM	PAC-CLAD	MATCH BUILDING MATERIAL
DOWNSPOUT	ALUMINUM	TBD	MATCH BUILDING MATERIAL
HORIZONTAL SIDING - 6" EXPOSURE	COMPOSITE	TBD	SW7695 MESA TAN
HORIZONTAL SIDING - 4" EXPOSURE	COMPOSITE	TBD	SW7509 TIKI HUT
BOARD & BATTEN SIDING	COMPOSITE	TBD	SW2833 ROYCROFT VELLUM
WINDOWS	VINYL	VISIONS	TAN
COLUMN WRAP & TRIM	COMPOSITE	TBD	SW2833 ROYCROFT VELLUM
PRECAST BANDS, SILLS, HEADS	PRECAST CONCRETE	EDWARDS	I0-025
MASONRY VENEER	BRICK	TBD	TBD
GROUND FACE MASONRY	CONCRETE	COUNTY MATERIALS	BISQUE
MORTAR	MASONRY	MORTAR TECHNOLOGIES	TAN

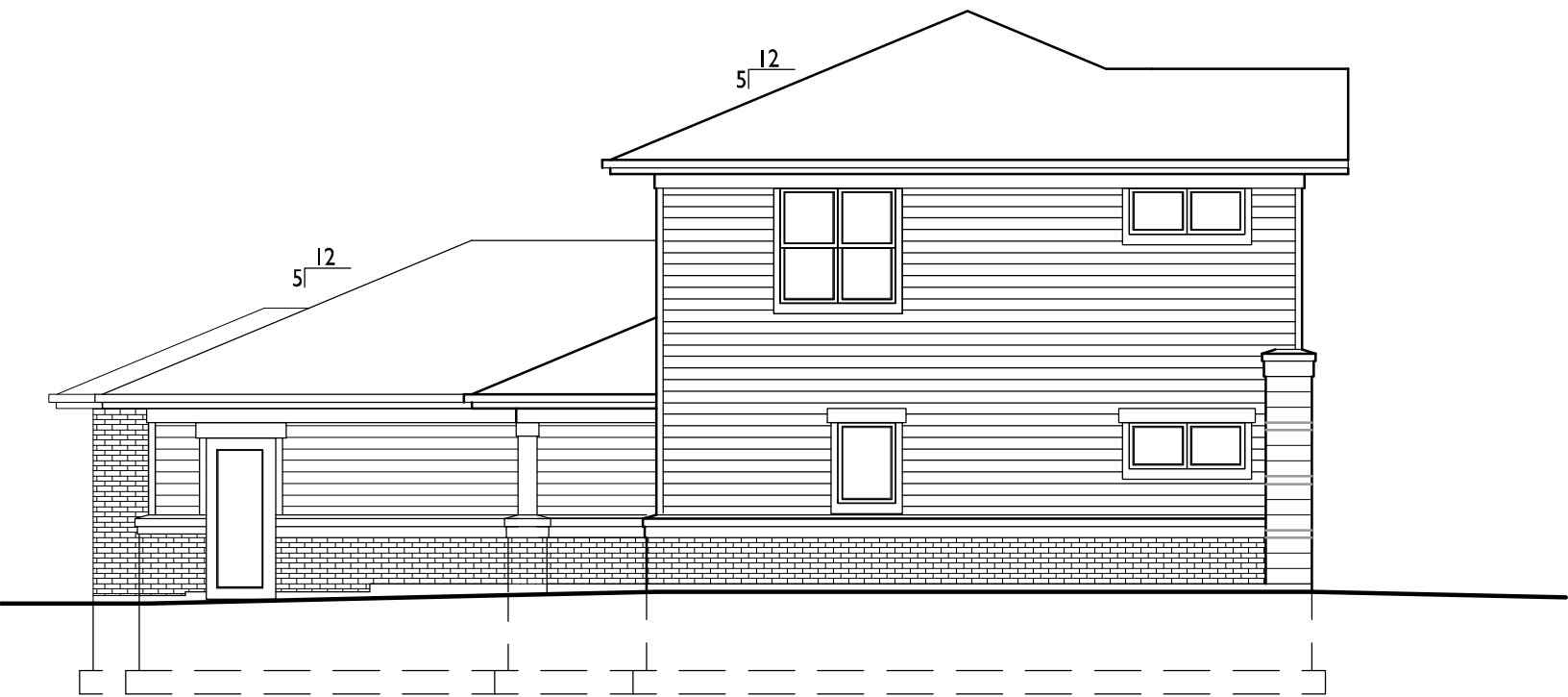


3

SOUTH ELEVATION

A-2.1

1/8" = 1'-0"



4

NORTH ELEVATION

A-2.1

1/8" = 1'-0"



2

EAST ELEVATION

A-2.1

1/8" = 1'-0"

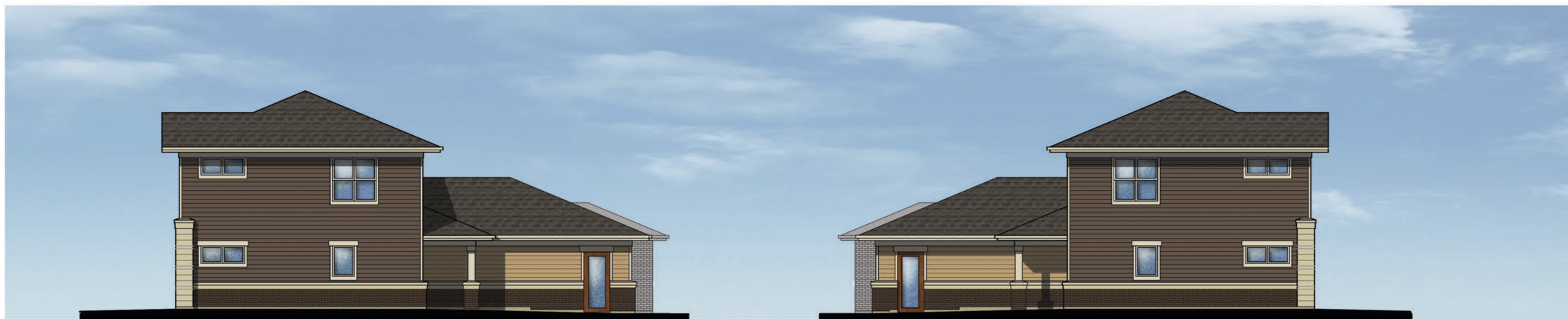


1

WEST ELEVATION

A-2.1

1/8" = 1'-0"



3 SOUTH ELEVATION
A-2.1 1/8" = 1'-0"

4 NORTH ELEVATION
A-2.1 1/8" = 1'-0"



2 EAST ELEVATION
A-2.1 1/8" = 1'-0"

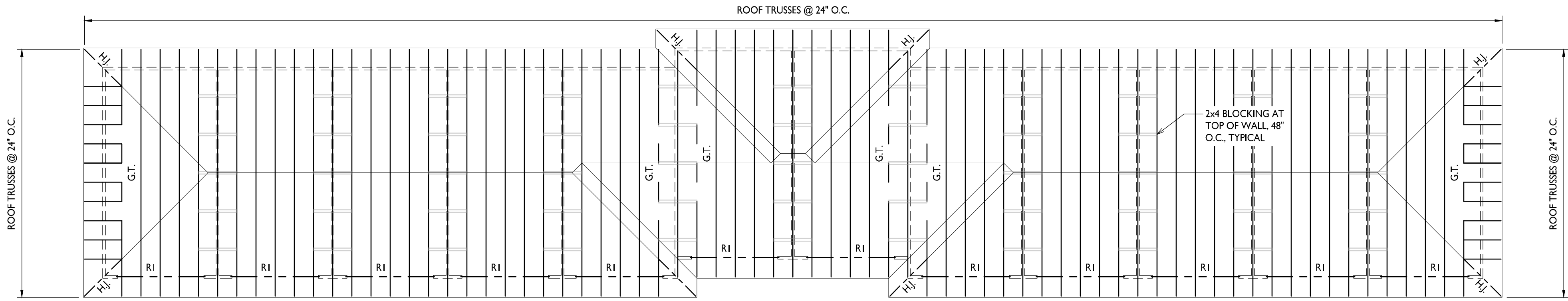


1 WEST ELEVATION
A-2.1 1/8" = 1'-0"

TYPICAL MATERIALS
ASPHALT SHINGLES
COMPOSITE FASCIA
COMPOSITE TRIM
VINYL WINDOWS
CAST STONE BAND
HEADS, & SILLS
MASONRY VENEER


Eva Manor
Townhomes
Pleasant Prairie, WI
February 14, 2018





FRAMING PLAN GENERAL NOTES:

1. SPACING OF ROOF TRUSSES IS TO SHOW DESIGN INTENT ONLY. FINAL DESIGN BY TRUSS SUPPLIER.
2. TRUSS MANUFACTURER TO SUPPLY GENERAL CONTRACTOR AND ARCHITECT WITH SHOP DRAWINGS FOR APPROVAL BY BOTH PRIOR TO FABRICATION.
3. WOOD SPECIES = S-P-F.
4. HDRS GRADE = #2 L.N.O.
5. STUDS = STUD GRADE.
6. LVL = MICROLAM LVL BY TRUSS JOIST MACMILLAN OR EQUAL. 1.8E ES LVL OR BETTER.
7. MULTIPLE PLY BEAMS TO BE FASTENED/NAILED TOGETHER PER THE MANUFACTURER'S RECOMMENDATIONS.
8. DEFLECTION LIMITS:
ROOF:
L/360 FROM LIVE LOAD ONLY
L/240 FROM TOTAL LOAD

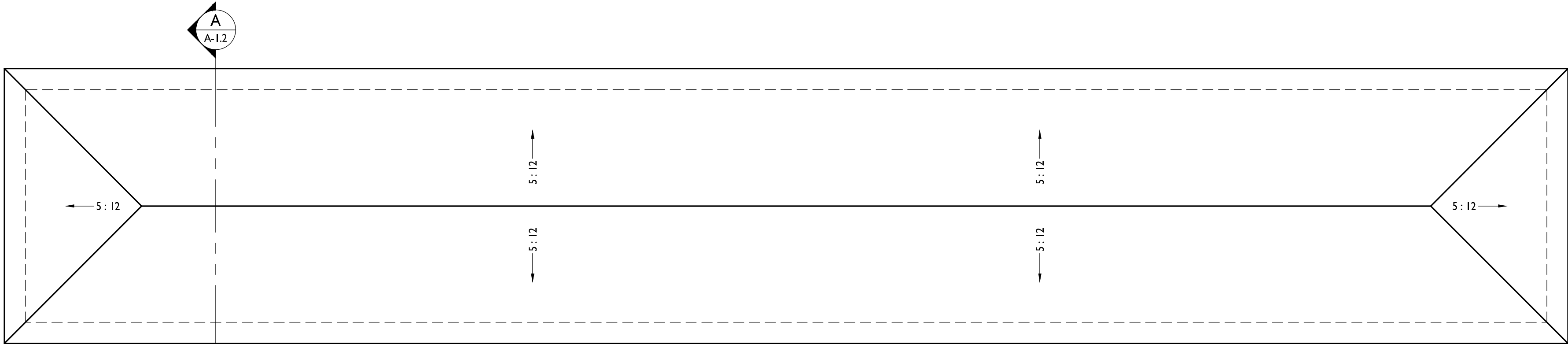
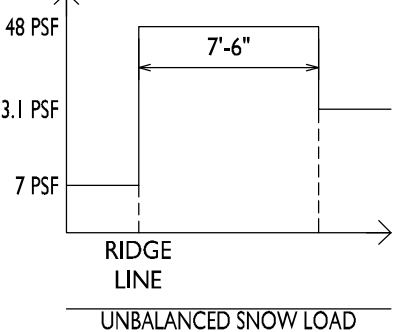
SHEAR WALL SCHEDULE			
MARK	INSTALLATION	HOLD DOWN / TIE	SYMBOL: 
SW1	GENERAL SHEAR WALL NOTES: <ul style="list-style-type: none">• USE (3) STUDS @ EACH END OF SHEAR WALL ON FIRST FLOOR.• 7/16" STRUCTURAL I RATED OSB, SOLID BLOCK ALL SEAMS. 8d NAILS AT 4" O.C. AT EDGES & AT 6" O.C. AT INTERIOR STUDS.	• SIMPSON HDU8-SDS2.5 @ FOUNDATION/PRECAST <ul style="list-style-type: none">• INSTALL PER MANUFACTURER'S REQUIREMENTS AT EACH END OF SHEAR WALL.• 1/4" MIN. EMBEDMENT @ C.I.P. FOUNDATION WALLS, SET IN EPOXY.	

1 FRAMING PLAN
A-1.1 1/8"=1'-0"

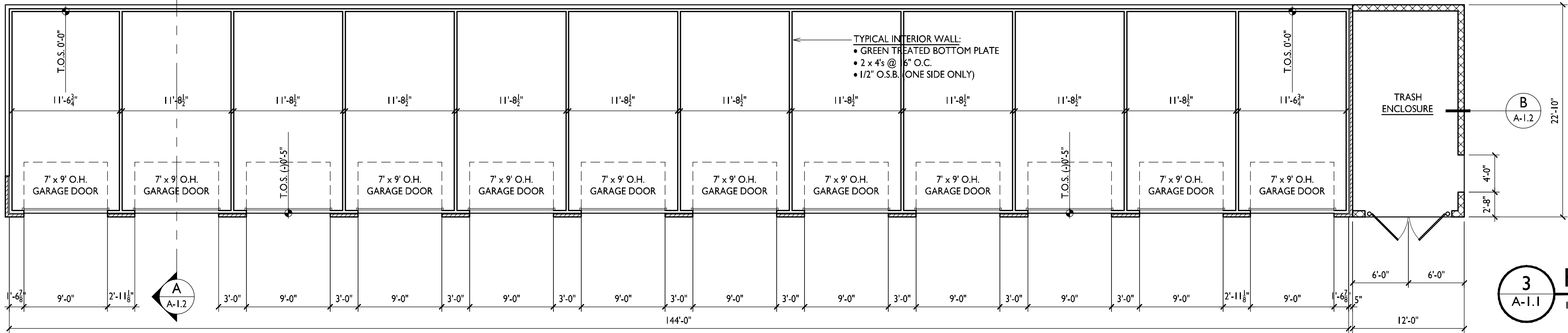
HEADER SCHEDULE					
MARK	TYPE	SIZE	MATERIAL	KING STUDS	BEARING
R1	HEADER	(2) 1 3/4" x 11 7/8"	LVL	(1) 2 x 4	(2) 2 x 4
R2					

FRAME WALL ATTACHMENT TO FOUNDATION	
LOCATION	ATTACHMENT
DEMISING WALLS EXTERIOR WALLS	24" O.C. MAX., CLOSER SPACING & HOLD DOWNS AT DESIGNATED SHEAR WALLS PER SHEAR WALL SCHEDULE.
1/4" "SPIKE" ANCHOR w/ MUSHROOM HEAD BY POWERS FASTENERS, INC. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ZINC PLATED CARBON STEEL. (1 1/2" MIN. EMBEDMENT) PROVIDE FENDER WASHER BETWEEN HEAD AND WOOD PLATE.	

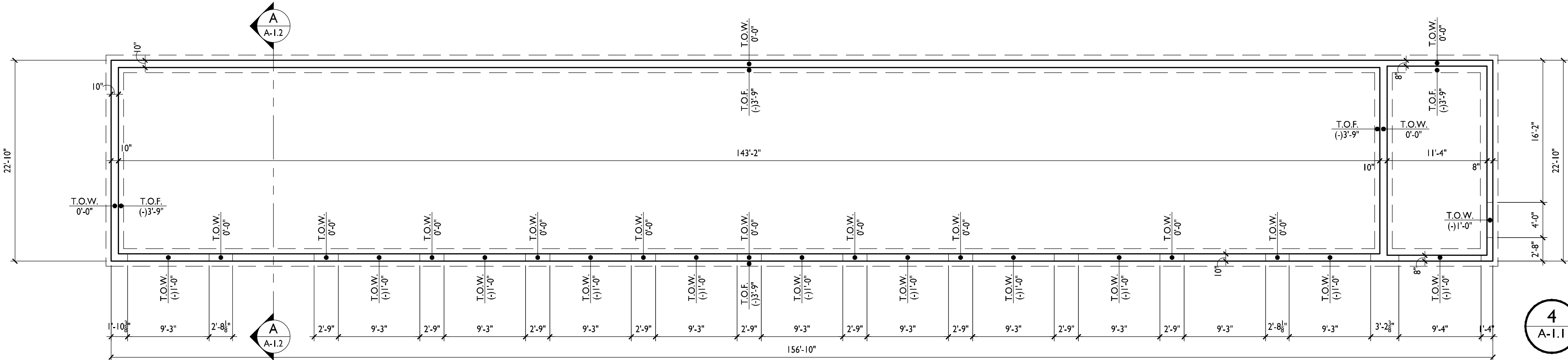
DESIGN LOADS	
ROOF SNOW LOAD	30 PSF BASE + DRIFT
BASIC WIND SPEED	90 MPH
WIND EXPOSURE C	
WIND IMPORTANCE FACTOR	1.00
SEISMIC DESIGN CATEGORY	B
SEISMIC IMPORTANCE FACTOR	1
SITE CLASS	D
ROOF TRUSS DESING LOADS:	
TOP CHORD:	SNOW = 30 PSF DEAD LOAD = 15PSF
BOTTOM CHORD:	DEAD LOAD = 10PSF



2 ROOF PLAN
A-1.1 1/8"=1'-0"

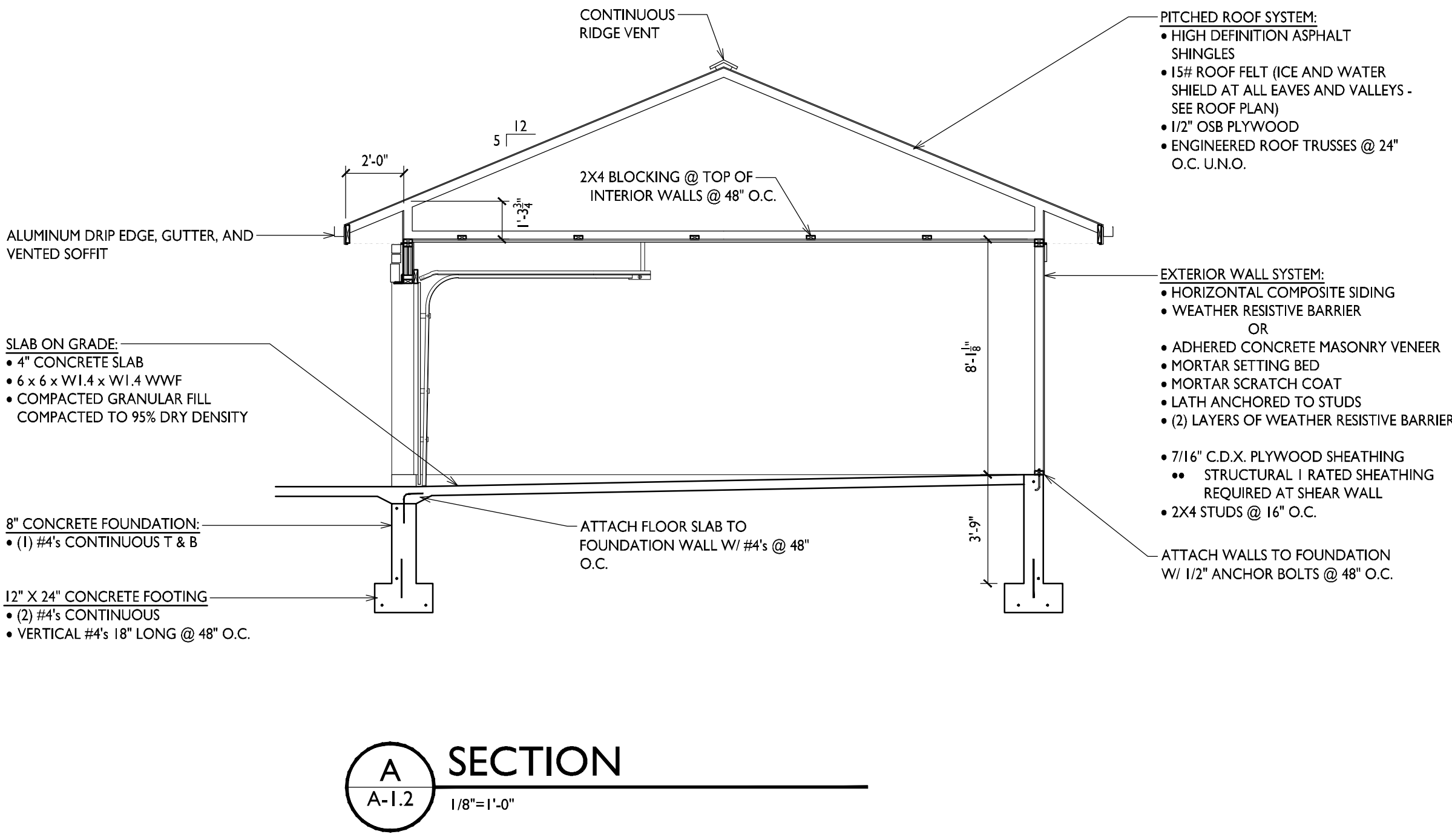
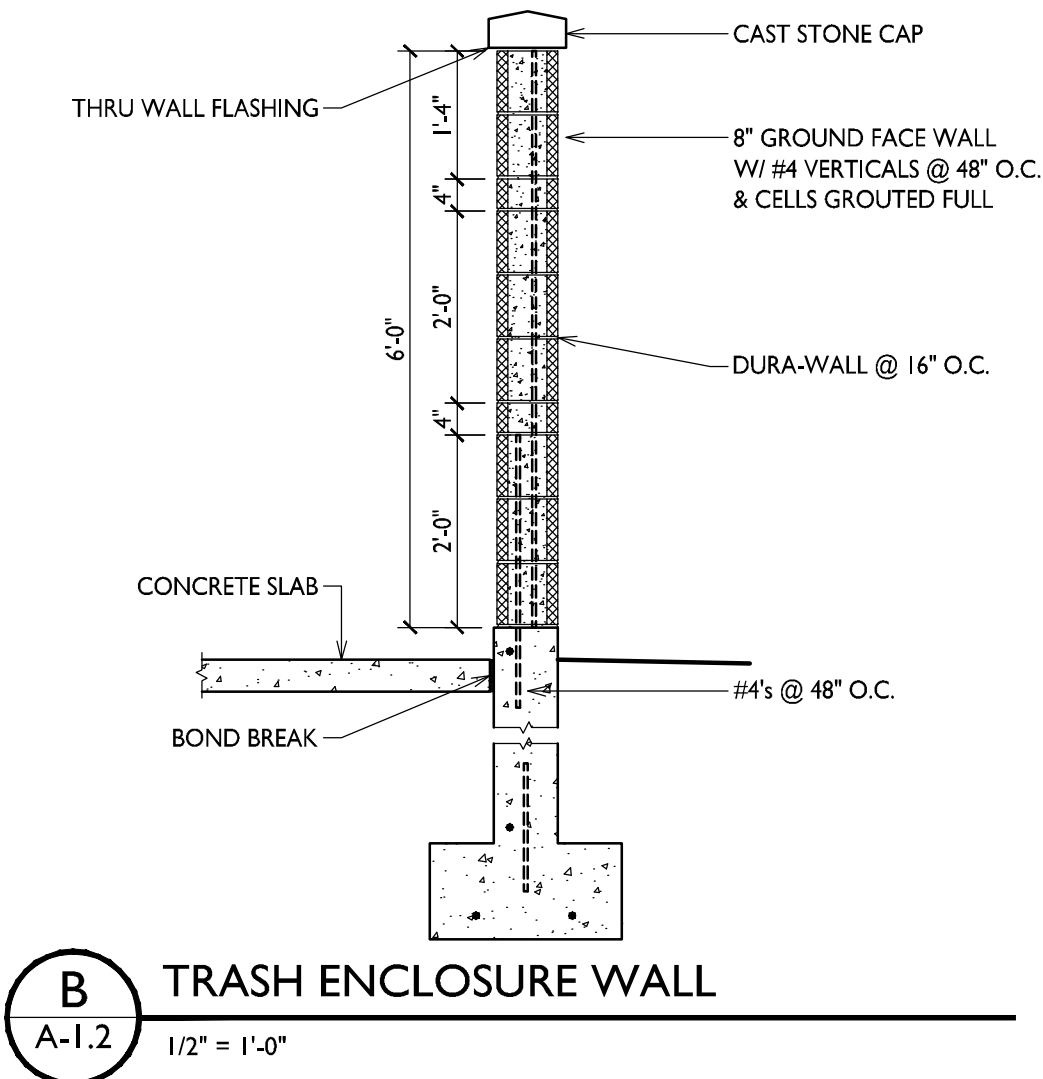


3 FLOOR PLAN
A-1.1 1/8"=1'-0"



4 FOUNDATION PLAN
A-1.1 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
BUILDING MATERIAL	MATERIAL	MANUFACTURER	COLOR
ROOF	ASPHALT	OWENS CORNING	DRIFTWOOD
FASCIA & TRIM	COMPOSITE	TBD	SW2833 ROYCROFT VELLUM
SOFFIT	ALUMINUM	TBD	TBD
PRE-FINISHED METAL FLASHING	ALUMINUM	PAC-CLAD	MATCH BUILDING MATERIAL
DOWNSPOUT	ALUMINUM	TBD	MATCH BUILDING MATERIAL
HORIZONTAL SIDING - 6" EXPOSURE	COMPOSITE	TBD	SW7509 TIKI HUT
PRECAST BANDS, SILLS, HEADS	PRECAST CONCRETE	EDWARDS	IQ-025
MASONRY VENEER	BRICK	TBD	TBD
GROUND FACE MASONRY	CONCRETE	COUNTY MATERIALS	BISQUE
MORTAR	MASONRY	MORTAR TECHNOLOGIES	TAN

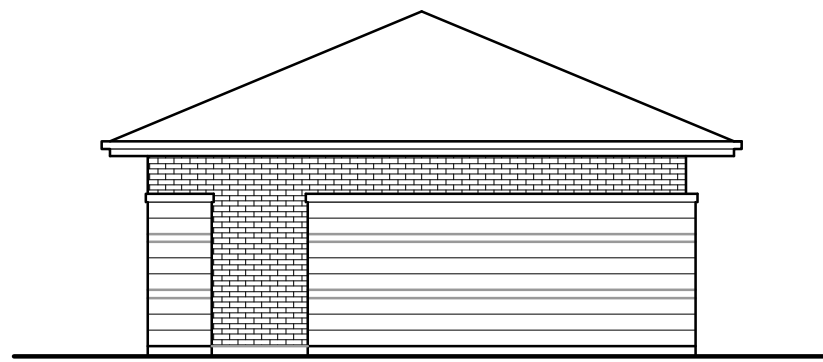


ISSUED
Issued for xyz - Month Day, Year

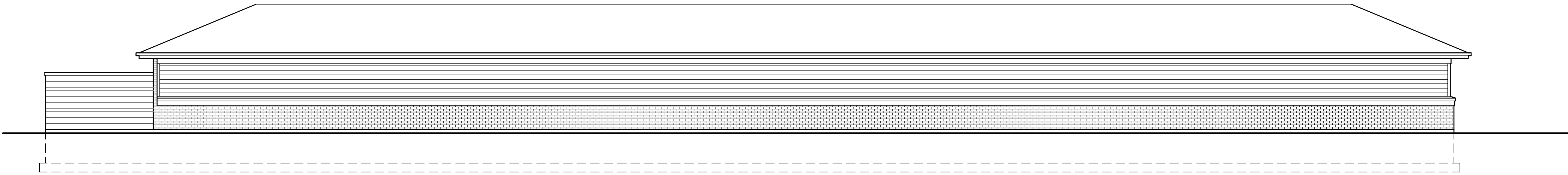
PROJECT TITLE
Eva Manor

91st Street
Pleasant Prairie, WI
SHEET TITLE
Elevations
Sections & Details

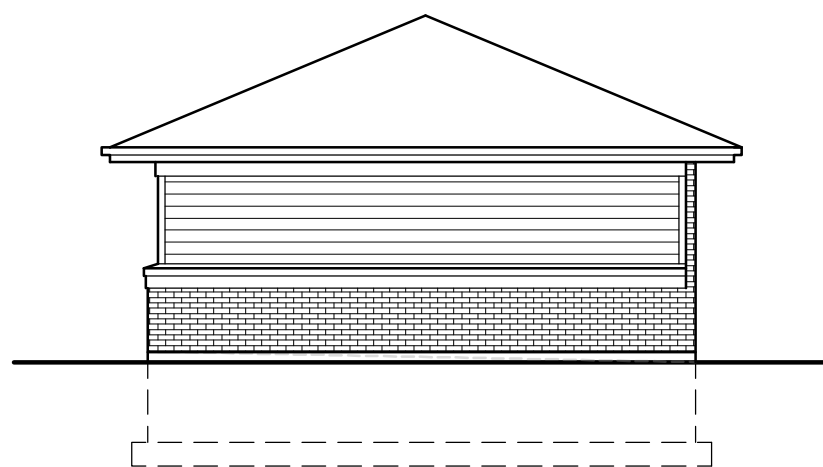
SHEET NUMBER



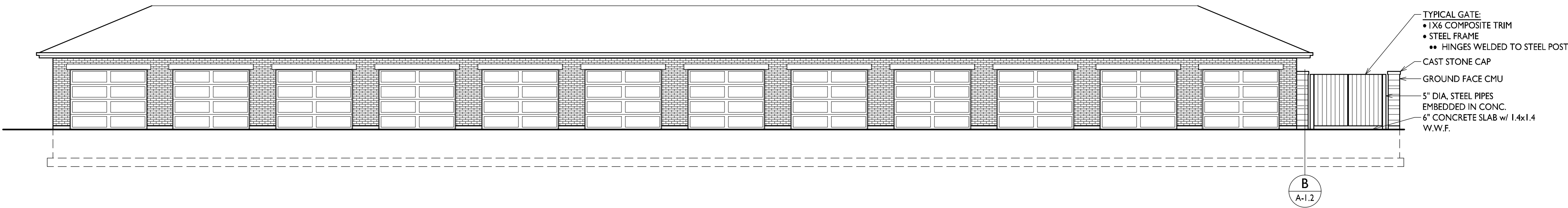
2 SOUTH ELEVATION
A-1.2 1/8"=1'-0"



1 EAST ELEVATION
A-1.2 1/8"=1'-0"

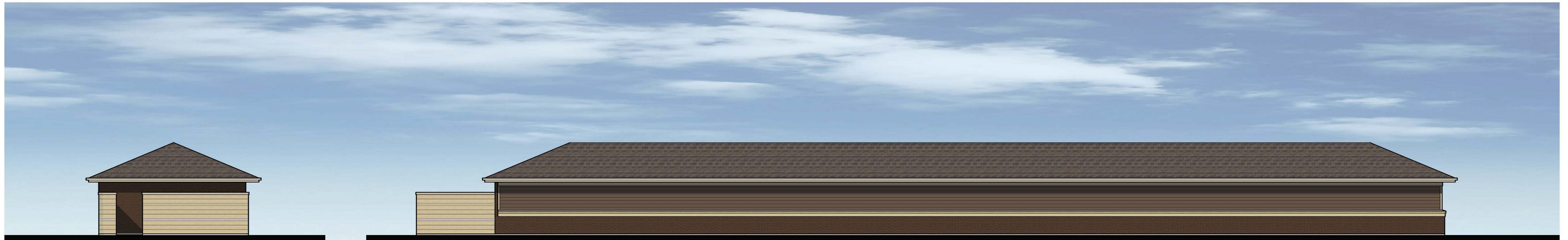


4 NORTH ELEVATION
A-1.2 1/8"=1'-0"



3 WEST ELEVATION
A-1.2 1/8"=1'-0"

• STEEL POST TO RECEIVE SHOP PRIMER AND 2 COATS OF ENAMEL PAINT. ALL STEEL TO BE IN CONCRETE TO RECEIVE BITUMINOUS COATING PRIOR TO POURING CONCRETE



1 EAST ELEVATION
A-1.2 1/8"=1'-0"



3 WEST ELEVATION
A-1.2 1/8"=1'-0"



4 NORTH ELEVATION
A-1.2 1/8"=1'-0"

2 SOUTH ELEVATION
A-1.2 1/8"=1'-0"



February 12, 2018

Jean M. Werbie-Harris
Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Dear Ms. Werbie-Harris:

BFU 11, LLC is the owner of record of 3.22 acres of property at the southeast corner of 91st Street and 22nd Avenue in the Village of Pleasant Prairie. The property was previously approved for a condominium project known as Springbrook Place. During the entitlement process for Springbrook Place, several easements were granted and subsequently recorded against the property.

Bear Development, LLC has submitted applications for Concept Plan and Neighborhood Amendment for a project known as Eva Manor. Because the developments differ in proposed engineering and design, the existing easements no longer coincide with the planned improvements.

Please accept this letter as a formal request to begin proceedings for the vacation of various easements at the subject property. Specifically, we request the following easements to be abandoned/vacated:

- Stormwater Drainage Detention Basin, Access and Maintenance Easement per CSM 2616.
- Public Water and Private Sanitary Sewer, Access and Maintenance Agreement per CSM 2616.
- Woodland Preservation and Protection, Access and Maintenance Easement, per CSM 2616.
- 10' Landscaping, Signage, Access and maintenance Easement per CSM 2616.
- Vision Triangle Easement per CSM 2616.
- 12' Utility Easement per CSM 2616

The easements referenced above, were recorded as part of specific improvement plans for Springbrook Place and are no longer applicable to future development of the site. As we develop specific and detailed engineering plans, as part of a Planned Unit Development, similar easements, specific to the Eva Manor plans will be identified, described and eventually recorded.

We understand that the process of vacation of easements will require Village Board approval and the process may need to be led by the Village Attorney. We would respectfully request that the process be initiated.

Should you have any questions regarding this request or need any further information, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Daniel Szczap', written in a cursive style.

Daniel Szczap
Bear Development, LLC

COPY

PAGE 1 of 12

CERTIFIED SURVEY MAP NO. 2616

Doc# 1549407
3/5/08

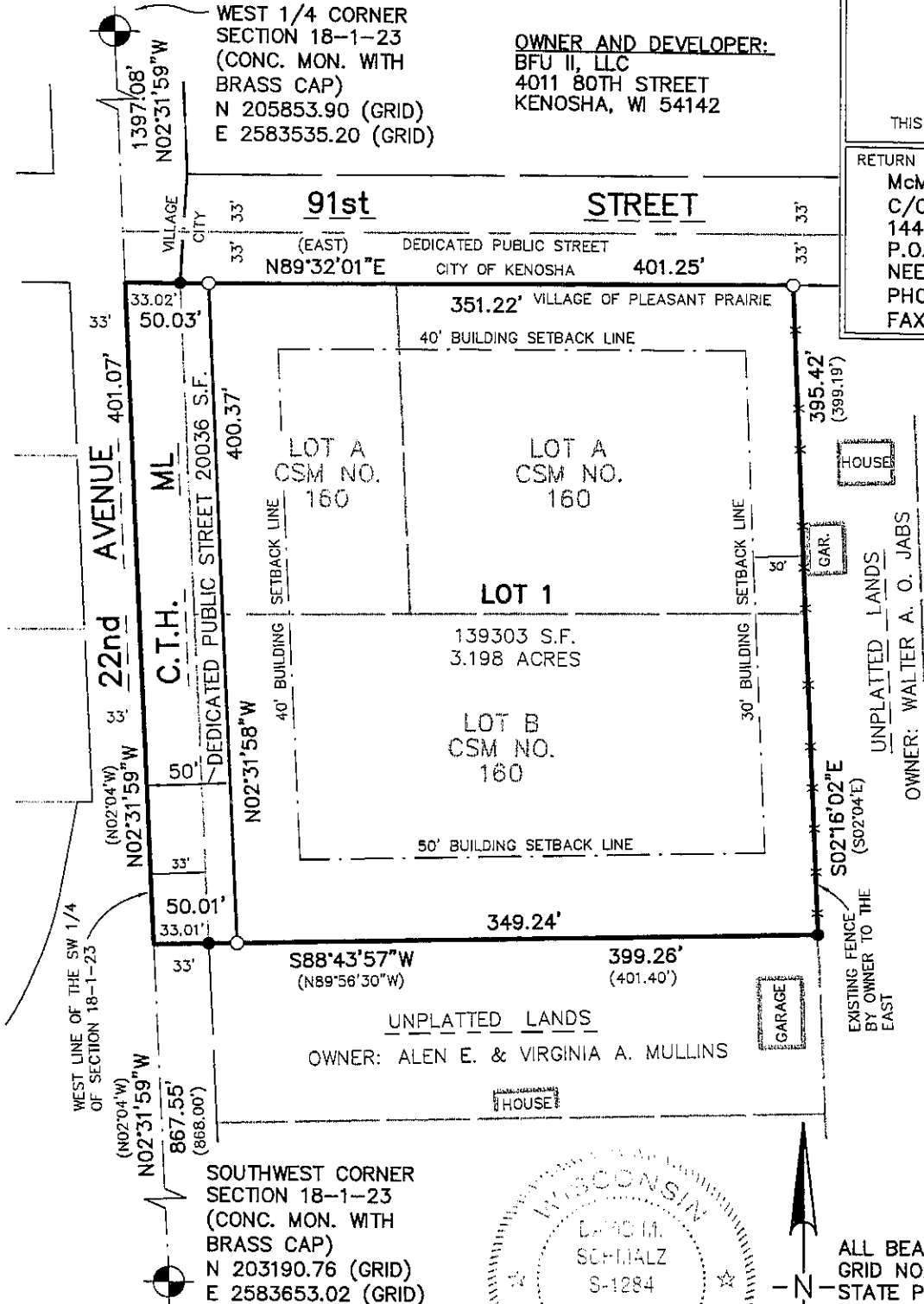
ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS
RECORDED IN VOLUME 917 ON PAGE 993, LESS AND
EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART
OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF
SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE
FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN.

WEST 1/4 CORNER
SECTION 18-1-23
(CONC. MON. WITH
BRASS CAP)
N 205853.90 (GRID)
E 2583535.20 (GRID)

OWNER AND DEVELOPER:
BFU II, LLC
4011 80TH STREET
KENOSHA, WI 54142

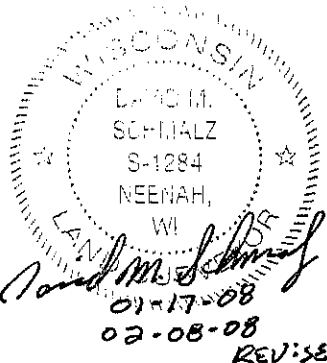
THIS SPACE RESERVED FOR RECORDING DATA

RETURN TO:
McMAHON ASSOCIATES, INC.
C/O Doug Woelz
1445 McMAHON DRIVE
P.O. BOX 1025
NEENAH, WI 54957-1025
PHONE # (920)-751-4200
FAX # (920)-751-4284



LEGEND

- - 3/4" x 24" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
- - 1" IRON PIPE FOUND
- () - RECORDED BEARING AND/OR DISTANCE
- ⊙ - CERTIFIED LAND CORNER KENOSHA COUNTY
- S.F. - SQUARE FEET
- X---X--- EXISTING FENCE



SEE PAGE 2 OF 12 FOR
EASEMENTS THAT AFFECT
THE PROPERTY

ALL BEARINGS ARE REFERENCED TO
GRID NORTH OF THE WISCONSIN
STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE (NAD-27). THE WEST
LINE OF THE SOUTHWEST 1/4 OF
SECTION 18-1-23, WHICH BEARS
N02°31' 59"W.

PROJECT CONVERSION FACTOR:
GRID/1.0000171 = GROUND

McMAHON
ASSOCIATES

ENGINEERS | ARCHITECTS | SURVEYORS | PROJECT MANAGERS
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

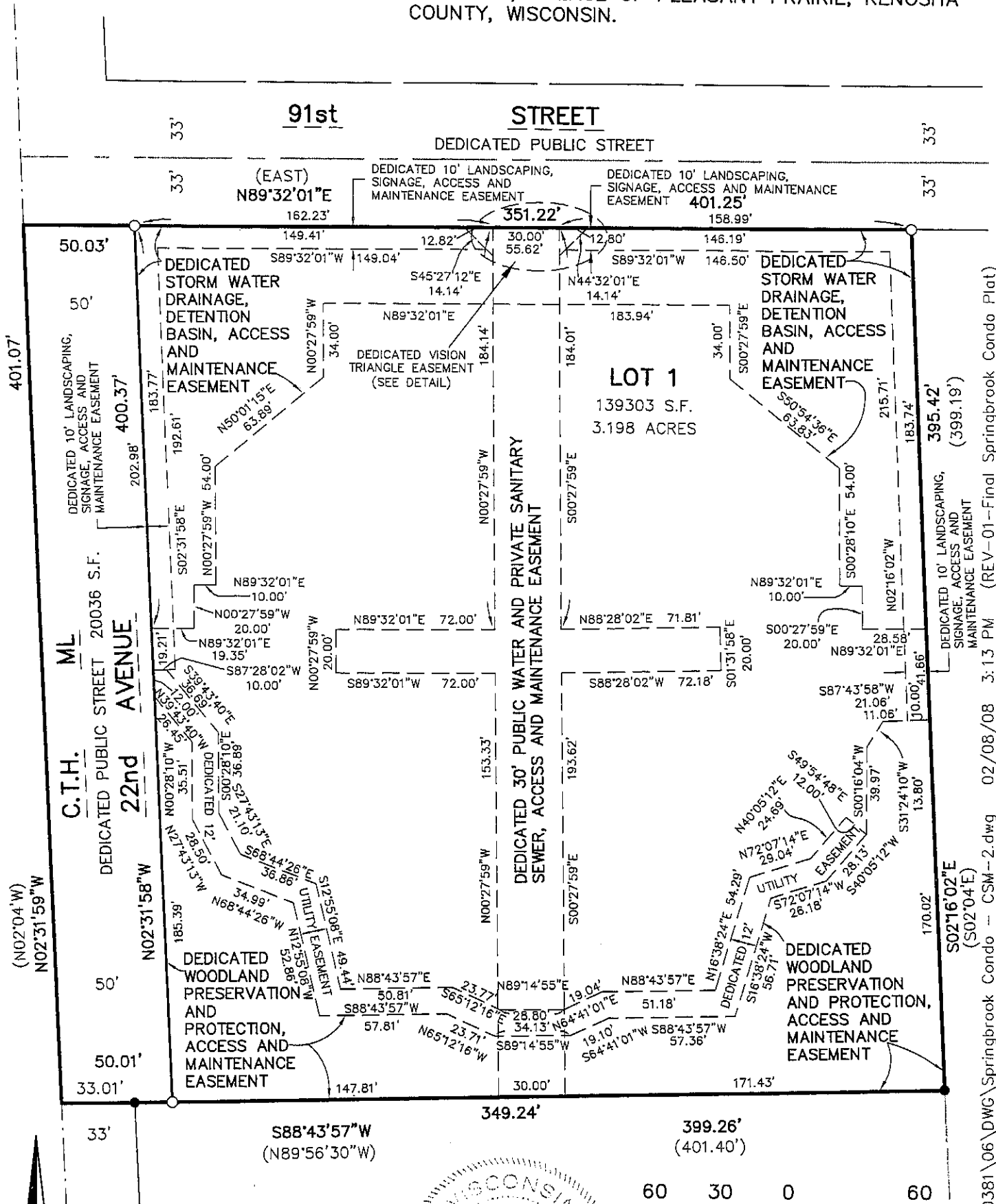
INSTRUMENT DRAFTED BY: DOUG WOELZ RLS-2327

ckolkofen W:\DWG\F0945\970381\06\DWG\Springbrook Condo - CSM-1.dwg 02/08/08 3:13 PM

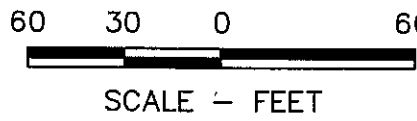
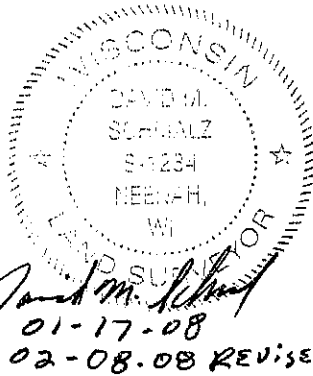
CERTIFIED SURVEY MAP NO.

PAGE 2 OF 12

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27). THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 18-1-23, WHICH BEARS N02°31' 59"W.



McMAHON ASSOCIATES

ENGINEERS | ARCHITECTS | SURVEYORS | PROJECT MANAGERS
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

INSTRUMENT DRAFTED BY: DOUG WOELZ RLS-2327

02/08/08 3:13 PM (REV-01-Final Springbrook Condo Plat) cskolkofen W:\DWG\F0945\970381\06\DWG\Springbrook Condo - CSM-2.dwg

CERTIFIED SURVEY MAP NO.

PAGE 3 OF 12

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATED WOODLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT:

Part of Lot B of Certified Survey Map No. 160 as recorded in Volume 917 on Page 993, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 18, Township 1 North, Range 23 East of the Fourth Principal Meridian, Village of Pleasant Prairie, Kenosha County, Wisconsin, containing 24870 square feet of land and described as follows:

Beginning at the Southeast corner of said Lot B; Thence S88°43'57"W, 349.24 feet (recorded as N89°56'30"E) along the South line of said Lot B; Thence N02°31'58"W, 185.39 feet; Thence S39°43'40"E, 26.45 feet; Thence S00°28'10"E, 35.51 feet; Thence S27°43'13"E, 28.50 feet; Thence S68°44'26"E, 34.99 feet; Thence S12°55'08"E, 52.86 feet; Thence N88°43'57"E, 57.81 feet; Thence S65°12'16"E, 23.71 feet; Thence N89°14'55"E, 34.13 feet; Thence N64°41'01"E, 19.10 feet; Thence N88°43'57"E, 57.36 feet; Thence N16°38'24"E, 56.71 feet; Thence N72°07'14"E, 26.18 feet; Thence N40°05'12"E, 28.13 feet; Thence N00°16'04"E, 39.97 feet; Thence S31°13'18"W, 13.80 feet; Thence N87°43'58"E, 21.06 feet to the East line of said Lot B; Thence S02°16'02"E, 170.02 feet along the East line of said Lot B to the Point of Beginning.

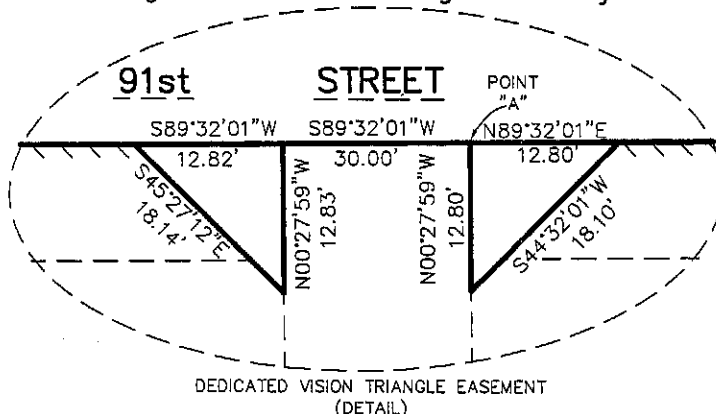
DEDICATED STORM WATER DRAINAGE, DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT:

Part of Lot A of Certified Survey Map No. 160 as recorded in Volume 917 on Page 993, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 18, Township 1 North, Range 23 East of the Fourth Principal Meridian, Village of Pleasant Prairie, Kenosha County, Wisconsin, containing 27390 square feet of land and described as follows:

Beginning at the Northeast corner of said Lot A; Thence S02°16'02"E, 183.74 feet along the East line of said Lot A; Thence S89°32'01"W, 28.58 feet; Thence N00°27'59"W, 20.00 feet; Thence S89°32'01"W, 10.00 feet; Thence N00°28'10"W, 54.00 feet; Thence N50°54'36"W, 63.83 feet; Thence N00°27'59"W, 34.00 feet; Thence S89°32'01"W, 183.94 feet; Thence S00°27'59"E, 34.00 feet; Thence S50°01'15"W, 63.89 feet; Thence S00°27'59"E, 54.00 feet; Thence S89°32'01"W, 10.00 feet; Thence S00°27'59"E, 20.00 feet; Thence S89°32'01"W, 19.35 feet; Thence N02°31'59"W, 183.77 feet to the South right-of-way line of 91st Street; Thence N89°32'01"E (recorded as East), 351.22 feet along the said South right-of-way line to the Point of Beginning.

DEDICATED 10' LANDSCAPING, SIGNAGE, ACCESS AND MAINTENANCE EASEMENT: Part of Lots A & B of Certified Survey Map No. 160 as recorded in Volume 917 on Page 993, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 18, Township 1 North, Range 23 East of the Fourth Principal Meridian, Village of Pleasant Prairie, Kenosha County, Wisconsin, containing 7,139 square feet of land and described as follows:

Beginning at the Northeast corner of said Lot A; Thence S02°16'02"E, 225.40 feet along the East line of said Lot A & B; Thence S87°43'58"W, 10.00 feet; Thence N02°16'02"W, 215.71 feet; Thence S89°32'01"W, 146.50 feet; Thence N44°32'01"E, 14.14 feet to the South right-of-way line of 91st Street; Thence S89°32'01"W, 55.62 feet along said South right-of-way line; Thence S45°27'12"E, 14.14 feet; Thence S89°32'01"W, 149.04 feet; Thence S02°31'58"E, 192.61 feet; Thence S87°28'02"W, 10.00 feet; Thence N02°31'58"W, 202.98 feet to the South right-of-way line of 91st Street; Thence N89°32'01"E (recorded as East), 351.22 feet along the said South right-of-way line to the Point of Beginning.



01-17-08
02-08-08 REVISED

CERTIFIED SURVEY MAP NO. _____

PAGE 4 OF 12

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

DEDICATED 12' UTILITY EASEMENT: Part of Lot B of Certified Survey Map No. 160 as recorded in Volume 917 on Page 993, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 18, Township 1 North, Range 23 East of the Fourth Principal Meridian, Village of Pleasant Prairie, Kenosha County, Wisconsin, containing 5,729 square feet of land and described as follows:

Beginning at the Southeast corner of said Lot B; Thence N02°16'02"W (recorded as N02°04'W), 170.02 feet; Thence S87°43'58"W, 21.06 feet; Thence S31°24'10"W, 13.80 feet; Thence S00°16'04"W, 39.97 feet to the Point of Beginning; Thence S40°05'12"W, 28.13 feet; Thence S72°07'14"W, 26.18 feet; Thence S16°38'24"W, 56.71 feet; Thence S88°43'57"W, 57.36 feet; Thence S64°41'01"W, 19.10 feet; Thence S89°14'55"W, 34.13 feet; Thence N65°12'16"W, 23.71 feet; Thence S88°43'57"W, 57.81 feet; Thence N12°55'08"W, 52.86 feet; Thence N68°44'26"W, 34.99 feet; Thence N27°43'13"W, 28.50 feet; Thence N00°28'10"W, 35.51 feet; Thence N39°43'40"W, 26.45 feet; Thence N02°31'58"W, 12.00 feet; Thence N87°28'02"E, 5.96 feet; Thence S39°43'40"E, 36.69 feet; Thence S00°28'10"E, 36.89 feet; Thence S27°43'13"E, 21.10 feet; Thence S68°44'26"E, 36.86 feet; Thence S12°55'08"E, 49.44 feet; Thence N88°43'57"E, 50.81 feet; Thence S65°12'16"E, 23.77 feet; Thence N89°14'55"E, 28.80 feet; Thence N64°41'01"E, 19.04 feet; Thence N88°43'57"E, 51.18 feet; Thence N16°38'24"E, 54.29 feet; Thence N72°07'14"E, 29.04 feet; Thence N40°05'12"E, 24.69 feet; Thence S49°54'48"E, 12.00 feet to the Point of Beginning.

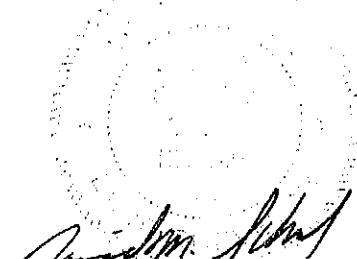
DEDICATED 30' PUBLIC WATER & PRIVATE SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT: Part of Lots A & B of Certified Survey Map No. 160 as recorded in Volume 917 on Page 993, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 18, Township 1 North, Range 23 East of the Fourth Principal Meridian, Village of Pleasant Prairie, Kenosha County, Wisconsin, containing 7,139 square feet of land and described as follows:

Commencing at the Northeast corner of said Lot A; Thence S89°32'01"W (recorded as West), 158.99 feet to the Point of Beginning; Thence S00°27'59"E, 184.01 feet; Thence N88°28'02"E, 71.81 feet; Thence S01°31'58"E, 20.00 feet; Thence S88°28'02"W, 72.18 feet; Thence S00°27'59"E, 193.62 feet to the South line of said Lot B; Thence S88°43'57"W, 30.00 feet along the South line of said Lot B; Thence N00°27'59"W, 193.91 feet; Thence S89°32'01"W, 72.00 feet; Thence N00°27'59"W, 20.00 feet; Thence N89°32'01"E, 72.00 feet; Thence N00°27'59"W, 184.14 feet to the North line of said Lot A; Thence N89°32'01"E (recorded as East), 30.00 feet along the North line of said Lot A to the Point of Beginning.

DEDICATED VISION TRIANGLE EASEMENT: Part of Lot A of Certified Survey Map No. 160 as recorded in Volume 917 on Page 993, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 18, Township 1 North, Range 23 East of the Fourth Principal Meridian, Village of Pleasant Prairie, Kenosha County, Wisconsin, containing 164 square feet of land and described as follows:

Commencing at the Northeast corner of said Lot A; Thence S89°32'01"W (recorded as West), 146.19 feet along the North line of said Lot A to the Point of Beginning; Thence S44°32'01"W, 18.10 feet; Thence N00°27'59"W, 12.80 feet to a point hereafter referred to as Point "A" and to the North line of said Lot A; Thence N89°32'01"E, 12.80 feet along the North line of said Lot A to the Point of Beginning.

Also commencing at the above described Point "A"; Thence S89°32'01"W, 30.00 feet along the North line of said Lot A to the Point of Beginning; Thence continue S89°32'01"W, 12.82 feet along the North line of said Lot A; Thence S45°27'12"E, 18.14 feet; Thence N00°27'59"W, 12.83 feet to the Point of Beginning.


01-17-08
02-08-08 REVISED

CERTIFIED SURVEY MAP NO. _____

PAGE 5 of 12

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

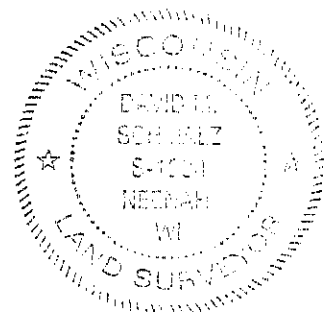
I, David M. Schmalz, Wisconsin Registered Land Surveyor S-1284, certify that I have surveyed, divided and mapped all of Lots A and B of Certified Survey Map No. 160 as recorded in Volume 917 on Page 993, Less and excepting the North 33 feet of Lot A, Being a part of the Southwest 1/4 of the Southeast 1/4 of Section 18, Township 1 North, Range 23 East of the Fourth Principal Meridian, Village of Pleasant Prairie, Kenosha County, Wisconsin, being more fully described as follows:

Commencing at the Southwest corner of said Section 18; Thence N02°31'59"W, 867.55 feet (recorded as N02°04'W, 868.00 feet) along the West line of said Southwest 1/4 to the Southwest corner of said Lot B and the Point of Beginning; Thence continuing N02°31'59"W (recorded as N02°04'W), 401.07 feet along said West line to the Westerly extension of the South Right-of-Way line of 91st Street; Thence N89°32'01"E (recorded as East), 401.25 feet along said Extended South Right-of-Way line to the East Line of Lot A of said Certified Survey Map No. 160; Thence S02°16'02"E, 395.42 feet (recorded as S02°04'E, 399.19 feet) along the East Line of said Certified Survey Map No. 160 to the Southeast corner thereof; Thence S88°43'57"W, 399.26 feet (recorded as N89°56'30"W, 401.40 feet) along the South line of said Certified Survey Map No. 160 to the Point of Beginning. Subject to all easements and restrictions of record.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes and Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this 17th day of January, 2008.

David M. Schmalz REVISED 02-08-08
David M. Schmalz, Reg. WI Land Surveyor S-1284



McMAHON
ASSOCIATES

ENGINEERS | ARCHITECTS | SURVEYORS | PROJECT MANAGERS
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
Tel: (920) 751-4200 Fax: (920) 751-4284

CERTIFIED SURVEY MAP NO. _____

PAGE 6 of 12

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

BFU II, LLC, as Owner, I hereby certify that I caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map.

Dated this 29th day of Feb, 2008.

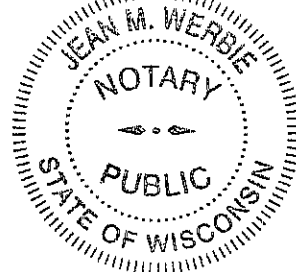
[Signature]
Stephen C. Mills — Managing Member
BFU II, LLC

State of Wisconsin)
Kenosha County) ^{ss}

Personally appeared before me on the 29th day of February, 2008, the above named person to me known to be the person who executed the foregoing instrument, and acknowledged the same.

Jean M. Werbie
Notary Public
Kenosha County, WI
My commission expires 1-17-2010

Jean M. Werbie
Print Name



VILLAGE BOARD CERTIFICATE

We hereby certify that Certified Survey Map, in the Village of Pleasant Prairie, submitted for approval by BFU II, LLC, developer of said lands, was approved by the Village Board of the Village of Pleasant Prairie on this 18th day of February, 2008, and that any and all conditions of such approval have been satisfied.

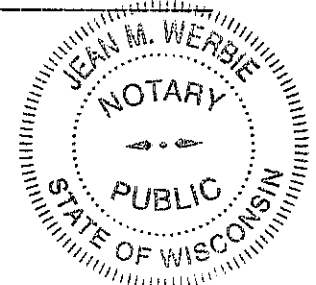
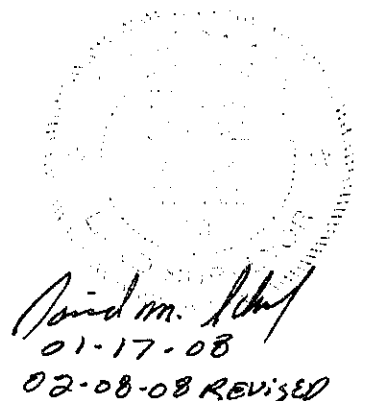
[Signature]
Village President — John P. Steinbrink
[Signature]
Village Clerk — Jane M. Romanowski

State of Wisconsin)
Kenosha County) ^{ss}

Personally came before me this 28th day of February, 2008, John P. Steinbrink and Jane M. Romanowski acknowledged that they executed the foregoing instrument and acknowledge the same.

Jean M. Werbie
Notary Public
Kenosha County, Wisconsin
My Commission Expires: 1-17-2010

Jean M. Werbie
Print Name



CERTIFIED SURVEY MAP NO. _____

PAGE 7 of 12

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

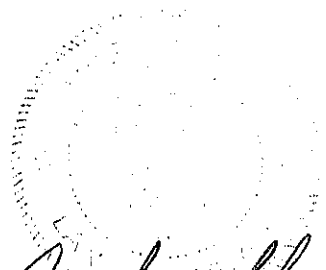
Certified Survey Map

Dedication and Easement Provisions

1. The fee interest in the areas shown as a **Dedicated Public Street** on this Certified Survey Map (CSM) on 22nd Avenue and 91st Street is hereby dedicated, given, granted and conveyed by the Owner, BFU II, LLC, (referred to as the "Owner") to the Village of Pleasant Prairie, its successors and assigns (the "Village") for the construction, installation, repair, alteration, replacement, planting and maintenance of public street improvements, uses and purposes, including, without limitation, pavement, curbs and gutters, sidewalks, if required by the Village or the City of Kenosha, street signs, street lights, street trees, sanitary sewer system improvements, water system improvements, storm sewer and drainage system improvements, mailboxes, utility and communications facilities, landscaping, and for all related ingress and egress, construction, installation, repair, alteration, replacement, planting and maintenance activities. Such fee interest is subject to the following: (1) a temporary nonexclusive easement coextensive with the areas of each such Dedicated Public Street, hereby retained by the Developer for the construction, installation, repair, replacement and maintenance of such public street improvements, uses and purposes, including, without limitation, pavement, curbs and gutters; sidewalks, if required by the Village or the City of Kenosha; street signs, street lights, and street trees; sanitary sewer system improvements, water system improvements, storm sewer and drainage system improvements; mailboxes, utility and communications facilities; landscaping and for all related ingress and egress pursuant to a Development Agreement entered into between the Developer and the Village dated as of February 29, 2008 (subject to the rights of the Village to perform the same functions); (2) nonexclusive easements hereby reserved by the Developer for the Springbrook Place Condominium Association, Inc. (Condominium Association) and for the Owners of the Lot 1 shown on this CSM which are adjacent to each such Dedicated Public Street for the required planting, mowing, watering, weeding, fertilizing and maintenance of grass within the grassy terrace area of the right-of-way, for the maintenance and replanting of street trees and the maintenance, repair and replacement of sidewalks, if required by the Village or the City of Kenosha, in the area between the roadway and the Lot 1; and (3) nonexclusive easements hereby reserved by the Developer for the Condominium Association for the construction, installation, repair, replacement, maintenance and use of the main entrance private driveway in the area between the roadway and Lot 1 as are approved by the Village and as will not interfere with the public improvements, uses and purposes of the Village (all subject to the rights of the Village to perform the same planting, replanting, construction, installation, repair, clearance, maintenance and replacement functions). In the event of any conflict between the rights of the Village under its fee interest in the Dedicated Public Streets and the rights of the Developer, or of the Owners of Lot 1, or of the Condominium Association pursuant to the easements retained herein, the rights of the Village shall be deemed to be superior.

The Developer shall be responsible for all costs associated with the construction, installation, repair, alteration, replacement, planting and maintenance of the public street and related improvements, including, without limitation, pavement, curbs and gutters, sidewalks, if required by the Village or the City of Kenosha, street signs, street lights, street trees, sanitary sewer system improvements, water system improvements, storm sewer and drainage system improvements, mailboxes, utility and communications facilities in accordance with the terms and conditions of the Development Agreement on file with the Village Clerk.

2. Easements coextensive with the areas shown as a **Dedicated 12' Utility Easement** on this CSM are hereby dedicated, given, granted and conveyed by the Developer, (the "Utility and Communications Grantor") to We Energies f/k/a Wisconsin Electric Power Company, AT & T and Time Warner Cable Inc. and their respective successors and assigns (collectively, the "Utility and Communications Grantees"), for the purposes of constructing, installing, operating, repairing, altering, replacing and maintaining utility and communication lines and other related facilities to serve the Condominiums shown on this CSM and for any related ingress and egress. These easements shall also include the right to trim or cut down trees, bushes, branches, and roots as reasonably required so as not to interfere with the Utility and Communication Grantees use of the easement areas. To the extent possible, all such utility and communications lines and facilities shall be installed underground. Upon the installation of the utility cables and related appurtenances, the elevation of the existing ground surface within the easement areas shall not be altered by more than four (4) inches of final grade without the written approval of the Utility and Communications Grantees. The Utility and Communications Grantor shall restore or cause to be restored, all such land, as nearly as is reasonably possible, to the ground condition existing prior to installing such utilities within the communication easement areas on which such easements are located as does not interfere with the purposes of the utility and communications easements and the use of such easements by the Utility and Communications Grantees unless a separate agreement is entered into between the Grantor and Grantees regarding the transfer of the restoration and maintenance responsibilities to the Grantees. No buildings, fences, signage or structures of any kind shall be placed within the utility and communications easement areas without the prior written approval of the Utility and Communication Grantees.

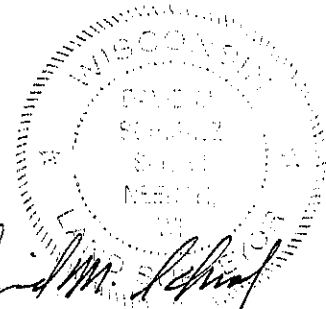

David M. [Signature]
01-17-08
02-08-08 REVISED

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

The Village generally allows private utilities, including but not limited to electric and communications facilities, to be installed in public street right-of-ways with prior written approval from the Village, subject to the requirements of applicable Village ordinances and the requirements of such public uses and purposes of the Village. Further, each individual private utility, electric or communications company shall be responsible for promptly restoring the public street areas and public highway areas to their pre-existing condition, at its own cost, after any use of such areas. In the event the private companies do not restore the easement areas to a vegetatively stabilized condition, the Developer shall be ultimately responsible for the costs of such restoration and may pursue its remedies against the respective utility company(s). Under no circumstances shall any private utility, electric or communications company conduct any open cutting of public roadways after the crushed aggregate base course is installed without prior written approval of the Village. Any such private utility or communications facilities shall be promptly relocated, at the cost of the individual utility, electric or communications company, upon written request of the Village, to serve the public functions and purposes of the Village in the public street area. In the event of any conflict between the rights of the Village and the rights of the private utility, electric or communications company in such public street areas, the Village's rights shall be deemed to be superior.

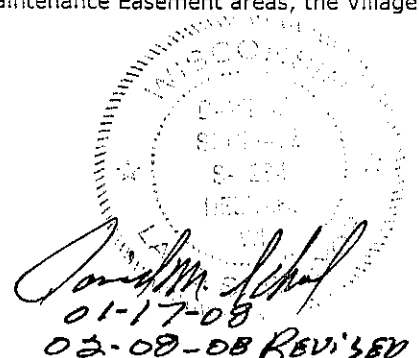
3. A nonexclusive easement coextensive with the area shown as a **Dedicated 10' Landscaping, Signage, Access and Maintenance Easement on this CSM** is hereby dedicated, given, granted and conveyed by the Developer to the Village for the purposes of planting and installation of trees, shrubs and other landscape materials, signage installation, maintenance, removal and replacement; installation and replacement of lighting; installation and replacement of water sprinkler systems and all related ingress and egress, grading, replacement and maintenance activities. This Dedicated 10' Landscaping, Signage, Access, and Maintenance Easement shall be exclusive except for the same easements hereby retained by the Developer for the purposes of satisfying the developer's obligation and warranty for signage installation, maintenance, removal and replacement; installation and replacement of lighting; installation and replacement of water sprinkler systems; planting and installation of trees, shrubs, and other landscape elements and all related ingress and egress; grading, replacement and maintenance activities and the Condominium Association's obligations in the Restrictive Covenants as set forth below. Unless the Village exercises the rights granted to it hereunder with respect to this easement, the Village shall have no obligation to do anything pursuant to its rights under this easement.
4. Nonexclusive easements coextensive with the areas shown as **Dedicated Woodland Preservation and Protection, Access and Maintenance Easement** areas on this CSM are hereby dedicated, given, granted and conveyed by the Developer to the Village for woodland conservancy preservation and protection maintenance purposes, for the removal of dead or decayed material and for related ingress and egress. These woodland preservation and protection easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Lot 1 Owners, collectively the Condominium Association, as will not interfere with the improvements, uses and purposes of the Village; and (3) such future uses of the easements as may be approved by the Village. In the event of any conflict between the rights of the Developer, the rights of the Village pursuant to these easements and the rights of the Lot 1 Owners, collectively the Condominium Association, with respect to the Dedicated Woodland Preservation and Protection, Access and Maintenance Easement areas, the Village's rights under these easements shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to these easements, the Village shall have no obligation to do anything pursuant to its rights under these easements.
5. Nonexclusive easements coextensive with the areas shown as a **Dedicated Storm Water Drainage, Detention Basin, Access and Maintenance Easement** on this CSM are hereby dedicated, given, granted and conveyed by the Developer to the Village for storm water drainage purposes, public drainageways, open space areas and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. These storm water easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Lot 1 Owners, collectively the Condominium Association, as will not interfere with the improvements, uses and purposes of the Village; and (3) such future uses of the easements as may be approved by the Village. In the event of any conflict between the rights of the Developer, the rights of the Village pursuant to these easements and the rights of the Lot 1 Owners, collectively the Condominium Association, with respect to the Dedicated Storm Water Drainage, Detention Basin, Access and Maintenance Easement areas, the Village's rights under these easements shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to these easements, the Village shall have no obligation to do anything pursuant to its rights under these easements.

The Developer shall be responsible for all costs associated with the construction and warranty maintenance of public and private storm water management and drainageway improvements contained within these nonexclusive easements until such time as the referenced Outlots are transferred in ownership and such maintenance responsibility is then transferred to the new Owners, collectively, the Condominium Association.


 01-17-08
 02-08-08 REVISED

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

6. Temporary easements coextensive with the areas shown as a **Dedicated Public Street** on this CSM are hereby dedicated, given, granted and conveyed by the Village to the Developer for roadway pavement and curb and gutter improvements, sidewalks, if required by the Village or the City of Kenosha, sanitary sewer, water, storm sewer and drainage system improvements, street lights, street trees and street signs, and uses and purposes, landscaping maintenance; and for all related ingress and egress, construction, installation, repair, alteration, replacement and maintenance activities until such improvements are inspected by, dedicated to and accepted by the Village. These easements shall be exclusive, except for such coextensive easements granted herein and for such use, planting, care, street tree, and terrace area maintenance and related maintenance by the Lot Owners, collectively the Condominium Association, as will not interfere with the uses and purposes of the Village, and is permitted by applicable Village Ordinances.
7. The fee interest in the areas shown as **Dedicated for Storm Water Drainage, Detention Basin, Access and Maintenance Easement** on this CSM is hereby dedicated, given, granted and conveyed by the Developer to the Condominium Association, its successors and assigns and its successors-in-title for storm water management purposes, storm water detention purposes, open space, public drainageways, and for all related construction, installation, repair, alteration, replacement, lawn maintenance, fountain (if required) and basin maintenance, landscaping, signage, lighting and riprap/structure maintenance and ingress and egress. These fee interests shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such use, planting, care and maintenance responsibilities which shall be required by the Owners, collectively the Condominium Association, as will not interfere with the public improvements, uses and purposes of the Village; and (3) such future landscaping, signage, or other uses of the area as may be approved by the Village. In the event of any conflict between the rights of the Developer, the rights of the Village pursuant to the storm water drainage, detention basin, open space, access and maintenance easements granted to it and the rights of the Owners, collectively the Condominium Association, with respect to the Dedicated Storm Water Drainage, Detention Basin, Access and Maintenance areas, the Village's rights granted under the easements provided on this Plat shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to these easements, the Village shall have no obligation to do anything pursuant to its rights under these easements. The Developer shall be responsible for all costs associated with the construction and maintenance warranties of public and private storm water management areas, detention basins, open space and drainageway improvements contained within these nonexclusive easements until such time as the referenced areas are transferred for such maintenance responsibility to the Condominium Association.
8. Nonexclusive easements coextensive with the areas as a **Dedicated 30' Public Water, Access and Maintenance Easement** area on this CSM are hereby dedicated, given, granted and conveyed by the Developer to the Village for public water, access and maintenance, conveyance, and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. These water easements shall be exclusive except for the planting, care, and maintenance responsibilities of the easement areas which shall be required by the Owners of the Lot, collectively the Condominium Association will not interfere with the improvements, uses and purposes of the Village. There shall be no structures, fences, berms, retaining walls, located within the Public Water, Access and Maintenance Easement areas. In the event of any conflicts between the rights of the Developer, the rights of the Village pursuant to these easements and the rights of the Lot Owners, collectively the Condominium Association with respect to the Dedicated 30' Public Water, Access and Maintenance Easement areas, the Village's rights under these easements shall be deemed superior.
9. Nonexclusive easements coextensive with the areas as a **Dedicated 30' Private Sanitary Sewer, Access and Maintenance Easement** area on this CSM are hereby dedicated, given, granted and conveyed by the Developer to the Village for private sanitary sewer, access and maintenance, conveyance, and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. These private sanitary sewer easements shall be the planting, care, and maintenance responsibilities of the Owners of the Lot, collectively the Condominium Association will not interfere with the improvements, uses and purposes of the Village. There shall be no structures, fences, berms, retaining walls, located within the Private Sanitary Sewer, Access and Maintenance Easement areas. In the event of any conflicts between the rights of the Developer, the rights of the Village pursuant to these easements and the rights of the Lot Owners, collectively the Condominium Association with respect to the Dedicated 30' Private Sanitary Sewer, Access and Maintenance Easement areas, the Village's rights under these easements shall be deemed superior.
10. The Developer hereby dedicates, gives, grants, and conveys to the Condominium Association the following Easements:
 - a. Perpetual nonexclusive easements coextensive with the areas shown as **Dedicated Storm Water Drainage, Access and Maintenance Easements** on this CSM are hereby dedicated, given, granted and conveyed by the Developer to the Condominium Association for storm water management purposes, public drainageways, and for all related construction, installation, repair, alteration, replacement, landscaping, maintenance and ingress and egress. These drainage easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof to the Village; (2) such use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Condominium Owners as will not interfere with the improvements, uses and purposes of the Village; and (3) such other uses of the easement as may be approved by the Village. In the event of any conflicts between the rights of the Condominium Association, the rights of the Village pursuant to these easements and the rights of any Owners or entities with respect to the Dedicated Storm Drainage, Access and Maintenance Easement areas, the Village's rights under these easements shall be deemed to be superior.


 David M. Schall
 01-17-09
 02-08-08 REVISED

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.


- b. Nonexclusive easements coextensive with area shown as **Dedicated 10' Landscaping, Signage, Access and Maintenance Easements** on this CSM are hereby dedicated given, granted and conveyed by the Developer to the Condominium Association for the purposes of grading/regrading the berms; installation of erosion control measures; installation and planting of trees, shrubs and other landscape elements; installation, maintenance, removal and replacement of signage; installation and replacement of lighting; and all related ingress and egress in accordance with Village approved Landscaping Plans on file with the Village Clerk. In the event of any conflict between the rights of the Condominium Association pursuant to this easement and the rights of the Village, the rights of the Village shall be deemed to be superior.
- c. Nonexclusive easements coextensive within each area shown as a **Dedicated Woodland Preservation and Protection, Access and Maintenance Easement** on this CSM are hereby dedicated, given, granted and conveyed by the Developer to the Condominium Association for the woodland conservancy protection, preservation and maintenance purposes, for the removal of dead or decayed material and for related ingress and egress. These woodland preservation and protection easements shall be exclusive, except for: (1) such other easements as may be dedicated and conveyed herein with respect to the same area or any portion thereof; (2) such use, planting, care and maintenance responsibilities of the easement areas which shall be required by the Condominium Owners, as will not interfere with the improvements, uses and purposes of the Village; and (3) such future uses of the easements as may be approved by the Village. In the event of any conflict between the rights of the Developer, the rights of the Village pursuant to these easements and the rights of the Lot Owners, collectively the Condominium Association, with respect to the Dedicated Woodland Preservation and Protection, Access and Maintenance Easement areas, the Village's rights under this easement shall be deemed to be superior.
11. The Developer hereby places the following covenants, restrictions and obligations on the Owners of the Lot 1 (collectively the Condominium Association) in the Springbrook Place Condominium Plat:

Restrictive Covenants

- a. BFU II, LLC (referred to as the "Owner" for the purposes of this plat) hereby covenants that the Owners of Lot 1 on this CSM, collectively the Condominium Association, shall have the obligation of maintaining the Dedicated Storm Water Drainage, Maintenance and Access Easement areas in a functional, neat and nuisance free condition to handle storm water in the Development shown on this CSM. Such maintenance shall include, without limitation and as needed, grading, seeding or sodding, maintaining erosion control methods to protect the drainageways; ditching to reestablish design capacity; removing of trash, debris, leaves and brushing, clearing, repairing and replacing inlets, outlets and catch basin structures; mowing; watering, fertilizing, and weeding to prevent nuisance conditions. No driveways, fences, play equipment, landscaping, berms, or structures shall be erected within the storm water drainage easement areas which blocks, diverts or re-routes the drainage flow or which might interfere with the Village's rights, unless express written approval is granted by the Village and subject to any such conditions as the Village may impose. The Developer shall be relieved of these maintenance obligations pertaining to storm water drainage maintenance activities upon the transfer of said responsibilities to the Condominium Association who then shall perform such maintenance without compensation to the satisfaction of the Village. This covenant shall run with the land, shall be binding upon the Developer, its successors, assigns and successors-in-title of Lot 1, in their capacity as Owners of Lot 1, and shall benefit and be enforceable by the Village.

To the extent that the Village performs any such storm water drainage maintenance activities, the Owners of Lot 1, collectively the Condominium Association shall be liable for any costs which may be incurred by the Village, which the Village may recover from such owners as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this CSM with respect to the easements, the Village shall have no obligation to do anything pursuant to its rights under these Provisions.

- b. The Developer hereby covenants that the Owners of Lot 1, collectively the Condominium Association, shall have the obligation of maintaining the Dedicated Storm Water Drainage, Detention Basin, Access and Maintenance Easement areas shown on this CSM in a functional, neat and nuisance free condition to handle storm water in the Development. Such maintenance shall include, without limitation and as needed, grading, seeding or sodding, maintaining erosion control methods to protect the drainageways; ditching and dredging to reestablish design capacity; removing of trash, debris, leaves and brush; clearing, repairing and replacing inlets, outlets and catch basin structures; repairing and replacing any fountains or aeration systems within the basins, if installed; providing electrical service and paying for the electricity to operate any fountains or aeration systems (if required) for the basins; mowing; watering, fertilizing, and weeding to prevent nuisance conditions. No driveways, signs, fences, or structures shall be erected within the storm water drainage easement areas which blocks, diverts or re-routes the drainage flow or which might interfere with the Village's rights, unless express written approval is granted by the Village and subject to any such conditions that the Village may impose. The Developer shall be relieved of these maintenance obligations pertaining to storm water drainage maintenance activities upon the transfer of said maintenance responsibilities to the Condominium Association who then shall perform such maintenance without compensation and to the satisfaction of the Village. This covenant shall run with the land, shall be binding upon the Developer, its successors, assigns and successors-in-title of Lot 1, in their capacity as Owners of Lot 1, and shall benefit and be enforceable by the Village.


01-17-08
02-08-08 REVISED

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

To the extent that the Village performs any such storm water drainage or detention basin maintenance activities, the Owners of Lot 1, collectively the Condominium Association, shall be liable for any costs which may be incurred by the Village, which the Village may recover from such owners as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this Plat with respect to the easements, the Village shall have no obligation to do anything pursuant to its rights under these Provisions.

- c. The Developer hereby covenants that the Owners of Lot 1, collectively the Condominium Association, shall have the obligation for maintaining the Dedicated 10' Landscaping, Signage, Access and Maintenance Easement area on shown on this CSM. Such maintenance shall include without limitation and as needed: installing and maintaining signage and related lighting, staking, mulching, weeding, fertilizing, pruning, watering, replanting trees, bushes and plants, and removing of trash, debris, leaves and brush around the trees in order to prevent a nuisance condition. No driveways, mail boxes, parking areas, structures or fences shall be erected within the landscape easement area, which might damage the trees or the plantings or might interfere with the Village's rights to maintain the public street improvements, unless approved by the Village. This covenant shall run with the land, shall be binding upon the Lot 1 Owners, collectively the Condominium Association, its successors, assigns and successors-in-title of the Lot, in their capacity as Owners and shall benefit and be enforceable by the Village. The Developer shall be relieved of these maintenance obligations pertaining to the signage, lighting, and tree and planting maintenance activities upon the Village's inspection and acceptance of the landscaping materials and plantings, the expiration of the one-year Developer warranty and the transfer of said maintenance to the Condominium Association who then shall perform such maintenance to the satisfaction of the Village. The Condominium Association shall perform such maintenance and planting replacement as may be needed without compensation to the satisfaction of the Village.

To the extent that the Village performs any such signage, lighting, or landscaping related maintenance activities, the Owners of Lot 1, collectively the Condominium Association, shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owners as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this Plat, the Village shall have no obligation to do anything pursuant to its rights under these Provisions.

- d. The Developer hereby covenants that the Owners of Lot 1, collectively the Condominium Association shall have the obligation of maintaining and replacing the street trees and plants located within the Dedicated Public Streets shown on this CSM. Such maintenance shall include without limitation and as needed staking, mulching, weeding, fertilizing, pruning, watering, and replanting and replacing dead trees, and removing of trash, debris, leaves and brush around the trees in order to prevent a nuisance condition. No driveways, signage, mail boxes, parking areas, structures or fences shall be erected within the right-of-ways, which might damage the street trees or plantings or might interfere with the Village's rights to maintain the public street improvements, unless otherwise approved by the Village. This covenant shall run with the land, shall be binding upon the Owners, collectively it's successors, assigns and successors-in-title of Lot 1, in their capacity as Owners and shall benefit and be enforceable by the Village. The Developer shall be relieved of these maintenance obligations pertaining to the street tree maintenance activities upon the Village's inspection and acceptance of the street trees, the expiration of the one-year Developer warranty and the transfer of said properties to the Lot Owners, collectively the Condominium Association who then shall perform such street tree maintenance as needed, without compensation to the satisfaction of the Village.

To the extent that the Village performs any such street tree maintenance activities, the Owners of the Lot 1, collectively the Condominium Association, shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owners as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these Provisions.

- e. The Developer hereby covenants that the Owners of Lot 1, collectively the Condominium Association shall have the obligation of maintaining the areas shown as a Dedicated Woodland Preservation and Protection, Access and Maintenance Easement area shown on this CSM. Such maintenance shall include without limitation and as needed removing of dead, dying or decayed trees, and plant materials, and trimming nuisance branches as approved by the Village and removing of trash or debris in order to prevent a nuisance condition. No signage or fences shall be erected within the tree area, which might damage the tree areas. This covenant shall run with the land, shall be binding upon the Owners, its successors, assigns and successors-in-title of Lot 1, in their capacity as Owners and shall benefit and be enforceable by the Village. The Developer shall be relieved of these maintenance obligations pertaining to the woodland area maintenance activities upon the Village's inspection and acceptance of the development, the expiration of the one-year Developer warranty and the transfer of said responsibility to the Condominium Association who then shall perform such maintenance as needed, without compensation, to the satisfaction of the Village.

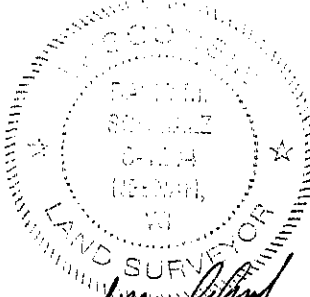
To the extent that the Village performs any such woodland related maintenance or investigation into tree cutting, the Owners, collectively the Condominium Association shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owners, collectively the Condominium Association, as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these Provisions.


David M. Adams
 01.17.08
 02-08-08 REVISED

ALL OF LOTS A & B OF CERTIFIED SURVEY MAP NO. 160 AS RECORDED IN VOLUME 917 ON PAGE 993, LESS AND EXCEPTING THE NORTH 33 FEET OF LOT A, BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 1 NORTH, RANGE 23 EAST OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

- f. The Developer hereby covenants that the Dedicated 30' Public Water, Access and Maintenance Easements shown on this CSM hereby places limitations and restrictions on the use of the referenced Lot because of the location of this Public Water Access and Maintenance Easement, which were given, granted and conveyed by the Developer to the Village for public water system improvements, uses and purposes, and for all related and incidental ingress and egress, construction, installation, repair, alteration, replacements, plantings, grading and maintenance activities to serve the Development as referenced in the Dedication and Easement Provisions on this CSM. The Developer further covenants that there shall be no structures, buildings, fencing, landscaping, parking areas, or driveways of any kind permitted by right within the public water easement area. If after a written request the Village approves an exception and approves the installation of any fencing or landscaping within the public water easement areas, it will be the Owners of the affected property, not the Village, who shall be responsible for any and all costs associated with the removal and or replacement of said fencing or landscaping. This covenant shall run with the land, shall be binding upon the Owners, its successors, assigns and successors-in-title, in their capacity as Owners and shall benefit and be enforceable by the Village.
- g. The Developer hereby covenants that the Owners of Lot 1, collectively the Condominium Association shall have the Obligation of maintaining the areas shown as Dedicated 30' Private Sanitary Sewer, Access and Maintenance Easement shown on this Plat. Said easement areas shall be used for private sanitary sewer system improvements, uses and purposes and for all related and incidental ingress and egress, construction, installation, repair, alteration replacements, plantings, grading and maintenance activities to serve the Development as referenced in the Dedication and Easement Provisions on this Plat. The Developer further covenants that there shall be no structures, buildings, fencing, landscaping, parking areas, or driveways of any kind permitted by right within the private sanitary sewer easement areas. If after written request, the Village approves an exception and approves the installation of any parking areas, driveways, fencing or landscaping within the private sanitary sewer easement areas, it will be the owners of the affected property, not the Village, who shall be responsible for any costs associated with the removal or replacement of said parking areas, driveways, fencing or landscaping. This covenant shall run with the land, shall be binding upon the Owners, its successors, assigns and successor-in-title, in their capacity as Owners and shall benefit and be enforceable by the Village.

To the extent that the Village performs any such sanitary sewer maintenance activities, the Owners, collectively the Condominium Association, shall be liable for any costs which may be incurred by the Village, which the Village may recover from such Owners as special assessments or special charges under Section 66.0627 (or successors or similar provisions) of the Wisconsin Statutes or otherwise according to law. Unless the Village exercises the rights granted to it in the Dedication and Easement Provisions on this CSM, the Village shall have no obligation to do anything pursuant to its rights under these Provisions.


 David M. Schmid
 01-17-08
 02-08-08 REVISED



January 5, 2018

GP-SE-2017-30-03961

BFU II, LLC
c/o Daniel Szczap
4011 80th Street
Kenosha, WI 53142

RE: Coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, located in the Village of Pleasant Prairie, Kenosha County, also described as being in the SW1/4 of the SW1/4 of Section 18, Township 1 North, Range 23 East.

Dear Mr. Szczap:

Thank you for submitting an application for coverage under the wetland statewide general permit for wetland fill or disturbance for residential, commercial, or industrial development, s. 281.36, Wis. Stats.

You have certified that your project meets the eligibility criteria and conditions for this activity. Based upon your signed certification you may proceed with your project to fill 0.08 acres of wetlands. Please take this time to re-read the permit eligibility standards and conditions. The eligibility standards can be found on your application checklist or in the statewide general permit WDNR-GP1-2017 (found at <http://dnr.wi.gov/topic/waterways/construction/wetlands.html>). The permit conditions are attached to this letter. You are responsible for meeting all general permit eligibility standards and permit conditions. This includes notifying the Department before starting the project, and submitting photographs within one week of project completion. Please note your coverage is valid for 5 years from the date of the department's determination or until the activity is completed, whichever occurs first. This permit coverage constitutes the state of Wisconsin's wetland water quality certification under USCS s. 1341 (Clean Water Act s. 401).

The Department conducts routine and annual compliance monitoring inspections. Our staff may follow up and inspect your project to verify compliance with state statutes and codes. If you need to modify your project please contact your local Water Management Specialist, Elaine Johnson at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov to discuss your proposed modifications.

The Department of Natural Resources appreciates your willingness to comply with wetland regulations, which help to protect the water quality, fish and wildlife habitat, natural scenic beauty and recreational value of Wisconsin's wetland resources for future generations. Please be sure to obtain any other local, state or federal permits that are required before starting your project.

If you have any questions, please call me at (262) 574-2136 or email Elaine.Johnson@wisconsin.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "Elaine Johnson", with a stylized, cursive script.

Elaine Johnson
Water Management Specialist

cc: Rachel Nuetzel, Project Manager, U.S. Army Corps of Engineers
Peggy Herrick, Village of Pleasant Prairie

WDNR-GP1-2017 Permit Conditions – Residential/Commercial/Industrial

You agree to comply with the following conditions:

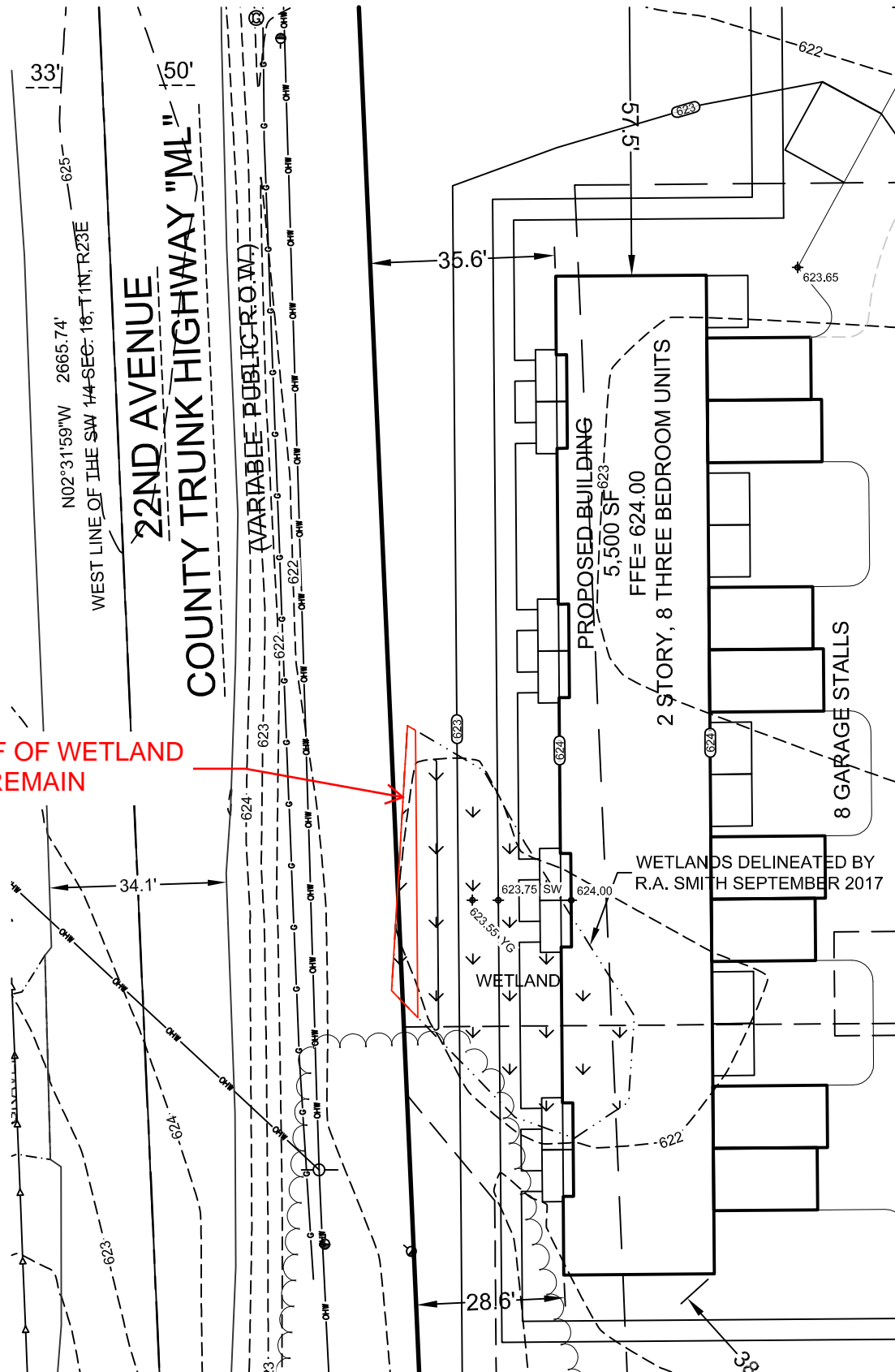
1. **Application.** You shall submit a complete application package to the Department as outlined in the application materials and section 2 of this permit. If requested, you shall furnish the Department, within a reasonable timeframe, any information the department needs to verify compliance with the terms and conditions of this permit.
2. **Certification.** Acceptance of general permit WDNR-GP1-2017 and efforts to begin work on the activities authorized by this general permit signifies that you have certified the project meets all eligibility standards outlined in Section 1 of this permit and that you have read, understood and have agreed to follow all terms and conditions of this general permit.
3. **Reliance on Applicant's Data.** The determination by this office that a confirmation of authorization is not contrary to wetland water quality standards will be based upon the information provided by the applicant and any other information required by the DNR.
4. **Project Plans.** This permit does not authorize any work other than what is specifically described in the notification package and plans submitted to the Department and you certified is in compliance with the terms and conditions of WDNR-GP1-2017
5. **Expiration.** This WDNR-GP1-2017 expires on October 31, 2022. The time limit for completing work authorized by the provisions of WDNR-GP1-2017 ends 5 years after the date on which the discharge is considered to be authorized under WDNR-GP1-2017 or until the discharge is completed, whichever occurs first.
6. **Other Permit Requirements.** You are responsible for obtaining any other permit or approval that may be required for your project by local zoning ordinances, other local authority, other state permits and by the U.S. Army Corps of Engineers before starting your project.
7. **Authorization Distribution.** You must supply a copy of the permit coverage authorization to every contractor working on the project.
8. **Project Start.** You shall notify the Department before starting construction.
9. **Permit Posting.** You must post a copy of this permit coverage letter at a conspicuous location on the project site prior to the execution of the permitted activity, and remaining at least five days after stabilization of the area of permitted activity. You must also have a copy of the permit coverage letter and approved plan available at the project site at all times until the project is complete.

10. **Permit Compliance.** The department may modify or revoke coverage of this permit if the project is not constructed in compliance with the terms and conditions of this permit, or if the Department determines the project will be detrimental to wetland water quality standards. Any act of noncompliance with this permit constitutes a permit violation and is grounds for enforcement action. Additionally, if any applicable conditions of this permit are found to be invalid or unenforceable, authorization for all activities to which that condition applies is denied.
11. **Construction Timing.** Once wetland work commences, all wetland construction activities must be continuous until the permitted activity is completed and the site is stabilized.
12. **Construction.** No other portion of the wetland may be disturbed beyond the area designated in the submitted plans.
13. **Project Completion.** Within one week of completion of the regulated activity, you shall submit to the Department a statement certifying the project is in compliance with all the terms and conditions of this permit, and photographs of the activities authorized by this permit. This statement must reference the Department-issued docket number, and be submitted to the Department staff member that authorized coverage.
14. **Proper Maintenance.** You must maintain the activity authorized by WDNR-GP1-2017 in good condition and in conformance with the terms and conditions of this permit utilizing best management practices. Any structure or fill authorized shall be properly maintained to ensure no additional impacts to the remaining wetlands.
15. **Site Access.** Upon reasonable notice, you shall allow access to the site to any Department employee who is investigating the project's construction, operation, maintenance or permit compliance with the terms and conditions of WDNR-GP1-2017 and applicable laws.
16. **Erosion and siltation controls.** The project site shall implement erosion and sediment control measures that adequately control or prevent erosion, and prevent damage to wetlands as outlined in NR 151.11(6m), Wis. Adm. Code.
17. **Equipment use.** The equipment used in the wetlands must be low ground weight equipment as specified by the manufacturer specifications.
18. **Invasive Species.** All project equipment shall be decontaminated for removal of invasive species prior to and after each use on the project site by utilizing other best management practices to avoid the spread of invasive species as outlined in NR 40, Wis. Adm. Code. For more information, refer to <http://dnr.wi.gov/topic/Invasives/bmp.html>.
19. **Federal and State Threatened and Endangered Species.** WDNR-GP1-2017 does not affect the DNR's responsibility to insure that all authorizations comply with Section 7 of the Federal Endangered Species Act, s. 29.604, Wis. Stats and applicable State Laws. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. No activity is authorized which is likely to jeopardize the continued existence of a threatened or endangered species or a species proposed for such designation, as identified under the Federal Endangered Species Act and/or State law or which is likely to destroy or adversely modify the critical habitat of a species as identified under the Federal Endangered Species Act.

20. **Special Concern Species.** If the Wisconsin National Heritage Inventory lists a known special concern species to be present in the project area you will take reasonable action to prevent significant adverse impacts or to enhance the habitat for the species of concern.
21. **Historic Properties and Cultural Resources.** WDNR-GP1-2017 does not affect the DNR's responsibility to insure that all authorizations comply with Section 106 of the National Historic Preservation Act and s. 44.40, Wis. Stats. No DNR authorization under this permit will be granted for projects found not to comply with these Acts/laws. Information on the location and existence of historic resources can be obtained from the State Historic Preservation Office and the National Register of Historic Places. If cultural, archaeological, or historical resources are unearthed during activities authorized by this permit, work must be stopped immediately and the State Historic Preservation Officer must be contacted for further instruction.
22. **Preventive Measures.** Measures must be adopted to prevent potential pollutants from entering a wetland or waterbody. Construction materials and debris, including fuels, oil, and other liquid substances, will not be stored in the construction area in a manner that would allow them to enter a wetland or waterbody as a result of spillage, natural runoff, or flooding. If a spill of any potential pollutant should occur, it is the responsibility of the permittee to remove such material, to minimize any contamination resulting from this spill, and to immediately notify the State Duty Officer at **1-800-943-0003**.
23. **Suitable fill material.** All fill authorized under this permit must consist of clean suitable soil material, as defined by s. NR 500.03(214), Wis. Admin. Code, free from hazardous substances as defined by s. 289.01(11), Wis. Stats., and free from solid waste as defined by s. 289.01(11) and (33), Wis. Stats.
24. **Standard for Coverage.** Wetland impacts from the project will cause only minimal adverse environmental impacts as determined by the Department.
25. **Transfers.** Coverage under this permit is transferable to any person upon prior written approval of the transfer by the Department.
26. **Limits of State Liability.** In authorizing work, the State Government does not assume any liability, including for the following:
- Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
 - Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the State in the public interest.
 - Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
 - Design or construction deficiencies associated with the permitted work.
 - Damage claims associated with any future modification, suspension, or revocation of this WDNR-GP1-2017.
27. **Reevaluation of Decision.** The Department may suspend, modify or revoke authorization of any previously authorized activity and may take enforcement action if any of the following occur:
- The applicant fails to comply with the terms and conditions of WDNR-GP1-2017.

- b. The information provided by the applicant in support of the permit application proves to have been false, incomplete, or inaccurate.
- c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.

175 SF OF WETLAND
CAN REMAIN



- M. Consider the request of Troy Hewitt of Robert E, Lee & Associates on behalf of Fountain Ridge LLC for approval of a **Certified Survey Map** to adjust the lot line of Lot 1 of CSM 2817 to include the gap property that existed to the west of said lot and to adjust the lot lines between Lots 1 and 2 with the Fountain Ridge Development generally located north of Bain Station Road and west of 90th Avenue.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions of the Village Staff Report of March 26, 2018.

VILLAGE STAFF REPORT OF MARCH 26, 2018

Consider the request of Troy Hewitt of Robert E, Lee & Associates on behalf of Fountain Ridge LLC for approval of a **Certified Survey Map** to adjust the lot line of Lot 1 of CSM 2817 to include the gap property that existed to the west of said lot and to adjust the lot lines between Lots 1 and 2 with the Fountain Ridge Development generally located north of Bain Station Road and west of 90th Avenue.

The petitioner is requesting approval of a Certified Survey Map to adjust the lot lines for Lots 1 and 2 of CSM 2817 for the Fountain Ridge development generally located north of Bain Station Road and west of 90th Avenue.

At the time CSM 2817 was prepared a small gap (approximately 20 feet) in the legal description along the western property boundary of Lot 1 was in question. This legal description discrepancies have been resolved and this area is now being included as part of Lot 1 of the proposed CSM. In addition, the lots lines between Lots 1 and 2 are being adjusted slightly to ensure that the 10-unit condominium buildings meet the required setback to the property lines.

Village staff recommends approval of the **Certified Survey Map** subject to the above comments and the following conditions:

1. See **attached** changes/corrections to the CSM.
2. Any outstanding taxes or special assessments, along with Village fees and invoices shall be paid prior to recording the CSM. Pursuant to the Village Finance Department there are no outstanding issues.
3. The CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office and a recorded copy of the CSM shall be provided to the Village within 30 days of Village Board's approval and prior to issuance of building permit.

CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E AND ALL OF LOTS 1 AND 3 OF CERTIFIED SURVEY MAP NUMBER 2817, DOCUMENT NUMBER 1780815, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

EAST 1/4 CORNER SECTION 8 CONCRETE MONUMENT



LEGEND

- EXISTING 1"Ø IRON PIPE
- SET 1" X 18" IRON PIPE WITH CAP WEIGHING 1.38 LBS./LIN. FT.
- ⊕ RECORDED COUNTY MONUMENT
- EXISTING 3/4"Ø IRON ROD

SCALE: 1" = 150'

ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 8 BEARS N03°17'20"W.

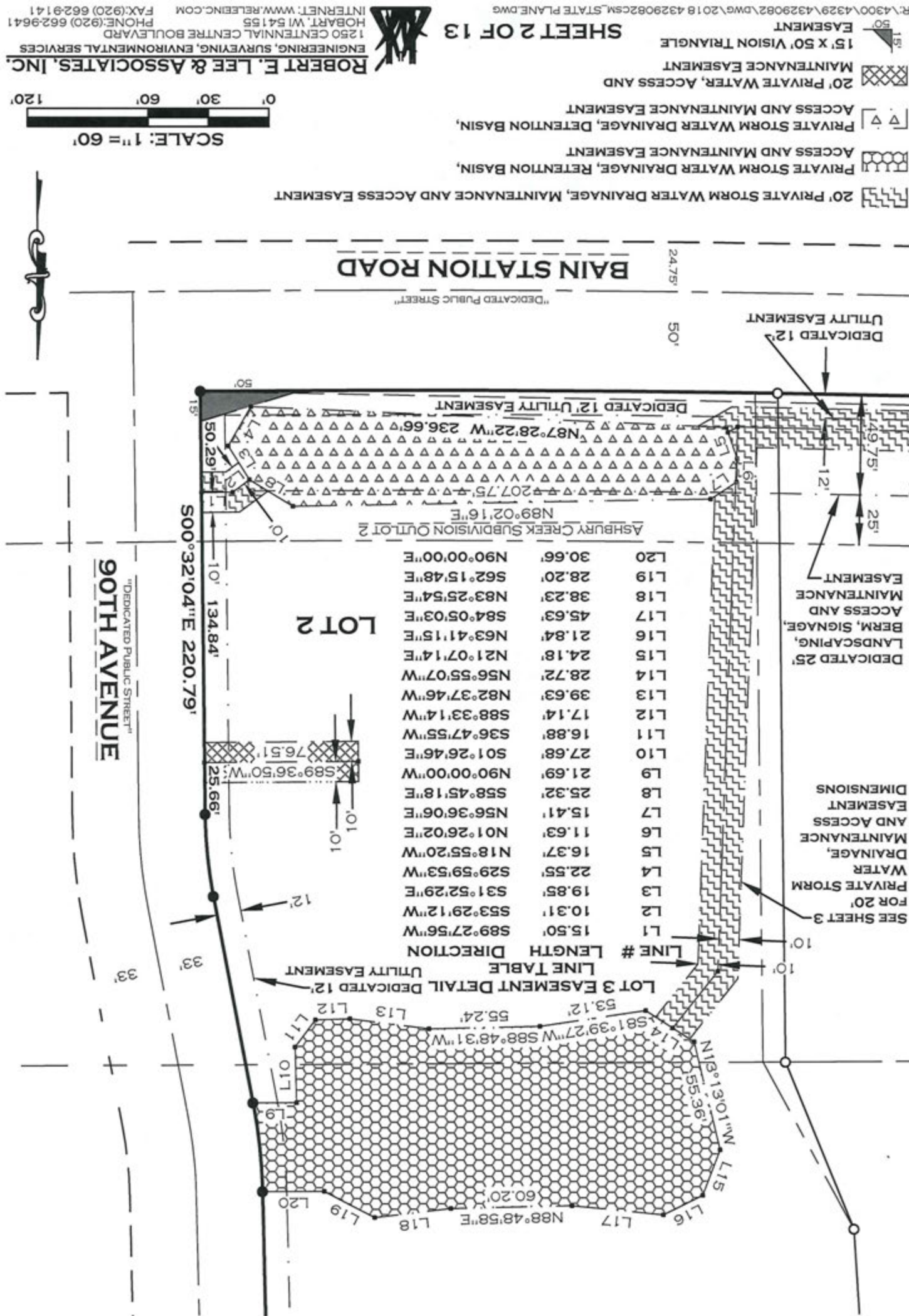
SHEET 1 OF 13



ROBERT E. LEE & ASSOCIATES, INC.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD
HOBART, WI 54155
PHONE: (920) 662-9641
INTERNET: WWW.RELEEINC.COM FAX: (920) 662-9141

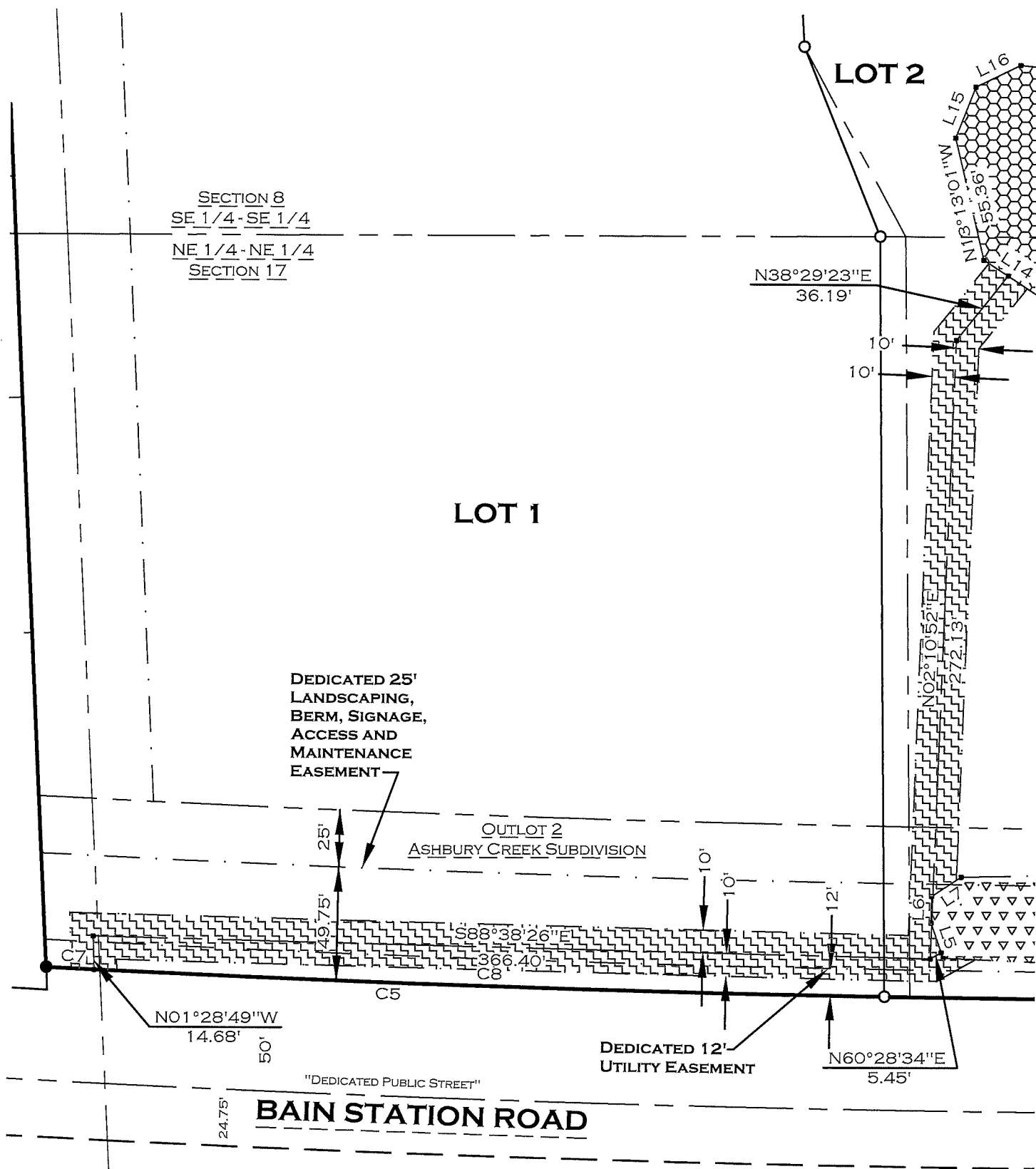
CERTIFIED SURVEY MAP

LOT 2 EASEMENT DETAILS



CERTIFIED SURVEY MAP

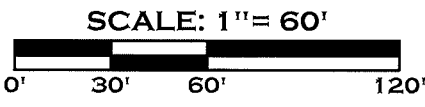
LOTS 1 AND 2 EASEMENT DETAILS



LOT 1 AND 3 EASEMENT DETAIL CURVE TABLE

CURVE #	DELTA	RADIUS	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT BEARING	SECOND TANGENT BEARING
C5	1°49'51"	11483.94'	366.99'	S88°09'59"E	366.97'	S87°15'03"E	S89° 04' 54"E
C7	0°06'17"	11483.94'	20.96'	S87°18'11"E	20.96'	S87°15'03"E	S87° 21' 20"E
C8	1°43'35"	11483.94'	346.02'	S88°13'07"E	346.01'	S87°21'20"E	S89° 04' 54"E

- 20' PRIVATE STORM WATER DRAINAGE, MAINTENANCE AND ACCESS EASEMENT
- PRIVATE STORM WATER DRAINAGE, RETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
- PRIVATE STORM WATER DRAINAGE, DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT



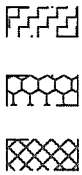
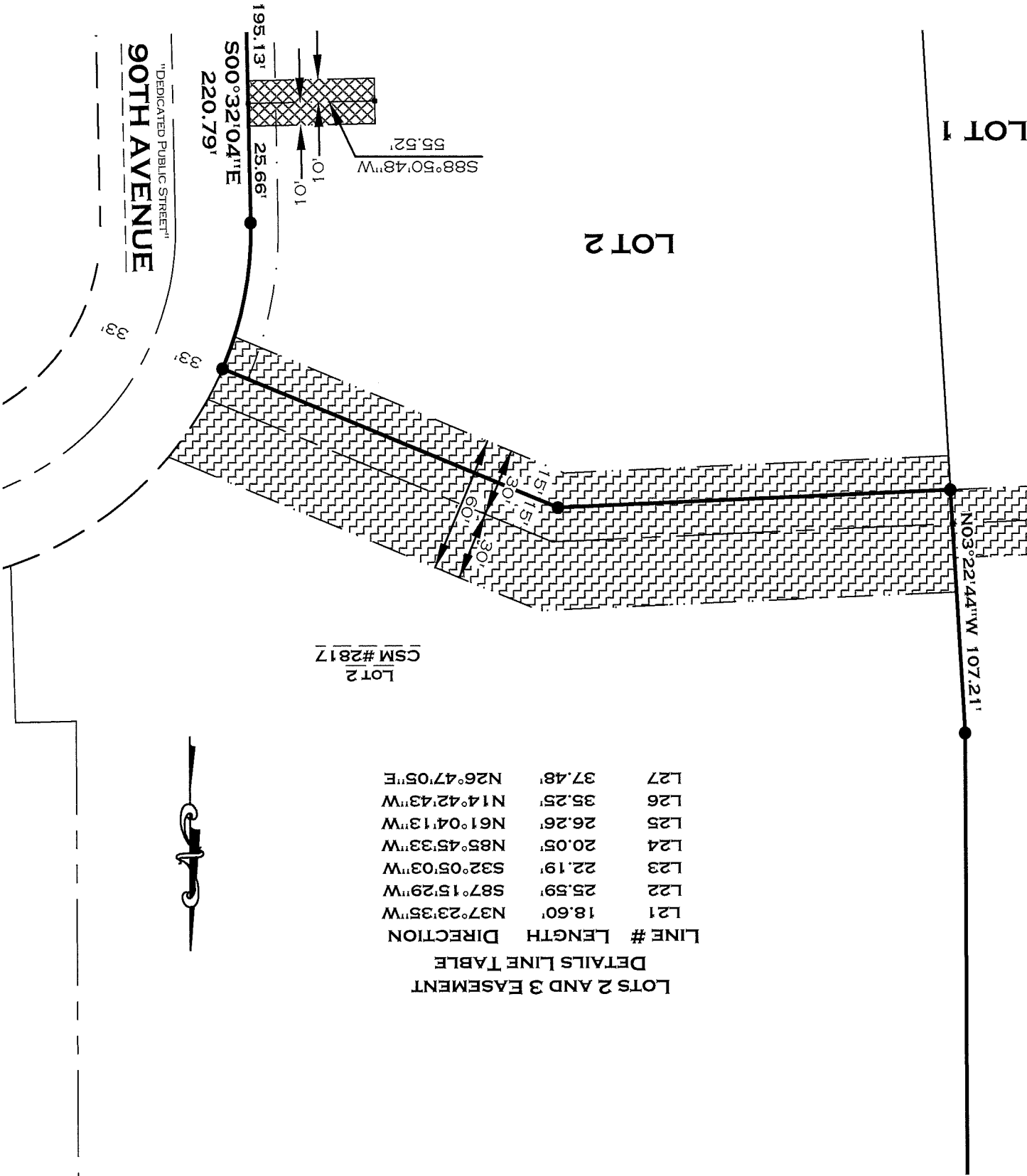
CERTIFIED SURVEY MAP

LOT 2 EASEMENT DETAILS

LOTS 2 AND 3 EASEMENT
DETAILS LINE TABLE

LINE #	LENGTH	DIRECTION
L21	18.60'	N37°23'35"W
L22	25.59'	S87°15'29"W
L23	22.19'	S32°05'03"W
L24	20.05'	N85°45'33"W
L25	26.26'	N61°04'13"W
L26	35.25'	N14°42'43"W
L27	37.48'	N26°47'05"E

Lot 2
CSM #2817



20' PRIVATE WATER, ACCESS AND MAINTENANCE EASEMENT

PRIVATE STORM WATER DRAINAGE, RETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT

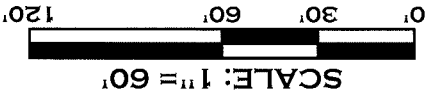
DEDICATED 60' PUBLIC SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT

SHEET 4 OF 13



ROBERT E. LEE & ASSOCIATES, INC.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD
HOBART, WI 54155
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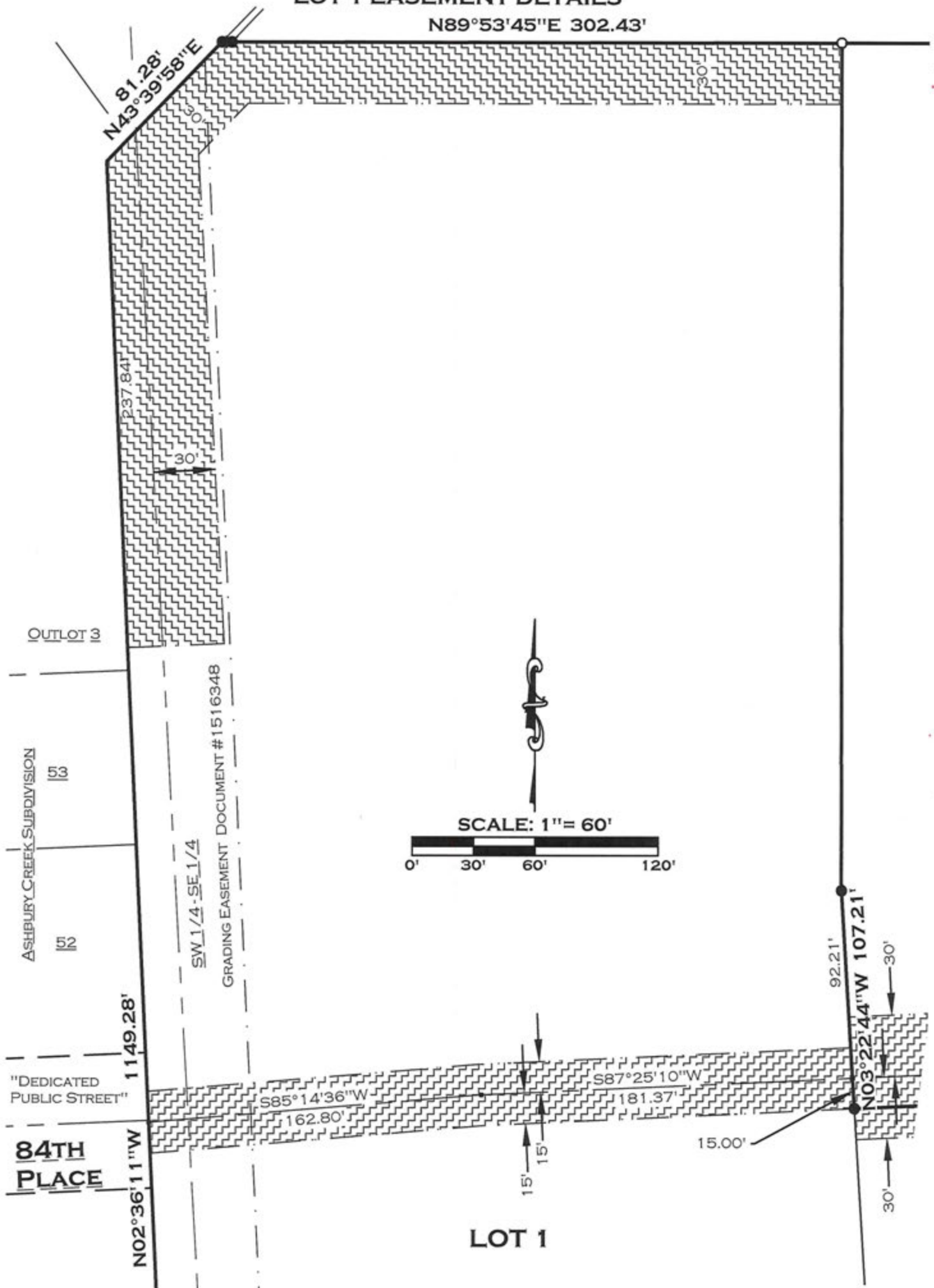
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CERTIFIED SURVEY MAP

LOT 1 EASEMENT DETAILS

N89°53'45"E 302.43'



PRIVATE STORM WATER DRAINAGE, MAINTENANCE AND ACCESS EASEMENT

DEDICATED 30' PUBLIC SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT

SHEET 5 OF 13



ROBERT E. LEE & ASSOCIATES, INC.

ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES

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CERTIFIED SURVEY MAP

DEDICATION AND EASEMENT PROVISIONS

1. NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS DEDICATED 12' UTILITY EASEMENT ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER ("THE GRANTOR") TO WE ENERGIES F/K/A WISCONSIN ELECTRIC POWER COMPANY, AMERITECH-WISCONSIN F/K/A WISCONSIN BELL, INC. AND TIME WARNER CABLE INC. AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS (COLLECTIVELY, THE "UTILITY AND COMMUNICATIONS GRANTEES"), FOR THE PURPOSES OF CONSTRUCTING, INSTALLING, OPERATING, MAINTAINING, REPLACING AND MAINTAINING UTILITY AND COMMUNICATION LINES AND OTHER RELATED FACILITIES TO SERVE THE LOTS (OR PORTIONS THEREOF) SHOWN ON THIS CSM AND FOR ANY RELATED INGRESS AND EGRESS. THESE EASEMENTS SHALL ALSO INCLUDE THE RIGHT TO TRIM OR CUT DOWN TREES, BUSHES, BRANCHES, AND ROOTS AS REASONABLY REQUIRED SO AS NOT TO INTERFERE WITH THE UTILITY AND COMMUNICATIONS GRANTEES USE OF THE EASEMENT AREAS. TO THE EXTENT POSSIBLE, ALL SUCH UTILITY AND COMMUNICATIONS LINES AND FACILITIES SHALL BE INSTALLED UNDERGROUND. UPON THE INSTALLATION OF THE UTILITY CABLES AND RELATED APPURTENANCES, THE ELEVATION OF THE EXISTING GROUND SURFACE WITHIN THE EASEMENT AREAS SHALL NOT BE ALTERED BY MORE THAN FOUR (4) INCHES OF FINAL GRADE WITHOUT THE WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATIONS GRANTEES. THE GRANTOR SHALL RESTORE OR CAUSE TO BE RESTORED, ALL SUCH LAND, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO INSTALLING SUCH UTILITIES AND COMMUNICATIONS LINES WITHIN THE EASEMENT AREAS AS SUCH RESTORATION DOES NOT INTERFERE WITH THE PURPOSES OF THE UTILITY AND COMMUNICATIONS GRANTEES AND THE USE OF SUCH EASEMENTS BY THE UTILITY AND COMMUNICATIONS GRANTEES REGARDING THE TRANSFER OF THE RESTORATION AND MAINTENANCE RESPONSIBILITIES TO THE GRANTEES. NO BUILDINGS, SIGNAGE, FENCES, OR STRUCTURES OF ANY KIND SHALL BE PLACED WITHIN THE UTILITY AND COMMUNICATION EASEMENT AREAS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATIONS GRANTEES.

2. THE VILLAGE GENERALLY ALLOWS PRIVATE UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRIC AND COMMUNICATIONS FACILITIES, TO BE INSTALLED IN PUBLIC RIGHT-OF-WAYS WITH PRIOR WRITTEN APPROVAL FROM THE VILLAGE, SUBJECT TO THE REQUIREMENTS OF APPLICABLE VILLAGE ORDINANCES AND THE REQUIREMENTS OF SUCH PUBLIC USES AND PURPOSES OF THE VILLAGE. FURTHER, EACH INDIVIDUAL PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY SHALL BE RESPONSIBLE FOR PROMPTLY RESTORING THE PUBLIC STREET AREAS AND PUBLIC HIGHWAY AREAS TO THEIR PRE-EXISTING CONDITION, AT ITS OWN COST, AFTER ANY USE OF SUCH AREAS. IN THE EVENT THE PRIVATE COMPANIES DO NOT RESTORE THE EASEMENT AREAS TO THE PROPER GRADE AND TO A VEGETATIVELY STABILIZED CONDITION, THE DEVELOPER SHALL BE ULTIMATELY RESPONSIBLE FOR THE COSTS OF SUCH RESTORATION AND MAY PURSUE ITS REMEDIES AGAINST THE RESPECTIVE UTILITY COMPANY(S). UNDER NO CIRCUMSTANCES SHALL ANY PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY CONDUCT ANY OPEN CUTTING OF PUBLIC ROADWAYS AFTER THE CONCRETE ROADWAY COURSE IS INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE. ANY SUCH PRIVATE UTILITY OR COMMUNICATIONS FACILITIES SHALL BE PROMPTLY RELOCATED, AT THE COST OF THE INDIVIDUAL UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY, UPON WRITTEN REQUEST OF THE VILLAGE, TO SERVE THE PUBLIC FUNCTIONS AND PURPOSES OF THE VILLAGE IN THE PUBLIC STREET AREA. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE VILLAGE AND THE RIGHTS OF THE PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY IN SUCH PUBLIC STREET AREAS, THE VILLAGE'S RIGHTS SHALL BE DEEMED TO BE SUPERIOR.

3. 2. NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS EITHER A 20' OR PRIVATE STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE STORM WATER MANAGEMENT PURPOSES, DRAINAGE, MAINTENANCE AND RELATED CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, LANDSCAPING, MAINTENANCE AND INGRESS AND EGRESS. THESE STORM WATER EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR: (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED AND CONVEYED HEREIN WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; (2) SUCH USE, PLANTING, CARE AND MAINTENANCE RESPONSIBILITIES OF THE EASEMENT AREAS WHICH SHALL BE REQUIRED BY THE DEVELOPER, COLLECTIVELY THE LOT OWNERS AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE; AND (3) SUCH FUTURE DRIVEWAYS OR OTHER USES OF THE EASEMENT AREAS AS MAY BE APPROVED BY THE VILLAGE AND SUBJECT TO ANY CONDITIONS THAT THE VILLAGE MAY IMPOSE. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE DEVELOPER, THE EASEMENT RIGHTS OF THE VILLAGE PURSUANT TO THESE EASEMENTS AND THE RIGHTS OF THE LOT OWNERS OR OTHER ENTITIES WITH RESPECT TO THE 20' PRIVATE STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THESE EASEMENTS. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE CONSTRUCTION AND MAINTENANCE OF ALL PRIVATE STORM WATER DRAINAGE AND DRAINAGE WAY IMPROVEMENTS CONTAINED WITHIN THESE NONEXCLUSIVE EASEMENTS.

CERTIFIED SURVEY MAP

4. ~~B.~~ NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS A PRIVATE STORM WATER DRAINAGE, RETENTION/DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE STORM WATER MANAGEMENT PURPOSES, STORM WATER RETENTION/RETENTION BASIN PURPOSES, PUBLIC DRAINAGEWAYS, AND FOR ALL RELATED CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, LANDSCAPING, SIGNAGE, MAINTENANCE, ACCESS AND MAINTENANCE, INGRESS AND EGRESS. THESE EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR: (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED AND CONVEYED HEREIN TO OTHERS WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF AND (2) SUCH USE, PLANTING, CARE AND MAINTENANCE RESPONSIBILITIES OF THE EASEMENT AREAS WHICH SHALL BE REQUIRED BY THE DEVELOPER, COLLECTIVELY THE LOT OWNERS FOR THE AREAS AS SHOWN ON THIS CSM AS IT WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE DEVELOPER, THE EASEMENT RIGHTS OF THE VILLAGE PURSUANT TO THESE EASEMENTS AND THE RIGHTS OF THE LOT OWNERS OR OTHER ENTITIES WITH RESPECT TO THE 20' PRIVATE STORM WATER, DRAINAGE, RETENTION/DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THE EASEMENTS. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION AND MAINTENANCE OF THE 20' PRIVATE STORM WATER DRAINAGE, RETENTION/DETENTION BASIN, OPEN SPACE AREAS, LANDSCAPE AREAS AND DRAINAGE WAY IMPROVEMENTS CONTAINED IN THESE NONEXCLUSIVE EASEMENTS.

5. ~~A.~~ NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS DEDICATED 25' LANDSCAPING, BERM, SIGNAGE, ACCESS AND MAINTENANCE EASEMENT AREAS ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE LOT OWNERS FOR LANDSCAPING, SIGNAGE, LIGHTING, ACCESS AND MAINTENANCE AND FOR ALL RELATED CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, MAINTENANCE, INGRESS AND EGRESS. THESE EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR: (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED AND CONVEYED HEREIN WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF TO THE UTILITY AND COMMUNICATION GRANTEES; (2) SUCH EASEMENTS AS DEDICATED AND CONVEYED HEREIN WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF TO THE VILLAGE; AND (3) SUCH TEMPORARY USE, PLANTING, CARE AND MAINTENANCE RESPONSIBILITIES OF THE DEVELOPER WHICH SHALL BE REQUIRED UNTIL SUCH RESPONSIBILITY IS TRANSFERRED TO LOT OWNERS AS IT WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE. IN THE EVENT OF ANY CONFLICT BETWEEN THE EASEMENT RIGHTS OF THE DEVELOPER OR THE EASEMENT RIGHTS THAT MAY BE GRANTED TO THE UTILITY AND COMMUNICATION GRANTEES OR THE VILLAGE PURSUANT TO THESE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THE EASEMENT GRANTED TO IT SHALL BE DEEMED TO BE SUPERIOR. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO ANY EASEMENT AREAS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THE EASEMENTS. THE DEVELOPER SHALL BE RESPONSIBLE THE PLANTING AND WARRANTY PERIOD AND THEN THE LOT OWNERS SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPING, SIGNAGE, LIGHTING AND OPEN SPACE AREAS WITHIN THE EASEMENTS.

6. ~~E.~~ EASEMENTS COEXTENSIVE WITH THE AREA SHOWN AS A 30' AND 60' DEDICATED PUBLIC SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ON LOTS 1 AND 2 ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PUBLIC SANITARY SEWER SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES. THIS PUBLIC SANITARY SEWER EASEMENT SHALL BE EXCLUSIVE, EXCEPT FOR: (1) THE DEVELOPER'S TEMPORARY EASEMENT RETAINED FOR THE CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES FOR THE PUBLIC SANITARY SEWER SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS; (2) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; AND (3) SUCH PLANTING, CARE, AND MAINTENANCE OF THE EASEMENT AREAS BY THE LOT OWNERS ON WHICH THE EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE. IN THE EVENT OF ANY CONFLICTS BETWEEN THE RIGHTS OF THE VILLAGE PURSUANT TO THESE PUBLIC SANITARY SEWER MAIN EASEMENT AREA AND THE RIGHTS OF OTHER PERSONS OR ENTITIES WITH RESPECT TO THE PUBLIC SANITARY SEWER EASEMENT AREA, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR.



CERTIFIED SURVEY MAP

7. EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS A DEDICATED PRIVATE SANITARY SEWER, PRIVATE WATER, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ON LOTS 1 AND 2 ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE SANITARY SEWER SYSTEM IMPROVEMENTS, PRIVATE WATER SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES FOR THE PRIVATE SANITARY SEWER AND PRIVATE WATER SYSTEM IMPROVEMENTS, USES AND PURPOSES. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO ANY EASEMENT AREAS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THE EASEMENTS. IN THE EVENT OF ANY CONFLICTS BETWEEN THE RIGHTS OF THE VILLAGE PURSUANT TO THESE PRIVATE SANITARY SEWER AND PRIVATE WATER MAIN EASEMENT AND THE RIGHTS OF OTHER PERSONS OR ENTITIES WITH RESPECT TO THE SANITARY SEWER AND WATER MAIN EASEMENT AREA, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR.

8. PERPETUAL NONEXCLUSIVE EASEMENTS CO-EXTENSIVE WITH THE AREAS SHOWN AS 15' X 50' DEDICATED VISION TRIANGLE EASEMENTS ON LOT 2 OF THIS CSM ARE HEREBY DEDICATED, GIVEN, GRANTED, AND CONVEYED BY THE OWNER TO THE VILLAGE TO MAINTAIN A CLEAR SIGHT LINE OF VISION AT EACH IDENTIFIED INTERSECTION. THERE SHALL BE NO OBSTRUCTIONS, SUCH AS BUT NOT LIMITED TO STRUCTURES, SIGNAGE, FENCES, RETAINING WALLS, VEHICULAR PARKING, VEGETATION AND SHELTERS WITHIN THE 15'X50' DEDICATED VISION TRIANGLE EASEMENT BETWEEN THE HEIGHTS OF TWO (2) FEET AND 10 FEET UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. THIS RESTRICTION IS FOR THE BENEFIT OF THE TRAVELING PUBLIC AND SHALL BE ENFORCEABLE BY THE VILLAGE AND KENOSHA COUNTY.

RESTRICTIVE COVENANTS

1. FOUNTAIN RIDGE LLC (REFERRED TO AS THE "DEVELOPER") HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 AND 2 SHOWN ON THIS CSM SHALL HAVE THE OBLIGATION OF MAINTAINING THE IMPROVEMENTS IN THE 20' PRIVATE STORM WATER DRAINAGE, MAINTENANCE AND ACCESS EASEMENT AREAS ON THEIR RESPECTIVE LOTS AND THE PRIVATE STORMWATER DRAINAGE, RETENTION/DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT AREAS LOCATED WITHIN LOTS 1 AND 2 SHOWN ON THIS CSM IN A FUNCTIONAL, NEAT AND NUISANCE FREE CONDITION TO HANDLE STORM WATER IN THE DEVELOPMENT. SUCH MAINTENANCE SHALL INCLUDE, WITHOUT LIMITATION AND AS NEEDED, GRADING, SEEDING OR SODDING, MAINTAINING EROSION CONTROL METHODS TO PROTECT THE DRAINAGEWAYS; DITCHING TO REESTABLISH DESIGN CAPACITY; REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH; CLEARING, REPAIRING AND REPLACING INLETS, OUTLETS AND CATCH BASIN STRUCTURES; MOWING; AND WEEDING TO PREVENT NUISANCE CONDITIONS. CLEAN, TELEWISE, AND REPAIR SEWERS AND SEWER STRUCTURES TO MAINTAIN A CLEAN, SAFE AND FUNCTIONAL SYSTEM. MINIMIZE AND ELIMINATE, TO THE MAXIMUM EXTENT PRACTICABLE, THE INFILTRATION OF STORM OR GROUND WATER INTO THE SEWER SYSTEM. NO DRIVEWAYS, FENCES, SIGNAGE OR STRUCTURES SHALL BE ERRECTED WITHIN THE STORM WATER DRAINAGE EASEMENT AREAS WHICH BLOCKS, DIVERTS OR RE-ROUTS THE DRAINAGE FLOW OR WHICH MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS, UNLESS EXPRESS WRITTEN APPROVAL IS GRANTED BY THE VILLAGE AND SUBJECT TO ANY SUCH CONDITIONS AS THE VILLAGE MAY IMPOSE. THE DEVELOPER SHALL BE RELIEVED OF THESE MAINTENANCE OBLIGATIONS PERTAINING TO STORM WATER DRAINAGE MAINTENANCE ACTIVITIES UPON THE DEVELOPED TRANSFER OF SAID LOTS TO THE LOT OWNERS WHO THEN SHALL PERFORM SUCH MAINTENANCE WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH STORM WATER DRAINAGE OR RETENTION/DETENTION BASIN MAINTENANCE ACTIVITIES, THE OWNERS OF THE REFERENCED LOTS SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT PROVISIONS ON THIS CSM WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THESE EASEMENTS.



CERTIFIED SURVEY MAP

2. THE DEVELOPER HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 AND 2 SHOWN ON THIS CSM SHALL HAVE THE OBLIGATION OF MAINTAINING THE IMPROVEMENTS IN THE PRIVATE STORM WATER DRAINAGE, RETENTION/DETENTION BASIN, MAINTENANCE AND ACCESS EASEMENT AREAS LOCATED WITHIN LOT 2 SHOWN ON THIS CSM AND LOT 3, CSM #2817 IN A FUNCTIONAL, NEAT AND NUISANCE FREE CONDITION TO HANDLE STORM WATER IN THE DEVELOPMENT. SUCH MAINTENANCE SHALL INCLUDE, WITHOUT LIMITATION AND AS NEEDED, GRADING, SEEDING OR SODDING, MAINTAINING EROSION CONTROL METHODS TO PROTECT THE DRAINAGEWAYS; EXCAVATING OR DITCHING TO REESTABLISH BASIN DESIGN CAPACITY; REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH; CLEARING, REPAIRING AND REPLACING INLETS, OUTLETS AND CATCH BASIN STRUCTURES; MOWING; AND WEEDING TO PREVENT NUISANCE CONDITIONS. CLEAN, TELEWISE, AND REPAIR SEWERS AND SEWER STRUCTURES TO MAINTAIN A CLEAN, SAFE AND FUNCTIONAL SYSTEM. MINIMIZE AND ELIMINATE, TO THE MAXIMUM EXTENT PRACTICABLE, THE INFILTRATION OF STORM OR GROUND WATER INTO THE SEWER SYSTEM. NO DRIVEWAYS, FENCES, SIGNAGE OR STRUCTURES SHALL BE ERECTED WITHIN THE STORM WATER DRAINAGE OR BASIN EASEMENT AREAS WHICH BLOCKS, DIVERTS OR RE-ROUTS THE DRAINAGE FLOW OR WHICH MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS, UNLESS EXPRESS WRITTEN APPROVAL IS GRANTED BY THE VILLAGE AND SUBJECT TO ANY SUCH CONDITIONS AS THE VILLAGE MAY IMPOSE. THE DEVELOPER SHALL BE RELIEVED OF THESE MAINTENANCE OBLIGATIONS PERTAINING TO STORM WATER DRAINAGE MAINTENANCE ACTIVITIES UPON THE TRANSFER OF SAID LOTS TO THE LOT OWNERS WHO THEN SHALL PERFORM SUCH MAINTENANCE WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH STORM WATER DRAINAGE MAINTENANCE ACTIVITIES, THE OWNERS OF THE REFERENCED LOTS SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT PROVISIONS ON THIS CSM WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THESE EASEMENTS.

3. THE DEVELOPER COVENANTS THAT THE 30' AND 60' DEDICATED PUBLIC SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENTS SHOWN ON LOTS 1 AND 2 ON THIS CSM HEREBY PLACES RESTRICTIONS ON LOTS 1 AND 2 BECAUSE OF THE LOCATION OF THE PUBLIC SANITARY SEWER MAIN EASEMENTS WHICH WERE GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PUBLIC SANITARY SEWER PURPOSES AND SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED AND INCIDENTAL INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENTS, PLANTINGS AND MAINTENANCE ACTIVITIES TO SERVE THE DEVELOPMENT.

THE DEVELOPER FURTHER COVENANTS THAT THERE SHALL BE NO BUILDINGS, SIGNAGE, FENCES, PARKING AREAS, DRIVEWAYS OR STRUCTURES OF ANY KIND PLACED WITHIN THE EASEMENT AREAS UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. FURTHERMORE, IF THE VILLAGE ALLOWS FOR THE PLACEMENT OF FENCING, SIGNAGE, PARKING AREAS, DRIVEWAYS OR LANDSCAPING WITHIN THE PUBLIC SEWER EASEMENT AREAS GRANTED TO THE VILLAGE AND IN THE EVENT THAT THE VILLAGE EXERCISES IT'S RIGHTS TO MAINTAIN, REPAIR OR REPLACE SAID PUBLIC SANITARY SEWER MAIN AND RELATED APPURTENANCES, THE OWNERS OF THE AFFECTED LOTS, NOT THE VILLAGE, SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE REMOVAL AND OR REPLACEMENT OF SAID FENCING, PARKING AREAS, DRIVEWAYS OR LANDSCAPING. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF THESE LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

4. THE DEVELOPER COVENANTS THAT THE OWNERS OF LOT 2 SHOWN ON THIS CSM SHALL HAVE THE OBLIGATION OF MAINTAINING THE IMPROVEMENTS IN THE 20' PRIVATE WATER, ACCESS AND MAINTENANCE EASEMENT AREAS SHOWN ON LOT 2 ON THIS CSM HEREBY PLACES RESTRICTIONS LOT 2 BECAUSE OF THE LOCATION OF THE PRIVATE WATER MAIN EASEMENTS WHICH WERE GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE WATER MAIN PURPOSES AND SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED AND INCIDENTAL INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENTS, PLANTINGS AND MAINTENANCE ACTIVITIES TO SERVE THE DEVELOPMENT. OPERATE, MAINTAIN AND REPAIR WATER VALVES AND HYDRANTS AND THE REPAINTING OF HYDRANTS TO MAINTAIN A FUNCTIONAL SYSTEM. REPAIR OF BREAKS OR LEAKS IN THE WATERMAINS, SERVICES OR LEADS.

THE DEVELOPER FURTHER COVENANTS THAT THERE SHALL BE NO BUILDINGS, SIGNAGE, FENCES, PARKING AREAS, DRIVEWAYS OR STRUCTURES OF ANY KIND PLACED WITHIN THE EASEMENT AREAS UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. FURTHERMORE, IF THE VILLAGE ALLOWS FOR THE PLACEMENT OF FENCING, SIGNAGE, PARKING AREAS, DRIVEWAYS OR LANDSCAPING WITHIN THE PRIVATE WATER EASEMENT AREAS GRANTED TO THE VILLAGE AND IN THE EVENT THAT THE VILLAGE EXERCISES ITS RIGHTS TO MAINTAIN, REPAIR OR REPLACE SAID PRIVATE WATER MAIN AND RELATED APPURTENANCES, THE OWNER(S) OF THE AFFECTED LOTS, NOT THE VILLAGE, SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE REMOVAL AND OR REPLACEMENT OF SAID FENCING, PARKING AREAS, DRIVEWAYS OR LANDSCAPING. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF THIS LOT, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH PRIVATE UTILITY MAINTENANCE ACTIVITIES, THE OWNER OF THE LOT 2, SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT LANGUAGE ON THIS CSM, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANY MAINTENANCE ACTIVITIES.



CERTIFIED SURVEY MAP _____

5. THE DEVELOPER HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 THROUGH 2 SHALL HAVE THE OBLIGATION OF MAINTAINING AND REPLACING THE PUBLIC STREET TREES LOCATED WITHIN 83RD STREET, 84TH PLACE, 90TH AVENUE AND BAIN STATION ROAD AND THE LANDSCAPE PLANTINGS AND GRASSY TERRACE AREAS WITHIN LOTS 1 AND 2 AS SHOWN ON THIS CSM. SUCH PUBLIC STREET TREE AND PLANTINGS MAINTENANCE SHALL INCLUDE WITHOUT LIMITATION AND AS NEEDED STAKING, MULCHING, WEEDING, PRUNING, WATERING, REPLANTING, AND REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH AROUND THE TREES IN ORDER TO PREVENT A NUISANCE CONDITION. NO DRIVEWAYS, SIGNAGE, MAIL BOXES, PARKING AREAS, STRUCTURES OR FENCES SHALL BE ERECTED WITHIN THE RIGHTS-OF-WAY PRIVATE BOULEVARDS, WHICH MIGHT DAMAGE THE STREET TREES OR THE PRIVATE BOULEVARD PLANTINGS OR MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS TO MAINTAIN THE PUBLIC STREET IMPROVEMENTS, UNLESS APPROVED BY THE VILLAGE. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE. THE LOT OWNERS SHALL CONTINUE TO PERFORM SUCH STREET, TREE AND LANDSCAPING MAINTENANCE AND STREET TREES AND PLANTING REPLACEMENT AS MAY BE NEEDED WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH PUBLIC STREET TREE OR LANDSCAPING RELATED MAINTENANCE ACTIVITIES, THE OWNERS OF THE LOTS 1, 2 AND 3, SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT LANGUAGE ON THIS CSM, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANY MAINTENANCE ACTIVITIES.

6. THE DEVELOPER HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 AND 2 SHALL HAVE THE OBLIGATION OF MAINTAINING AND REPLACING THE BERMS, TREES, PLANTINGS AND IRRIGATION SYSTEMS LOCATED WITHIN THE DEDICATED 35' LANDSCAPING, BERM, SIGNAGE, ACCESS AND MAINTENANCE EASEMENT AREAS SHOWN ALONG BAIN STATION ROAD AS SHOWN ON THIS CSM. SUCH MAINTENANCE SHALL INCLUDE WITHOUT LIMITATION AND AS NEEDED STAKING, MULCHING, WEEDING, PRUNING, WATERING, REPLANTING, AND REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH AROUND THE TREES IN ORDER TO PREVENT A NUISANCE CONDITION AND REPAIRING OR REPLACING THE UNDERGROUND IRRIGATION SYSTEMS. NO DRIVEWAYS, SIGNAGE, MAIL BOXES, PARKING AREAS, STRUCTURES OR FENCES SHALL BE ERECTED WITHIN THE EASEMENT AREAS, WHICH MIGHT DAMAGE THE TREES OR PLANTINGS OR MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS TO MAINTAIN THE PUBLIC STREET IMPROVEMENTS. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE. THE DEVELOPER SHALL PERFORM SUCH LANDSCAPE MAINTENANCE, MOWING AND TREES AND PLANTING REPLACEMENTS AS MAY BE NEEDED WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH LANDSCAPING, RELATED MAINTENANCE ACTIVITIES, THE LOT OWNERS, SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT PROVISIONS LANGUAGE ON THIS CSM, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANY MAINTENANCE ACTIVITIES.

7. THE DEVELOPER HEREBY COVENANTS THAT LOT 2 SHALL HAVE THE OBLIGATION OF PROTECTING AND PRESERVING THE 15'x50' DEDICATED VISION TRIANGLE EASEMENT AREAS ON LOT 2 OF THIS CSM TO MAINTAIN A CLEAR SIGHT LINE OF VISION AT EACH IDENTIFIED INTERSECTION. THERE SHALL BE NO OBSTRUCTIONS, SUCH AS BUT NOT LIMITED TO STRUCTURES, SIGNAGE, FENCES, RETAINING WALLS, VEHICULAR PARKING, VEGETATION AND SHELTERS WITHIN THE 15'x50' DEDICATED VISION TRIANGLE EASEMENT BETWEEN THE HEIGHTS OF TWO (2) FEET AND 10 FEET UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. THIS RESTRICTION IS FOR THE BENEFIT OF THE TRAVELING PUBLIC AND SHALL BE ENFORCEABLE BY THE VILLAGE.



CERTIFIED SURVEY MAP

SURVEYOR'S CERTIFICATE:

I, TROY E. HEWITT, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT BY THE ORDER AND UNDER THE DIRECTION OF FOUNTAIN RIDGE, LLC, I HAVE SURVEYED, MAPPED AND DIVIDED PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E AND ALL OF LOTS 1 AND 3 OF CERTIFIED SURVEY MAP NUMBER 2817, DOCUMENT NUMBER 1780815, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE N03°17'20"W, 885.72 FEET ON THE EAST LINE OF SAID SOUTHEAST 1/4; THENCE S89°53'45"W, 986.42 FEET ON THE NORTHERLY LINE OF CERTIFIED SURVEY MAP NUMBER 2817 (CSM #2817) EXTENDED EASTERLY TO THE NORTHEAST CORNER OF SAID LOT 1, THE POINT OF BEGINNING; THENCE S00°06'26"E, 415.10 FEET ON THE EAST LINE OF SAID LOT 1; THENCE S03°22'44"E, 107.21 FEET ON SAID EAST LINE TO THE NORTHWEST CORNER OF SAID LOT 3; THENCE N87°25'10"E, 172.23 FEET ON THE NORTH LINE OF SAID LOT 3; THENCE S67°28'30"E, 159.28 FEET ON SAID NORTH LINE TO THE WESTERLY RIGHT OF WAY OF 90TH AVENUE; THENCE 65.91 FEET ON THE ARC OF A 156.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD WHICH BEARS S10°57'04"W, 65.42 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE S01°09'12"E, 181.73 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE 44.49 FEET ON THE ARC OF A 267.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD WHICH BEARS S05°55'37"E, 44.44 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE S10°42'02"E, 104.62 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE 41.34 FEET ON THE ARC OF A 233.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD WHICH BEARS S05°37'03"E, 41.29 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE S00°32'04"E, 220.79 FEET ON SAID WESTERLY RIGHT OF WAY TO THE NORTHERLY RIGHT OF WAY OF BAIN STATION ROAD; THENCE 654.11 FEET ON THE ARC OF A 11,483.94 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD WHICH BEARS N88°52'57"W, 654.02 FEET ON SAID NORTHERLY RIGHT OF WAY TO THE EAST LINE OF LOT 46, ASHBURY CREEK SUBDIVISION; THENCE N02°36'11"W, 1149.28 FEET ON THE EAST LINE OF SAID ASHBURY CREEK SUBDIVISION; THENCE N43°39'58"E, 81.28 FEET ON SAID EAST LINE EXTENDED NORTHEASTERLY TO A NORTHWEST CORNER OF SAID LOT 1; THENCE N89°53'45"E, 302.43 FEET ON THE NORTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 631,433 SQUARE FEET (14.496 ACRES) OF LAND MORE OR LESS.

THAT THE WITHIN MAP IS A TRUE AND CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND CHAPTER 395 OF THE VILLAGE OF PLEASANT PRAIRIE LAND DIVISION AND DEVELOPMENT CONTROL ORDINANCE IN THE SURVEYING, MAPPING AND DIVIDING OF THE SAME.

DATED THIS _____ DAY OF _____, 2018.

TROY E. HEWITT PLS #2831
ROBERT E. LEE & ASSOCIATES, INC.

CURVE TABLE							
CURVE #	DELTA	RADIUS	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT BEARING	SECOND TANGENT BEARING
C1	24°12'32"	156.00'	65.91'	S10°57'04"W	65.42'	S23°03'20"W	S01°09'12"E
C2	9°32'50"	267.00'	44.49'	S05°55'37"E	44.44'	S01°09'12"E	S10°42'02"E
C3	10°09'58"	233.00'	41.34'	S05°37'03"E	41.29'	N00°32'04"W	N10°42'02"W
C4	1°25'57"	11483.94'	287.12'	N89°47'53"W	287.12'	S89°04'54"E	N89°29'08"E
C5	1°49'51"	11483.94'	366.99'	N88°09'59"W	366.97'	S87°15'03"E	S89°04'54"E
C6	3°15'48"	11483.94'	654.11'	N82°52'57"W	654.02'	S87°15'03"E	N89°29'08"E

CERTIFIED SURVEY MAP

OWNER'S CERTIFICATE:

AS OWNER'S, WE HEREBY CERTIFY THAT WE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, MAPPED, DIVIDED AND DEDICATED AS REPRESENTED ON THE CERTIFIED SURVEY MAP. WE ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S-236.10 OR S-236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF PLEASANT PRAIRIE

FOUNTAIN RIDGE LLC **DATE**
JEFFREY T. MARLOW, MANAGING MEMBER

STATE OF WISCONSIN)
_____) COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2018, THE ABOVE NAMED TO ME KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

(PRINT NAME) _____

MY COMMISSION EXPIRES:_____



CERTIFIED SURVEY MAP _____

VILLAGE PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF PLEASANT PRAIRIE ON THIS _____ DAY OF _____, 2018.

THOMAS W. TERWALL
VILLAGE PLAN COMMISSION CHAIRMAN

VILLAGE BOARD APPROVAL

RESOLVED THAT THIS CERTIFIED SURVEY MAP, HAVING BEEN APPROVED BY THE PLAN COMMISSION BEING THE SAME, IS HEREBY APPROVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE ON THIS _____ DAY OF _____, 2018.

~~MICHAEL J. SERPE~~
VILLAGE PRESIDENT ~~PRO TEM~~

John P. Steinbrink

ATTEST:

~~JANE M. ROMANOWSKI~~
VILLAGE CLERK

Jane C. Snell



ROBERT E. LEE & ASSOCIATES, INC.

ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES

1250 CENTENNIAL CENTRE BOULEVARD

HOBART, WI 54155

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PHONE: (920) 662-9641

FAX: (920) 662-9141



CERTIFIED SURVEY MAP APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to subdivide the property with a Certified Survey Map (CSM) as hereinafter requested:

Property Location: gum Pines
Legal Description: LOT 1 & LOT 3, CSM 2817
Tax Parcel Number(s): 91-4-122-084-0221 & 91-4-122-084-0223
Existing Zoning District(s): _____

Select all that apply:

- ☐ The property abuts or adjoins State Trunk Highway _____
☐ The property abuts or adjoins County Trunk Highway _____
☒ Municipal Sanitary Sewer is available to service said property
☒ Municipal Water is available to service said property

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: JEFF MARLOW
Signature: _____
Address: 1300 N. Kinos CT
Green Bay WI 54313
(City) (State) (Zip)
Phone: 920-662-1611
Fax: 920-662-8204
Email: Jmarlow@lexingtonneighborhoods.com
Date: _____

APPLICANT/AGENT:

Print Name: Troy Hewitt
Signature: Troy Hewitt
Address: 1250 Centennis / Centre Blvd
Hosart WI 54313
(City) (State) (Zip)
Phone: 920-662-9641
Fax: 920-662-9141
Email: thewitt@refcoinc.com
Date: 3-12-18

Preliminary

CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E AND ALL OF LOTS 1 AND 3 OF CERTIFIED SURVEY MAP NUMBER 2817, DOCUMENT NUMBER 1780815, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

EAST 1/4 CORNER
SECTION 8
CONCRETE MONUMENT

Doc. #636376
Lot
CSM #2450

UNPLATTED LANDS Doc. #1326295

N89°53'45"E 302.43'

S89°53'45"W
986.42'

1766.58'
2652.30'
N03°17'20"E

POINT OF BEGINNING

SEE SHEET 6 FOR CURVE DATA

SEE SHEETS 2, 3, 4 AND 5 FOR
ADDITIONAL EASEMENT DETAILS



LOT 2
CSM #2817

387.21'
S03°22'44"E
107.21'

LOT 1
430,923 SQ. FT.
9.893 ACRES

LOT 2
200,510 SQ. FT.
4.603 ACRES

LOT 1
CSM #2817

LOT 3
CSM #2817

LOT 3
CSM #2816

SECTION 8
SECTION 17 NE 1/4-NE 1/4

S89°50'29"W
2670.99'
SOUTHEAST CORNER
SECTION 8
CONCRETE
MONUMENT
N:208316.99
E:2562183.87

S02°46'29"E
2655.68'

EAST 1/4 CORNER
SECTION 17
CONCRETE MONUMENT

25' LANDSCAPING, BERM,
SIGNAGE, ACCESS AND
MAINTENANCE EASEMENT

12' UTILITY EASEMENT

BAIN STATION ROAD

UNPLATTED LANDS

"DEDICATED PUBLIC STREET"

SCALE: 1"= 150'

0' 75' 150' 300'

ALL BEARINGS ARE REFERENCED TO GRID
NORTH OF THE WISCONSIN STATE PLANE
COORDINATE SYSTEM, SOUTH ZONE. THE
EAST LINE OF THE SOUTHEAST 1/4 OF
SECTION 8 BEARS N03°17'20"W.

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PHONE:(920) 662-9641
FAX:(920) 662-9141

SHEET 1 OF 8



LEGEND

- EXISTING 1"Ø IRON PIPE
- SET 1" x 18" IRON PIPE WITH CAP
WEIGHING 1.38 LBS./LIN. FT.
- ⊙ RECORDED COUNTY MONUMENT
- EXISTING 3/4"Ø IRON ROD

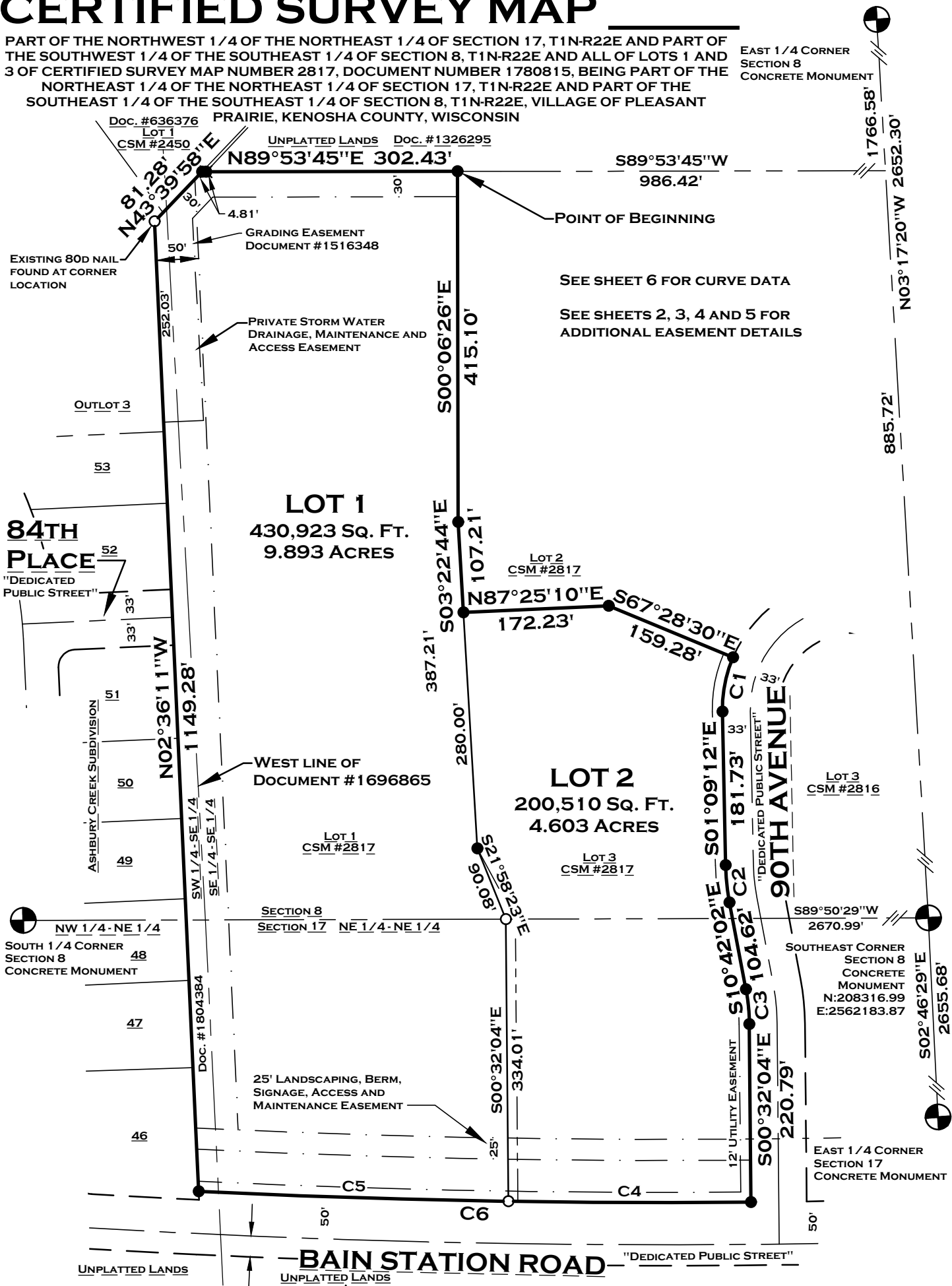
R:\4300\4329\4329082\DWG\2018 4329082CSM_STATE PLANE.DWG

GAP AREA ADDED
TO CSM

AREA FROM LOT 1
TO LOT 2

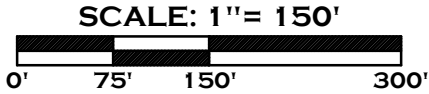
CERTIFIED SURVEY MAP

PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E AND ALL OF LOTS 1 AND 3 OF CERTIFIED SURVEY MAP NUMBER 2817, DOCUMENT NUMBER 1780815, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN



LEGEND

- EXISTING 1"Ø IRON PIPE
- SET 1" X 18" IRON PIPE WITH CAP WEIGHING 1.38 LBS./LIN. FT.
- ⊙ RECORDED COUNTY MONUMENT
- ✦ EXISTING 3/4"Ø IRON ROD

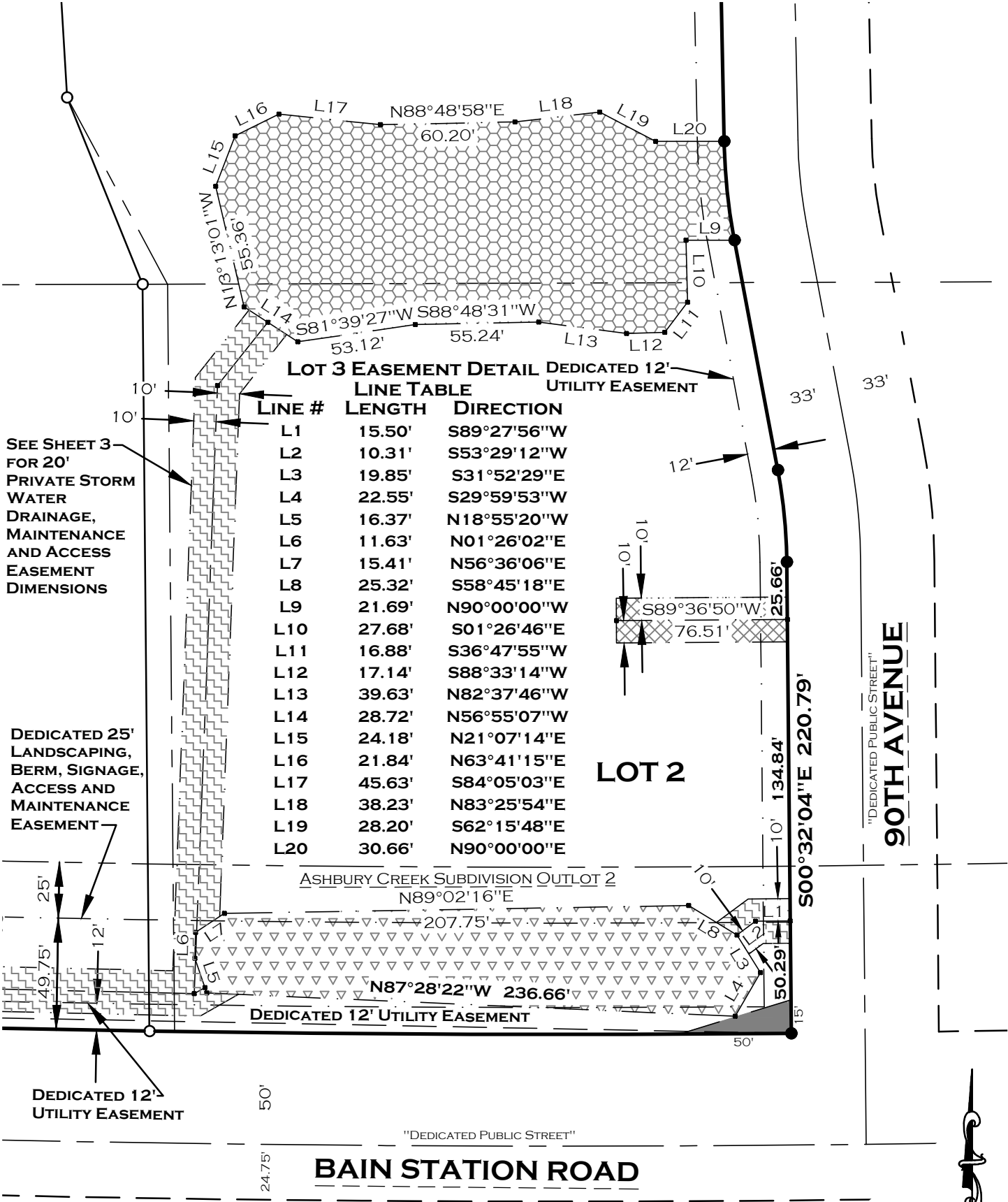


ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 8 BEARS N03°17'20"W.

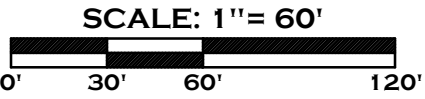
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CERTIFIED SURVEY MAP

LOT 2 EASEMENT DETAILS



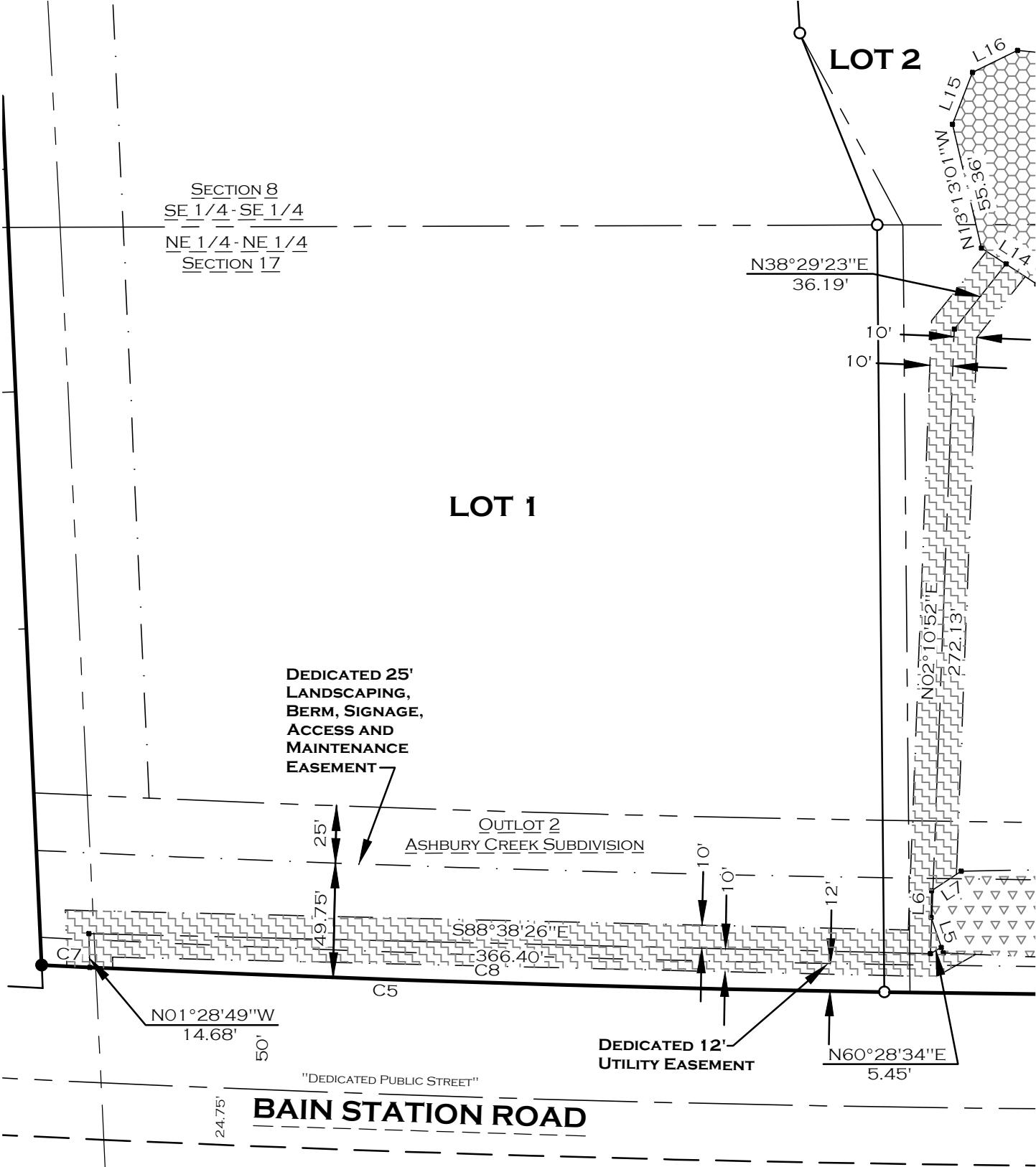
- 20' PRIVATE STORM WATER DRAINAGE, MAINTENANCE AND ACCESS EASEMENT
- PRIVATE STORM WATER DRAINAGE, RETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
- PRIVATE STORM WATER DRAINAGE, DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
- 20' PRIVATE WATER, ACCESS AND MAINTENANCE EASEMENT
- 15' x 50' VISION TRIANGLE EASEMENT



SCALE: 1" = 60'




CERTIFIED SURVEY MAP

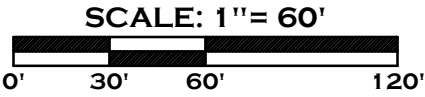
LOTS 1 AND 2 EASEMENT DETAILS



LOT 1 AND 3 EASEMENT DETAIL CURVE TABLE

CURVE #	DELTA	RADIUS	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT BEARING	SECOND TANGENT BEARING
C5	1°49'51"	11483.94'	366.99'	S88°09'59"E	366.97'	S87°15'03"E	S89°04'54"E
C7	0°06'17"	11483.94'	20.96'	S87°18'11"E	20.96'	S87°15'03"E	S87°21'20"E
C8	1°43'35"	11483.94'	346.02'	S88°13'07"E	346.01'	S87°21'20"E	S89°04'54"E

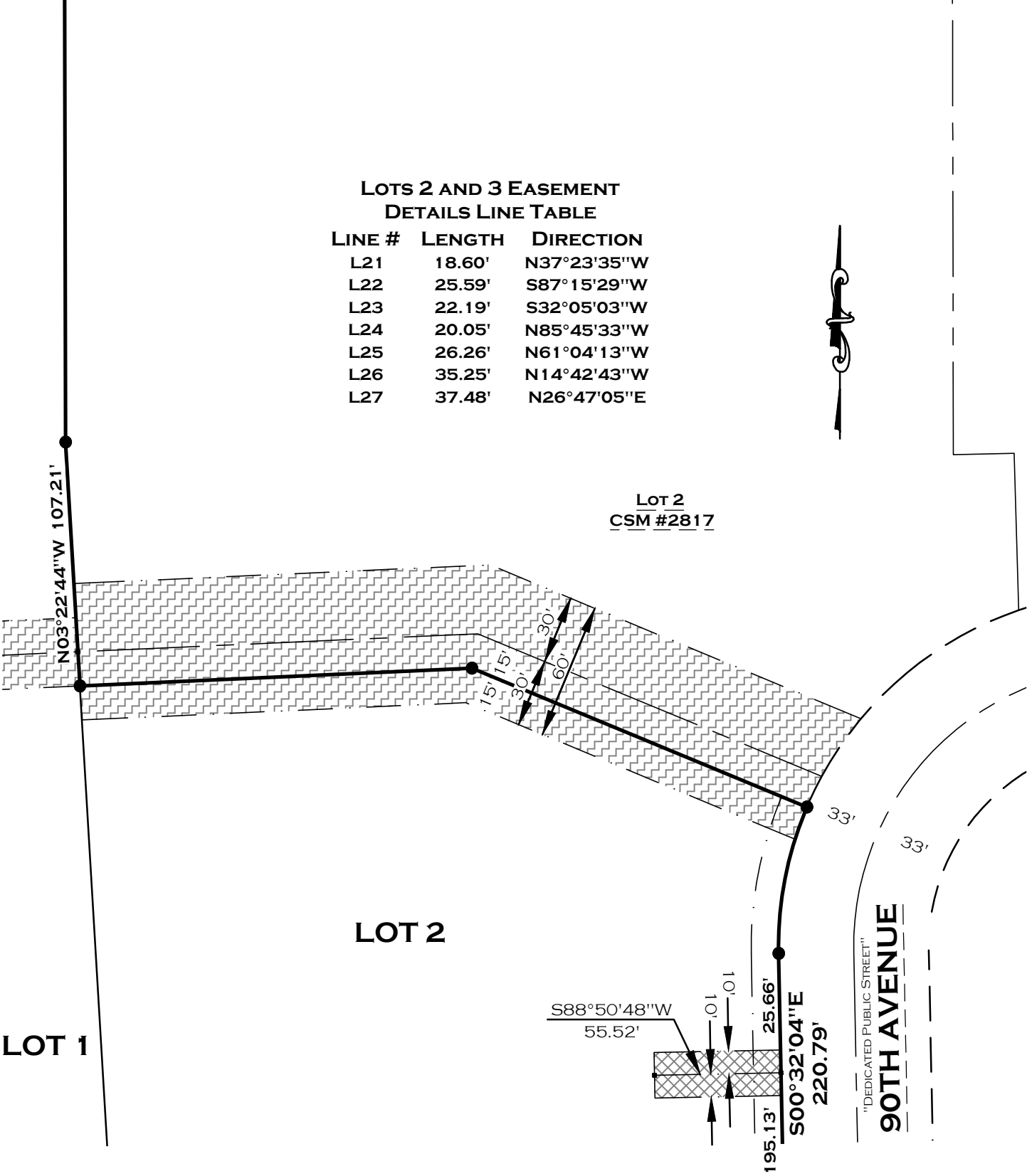
-  20' PRIVATE STORM WATER DRAINAGE, MAINTENANCE AND ACCESS EASEMENT
-  PRIVATE STORM WATER DRAINAGE, RETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
-  PRIVATE STORM WATER DRAINAGE, DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT



CERTIFIED SURVEY MAP

LOT 2 EASEMENT DETAILS

LOTS 2 AND 3 EASEMENT DETAILS LINE TABLE		
LINE #	LENGTH	DIRECTION
L21	18.60'	N37°23'35"W
L22	25.59'	S87°15'29"W
L23	22.19'	S32°05'03"W
L24	20.05'	N85°45'33"W
L25	26.26'	N61°04'13"W
L26	35.25'	N14°42'43"W
L27	37.48'	N26°47'05"E



 20' PRIVATE WATER, ACCESS AND MAINTENANCE EASEMENT

 PRIVATE STORM WATER DRAINAGE, RETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT

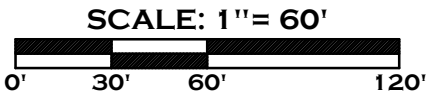
 DEDICATED 60' PUBLIC SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT

SHEET 4 OF 13

R:\4300\4329\4329082\dwg\2018 4329082csM_STATE PLANE.dwg

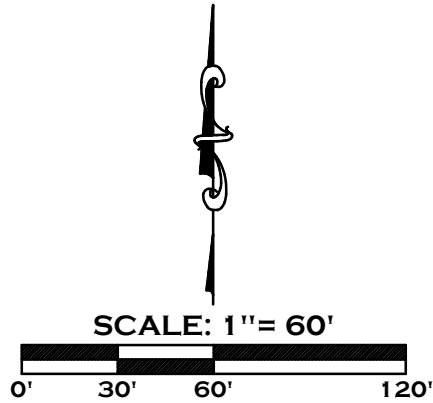
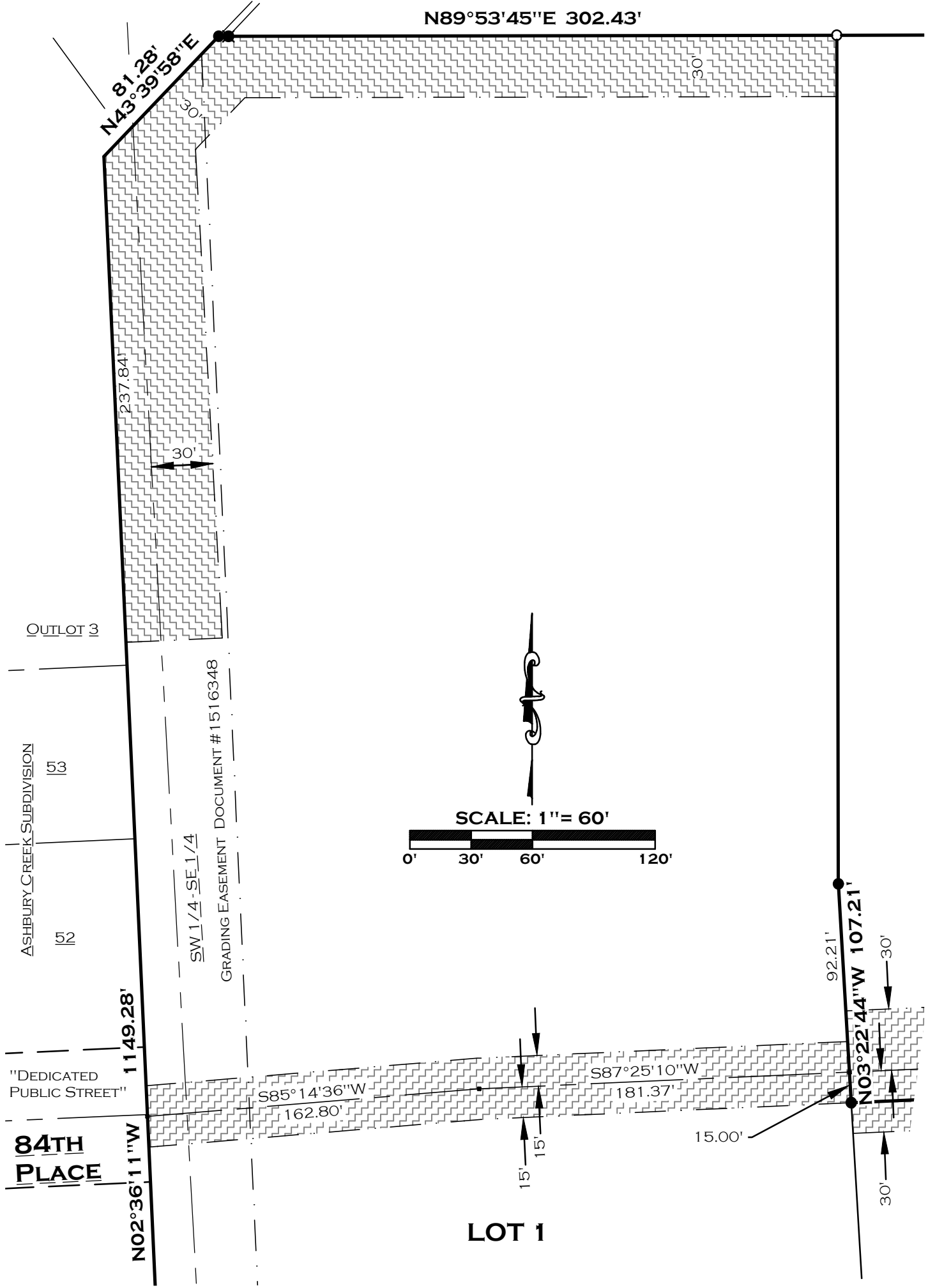


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CERTIFIED SURVEY MAP

LOT 1 EASEMENT DETAILS



CERTIFIED SURVEY MAP _____

DEDICATION AND EASEMENT PROVISIONS

1. NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS DEDICATED 12' UTILITY EASEMENT ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER ("THE GRANTOR") TO WE ENERGIES F/K/A WISCONSIN ELECTRIC POWER COMPANY, AMERITECH-WISCONSIN F/K/A WISCONSIN BELL, INC. AND TIME WARNER CABLE INC. AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS (COLLECTIVELY, THE "UTILITY AND COMMUNICATIONS GRANTEES"), FOR THE PURPOSES OF CONSTRUCTING, INSTALLING, OPERATING, REPAIRING, ALTERING, REPLACING AND MAINTAINING UTILITY AND COMMUNICATION LINES AND OTHER RELATED FACILITIES TO SERVE THE LOTS (OR PORTIONS THEREOF) SHOWN ON THIS CSM AND FOR ANY RELATED INGRESS AND EGRESS. THESE EASEMENTS SHALL ALSO INCLUDE THE RIGHT TO TRIM OR CUT DOWN TREES, BUSHES, BRANCHES, AND ROOTS AS REASONABLY REQUIRED SO AS NOT TO INTERFERE WITH THE UTILITY AND COMMUNICATIONS GRANTEES USE OF THE EASEMENT AREAS. TO THE EXTENT POSSIBLE, ALL SUCH UTILITY AND COMMUNICATIONS LINES AND FACILITIES SHALL BE INSTALLED UNDERGROUND. UPON THE INSTALLATION OF THE UTILITY CABLES AND RELATED APPURTENANCES, THE ELEVATION OF THE EXISTING GROUND SURFACE WITHIN THE EASEMENT AREAS SHALL NOT BE ALTERED BY MORE THAT FOUR (4) INCHES OF FINAL GRADE WITHOUT THE WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATIONS GRANTEES. THE GRANTOR SHALL RESTORE OR CAUSE TO BE RESTORED, ALL SUCH LAND, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO INSTALLING SUCH UTILITIES AND COMMUNICATIONS LINES WITHIN THE EASEMENT AREAS AS SUCH RESTORATION DOES NOT INTERFERE WITH THE PURPOSES OF THE UTILITY AND COMMUNICATIONS EASEMENTS AND THE USE OF SUCH EASEMENTS BY THE UTILITY AND COMMUNICATIONS GRANTEES UNLESS A SEPARATE AGREEMENT IS ENTERED INTO BETWEEN THE GRANTOR AND GRANTEES REGARDING THE TRANSFER OF THE RESTORATION AND MAINTENANCE RESPONSIBILITIES TO THE GRANTEES. NO BUILDINGS, SIGNAGE, FENCES, OR STRUCTURES OF ANY KIND SHALL BE PLACED WITHIN THE UTILITY AND COMMUNICATION EASEMENT AREAS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITY AND COMMUNICATIONS GRANTEES.

THE VILLAGE GENERALLY ALLOWS PRIVATE UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRIC AND COMMUNICATIONS FACILITIES, TO BE INSTALLED IN PUBLIC STREET RIGHT-OF-WAYS WITH PRIOR WRITTEN APPROVAL FROM THE VILLAGE, SUBJECT TO THE REQUIREMENTS OF APPLICABLE VILLAGE ORDINANCES AND THE REQUIREMENTS OF SUCH PUBLIC USES AND PURPOSES OF THE VILLAGE. FURTHER, EACH INDIVIDUAL PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY SHALL BE RESPONSIBLE FOR PROMPTLY RESTORING THE PUBLIC STREET AREAS AND PUBLIC HIGHWAY AREAS TO THEIR PRE-EXISTING CONDITION, AT ITS OWN COST, AFTER ANY USE OF SUCH AREAS. IN THE EVENT THE PRIVATE COMPANIES DO NOT RESTORE THE EASEMENT AREAS TO THE PROPER GRADE AND TO A VEGETATIVELY STABILIZED CONDITION, THE DEVELOPER SHALL BE ULTIMATELY RESPONSIBLE FOR THE COSTS OF SUCH RESTORATION AND MAY PURSUE ITS REMEDIES AGAINST THE RESPECTIVE UTILITY COMPANY(S). UNDER NO CIRCUMSTANCES SHALL ANY PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY CONDUCT ANY OPEN CUTTING OF PUBLIC ROADWAYS AFTER THE CONCRETE ROADWAY COURSE IS INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE. ANY SUCH PRIVATE UTILITY OR COMMUNICATIONS FACILITIES SHALL BE PROMPTLY RELOCATED, AT THE COST OF THE INDIVIDUAL UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY, UPON WRITTEN REQUEST OF THE VILLAGE, TO SERVE THE PUBLIC FUNCTIONS AND PURPOSES OF THE VILLAGE IN THE PUBLIC STREET AREA. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE VILLAGE AND THE RIGHTS OF THE PRIVATE UTILITY, ELECTRIC OR COMMUNICATIONS COMPANY IN SUCH PUBLIC STREET AREAS, THE VILLAGE'S RIGHTS SHALL BE DEEMED TO BE SUPERIOR.

2. NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS EITHER A 20' OR PRIVATE STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE STORM WATER MANAGEMENT PURPOSES, DRAINAGEWAYS, AND FOR ALL RELATED CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, LANDSCAPING, MAINTENANCE AND INGRESS AND EGRESS. THESE STORM WATER EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR: (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED AND CONVEYED HEREIN WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; (2) SUCH USE, PLANTING, CARE AND MAINTENANCE RESPONSIBILITIES OF THE EASEMENT AREAS WHICH SHALL BE REQUIRED BY THE DEVELOPER, COLLECTIVELY THE LOT OWNERS AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE; AND (3) SUCH FUTURE DRIVEWAYS OR OTHER USES OF THE EASEMENT AREAS AS MAY BE APPROVED BY THE VILLAGE AND SUBJECT TO ANY CONDITIONS THAT THE VILLAGE MAY IMPOSE. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE DEVELOPER, THE EASEMENT RIGHTS OF THE VILLAGE PURSUANT TO THESE EASEMENTS AND THE RIGHTS OF THE LOT OWNERS OR OTHER ENTITIES WITH RESPECT TO THE 20' PRIVATE STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THESE EASEMENTS. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE CONSTRUCTION AND MAINTENANCE OF ALL PRIVATE STORM WATER DRAINAGE AND DRAINAGE WAY IMPROVEMENTS CONTAINED WITHIN THESE NONEXCLUSIVE EASEMENTS.



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3. NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS A PRIVATE STORM WATER DRAINAGE, RETENTION/DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE STORM WATER MANAGEMENT PURPOSES, STORM WATER RETENTION/RETENTION BASIN PURPOSES, PUBLIC DRAINAGEWAYS, AND FOR ALL RELATED CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, LANDSCAPING, SIGNAGE, MAINTENANCE, ACCESS AND MAINTENANCE, INGRESS AND EGRESS. THESE EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR: (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED AND CONVEYED HEREIN TO OTHERS WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF AND (2) SUCH USE, PLANTING, CARE AND MAINTENANCE RESPONSIBILITIES OF THE EASEMENT AREAS WHICH SHALL BE REQUIRED BY THE DEVELOPER, COLLECTIVELY THE LOT OWNERS FOR THE AREAS AS SHOWN ON THIS CSM AS IT WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE. IN THE EVENT OF ANY CONFLICT BETWEEN THE RIGHTS OF THE DEVELOPER, THE EASEMENT RIGHTS OF THE VILLAGE PURSUANT TO THESE EASEMENTS AND THE RIGHTS OF THE LOT OWNERS OR OTHER ENTITIES WITH RESPECT TO THE 20' PRIVATE STORM WATER, DRAINAGE, RETENTION/DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THE EASEMENTS. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION AND MAINTENANCE OF THE 20' PRIVATE STORM WATER DRAINAGE, RETENTION/DETENTION BASIN, OPEN SPACE AREAS, LANDSCAPE AREAS AND DRAINAGE WAY IMPROVEMENTS CONTAINED IN THESE NONEXCLUSIVE EASEMENTS.

4. NONEXCLUSIVE EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS DEDICATED 25' LANDSCAPING, BERM, SIGNAGE, ACCESS AND MAINTENANCE EASEMENT AREAS ON THIS CSM ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE LOT OWNERS FOR LANDSCAPING, SIGNAGE, LIGHTING, ACCESS AND MAINTENANCE AND FOR ALL RELATED CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT, MAINTENANCE, INGRESS AND EGRESS. THESE EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR: (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED AND CONVEYED HEREIN WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF TO THE UTILITY AND COMMUNICATION GRANTEE; (2) SUCH EASEMENTS AS DEDICATED AND CONVEYED HEREIN WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF TO THE VILLAGE; AND (3) SUCH TEMPORARY USE, PLANTING, CARE AND MAINTENANCE RESPONSIBILITIES OF THE DEVELOPER WHICH SHALL BE REQUIRED UNTIL SUCH RESPONSIBILITY IS TRANSFERRED TO LOT OWNERS AS IT WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE. IN THE EVENT OF ANY CONFLICT BETWEEN THE EASEMENT RIGHTS OF THE DEVELOPER OR THE EASEMENT RIGHTS THAT MAY BE GRANTED TO THE UTILITY AND COMMUNICATION GRANTEE OR THE VILLAGE PURSUANT TO THESE EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THE EASEMENT GRANTED TO IT SHALL BE DEEMED TO BE SUPERIOR. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO ANY EASEMENT AREAS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THE EASEMENTS. THE DEVELOPER SHALL BE RESPONSIBLE THE PLANTING AND WARRANTY PERIOD AND THEN THE LOT OWNERS SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE INSTALLATION AND MAINTENANCE OF THE LANDSCAPING, SIGNAGE, LIGHTING AND OPEN SPACE AREAS WITHIN THE EASEMENTS.

5. EASEMENTS COEXTENSIVE WITH THE AREA SHOWN AS A 30' AND 60' DEDICATED PUBLIC SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ON LOTS 1 AND 2 ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PUBLIC SANITARY SEWER SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES. THIS PUBLIC SANITARY SEWER EASEMENT SHALL BE EXCLUSIVE, EXCEPT FOR: (1) THE DEVELOPER'S TEMPORARY EASEMENT RETAINED FOR THE CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES FOR THE PUBLIC SANITARY SEWER SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS; (2) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; AND (3) SUCH PLANTING, CARE, AND MAINTENANCE OF THE EASEMENT AREAS BY THE LOT OWNERS ON WHICH THE EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE. IN THE EVENT OF ANY CONFLICTS BETWEEN THE RIGHTS OF THE VILLAGE PURSUANT TO THESE PUBLIC SANITARY SEWER MAIN EASEMENT AREA AND THE RIGHTS OF OTHER PERSONS OR ENTITIES WITH RESPECT TO THE PUBLIC SANITARY SEWER EASEMENT AREA, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR.



CERTIFIED SURVEY MAP

7. EASEMENTS COEXTENSIVE WITH THE AREAS SHOWN AS A DEDICATED PRIVATE SANITARY SEWER, PRIVATE WATER, ACCESS AND MAINTENANCE EASEMENT ON THIS CSM ON LOTS 1 AND 2 ARE HEREBY GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE SANITARY SEWER SYSTEM IMPROVEMENTS, PRIVATE WATER SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES FOR THE PRIVATE SANITARY SEWER AND PRIVATE WATER SYSTEM IMPROVEMENTS, USES AND PURPOSES. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT HEREUNDER WITH RESPECT TO ANY EASEMENT AREAS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THE EASEMENTS. IN THE EVENT OF ANY CONFLICTS BETWEEN THE RIGHTS OF THE VILLAGE PURSUANT TO THESE PRIVATE SANITARY SEWER AND PRIVATE WATER MAIN EASEMENT AND THE RIGHTS OF OTHER PERSONS OR ENTITIES WITH RESPECT TO THE SANITARY SEWER AND WATER MAIN EASEMENT AREA, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR.
8. PERPETUAL NONEXCLUSIVE EASEMENTS CO-EXTENSIVE WITH THE AREAS SHOWN AS 15' X 50' DEDICATED VISION TRIANGLE EASEMENTS ON LOT 2 OF THIS CSM ARE HEREBY DEDICATED, GIVEN, GRANTED, AND CONVEYED BY THE OWNER TO THE VILLAGE TO MAINTAIN A CLEAR SIGHT LINE OF VISION AT EACH IDENTIFIED INTERSECTION. THERE SHALL BE NO OBSTRUCTIONS, SUCH AS BUT NOT LIMITED TO STRUCTURES, SIGNAGE, FENCES, RETAINING WALLS, VEHICULAR PARKING, VEGETATION AND SHELTERS WITHIN THE 15'X50' DEDICATED VISION TRIANGLE EASEMENT BETWEEN THE HEIGHTS OF TWO (2) FEET AND 10 FEET UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. THIS RESTRICTION IS FOR THE BENEFIT OF THE TRAVELING PUBLIC AND SHALL BE ENFORCEABLE BY THE VILLAGE AND KENOSHA COUNTY.

RESTRICTIVE COVENANTS

1. FOUNTAIN RIDGE LLC (REFERRED TO AS THE "DEVELOPER") HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 AND 2 SHOWN ON THIS CSM SHALL HAVE THE OBLIGATION OF MAINTAINING THE IMPROVEMENTS IN THE 20' PRIVATE STORM WATER DRAINAGE, MAINTENANCE AND ACCESS EASEMENT AREAS ON THEIR RESPECTIVE LOTS AND THE PRIVATE STORMWATER DRAINAGE, RETENTION/DETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT AREAS LOCATED WITHIN LOTS 1 AND 2 SHOWN ON THIS CSM IN A FUNCTIONAL, NEAT AND NUISANCE FREE CONDITION TO HANDLE STORM WATER IN THE DEVELOPMENT. SUCH MAINTENANCE SHALL INCLUDE, WITHOUT LIMITATION AND AS NEEDED, GRADING, SEEDING OR SODDING, MAINTAINING EROSION CONTROL METHODS TO PROTECT THE DRAINAGEWAYS; DITCHING TO REESTABLISH DESIGN CAPACITY; REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH; CLEARING, REPAIRING AND REPLACING INLETS, OUTLETS AND CATCH BASIN STRUCTURES; MOWING; AND WEEDING TO PREVENT NUISANCE CONDITIONS. CLEAN, TELEWISE, AND REPAIR SEWERS AND SEWER STRUCTURES TO MAINTAIN A CLEAN, SAFE AND FUNCTIONAL SYSTEM. MINIMIZE AND ELIMINATE, TO THE MAXIMUM EXTENT PRACTICABLE, THE INFILTRATION OF STORM OR GROUND WATER INTO THE SEWER SYSTEM. NO DRIVEWAYS, FENCES, SIGNAGE OR STRUCTURES SHALL BE ERECTED WITHIN THE STORM WATER DRAINAGE EASEMENT AREAS WHICH BLOCKS, DIVERTS OR RE-ROUTS THE DRAINAGE FLOW OR WHICH MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS, UNLESS EXPRESS WRITTEN APPROVAL IS GRANTED BY THE VILLAGE AND SUBJECT TO ANY SUCH CONDITIONS AS THE VILLAGE MAY IMPOSE. THE DEVELOPER SHALL BE RELIEVED OF THESE MAINTENANCE OBLIGATIONS PERTAINING TO STORM WATER DRAINAGE MAINTENANCE ACTIVITIES UPON THE DEVELOPED TRANSFER OF SAID LOTS TO THE LOT OWNERS WHO THEN SHALL PERFORM SUCH MAINTENANCE WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH STORM WATER DRAINAGE OR RETENTION/DETENTION BASIN MAINTENANCE ACTIVITIES, THE OWNERS OF THE REFERENCED LOTS SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT PROVISIONS ON THIS CSM WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THESE EASEMENTS.



CERTIFIED SURVEY MAP _____

2. THE DEVELOPER HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 AND 2 SHOWN ON THIS CSM SHALL HAVE THE OBLIGATION OF MAINTAINING THE IMPROVEMENTS IN THE PRIVATE STORM WATER DRAINAGE, RETENTION/DETENTION BASIN, MAINTENANCE AND ACCESS EASEMENT AREAS LOCATED WITHIN LOT 2 SHOWN ON THIS CSM AND LOT 3, CSM #2817 IN A FUNCTIONAL, NEAT AND NUISANCE FREE CONDITION TO HANDLE STORM WATER IN THE DEVELOPMENT. SUCH MAINTENANCE SHALL INCLUDE, WITHOUT LIMITATION AND AS NEEDED, GRADING, SEEDING OR SODDING, MAINTAINING EROSION CONTROL METHODS TO PROTECT THE DRAINAGEWAYS; EXCAVATING OR DITCHING TO REESTABLISH BASIN DESIGN CAPACITY; REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH; CLEARING, REPAIRING AND REPLACING INLETS, OUTLETS AND CATCH BASIN STRUCTURES; MOWING; AND WEEDING TO PREVENT NUISANCE CONDITIONS. CLEAN, TELEWISE, AND REPAIR SEWERS AND SEWER STRUCTURES TO MAINTAIN A CLEAN, SAFE AND FUNCTIONAL SYSTEM. MINIMIZE AND ELIMINATE, TO THE MAXIMUM EXTENT PRACTICABLE, THE INFILTRATION OF STORM OR GROUND WATER INTO THE SEWER SYSTEM. NO DRIVEWAYS, FENCES, SIGNAGE OR STRUCTURES SHALL BE ERRECTED WITHIN THE STORM WATER DRAINAGE OR BASIN EASEMENT AREAS WHICH BLOCKS, DIVERTS OR RE-ROUTS THE DRAINAGE FLOW OR WHICH MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS, UNLESS EXPRESS WRITTEN APPROVAL IS GRANTED BY THE VILLAGE AND SUBJECT TO ANY SUCH CONDITIONS AS THE VILLAGE MAY IMPOSE. THE DEVELOPER SHALL BE RELIEVED OF THESE MAINTENANCE OBLIGATIONS PERTAINING TO STORM WATER DRAINAGE MAINTENANCE ACTIVITIES UPON THE TRANSFER OF SAID LOTS TO THE LOT OWNERS WHO THEN SHALL PERFORM SUCH MAINTENANCE WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE DEVELOPER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH STORM WATER DRAINAGE MAINTENANCE ACTIVITIES, THE OWNERS OF THE REFERENCED LOTS SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT PROVISIONS ON THIS CSM WITH RESPECT TO THE EASEMENTS, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANYTHING PURSUANT TO ITS RIGHTS UNDER THESE EASEMENTS.

3. THE DEVELOPER COVENANTS THAT THE 30' AND 60' DEDICATED PUBLIC SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENTS SHOWN ON LOTS 1 AND 2 ON THIS CSM HEREBY PLACES RESTRICTIONS ON LOTS 1 AND 2 BECAUSE OF THE LOCATION OF THE PUBLIC SANITARY SEWER MAIN EASEMENTS WHICH WERE GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PUBLIC SANITARY SEWER PURPOSES AND SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED AND INCIDENTAL INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENTS, PLANTINGS AND MAINTENANCE ACTIVITIES TO SERVE THE DEVELOPMENT.

THE DEVELOPER FURTHER COVENANTS THAT THERE SHALL BE NO BUILDINGS, SIGNAGE, FENCES, PARKING AREAS, DRIVEWAYS OR STRUCTURES OF ANY KIND PLACED WITHIN THE EASEMENT AREAS UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. FURTHERMORE, IF THE VILLAGE ALLOWS FOR THE PLACEMENT OF FENCING, SIGNAGE, PARKING AREAS, DRIVEWAYS OR LANDSCAPING WITHIN THE PUBLIC SEWER EASEMENT AREAS GRANTED TO THE VILLAGE AND IN THE EVENT THAT THE VILLAGE EXERCISES IT'S RIGHTS TO MAINTAIN, REPAIR OR REPLACE SAID PUBLIC SANITARY SEWER MAIN AND RELATED APPURTENANCES, THE OWNERS OF THE AFFECTED LOTS, NOT THE VILLAGE, SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE REMOVAL AND OR REPLACEMENT OF SAID FENCING, PARKING AREAS, DRIVEWAYS OR LANDSCAPING. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF THESE LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

4. THE DEVELOPER COVENANTS THAT THE OWNERS OF LOT 2 SHOWN ON THIS CSM SHALL HAVE THE OBLIGATION OF MAINTAINING THE IMPROVEMENTS IN THE 20' PRIVATE WATER, ACCESS AND MAINTENANCE EASEMENT AREAS SHOWN ON LOT 2 ON THIS CSM HEREBY PLACES RESTRICTIONS LOT 2 BECAUSE OF THE LOCATION OF THE PRIVATE WATER MAIN EASEMENTS WHICH WERE GIVEN, GRANTED AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PRIVATE WATER MAIN PURPOSES AND SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED AND INCIDENTAL INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENTS, PLANTINGS AND MAINTENANCE ACTIVITIES TO SERVE THE DEVELOPMENT. OPERATE, MAINTAIN AND REPAIR WATER VALVES AND HYDRANTS AND THE REPAINTING OF HYDRANTS TO MAINTAIN A FUNCTIONAL SYSTEM. REPAIR OF BREAKS OR LEAKS IN THE WATERMAINS, SERVICES OR LEADS.

THE DEVELOPER FURTHER COVENANTS THAT THERE SHALL BE NO BUILDINGS, SIGNAGE, FENCES, PARKING AREAS, DRIVEWAYS OR STRUCTURES OF ANY KIND PLACED WITHIN THE EASEMENT AREAS UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. FURTHERMORE, IF THE VILLAGE ALLOWS FOR THE PLACEMENT OF FENCING, SIGNAGE, PARKING AREAS, DRIVEWAYS OR LANDSCAPING WITHIN THE PRIVATE WATER EASEMENT AREAS GRANTED TO THE VILLAGE AND IN THE EVENT THAT THE VILLAGE EXERCISES ITS RIGHTS TO MAINTAIN, REPAIR OR REPLACE SAID PRIVATE WATER MAIN AND RELATED APPURTENANCES, THE OWNER(S) OF THE AFFECTED LOTS, NOT THE VILLAGE, SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THE REMOVAL AND OR REPLACEMENT OF SAID FENCING, PARKING AREAS, DRIVEWAYS OR LANDSCAPING. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF THIS LOT, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH PRIVATE UTILITY MAINTENANCE ACTIVITIES, THE OWNER OF THE LOT 2, SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT LANGUAGE ON THIS CSM, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANY MAINTENANCE ACTIVITIES.



CERTIFIED SURVEY MAP _____

5. THE DEVELOPER HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 THROUGH 2 SHALL HAVE THE OBLIGATION OF MAINTAINING AND REPLACING THE PUBLIC STREET TREES LOCATED WITHIN 83RD STREET, 84TH PLACE, 90TH AVENUE AND BAIN STATION ROAD AND THE LANDSCAPE PLANTINGS AND GRASSY TERRACE AREAS WITHIN LOTS 1 AND 2 AS SHOWN ON THIS CSM. SUCH PUBLIC STREET TREE AND PLANTINGS MAINTENANCE SHALL INCLUDE WITHOUT LIMITATION AND AS NEEDED STAKING, MULCHING, WEEDING, PRUNING, WATERING, REPLANTING, AND REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH AROUND THE TREES IN ORDER TO PREVENT A NUISANCE CONDITION. NO DRIVEWAYS, SIGNAGE, MAIL BOXES, PARKING AREAS, STRUCTURES OR FENCES SHALL BE ERECTED WITHIN THE RIGHTS-OF-WAY PRIVATE BOULEVARDS, WHICH MIGHT DAMAGE THE STREET TREES OR THE PRIVATE BOULEVARD PLANTINGS OR MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS TO MAINTAIN THE PUBLIC STREET IMPROVEMENTS, UNLESS APPROVED BY THE VILLAGE. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE. THE LOT OWNERS SHALL CONTINUE TO PERFORM SUCH STREET, TREE AND LANDSCAPING MAINTENANCE AND STREET TREES AND PLANTING REPLACEMENT AS MAY BE NEEDED WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH PUBLIC STREET TREE OR LANDSCAPING RELATED MAINTENANCE ACTIVITIES, THE OWNERS OF THE LOTS 1, 2 AND 3, SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT LANGUAGE ON THIS CSM, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANY MAINTENANCE ACTIVITIES.

6. THE DEVELOPER HEREBY COVENANTS THAT THE OWNERS OF LOTS 1 AND 2 SHALL HAVE THE OBLIGATION OF MAINTAINING AND REPLACING THE BERMS, TREES, PLANTINGS AND IRRIGATION SYSTEMS LOCATED WITHIN THE DEDICATED 35' LANDSCAPING, BERM, SIGNAGE, ACCESS AND MAINTENANCE EASEMENT AREAS SHOWN ALONG BAIN STATION ROAD AS SHOWN ON THIS CSM. SUCH MAINTENANCE SHALL INCLUDE WITHOUT LIMITATION AND AS NEEDED STAKING, MULCHING, WEEDING, PRUNING, WATERING, REPLANTING, AND REMOVING OF TRASH, DEBRIS, LEAVES AND BRUSH AROUND THE TREES IN ORDER TO PREVENT A NUISANCE CONDITION AND REPAIRING OR REPLACING THE UNDERGROUND IRRIGATION SYSTEMS. NO DRIVEWAYS, SIGNAGE, MAIL BOXES, PARKING AREAS, STRUCTURES OR FENCES SHALL BE ERECTED WITHIN THE EASEMENT AREAS, WHICH MIGHT DAMAGE THE TREES OR PLANTINGS OR MIGHT INTERFERE WITH THE VILLAGE'S RIGHTS TO MAINTAIN THE PUBLIC STREET IMPROVEMENTS. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE OWNERS, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOTS, IN THEIR CAPACITY AS OWNERS OF ANY SUCH LOTS, AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE. THE DEVELOPER SHALL PERFORM SUCH LANDSCAPE MAINTENANCE, MOWING AND TREES AND PLANTING REPLACEMENTS AS MAY BE NEEDED WITHOUT COMPENSATION TO THE SATISFACTION OF THE VILLAGE.

TO THE EXTENT THAT THE VILLAGE PERFORMS ANY SUCH LANDSCAPING, RELATED MAINTENANCE ACTIVITIES, THE LOT OWNERS, SHALL BE LIABLE FOR ANY COSTS WHICH MAY BE INCURRED BY THE VILLAGE, WHICH THE VILLAGE MAY RECOVER FROM SUCH OWNERS AS SPECIAL ASSESSMENTS OR SPECIAL CHARGES UNDER SECTION 66.0627 (OR SUCCESSORS OR SIMILAR PROVISIONS) OF THE WISCONSIN STATUTES OR OTHERWISE ACCORDING TO LAW. UNLESS THE VILLAGE EXERCISES THE RIGHTS GRANTED TO IT IN THE DEDICATION AND EASEMENT PROVISIONS LANGUAGE ON THIS CSM, THE VILLAGE SHALL HAVE NO OBLIGATION TO DO ANY MAINTENANCE ACTIVITIES.

7. THE DEVELOPER HEREBY COVENANTS THAT LOT 2 SHALL HAVE THE OBLIGATION OF PROTECTING AND PRESERVING THE 15'x50' DEDICATED VISION TRIANGLE EASEMENT AREAS ON LOT 2 OF THIS CSM TO MAINTAIN A CLEAR SIGHT LINE OF VISION AT EACH IDENTIFIED INTERSECTION. THERE SHALL BE NO OBSTRUCTIONS, SUCH AS BUT NOT LIMITED TO STRUCTURES, SIGNAGE, FENCES, RETAINING WALLS, VEHICULAR PARKING, VEGETATION AND SHELTERS WITHIN THE 15'x50' DEDICATED VISION TRIANGLE EASEMENT BETWEEN THE HEIGHTS OF TWO (2) FEET AND 10 FEET UNLESS EXPRESSLY APPROVED IN WRITING BY THE VILLAGE. THIS RESTRICTION IS FOR THE BENEFIT OF THE TRAVELING PUBLIC AND SHALL BE ENFORCEABLE BY THE VILLAGE.



CERTIFIED SURVEY MAP _____

SURVEYOR'S CERTIFICATE:

I, TROY E. HEWITT, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT BY THE ORDER AND UNDER THE DIRECTION OF FOUNTAIN RIDGE, LLC, I HAVE SURVEYED, MAPPED AND DIVIDED PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E AND ALL OF LOTS 1 AND 3 OF CERTIFIED SURVEY MAP NUMBER 2817, DOCUMENT NUMBER 1780815, BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T1N-R22E AND PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, T1N-R22E, VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 8; THENCE N03°17'20"W, 885.72 FEET ON THE EAST LINE OF SAID SOUTHEAST 1/4; THENCE S89°53'45"W, 986.42 FEET ON THE NORTHERLY LINE OF CERTIFIED SURVEY MAP NUMBER 2817 (CSM #2817) EXTENDED EASTERLY TO THE NORTHEAST CORNER OF SAID LOT 1, THE POINT OF BEGINNING; THENCE S00°06'26"E, 415.10 FEET ON THE EAST LINE OF SAID LOT 1; THENCE S03°22'44"E, 107.21 FEET ON SAID EAST LINE TO THE NORTHWEST CORNER OF SAID LOT 3; THENCE N87°25'10"E, 172.23 FEET ON THE NORTH LINE OF SAID LOT 3; THENCE S67°28'30"E, 159.28 FEET ON SAID NORTH LINE TO THE WESTERLY RIGHT OF WAY OF 90TH AVENUE; THENCE 65.91 FEET ON THE ARC OF A 156.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD WHICH BEARS S10°57'04"W, 65.42 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE S01°09'12"E, 181.73 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE 44.49 FEET ON THE ARC OF A 267.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD WHICH BEARS S05°55'37"E, 44.44 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE S10°42'02"E, 104.62 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE 41.34 FEET ON THE ARC OF A 233.00 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD WHICH BEARS S05°37'03"E, 41.29 FEET ON SAID WESTERLY RIGHT OF WAY; THENCE S00°32'04"E, 220.79 FEET ON SAID WESTERLY RIGHT OF WAY TO THE NORTHERLY RIGHT OF WAY OF BAIN STATION ROAD; THENCE 654.11 FEET ON THE ARC OF A 11,483.94 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD WHICH BEARS N88°52'57"W, 654.02 FEET ON SAID NORTHERLY RIGHT OF WAY TO THE EAST LINE OF LOT 46, ASHBURY CREEK SUBDIVISION; THENCE N02°36'11"W, 1149.28 FEET ON THE EAST LINE OF SAID ASHBURY CREEK SUBDIVISION; THENCE N43°39'58"E, 81.28 FEET ON SAID EAST LINE EXTENDED NORTHEASTERLY TO A NORTHWEST CORNER OF SAID LOT 1; THENCE N89°53'45"E, 302.43 FEET ON THE NORTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 631,433 SQUARE FEET (14.496 ACRES) OF LAND MORE OR LESS.

THAT THE WITHIN MAP IS A TRUE AND CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND CHAPTER 395 OF THE VILLAGE OF PLEASANT PRAIRIE LAND DIVISION AND DEVELOPMENT CONTROL ORDINANCE IN THE SURVEYING, MAPPING AND DIVIDING OF THE SAME.

DATED THIS _____ DAY OF _____, 2018.

TROY E. HEWITT PLS #2831
ROBERT E. LEE & ASSOCIATES, INC.

CURVE TABLE							
CURVE #	DELTA	RADIUS	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT BEARING	SECOND TANGENT BEARING
C1	24°12'32"	156.00'	65.91'	S10°57'04"W	65.42'	S23°03'20"W	S01°09'12"E
C2	9°32'50"	267.00'	44.49'	S05°55'37"E	44.44'	S01°09'12"E	S10°42'02"E
C3	10°09'58"	233.00'	41.34'	S05°37'03"E	41.29'	N00°32'04"W	N10°42'02"W
C4	1°25'57"	11483.94'	287.12'	N89°47'53"W	287.12'	S89°04'54"E	N89°29'08"E
C5	1°49'51"	11483.94'	366.99'	N88°09'59"W	366.97'	S87°15'03"E	S89°04'54"E
C6	3°15'48"	11483.94'	654.11'	N82°52'57"W	654.02'	S87°15'03"E	N89°29'08"E

CERTIFIED SURVEY MAP

OWNER'S CERTIFICATE:

AS OWNER'S, WE HEREBY CERTIFY THAT WE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, MAPPED, DIVIDED AND DEDICATED AS REPRESENTED ON THE CERTIFIED SURVEY MAP. WE ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S-236.10 OR S-236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: VILLAGE OF PLEASANT PRAIRIE

FOUNTAIN RIDGE LLC	DATE
JEFFREY T. MARLOW, MANAGING MEMBER	

STATE OF WISCONSIN)
COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2018, THE ABOVE NAMED TO ME KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN

(PRINT NAME) _____

MY COMMISSION EXPIRES:



CERTIFIED SURVEY MAP _____

VILLAGE PLAN COMMISSION APPROVAL

THIS CERTIFIED SURVEY MAP IS HEREBY APPROVED BY THE PLAN COMMISSION OF THE VILLAGE OF PLEASANT PRAIRIE ON THIS _____ DAY OF _____, 2018.

THOMAS W. TERWALL
VILLAGE PLAN COMMISSION CHAIRMAN

VILLAGE BOARD APPROVAL

RESOLVED THAT THIS CERTIFIED SURVEY MAP, HAVING BEEN APPROVED BY THE PLAN COMMISSION BEING THE SAME, IS HEREBY APPROVED BY THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE ON THIS _____ DAY OF _____, 2018.

MICHAEL J. SERPE
VILLAGE PRESIDENT PRO TEM

ATTEST:

JANE M. ROMANOWSKI
VILLAGE CLERK



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