

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39<sup>th</sup> AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
DECEMBER 9, 2019  
AGENDA**

1. Call to Order.
2. Roll Call.
3. Correspondence.
4. Citizen Comments.
5. New Business:
  - A. Consider the request of Jeff Smith, agent for Verde 88<sup>th</sup> Avenue, LLC owners of the property located at 11589 88<sup>th</sup> Avenue in the LakeView Corporate Park for approval of **Final Site and Operational Plans** for an 86,808 square foot warehouse distribution addition for Volkswagen Group of America, LLC.
  - B. Consider the request of Mark Eberle, P.E. with Nielsen, Madsen, and Barber S.C. for **Site and Operational Plans** approval for a parking lot expansion for Good Foods Group, LLC located south of their facility at 10100 88<sup>th</sup> Avenue in LakeView Corporate Park.
  - C. Consider the request of Matthew Larson, owner of the property located at 10636 39<sup>th</sup> Avenue for approval of a **Certified Survey Map** to subdivide the property into two parcels.
  - D. Consider the request of Julie Ogren, agent for Larry Day, owner of the property located at 4016 93<sup>rd</sup> Street for approval of a **Certified Survey Map** to subdivide the property into two parcels.
6. Adjourn.

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above. **The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400.**

- A. Consider the request of Jeff Smith, agent for Verde 88<sup>th</sup> Avenue, LLC owners of the property located at 11589 88<sup>th</sup> Avenue in the LakeView Corporate Park for approval of **Final Site and Operational Plans** for an 86,808 square foot warehouse distribution addition for Volkswagen Group of America, LLC.

**Recommendation:** Village staff recommends that the Plan Commission approve the **Final Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of December 9, 2019.

## VILLAGE STAFF REPORT OF DECEMBER 9, 2019

Consider the request of Jeff Smith, agent for Verde 88<sup>th</sup> Avenue, LLC owners of the property located at 11589 88<sup>th</sup> Avenue in the LakeView Corporate Park for approval of **Final Site and Operational Plans** for an 86,808 square foot warehouse distribution addition for Volkswagen Group of America, LLC.

*Volkswagen has occupied the existing 250,366 square foot building located at 11589 88<sup>th</sup> Avenue since 2003 for warehouse and parts distribution facility. At this time they are requesting approval of Final Site and Operational Plans for an 86,808 square foot warehouse distribution addition of auto parts for Volkswagen Group of America, LLC.*

On August 12, 2019, the Plan Commission conditionally approved Preliminary Site and Operational Plans to begin site grading and to install underground utilities and footing and foundation for an 86,808 square foot expansion for additional for warehouse distribution space.

There are 40 full-time employees working 1 shift at the facility (no new employees are anticipated with the expansion). Upon completion of the addition there will be 133 parking spaces, including 7 handicapped accessible parking spaces with 9 new truck dock doors for a total of 37 truck dock doors. It is estimated that there will be an average of 40 daily automobile trips and an average of 20 day truck trips to and from the site.

To date no work has commenced but is intended to commence in spring of 2020 and is anticipated to be completed in the fall of 2020.

### **Village staff recommends conditional approval of the Final Site and Operational Plans subject to the above comments and the following conditions:**

1. **Prior to the issuance of the required permits the following shall be submitted (1 paper copy and a pdf copy):**
  - a. A copy of the LakeView Commercial Association approval letter for the entire project.
  - b. Written approval from any easement holder(s) for proposed grading, utility, and/or other work within easement limits.
  - c. A copy of the required Compliance Letter from the owner stating that the project will comply with all requirements addressed within the Fire & Rescue Department's Memorandum.
  - d. A copy of the Wisconsin Department of Natural Resources N.O.I. Permit. (submitted)
  - e. Village Erosion Control Permit Application and approved plans including site logistics plan (submitted).
  - f. The Commercial Building and Zoning Permit application with State approved plans. See **attached** comments from the Village Building Inspection Department dated November 12, 2019.
  - g. Permit application for the required temporary construction fence.
  - h. If a temporary development sign listing the project and contractors is proposed, then a Sign Permit Application and related materials shall be submitted.

2. **Upon satisfaction of the above conditions and prior to work commencing on the site a preconstruction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications noted above are submitted). The purpose of the preconstruction meeting is to discuss the construction, site logistics, schedule, inspection process and requirements in detail with the owner, engineer, general contractor, grading contractor, underground utility contractor, and the staff inspectors. The Design Engineer of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting. **The Developer's Design Engineer of Record is responsible for the following for the Pre-Con Meeting:****

  - a. Attendance at Preconstruction meeting - Developer/Design Engineer shall invite and attendance is required for the following people at the pre-con meeting – Owner, Design Engineer of Record, Project Superintendent for this project, Site Excavator, Utility Contractor and other trades as applicable.
  - b. Pre-construction agenda - A sample agenda will be provided by the Village staff to the Design Engineer. The Design Engineer shall tailor the agenda to the project and provide copies for all attendees. (Pre-con minutes shall be emailed by Design Engineer back to all attendees within 7 days of meeting).
  - c. Project construction schedule – 11" by 17" must be of readable size. Provide copy for all attendees.
  - d. Site logistics plan – identify the trailer location, site contractor directional signage, on-site contractor parking, gravel access road, travel route to the site, construction site fencing location proposed hours of operation. Provide copy for all attendees.
  - e. Final set of approved plans – bring 1 full size set and 3 reduced size sets (half size) for discussion purposes.
  - f. Attendee sign in sheet – circulate at meeting.
  - g. List of emergency contact information and business cards – Owner, Design Engineer of Record, Project Superintendent for this project, Site Excavator, Underground Utilities Contractor, and General Contractor. Provide copy for all attendees.

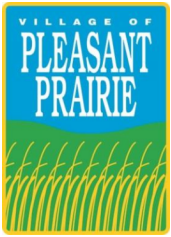
3. **Following the pre-construction meeting all necessary permits and fees shall be paid and permits obtained from Village Building Inspection Department and construction may commence.**
4. **Other Comments:**
  - a. Compliance with the **attached** comments dated July 22, 2019 from the Village Fire and Rescue Department. Note the required fire compliance letter as required has been submitted.
  - b. Impact fees shall be paid prior to issuance of the building permit pursuant to Chapter 181 of the Village Code (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
  - c. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be allowed from Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.



- d. There shall be no construction vehicle parking or equipment storage permitted on 88<sup>th</sup> Avenue or 122<sup>nd</sup> Street. On-site (off-street) parking areas shall be designated to accommodate all construction related workers and site visitors.
- e. Prior to work commencing on the site, all required permits shall be issued by the Village and all required erosion control measures shall be in place and inspected and maintained.
- f. **After the installation of the footings and foundations and prior to constructing the building framing/setting pre-cast panels, an as-built survey as stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that the buildings meets all of the required setbacks (pdf copy).**
- g. Prior to verbal occupancy, all public improvements shall be completed, inspected, and Village approved related to the Phase 1 Public Improvements within Stateline 92 Corporate Park in accordance with the Memorandum of Development on file with the Village.
- h. Prior to verbal occupancy, all required landscaping, fencing and screening for the development shall be installed. A written letter of verification and certification shall be provided to the Village by the landscape installer that all landscaping has been installed in accordance with the approved landscape plan. However, if cold weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village a cash deposit, a letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
- i. Prior to verbal occupancy all entrances and exits shall be numbered on the exterior and interior beginning at the main entrance and moving clockwise around the building. Numbers should be of a reflective material and must be visible from the farthest point of the adjacent parking lot. The numbers shall be placed in the same location of each door.
- j. Prior to verbal occupancy, each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements prior to occupancy of any development site.
- k. Prior to verbal occupancy, one (1) electronic copy of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- l. Prior to verbal occupancy, one (1) electronic copy of the as-built record drawings of all graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village in order for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format

requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.

- m. All exterior lights shall not be turned up/facing or glare onto adjacent roadways or properties to cause a nuisance.
- n. All exterior lights shall be installed with the same color and temperature.
- o. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
- p. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- q. Outdoor storage of raw materials, finished goods or racking (pallet storage) is prohibited. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited.
- r. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles.
- s. No trucks, trailers or cars shall be parked on the premises in a manner that would constitute commercial advertising for the tenant or any other business on the property.
- t. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
- u. No truck or automobile parking is permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
- v. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- w. All Village fees incurred by the Village Community Development, Public Works and Engineering Departments and/or expert assistance required by the Village throughout the development process (until written occupancy on every building) will be billed directly to the Developer. Such fees shall be paid in a timely manner.



## Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director  
From: Sandro Perez, Building Inspection Superintendent  
Subject: VW Addition  
Date: November 12, 2019

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1. Building Inspection Department information:  
Hours: Mon-Fri, 7:30am-4:30pm.  
Phone# 262-694-9304  
Email: [buildinginspection@plprairiewi.com](mailto:buildinginspection@plprairiewi.com)
2. Permit applications can be found online at [pleasantprairiewi.gov](http://pleasantprairiewi.gov)
3. Inspections are performed Mon- Fri 8:00am-3:00pm except electrical inspections; those are only Tuesdays & Thursdays only, 48hr notice is required to schedule an inspection. Final occupancy inspections require coordination with multiple departments and staff members therefore a minimum of 72 hour notice is required, all MEP final inspections must be completed prior to scheduling the VTO inspection. Any re-inspection fees due must be paid prior to scheduling a re-inspection. Note: you must call and speak with a Building Inspection Department representative if no one answers leave voicemail with permit number type of inspection and desired date we will return your call and confirm the appointment.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We are currently inspecting to the 2015 IBC, IEBC, IMC, IECC, IFGC, 2009 ANSI A117.1, 2017 NEC (including state addendums) and WI. Plumbing code SPS 381-386.
6. Submit all applicable plans (Building, HVAC, Fire Suppression, Fire Detection, Conveyance, Plumbing, etc.) to the state for plan review (DSPS). Be aware state plan reviews currently have long lead times, plan accordingly.
7. Building Inspection Department will not issue permits until we receive the applicable state approval letter and plans.
8. All state approved drawing must be available at job site for inspector review during inspections.
9. Submit emergency egress lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department with building plans at time of permit submittal.

10. Fire alarm systems require plan review and permit from Fire Department and Low Voltage wiring permit from Building Inspection Department.
11. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.
12. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior water plumbing permit.
13. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
14. All required equipment per 2017 NEC must be “LISTED” by a nationally recognized testing laboratory.
15. All required equipment per 2017 NEC shall have an SCCR rating and available fault current calculation documentation provided to confirm compliance.
16. Village of Pleasant Prairie recommends all exterior lighting to be LED, 5000K and “Dark Sky” compliant. No spillover of lighting beyond lot lines is allowed.
17. Provide adequate accessible parking per Ch.11 of the 2015 IBC and closest to accessible entrance.
18. Contact me with any questions on plan submittal, permitting or inspection process.



## VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director  
FROM: Craig Roepke, Chief Fire & Rescue  
CC: Peggy Herrick, Assistant Planner, Community Development  
Aaron Kramer, Deputy Planner, Community Development  
SUBJECT: Fire Department review of VW building addition  
Permit/Trakit#: DEV1907-002  
DATE: July 22, 2019

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These are comments for the VW building addition information received. The Fire & Rescue Department have the following comments regarding the above project.

1. The existing fire loop piping shall be removed so that it does not remain any under new structures to be built.
2. The fire loop road access is agreed to be 25' in width.
3. The overall fire alarm nomenclature shall be reviewed and modified as needed to ensure consistency and continuity so that the overall building alarm design is shown as one entity. (Example devices shown as main .v addition). The AHJ shall review prior to occupancy.
4. Any additional fire protection systems including sprinklers, risers and/or detections systems shall follow the existing building identification labelling.
5. Existing hydrants to be retrofitted with new Storz pumper nozzle connection. Any new hydrants to follow existing spec. with Storz connection.
6. Review and retrofit all on-site hydrants to the new hydrant color scheme. See Item #27.
7. Review door numbering and correct as needed. Number doors if not existing. See item #16.
8. See comments below regarding new requirements for Sprinkler & Alarm print copies within the pump room.
9. Existing Knox Boxes may be re-used. Additional K-Boxes may be required once the fire riser locations are established.
10. AED. If not existing, acquire and make accessible an AED in the most appropriate location.
11. Standpipes/hose valves required on the doors in the affected addition.
12. Adjust all existing Knox Boxes to the new height standard.

**Distribution of Comments:** the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

**AHJ:** The Authority Having Jurisdiction is the Village of Pleasant Prairie Fire & Rescue Department.

**Planned Unit Development:** Should this project fall under a zoning PUD agreement or other negotiated provisions

by the Village of Pleasant Prairie, these comments and requirements may supersede and be more stringent than other State or building related rules or code sets.

**Verbal Discussion:** Any verbal discussions regarding variations to the comments within this document shall be confirmed in writing by both the AHJ and the responsible agent. Failure to secure written confirmation shall invalidate any verbal variance or discussion.

**Conflicts:** In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

**Fire Safety System Plans:** such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

**FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.  
DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY  
BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.**

**Pre-Construction Meeting:** A pre-construction meeting may take place with the general contractor, the fire protection contractor, the Fire and Rescue Department, Village staff, and any other sub-contractor prior to the start of any project construction.

1. **Contact Information:** For questions on the information and comments included within this document please use the following information:

Pleasant Prairie Fire & Rescue Department  
8044-88<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158  
262.694.8027  
[firerescue@pleasantprairiewi.gov](mailto:firerescue@pleasantprairiewi.gov)  
Attn: Laurie Waldenstrom

Website: [https://pleasantprairiewi.gov/departments/fire\\_rescue](https://pleasantprairiewi.gov/departments/fire_rescue)

2. **Site Access:**

- a. Access shall be provided around the perimeter of the site for Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2015 edition.
- b. All entrances from public streets, as well as road and driveways around the proposed building shall be a minimum of 30 feet wide.
- c. All roadways and fire lanes shall be unobstructed and not used any part as a parking area for automobiles, semi-trucks or trailers. Fire lanes shall comprise of a hard and maintainable surface throughout all seasons.
- d. All exterior exit pathways as well as access to the Fire Pump or riser room shall have a hard surface, leading to a hard surface. This includes all exit doors from the facility. These pathways shall be maintained and accessible at all times.
- e. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.

3. **Gates / Barriers:**

- a. Any gates or barriers that are employed or installed on a private roadway or access shall have a minimum width clearance of sixteen (16) feet. Builder/developer to identify any other gate widths and obtain written AHJ variance approval.
- b. Gates or barriers that are locked must have the ability for the AHJ to remove, unlock or disable either manually or automatically the securing mechanism to open or raise the gate or barrier. Builder/developer to identify methodology of such mechanisms.

- c. Any barrier or gate that raises vertically at a pivot point to allow for passage must provide for at least 90 degrees of clearance from the ground to the bottom of the gate or barrier.
  - d. Gates or barriers that raise vertically shall have a minimum vertical clearance of 13'6".
  - e. There shall be a manufacture endorsed mechanism or process to secure the gate or barrier in the open position without utilizing personnel or ad-hoc methods to maintain an open condition.
  - f. There shall be Knox padlocks, Knox key switches, or other AHJ approved devices on all gates on site. The Fire & Rescue Department will review the proper placement and operation of the Knox system locks & Boxes.
  - g. The gate or barrier access on premise shall be readily identifiable and in contrast to fencing by the AHJ.
4. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document. This document shall be received prior to holding any pre-construction meeting.
  5. **Required Licenses:** A Wisconsin licensed fire protection contractor and/or sprinkler fitter must install any and all dedicated fire protection underground fire mains and aboveground fire protection as defined in WI SPS 305 subchapter V
  6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
  7. **Review and Comments:** the Fire Department will review and comment on the following areas outlined below.
    - A. Site and Operational Permits
      1. Site accessibility (Plans provided do not specific clearances or distances)
      2. Fire Pump Location
      3. Pumper Pad
      4. Fire hydrant spacing
    - B. Conditional Use and Operational
      1. Standpipe outlet locations
      2. Fire alarm pull stations
      3. Emergency and Exit Lighting
      4. Fire extinguishers
  8. **Plan Review, Permits and Fees**
    - a. The plans for the fire protection underground, aboveground and fire alarm system shall be submitted to the AHJ for review;
    - b. It is common and typically recommended that the protection underground and aboveground (Sprinklers) are split into separate reviews in the interest of time and construction.
    - c. The Village will use an independent fire safety consultant for review of all fire protection plans submitted.
      - i. Standard review periods are 21 business days
      - ii. Expedited reviews at 10 business days are available for an extra cost.
      - iii. Plan review times begin the day after the plans are received by the contract reviewer.
    - d. Contacting the third-party reviewer directly for submission is not allowed. Subsequent design questions and clarification dialogue is permissible.
    - e. An approved & stamped AHJ review must be completed before any permits will be issued and before construction may begin.
    - f. A submittal is not considered permitted or an approved plan.

- g. Acquiring WI State approved plans is not an alternative to bypass the AHJ permitting process.
- h. A Building Department Low voltage permit must also be secured by the fire alarm installer.
- i. Applications & assistance can be found at <https://www.pleasantprairiewi.gov>

9. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Fire Protection Plans for Underground and Aboveground
- b. Fire Alarm System Plans
- c. Kitchen Hood Systems Plans

*NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.*

10. **Occupancy:**

- a. All fire and life safety requirements must be in place and operational prior to any building being occupied.
- b. No occupancy inspections shall be scheduled until all life-safety systems are complete.
- c. Key life safety systems include: Fire sprinkler system, Fire alarm system, Fire extinguishers, Emergency Lighting, and any additional requirements determined by both the Fire Department and/or the Village Building inspection department.
- d. AEDs as required are in place.
- e. Building access keys and related interior access methods must be in place.

11. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.

12. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.

13. **AED:** The owner may be required to acquire and install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest. It is suggested that during the construction phase that a location(s) be identified so that options for recessed cabinets may be determined.

14. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.

15. **Elevators:**

- a. If applicable, must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
- b. Review the proper sizing requirements with the fire department early in the planning process.
- c. Elevator emergency phone notification shall dial the Pleasant Prairie Dispatch emergency number or 262.694.1402
- d. Provide copy of State inspection approval to use documents to AHJ.
- e. In addition to the required "Drop-key" in the elevator key box, provide two additional "drop-keys" appropriate for the elevator manufacturer type to be delivered to the AHJ as part of the access key requirement.
- f. Ensure that additional elevator "Barrel" keys are available for Knox Box placement for use in accessing the required elevator wall mounted key box as reference in WI SPS 318.1708(10)(b)

16. **Door Numbering:** Each exterior door shall be sequentially numbered.



- a. Shall consist of a 4" reflective number in a color that is contrasting to the door color.
  - b. Numbering shall be in an increasing sequence and located in the upper right-hand portion of the door.
  - c. The starting numbering point shall be determined in the field and approved by the AHJ.
  - d. Door numbering shall also be identified in some manner on the interior.
17. **Door numbering – Internal:** in multi-unit dwelling buildings a numbering scheme shall be devised so that locations of a room are intuitively expected. Each room shall have a unique number assignment.
18. **On Premise Secure Key System:** Knox Company Rapid Entry System, "Knox Boxes" shall be provided for the building. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box. This includes key cards, FOBs or other electronic access devices used to access both interior and exterior doors.
19. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
20. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An emergency generator and transfer switch designed for such uses eliminates the need for EM lighting battery backup. These circuits shall be clearly labeled as applicable.
21. **Sprinkler System:**
- a. The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current printed edition of *NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers*. Confirm NFPA edition with the Fire Department prior to system design.
  - b. Fire Risers shall be durably labeled with the system or riser identification.
  - c. Outside/exterior Riser Control Valves: Where installed, outside control valves shall be durably labeled with the associated system or riser that it controls. Any outside valves such as PIVs or OS&Y valves shall be locked with chain and/or commercially breakable locks.
  - d. Hydrant flow test values for sprinkler design purposes shall be no older than one year from the above ground fire submittal date.
  - e. If exterior building riser valves are in place in raised loading dock areas, they shall be accessible by dock platform stairs so that valves can be accessed and operated in a safe manner.
  - f. An "as-is" drawing of the fire sprinkler system shall be provided and posted in the riser or pump room of the building. The size of the drawing shall be at least 22"x34" (ANSI D) in size and no larger than 34"x44" (ANSI E). In multi-floor projects, each floor shall be a separate page. The maps shall either be mounted on a wall within the pump/riser room or reliably hung and removable from the wall. Maps shall be laminated. An electronic copy shall also be provided to the AHJ in PDF format.

22. **The following information as applicable, must be submitted with the sprinkler plans for review:**

|                 |                          |                  |                 |
|-----------------|--------------------------|------------------|-----------------|
| Building height | Number of stories/floors | Mezzanines       | Elevators       |
| Hazard class    | Commodity Class          | Exterior storage | Fire protection |

23. **Fire Hydrants:** Fire hydrants shall meet the current Village of Pleasant Prairie hydrant specification. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance §180-16. The distance from the finished grade line to the lowest discharge shall be no less than 18

inches and no more than 23 inches.

24. **Fire Protection Loop:** As applicable for building type or unless otherwise approved in writing by the AHJ, a fire protection (hydrant) loop shall be required as part of the overall fire protection systems as outlined in §180-16(K)(5).
25. **Fire Hydrant Acceptance:** Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA) code standard 24 and witnessed by the Fire Chief or designee.
26. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.
27. **Fire Hydrant Colors:** The following hydrant color scheme shall be adopted;
  - a. Any non-pressurized private hydrant shall be painted solid Blue. Sherman Williams Blue Chip (SW6959) in color, both barrel and caps. These fire hydrants are owned by the property owner and will be maintained by the owner. This would include at least the FDC pumper pad hydrant.
  - b. Yard fire hydrants are located on a fire loop fed by a fire pump and shall be painted a solid yellow color, both barrel and caps. These fire hydrants are owned by the property owner and will be maintained by the owner. Existing hydrants to re-paint using Mueller Yellow (Sherwin-Williams KEM400 F75YH1). New Hydrants using Mueller Yellow (Sherwin-Williams Polane F63YL14).
  - c. Municipal fire hydrants located in the easement property, road right-of-way, shall be solid red in color, both barrel and caps. These fire hydrants are the owned by the Village of Pleasant Prairie and will be maintained by Pleasant Prairie Public Works
  - d. Hydrants with Storz connections; do not paint the Storz portion of the hydrant.
28. **Bollards:**
  - a. Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) that are subject to damage.
  - b. Bollards shall be six (6) inches in diameter. Bollards shall not obstruct charged fire hoses.
  - c. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
29. **Standpipes:**
  - a. Where required, standpipes/hose valves shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 (I).
  - b. The building protection system shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve.
  - c. No 1-1/2" cap reductions are required.
30. **Pump Room / Riser Room Door:**
  - a. The exterior door that accesses either the fire pump or riser room shall be labeled in the following manner outlined below
    - i. At the center upper 1/3 of the door, utilizing 4" reflective RED or WHITE block lettering contrasting to the door color, with the following title.
    - ii. "FIRE PUMP ROOM" or "FIRE RISER ROOM", respective for the type of existing room.
  - b. This door shall have a Knox-Box installed adjacent to the door. The specific location heights and

details are documented in the “Fire Department – Appendix A” attachment.

**31. MSDS / SDS Station:**

- a. Within the pump or riser room locate a (SDS) Safety Data Sheet Station in a conspicuous and accessible location. The station shall be labelled so to be readily identified.
- b. Products used for maintenance, production or stored within the facility shall have their SDS information located at this SDS station.
- c. The SDS information shall be organized in such manner that access to product information is intuitive.
- d. The contents of the SDS station shall be updated and/or reviewed at least annually by the building owner or active tenant. A dated record log shall be kept with the SDS station indicating such review.
- e. Other SDS station options per AHJ approval.

**32. Strobe Light:**

- a. All strobe lights required below shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. The lens color shall be RED.
- b. A strobe light shall be provided and installed vertically at each riser location on the exterior of the building. No bell or signage is required. In instances where two or more risers are located at one location, only one exterior strobe is required. The strobe shall activate on any one riser waterflow.
- c. The heights of all strobe lights shall be sufficient to be seen above standard semi-trailer heights.
- d. Specific locations and layout typically are discussed with the AHJ and it is understood that various building finishes may impact exact locations.
- e. A separate “Appendix A” document is available to provide visual detail supporting the above requirements.

**33. Fire Alarm System:** There shall be a full function remote annunciator installed. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design

- a. **Installation:** Installation of the Fire Alarm System shall be in accordance with NFPA 70 – The National Electrical Code and applicable local building codes and practices.
- b. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
- c. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- d. **Smoke and Heat Detection:** Shall be installed as required.
- e. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- f. **PIV & Exterior Valves:** Shall be monitored by the Fire Alarm system.
- g. **Strobe & Bell:** Strobe light and Bell devices shall be identified and documented on the submitted Fire Alarm plan submittal. It is understood that typically this work is completed by the electrical contractor and not part of the alarm plan per say.
- h. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as an alarm condition unless pre-approved by the AHJ.
- i. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.
- j. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.

- k. **Initiating Devices Labeling:** All initiating devices e.g.: pull stations, smoke detectors, tampers, etc shall be labeled with the FA device number that matches the system nomenclature programmed. The font/letters shall be at least 14pt and of such size that they are visible based on accessibility to the device. (e.g.: ceiling initiating devices may require a larger font size)
  - l. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the AHJ. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
  - m. **Transmission of Fire Alarms.** The method of transmission to central station shall be documented within the submittal and approved by the AHJ. (e.g. RF Radio/Mesh network, cellular, VOIP, MFVN, or other approved technologies allowed by code.)
  - n. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
  - o. **FACP Location:** The main fire alarm panel shall be located in the fire pump or riser room. Any other location shall be identified in advance and in writing. The AHJ shall review and any deviation must be conveyed in writing by the AHJ prior to any submitted plans or construction.
  - p. **Fire Alarm Map:** An “as-is” drawing of the fire alarm system shall be provided and posted in the riser or pump room of the building. The drawing shall have at minimum, the initiating device numbers, locations, and door numbering scheme on the posted drawing. The size of the drawing shall be at least 22”x34” (ANSI D) in size and no larger than 34”x44” (ANSI E). In multi-floor projects, each floor shall be a separate page. The maps shall either be mounted on a wall within the pump/riser room or reliably hung and removable off the wall. Maps shall be laminated. An electronic copy shall also be provided to the AHJ in PDF format.
34. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department shall be made aware and the system shall meet all NFPA 72 requirements.
35. **Final Inspection:** The General Contractor shall be responsible to provide or confirm from the MEPs that the following system related documents have been delivered to the AHJ throughout the project and before a final occupancy scheduled:
- a. **100% Completion Letters** – Shall be delivered on company letterhead and stamped as applicable. Letters shall include at minimum, the project name, address, and scope of work description, along with an authorized signatory of the organization.
    - a. The fire protection contractor shall provide the AHJ with a letter (upon completion of the sprinkler work) stating the sprinkler and protection systems, or portion thereof, are “100% operational and built according to the AHJ stamped plan design”, Village Ordinance, 180-16 N if modifications are made to the system, as-built plans shall be provided.
    - b. The fire alarm contractor shall also provide the AHJ with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is “100% operational and built according to the approved AHJ stamped design” if modifications are made to the system, as-built plans shall be provided.
  - b. Contract copy with fire alarm central monitoring station.
  - c. UL and/or FM certificate(s) for the contracted fire alarm central monitoring station.
  - d. Fire protection underground flushing documents.
  - e. Underground and fire sprinkler (Wet & Dry) hydrostatic test certificates.
  - f. Clean Agent System documentation as applicable.
  - g. Copies of the fire sprinkler operational test certificates.

- h. Copies of the fire alarm test documents. – Record of Completion
- i. Copies of other related system documents such as, hood/duct, smoke, etc...
- j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
- k. Provide in an electronic PDF format, floor plans and fire protection (Sprinkler/Fire Alarm) plans for the building in an as-built condition.
- l. System drawings of the fire alarm and fire sprinkler system shall be placed in the fire pump or riser room, near the fire alarm control panel as outlined in their respective system comments (above). An electronic copy of each system shall be provided.
- m. AED is in place at such time that the occupancy inspection is conducted.
- n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.

###

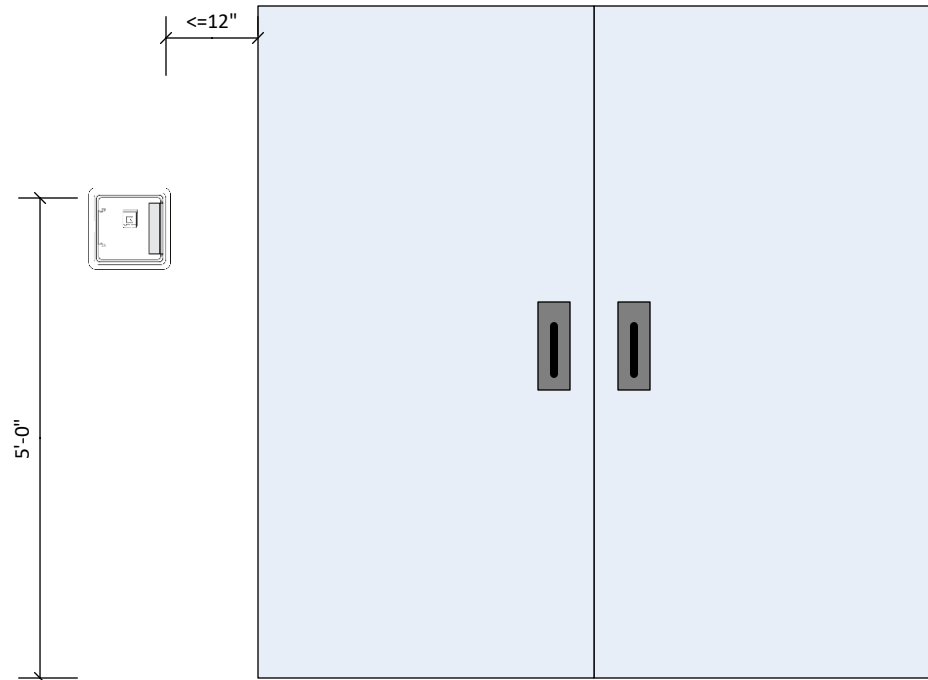
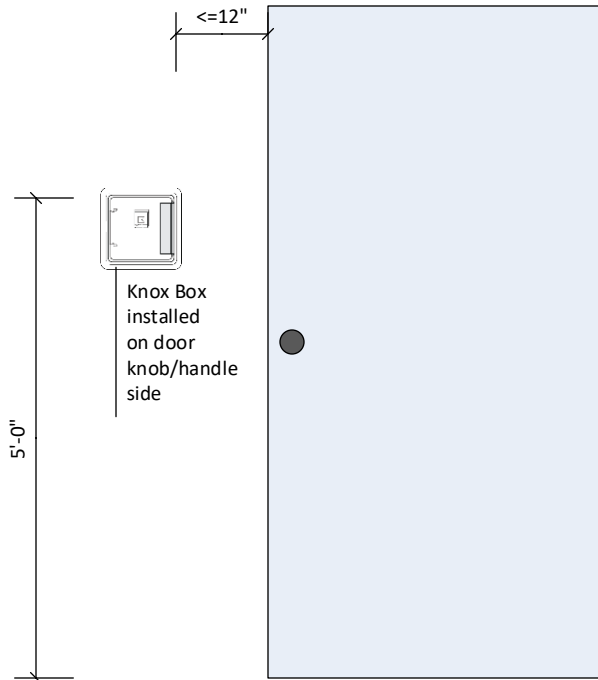
# Knox Box Placement Guide

Pleasant Prairie Fire & Rescue  
 8044-88<sup>th</sup> Avenue  
 Pleasant Prairie, WI 53158

firerescue@pleasantprairiewi.gov  
 262.694.8027  
<https://pleasantprairiewi.gov>

On Recessed boxes, measurements are taken from box base (inside of flange)

**NOTE: To order Knox Boxes – contact the Fire Department. Knox Company will only accept orders from the Fire Department.**



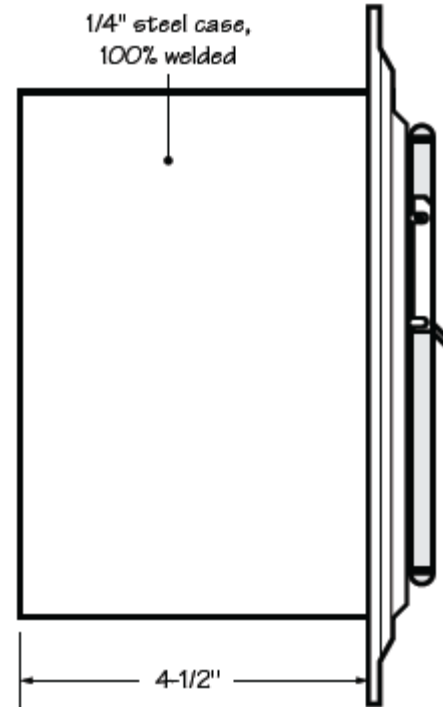
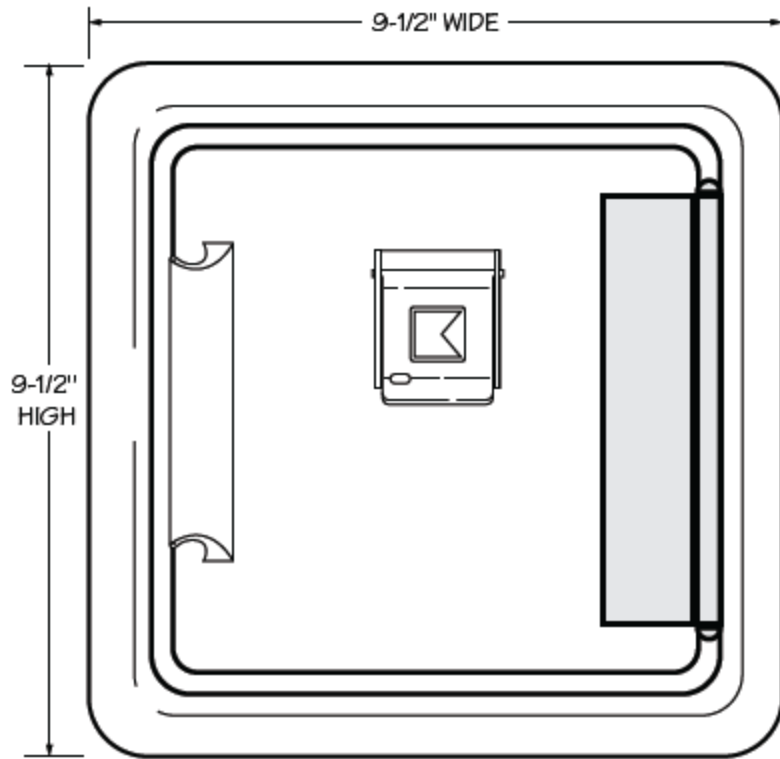
Typical installation locations for single and double doors. Exterior features such as lighting or stairways may alter standard installation locations.

Consult Fire Department prior to installations that may not fit typical locations and/or doorways.



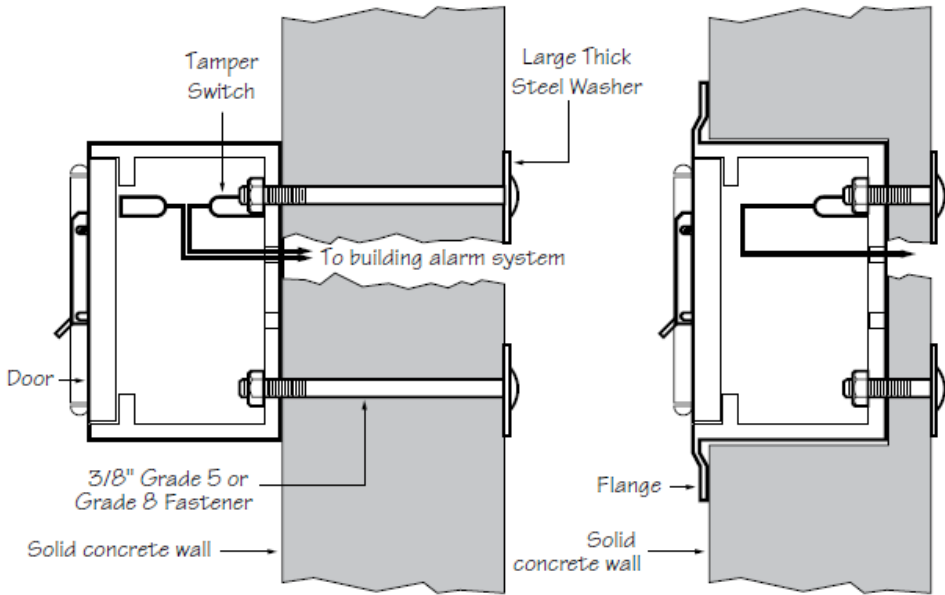
| KNOX BOX 4400 PLACEMENT GUIDE |              | SIZE    | SCALE        | DWG NO                           | REV    |
|-------------------------------|--------------|---------|--------------|----------------------------------|--------|
| DRAWN                         | CRAIG ROEPKE |         | 1/2" = 1'-0" | KNOX BOX DOOR PLACEMENT LOCATION | B      |
| ISSUED                        | 10/4/2016    | UPDATED | 2/22/2019    | SHEET                            | 1 OF 3 |





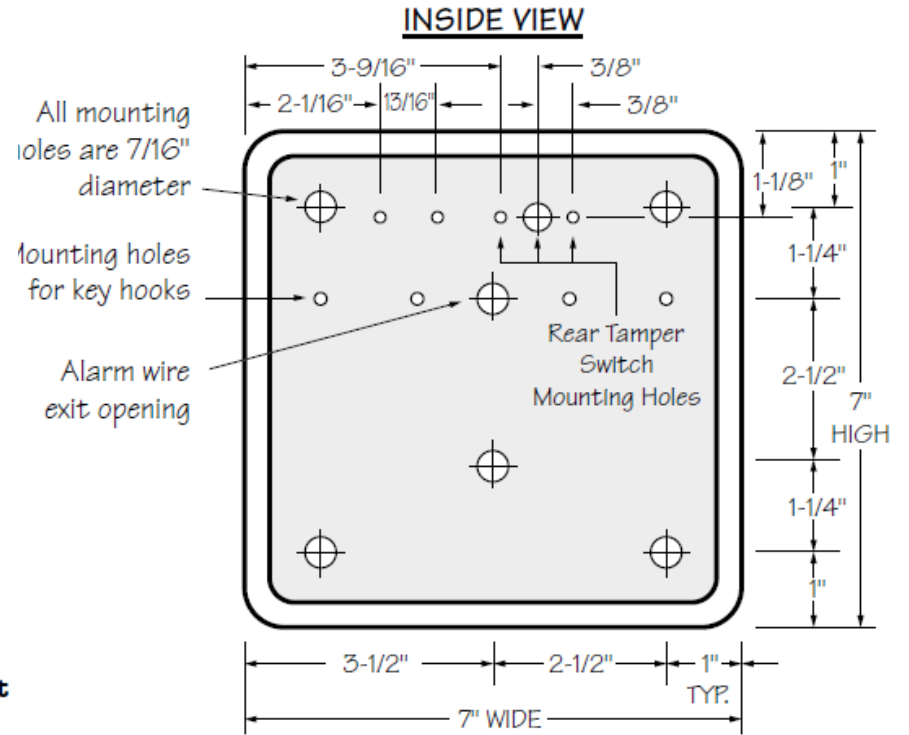
|                               |              |         |              |                                |        |
|-------------------------------|--------------|---------|--------------|--------------------------------|--------|
| KNOX BOX 4400 PLACEMENT GUIDE |              | SIZE    | SCALE        | DWG NO                         | REV    |
| DRAWN                         | CRAIG ROEPKE |         | NOT TO SCALE | KNOX BOX 4400 FRONT/SIDE VIEWS | A      |
| ISSUED                        | 2/23/2016    | UPDATED |              | SHEET                          | 2 OF 3 |





**Series 4400 Surface Mount**

**Series 4400 Recessed Mount**



|                               |              |         |       |                                 |        |
|-------------------------------|--------------|---------|-------|---------------------------------|--------|
| KNOX BOX 4400 PLACEMENT GUIDE |              | SIZE    | SCALE | DWG NO                          | REV    |
| DRAWN                         | CRAIG ROEPKE |         |       | KNOX BOX MOUNTING & INSIDE VIEW | A      |
| ISSUED                        | 2/23/2016    | UPDATED |       | SHEET                           | 3 OF 3 |





# IDI Logistics

9500 W. Bryn Mawr  
Suite 140  
Rosemont, IL 60018

630-919-1040

August 28, 2019

Craig Roepke  
Fire & Rescue Department, Village of Pleasant Prairie  
8044 88<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

RE: Volkswagen Americas Building Expansion

Mr. Roepke

This letter is to state that the Volkswagen Americas building expansion in Lakeview Corporate Park shall comply with all the requirements addressed in your review comments document dated July 22, 2019.

If you have any questions, please feel free to contact me.

Sincerely,



Jeffrey C. Smith  
Vice President Development

JCS/tar



**SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT**

*For all applications that require Village Plan Commission Approval*

| APPROVAL REQUESTED   | TYPE OF WORK  |
|--|---|
| <input checked="" type="checkbox"/> Final Site and Operational Plan<br><input type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit<br><input type="checkbox"/> Preliminary Site and Operational Plan<br><input type="checkbox"/> Preliminary Site and Operational Plan/ Conditional Use Permit<br><input type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement) | <input type="checkbox"/> New Building<br><input checked="" type="checkbox"/> Building Addition<br><input type="checkbox"/> Building Alteration<br><input type="checkbox"/> New Tenant |

Name of Business: Volkswagen Group of America, LLC

Site Address: 11589 88th Avenue, Pleasant Prairie, Wisconsin Suite #: \_\_\_\_\_

Tax Parcel Number: 92-4-122-283-0207

Zoning District(s): M-2 General Manufacturing

Name of Development: Lakeview Corporate Park

Estimated Date of Occupancy: 4/1/19

Detailed Description of the Proposed Project and Use:

The project is an 86,808 SF Warehouse/Distribution addition to the current 250,366 SF facility. The facility will have a precast facade with glazing and fenestrations to match the existing architecture.

Detailed Description of Company:

Warehousing and distribution of Auto Parts

**Select One Option**

- Relocation of Business from \_\_\_\_\_
- New Location for Business in Pleasant Prairie
- Expansion/Change to Existing Business in Pleasant Prairie
- New Start Up Business

**SITE AND BUILDING INFORMATION**

Lot Area: 746,530 sq. ft. Lot Area: 17.3 ac.  
Building Area: 250,366 sq. ft. Building Height: 34'-6" ft.  
Tenant Area: Same sq.ft.  
Addition Area: 86,808 sq. ft. Addition Height: 34'-6" ft.  
Total Impervious Surface Area: 599,193 sq. ft.  
Total Landscape Area: 187,337 sq.ft. Site % of Open Space 25.09 %

**ON-SITE PARKING/TRAFFIC INFORMATION**

Total # of parking spaces (on-site): 133  
Total # of regular parking spaces (on-site): 126  
Total # of handicapped accessible spaces (on-site): 7  
Total # of truck parking spaces (on-site): \_\_\_\_\_  
Total # of dock doors: 28 Existing/ 9 New  
Anticipated automobile trips to and from the site (excluding trucks):  
Number of daily average trips: 40 Maximum number of daily trips: 50  
Anticipated truck trips to and from the site:  
Number of daily average trips: 20 Maximum number of daily trips: 25

**OPERATIONAL INFORMATION**

Hours (Open to the public): 6:00 AM to 7:30 PM  
Delivery hours: 9:00 AM to 6:30 pm

**EMPLOYMENT INFORMATION**

Proposed total number of full-time employees: 40  
Proposed total number of part-time employees: \_\_\_\_\_  
Number of shifts: 1  
Total of number of employees per shift: 1<sup>st</sup> 40, 2<sup>nd</sup> \_\_\_\_\_, 3<sup>rd</sup> \_\_\_\_\_  
Largest number of employees on site at any one time: \_\_\_\_\_

**PUBLIC FACILITIES INFORMATION**

**Check all that apply:**

- The property is serviced by Public Sanitary Sewer
- The property is serviced by Public Water
- The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: 800

**If property is zoned M-1, M-2 or M-5 then the following shall be completed:**

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- Factory Group F-1 (Moderate-hazard) \_\_\_\_\_ sq. ft.
- Factory Group F-2 (Low-hazard) \_\_\_\_\_ sq. ft.
- Storage Group S-1 (Moderate-hazard) 86,808 sq. ft.
- Storage Group S-2 (Low-hazard) \_\_\_\_\_ sq. ft.
- Business Group B \_\_\_\_\_ sq. ft.
- High-Hazard Group H \_\_\_\_\_ sq. ft.
- Other \_\_\_\_\_ sq. ft.

Types and quantities of goods and materials to be made, used or stored on site:

Auto Parts

Types of equipment or machinery to be used on site:

PIT

Types and quantities of solid or liquid waste material which require disposal:

Mixed Oils approx 55 gal annually

Method of handling, storing and disposing of solid or liquid waste materials:

Containment Drum over containment skid. Removed from site via a service

Methods of providing site and building security other than the Village Police Department:

Safety and Security monitoring with Fire Alarm system and CCTV Chattanooga Security



Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

Facility maintenance and scheduled planned maintenance through vendor services

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

none

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

State Building Permit

### PLANS AND OTHER ATTACHMENTS

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- Title Sheet
- Survey
- Site Plan
- Grading and Drainage Plan
- Building and Fire Protection Plans
- Lighting Plan (including photometric plan)
- Landscape and Open Space Plan
- Signage Plan
- Industrial Waste Survey
- Required Application Fee and Pre-Development Agreement

The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.

I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

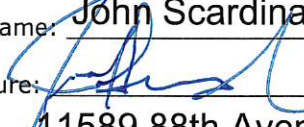
**PROPERTY OWNER:**

Print Name: Verde 88th Avenue, LLC  
Signature:   
Address: 1100 Peach Street Ste. 1000  
Atlanta Georgia 30309  
**(City)** **(State)** **(Zip)**  
Phone: 630 919-1045  
Fax: \_\_\_\_\_  
Email: jeff.smith@idilogistics.com  
Date: 8/23/19

**APPLICANT/AGENT:**

Print Name: Jeff Smith  
Signature:   
Address: 9500 W Bryn Mawr, Ste. 140  
Rosemont Illinois 60018  
**(City)** **(State)** **(Zip)**  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: jeff.smith@idilogistics.com  
Date: 8/23/19

**TENANT CONTACT:**

Print Name: John Scardina  
Signature:   
Address: 11589 88th Avenue  
Pleasant Prairie, Wisconsin 53158  
**(City)** **(State)** **(Zip)**  
Phone: 262 577-2049  
Fax: \_\_\_\_\_  
Email: john.scadina@vw.com  
Date: 8/23/19



# VW PARTS DISTRIBUTION CENTER EXPANSION

11589 88TH AVENUE  
PLEASANT PRAIRIE, WI

## GOVERNING AGENCY CONTACTS

**PLEASANT PRAIRIE VILLAGE HALL**  
935 39TH STREET  
PLEASANT PRAIRIE, WI 53158  
OFFICE: (262) 694-1400

**COMMUNITY DEVELOPMENT DEPARTMENT**  
JEAN WERBIE-HARRIS, DIRECTOR  
- PLANNER ZONING ADMINISTRATOR  
OFFICE: (262) 925-6118  
EMAIL: jwerbie-harris@pleasantprairieil.gov

PEGGY HERRICK  
- ASSISTANT PLANNER &  
ZONING ADMINISTRATOR  
OFFICE: (262) 925-6116  
EMAIL: pherrick@pleasantprairieil.gov

AARON KRAMER  
- DEPUTY PLANNER & ZONING  
ADMINISTRATOR  
OFFICE: (262) 925-6111  
EMAIL: akramer@pleasantprairieil.gov

**ENGINEERING DEPARTMENT**  
MATT FINEOUR, P.E.  
- VILLAGE ENGINEER  
OFFICE: (262) 925-6118  
EMAIL: mfineour@pleasantprairieil.gov

KURT DAVIDSEN, P.E.  
- ASSISTANT VILLAGE ENGINEER  
OFFICE: (262) 925-6128  
EMAIL: kdavidsen@pleasantprairieil.gov

**PUBLIC WORKS DEPARTMENT**  
JOHN STERNER, JR., P.E.  
- DIRECTOR  
ROGER FRANGE MUNICIPAL BUILDING  
8600 GREEN BAY ROAD  
OFFICE: (262) 925-6168  
EMAIL: jstern@pleasantprairieil.gov

STEVE ULASHOVICH  
- CONSTRUCTION MANAGER  
OFFICE: (262) 925-6161  
EMAIL: sulashovich@pleasantprairieil.gov

**BUILDING INSPECTION DEPARTMENT**  
SANDRO PEREZ  
- BUILDING INSPECTION  
SUPERINTENDENT  
OFFICE: (262) 694-3304  
DIRECT: (262) 925-6122  
EMAIL: sperez@pleasantprairieil.gov

DONALD KOEHN  
- BUILDING INSPECTOR  
OFFICE: (262) 694-3304  
EMAIL: dkoehn@pleasantprairieil.gov

MICHAEL KAPRELIAN  
- BUILDING INSPECTOR  
OFFICE: (262) 694-3304  
EMAIL: mkaprelian@pleasantprairieil.gov

**FIRE & RESCUE DEPARTMENT**  
CRAIG ROEFKE  
- DEPUTY CHIEF  
8044 88TH AVENUE  
OFFICE: (262) 694-8071  
EMAIL: croe@pleasantprairieil.gov

AARON LONGRE  
- ASSISTANT FIRE CHIEF  
OFFICE: (262) 548-5893  
EMAIL: kevin@pleasantprairieil.gov

**WI DEPARTMENT OF NATURAL RESOURCES**  
TRAVIS SCHROEDER  
- WATER MANAGEMENT SPECIALIST  
OFFICE: (262) 514-2111  
EMAIL: travis.schroeder@wisconsin.gov

PETER WOOD  
- WATER RESOURCES ENGINEER  
OFFICE: 262-884-1360  
EMAIL: peter.wood@wisconsin.gov

## PUBLIC UTILITY CONTACTS

**AMERICAN TRANSMISSION COMPANY**  
BRIAN MCCOY  
OFFICE: 262-506-6895  
EMAIL: bmc@atc.com  
EMERGENCY NUMBER: (800) 912-5341

**WISCONSIN DOT**  
ART BAUMANN, TRAFFIC OPERATIONS ENGINEER  
OFFICE: (262) 548-6101  
EMAIL: art.baumann@dot.wis.gov

KEVIN KOEHNKE, PERMITS COORDINATOR  
OFFICE: (262) 548-5893  
EMAIL: kevin.koehnke@dot.wis.gov

**KENOSHA COUNTY**  
CLEMENT ABONGWA, P.E.  
DIRECTOR/HIGHWAY COMMISSIONER  
DIVISION OF HIGHWAYS - PUBLIC WORKS DEPARTMENT  
OFFICE: 262-884-1360  
EMAIL: Clement.Abongwa@kenoshacounty.org

**AT&T**  
MIKE TOYEK  
OFFICE: 262.636.0549  
EMAIL: mt134@att.com

**ID&S TELECOM**  
SOUTHEAST WISCONSIN  
OFFICE: 811.483.1142

**TIME WARNER CABLE/SPECTRUM**  
STEVE CRAMER  
UTILITY COORDINATOR  
OFFICE: 414.271.4045  
EMAIL: steve.cramer@tcable.com  
EMERGENCY NUMBER: 800.671.2288

**UEC ENERGY GROUP**  
JOEL BURROU  
GEN. MANAGER  
OFFICE: 414.213.1392  
EMAIL: joel.burrou@uecenergysgroup.com

**UE-ENERGIES**  
ALLIE KLAWINSKI  
SENIOR SERVICE MANAGER  
OFFICE: 262.592.2121  
EMAIL: allie.klawinski@ue-energies.com

MICHAEL BAKER  
CUSTOMER SERVICE MANAGER  
OFFICE: 262-888-1041  
EMAIL: michael.baker@ue-energies.com

HUSSAIN BIJAVERWALA  
SENIOR ENGINEER  
OFFICE: 262-888-1074  
EMAIL: hussainbijaverwala@ue-energies.com

BRANDON ERTS  
GAS ENGINEERING  
OFFICE: 414-721-3654  
EMAIL: brandon.erts@ue-energies.com

NATURAL GAS EMERGENCY: 800.261.5335  
ELECTRICAL EMERGENCY: 800.662.4791

## PROJECT DATA

**BUILDING USE AND OCCUPANCY CLASSIFICATION (NON-SEPARATED):**  
S1 - MODERATE HAZARD STORAGE

**CONSTRUCTION CLASSIFICATION:**  
TYPE II B - UNPROTECTED, NON-COMBUSTIBLE

**APPLICABLE CODES:**  
INTERNATIONAL BUILDING CODE - 2015 AS MODIFIED BY THE WISCONSIN  
ENROLLED COMMERCIAL BUILDING CODE IN CHAPTER SPS 362

### DEVELOPMENT DATA:

PROPOSED LAKEVIEW LOT 84 - BUILDING EXPANSION  
SITE ZONING: M-2, GENERAL MANUFACTURING DISTRICT  
SITE AREA: 113 ACRES (146,530 SF.)  
BUILDING FOOTPRINT AREA: 33175 SF.  
BUILDING FOOTPRINT PERCENTAGE: 45.2%

SITE COVERAGE RATIO:  
BUILDING IMPERVIOUS AREA: 33175 SF.  
ALL OTHER IMPERVIOUS AREA: 22028 SF.  
TOTAL IMPERVIOUS AREA: 551383 SF.  
TOTAL IMPERVIOUS PERCENTAGE: 14.1%

GREENSPACE RATIO:  
TOTAL LANDSCAPED AREA: 189,131 SF  
TOTAL LANDSCAPED PERCENTAGE: 25.3%

**PARKING:**  
TOTAL CAR SPACES: 133 SPACES (EXISTING)  
(INCLUDING 6 HANDICAPPED)  
TOTAL TRUCK DOCK SPACES: 38 DOCK LOCATIONS  
(30 EXISTING)  
TOTAL DRIVE-IN DOORS: 2 D.I.D. (1 EXISTING)  
TOTAL TRUCK PARKING SPACES: 22 SPACES (EXISTING)

## GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.
- EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
- ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

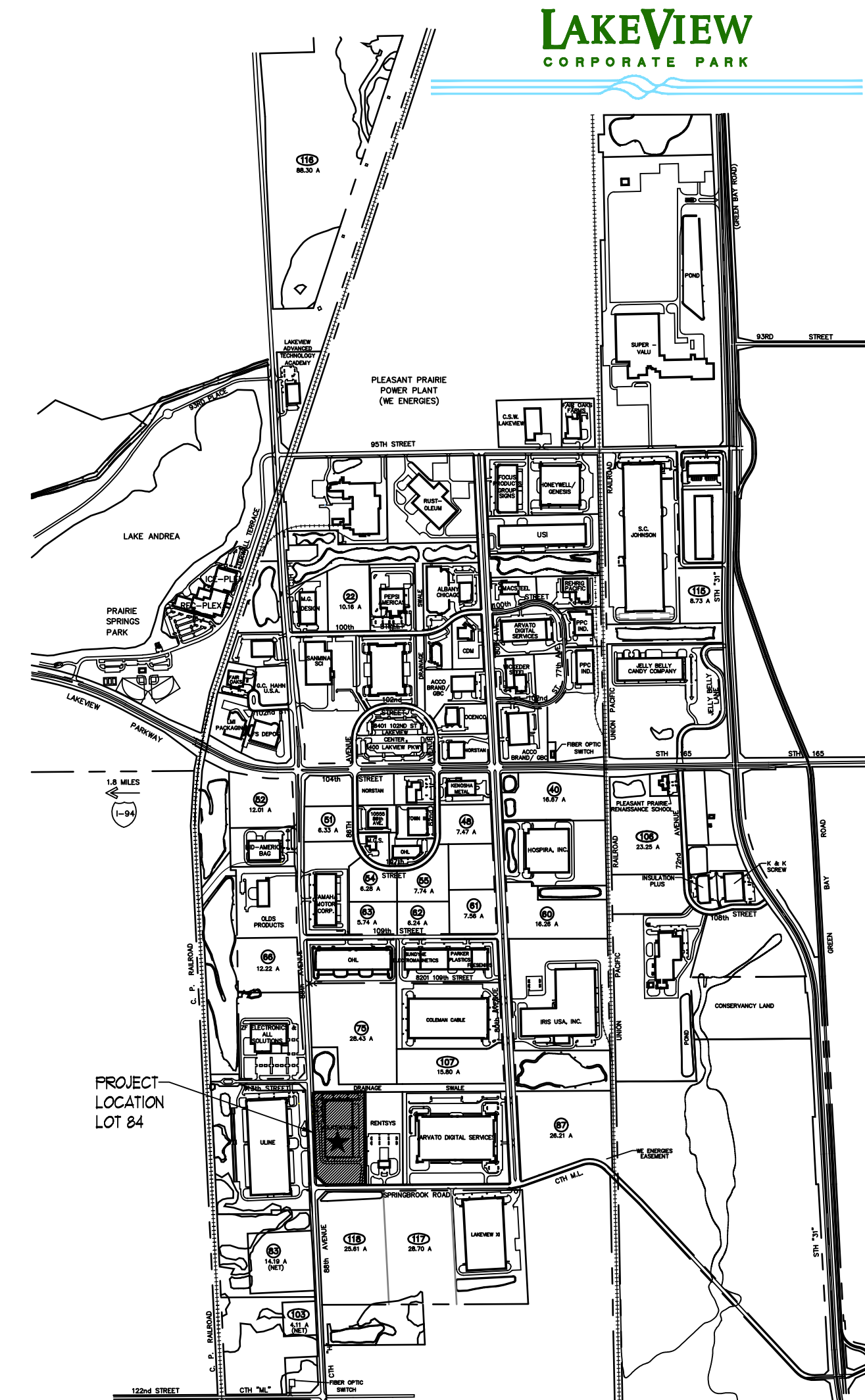
## REVISIONS

## SHEET INDEX

| TI                   | TITLE SHEET                         |
|----------------------|-------------------------------------|
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| C-2                  | GENERAL NOTES                       |
| C-3                  | EXISTING CONDITIONS                 |
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| C-5                  | SITE DIMENSIONAL & PAVING PLAN      |
| C-6                  | GRADING PLAN                        |
| C-7                  | UTILITY PLAN                        |
| C-8                  | EROSION CONTROL PLAN                |
| C-9                  | CONSTRUCTION DETAILS                |
| C-10                 | CONSTRUCTION DETAILS                |
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## ABBREVIATIONS

|          |  |       |  |
|----------|--|-------|--|
| ALT      | ALTERNATE                                | HW    | HOT WATER                                    |
| A/E      | ARCHITECT/ENGINEER                       | INT   | INTERIOR                                     |
| AF       | ABOVE FINISH FLOOR                       | INSUL | INSULATION                                   |
| ALUM     | ALUMINUM                                 | JOINT | JOINT  |
| BD       | BOARD                                    | LAV   | LAVATORY                                     |
| B/O      | BOTTOM OF                                | MFR   | MANUFACTURER                                 |
| CPT      | CARPET                                   | MO    | MASONRY OPENING                              |
| CL       | CENTER LINE                              | MTL   | METAL  |
| CLG      | CEILING                                  | NIC   | NOT IN CONTRACT                              |
| CHU      | CONTROL JOINT                            | NTS   | NOT TO SCALE                                 |
| CONC     | CONCRETE                                 | OC    | ON CENTER                                    |
| CONT     | CONTINUOUS                               | OCF   | OWNER FURNISHED,<br>CONTRACTOR TO<br>INSTALL |
| CO       | CLEAN OUT                                | OFF   | OPPOSITE                                     |
| CU       | COLD WATER                               | PLYUD | PLYWOOD                                      |
| CT       | CERAMIC TILE                             | FR    | FRUSTIC LAMINATE                             |
| DBL      | DOUBLE                                   | IE    | FLATE  |
| DF       | DRINKING FOUNTAIN                        | PT    | PORCELAIN TILE                               |
| DIA      | DIAMETER                                 | QT    | QUARRY TILE                                  |
| MIN      | DIMENSION                                | REGD  | REQUIRED                                     |
| DN       | DOWN                                     | RO    | ROUGH OPENING                                |
| DR       | DOOR                                     | SHT   | SHEET  |
| DS       | DOWNSPOUT                                | SV    | SHEET VINYL                                  |
| DTL      | DETAIL                                   | SM    | SIMILAR                                      |
| DUG      | DRAWING                                  | SS    | STAINLESS STEEL                              |
| EA       | EACH                                     | STD   | STANDARD                                     |
| EIPS     | EXTERIOR INSULATION AND<br>FINISH SYSTEM | SAT   | SUSPENDED ACoustic TILE<br>CEILING           |
| EL       | ELEVATION                                | TEMP  | TEMPORARY                                    |
| EJ       | EXPANSION JOINT                          | T/O   | TOP OF                                       |
| EQ       | EQUAL                                    | T&G   | TONGUE AND GROOVE                            |
| EQUIP    | EQUIPMENT                                | TYP   | TYPICAL                                      |
| EXT      | EXISTING                                 | UNO   | UNLESS NOTED OTHERWISE                       |
| EWC      | EXTERIOR                                 | VCT   | VINYL COMPOSITE TILE                         |
| FEC      | FIRE EXTINGUISHER<br>CABINET             | VB    | VINYL BASE                                   |
| FIN      | FINISH                                   | VF    | VERIFY IN FIELD                              |
| FD       | FLOOR DRAIN                              | WD    | WOOD   |
| FLR      | FLOOR                                    | WUF   | WELDED WIRE FABRIC                           |
| GA       | GAUGE                                    |       |  |
| GALV     | GALVANIZED                               |       |  |
| GYP. BD. | GYP. BOARD                               |       |  |
| HDWR     | HARDWARE                                 |       |  |
| HT       | HOLLOW METAL                             |       |  |
| HT       | HEIGHT                                   |       |  |



## IDI Logistics

**OWNER:**  
IDI LOGISTICS  
9500 W. BRYN MAUR AVENUE, SUITE 140  
ROSEMONT, ILLINOIS 60018  
PHONE: 630.939.1045  
FAX: 630.939.1041  
ATTN: JEFF SMITH

## Partners in Design ARCHITECTS

**ARCHITECT:**  
PARTNERS IN DESIGN ARCHITECTS  
2610 LAKE COOK ROAD, SUITE 200  
RIVERWOODS, ILLINOIS 60015  
PHONE: 847.940.0300  
ATTN: IBERNER BRISKE, AIA  
OR  
JEREMY HALL, AIA

## Pinnacle Engineering Group

**CIVIL ENGINEER:**  
PINNACLE ENGINEERING GROUP  
5555 WEST BLUEMOUND ROAD, SUITE 210  
BROOKFIELD, WI 53005  
PHONE: 262.754.8888  
FAX: 262.754.8850  
ATTN: ADAM ARTZ  
OR  
TODD MUELLER

## raSmith

**STRUCTURAL ENGINEER:**  
RA SMITH NATIONAL, INC.  
16145 WEST BLUEMOUND ROAD, SUITE 200  
BROOKFIELD, WI 53005  
PHONE: 262.313.3334  
ATTN: STEVE ROLOFF

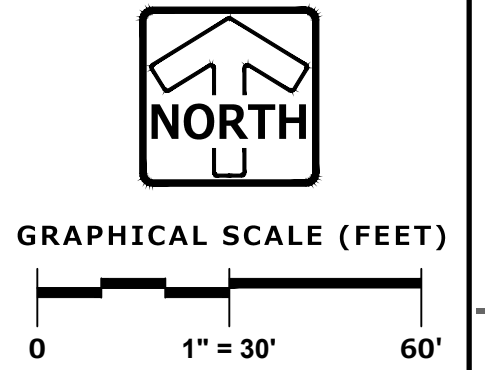
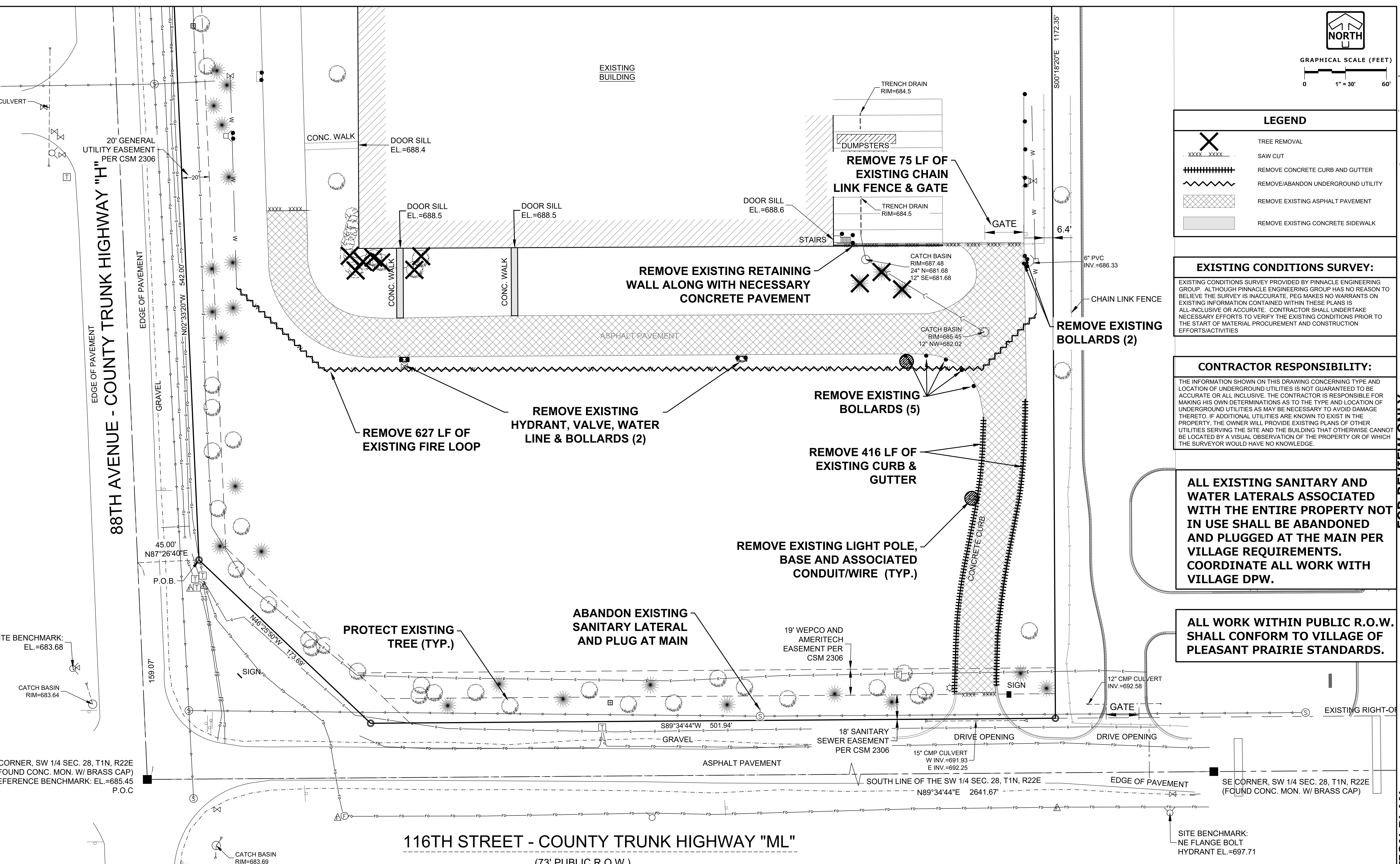
## Partners in Design ARCHITECTS

VW PARTS DISTRIBUTION  
CENTER EXPANSION  
PROJECT NUMBER: 513.19.082

FINAL SITE AND  
OPERATIONAL SET  
ISSUE DATE: 08.29.19



DESIGNED: TOM  
 DRAFTED: EP  
 REVIEWED: WTD  
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| LEGEND |                                    |
|--------|------------------------------------|
|        | TREE REMOVAL                       |
|        | SAW CUT                            |
|        | REMOVE CONCRETE CURB AND GUTTER    |
|        | REMOVE/ABANDON UNDERGROUND UTILITY |
|        | REMOVE EXISTING ASPHALT PAVEMENT   |
|        | REMOVE EXISTING CONCRETE SIDEWALK  |

**EXISTING CONDITIONS SURVEY:**  
 EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PINNACLE ENGINEERING GROUP HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES ON EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES

**CONTRACTOR RESPONSIBILITY:**  
 THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

**ALL EXISTING SANITARY AND WATER LATERALS ASSOCIATED WITH THE ENTIRE PROPERTY NOT IN USE SHALL BE ABANDONED AND PLUGGED AT THE MAIN PER VILLAGE REQUIREMENTS. COORDINATE ALL WORK WITH VILLAGE DPW.**

**ALL WORK WITHIN PUBLIC R.O.W. SHALL CONFORM TO VILLAGE OF PLEASANT PRAIRIE STANDARDS.**

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 FOR REVIEW ONLY  
 DEMOLITION PLAN

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 BROOKFIELD, WI 53005  
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 CHICAGO | MILWAUKEE | NATIONWIDE

**VOLKSWAGEN EXPANSION**  
**DEMOLITION PLAN**  
 PLEASANT PRAIRIE, WI

| REVISIONS |                                   |
|-----------|-----------------------------------|
| 1         | VILLAGE COMMENTS 08/16/19         |
| 2         | VILLAGE COMMENTS 08/21/19         |
| 3         | FINAL SITE & OPERATIONAL 09/04/19 |

|                        |                      |       |
|------------------------|----------------------|-------|
| REG JOB NO: 2418.00-WI | TITLE                | SHEET |
| REG PM                 | START DATE: 07/03/19 | C-4   |
| SCALE: 1" = 30'        |                      | C-11  |



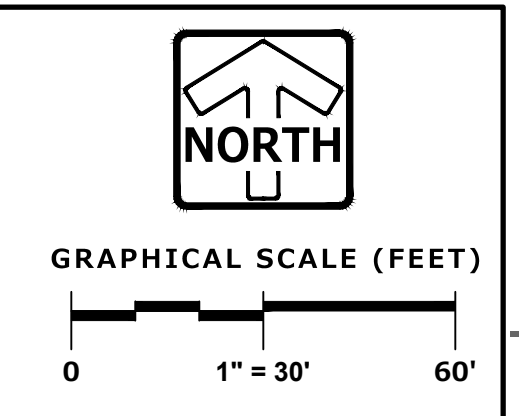
DESIGNED: TOM  
 DRAFTED: EP  
 REVIEWED: WTD  
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 SITE DIMENSIONAL & PAVING PLAN

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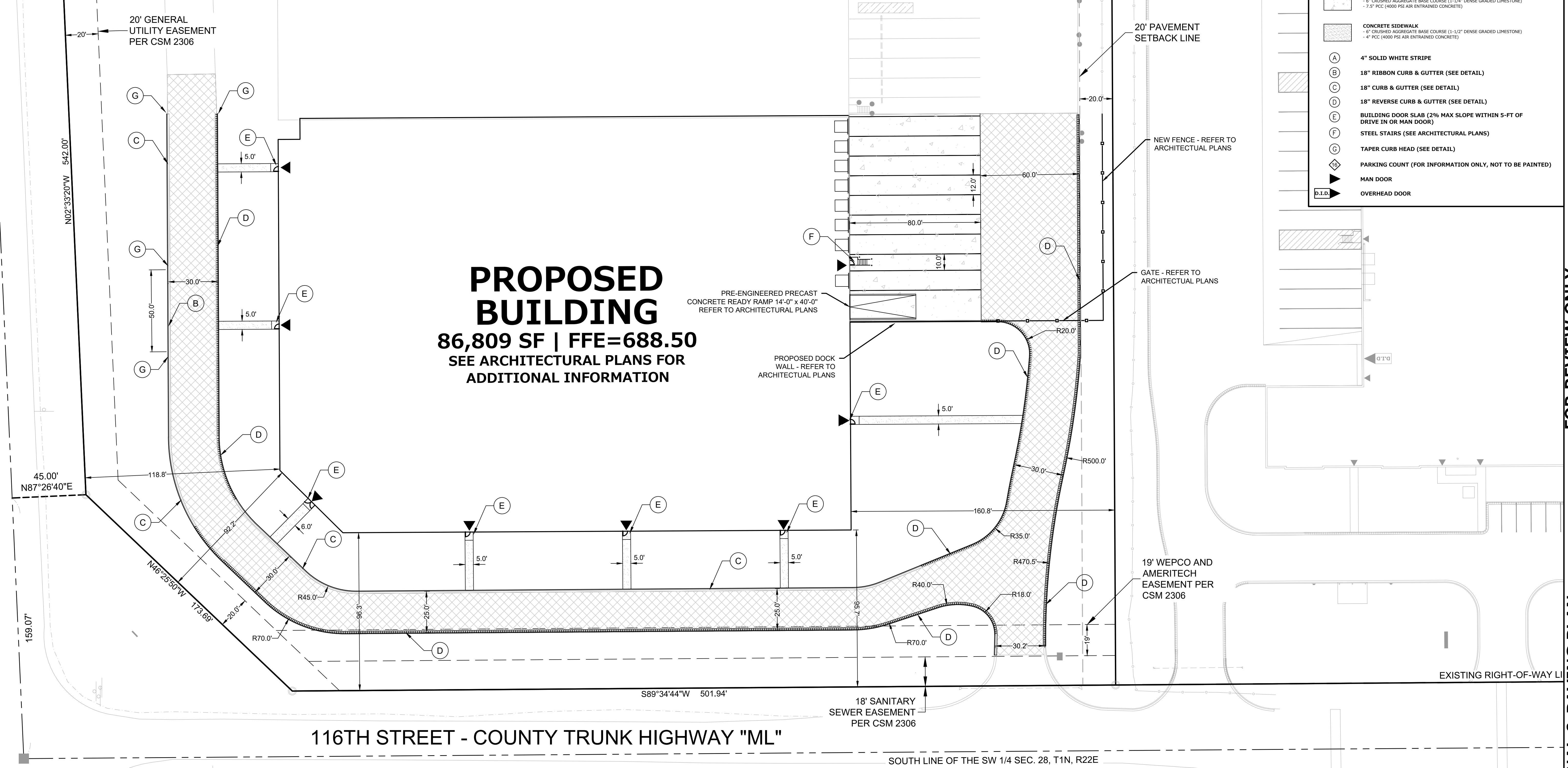
| SITE DATA                |                                    |
|--------------------------|------------------------------------|
| TOTAL SITE AREA:         | 746,530 SF / 17.13 AC              |
| ZONING CLASSIFICATION:   | M-2 GENERAL MANUFACTURING DISTRICT |
| BUILDING FOOTPRINT:      | 337,175 SF / 7.74 AC (45.2%)       |
| IMPERVIOUS AREA:         | 557,393 SF / 12.79 AC (74.7%)      |
| GREENSPACE AREA:         | 189,137 SF / 4.34 AC (25.3%)       |
| PARKING STALLS:          | 133                                |
| TOTAL TRUCK/DOCK SPACES: | 38 DOCK LOCATIONS                  |
| TOTAL DRIVE-IN DOORS:    | 2 D.I.D.                           |



**LEGEND**

|  |   |
|--|---|
|  | <b>HEAVY DUTY PAVEMENT</b><br>- 12" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)<br>- 5" ASPHALTIC CONC. (2 LIFTS)<br>- 3.0" LOWER LAYER (3MT 58-28.5)<br>- 2.0" UPPER LAYER (4MT 58-28.5) |
|  | <b>CONCRETE PAVEMENT</b><br>- 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE)<br>- 7.5" PCC (4000 PSI AIR ENTRAINED CONCRETE)  |
|  | <b>CONCRETE SIDEWALK</b><br>- 4" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LIMESTONE)<br>- 4" PCC (4000 PSI AIR ENTRAINED CONCRETE)  |
|  | <b>4" SOLID WHITE STRIPE</b>  |
|  | <b>18" RIBBON CURB &amp; GUTTER (SEE DETAIL)</b>  |
|  | <b>18" CURB &amp; GUTTER (SEE DETAIL)</b>   |
|  | <b>18" REVERSE CURB &amp; GUTTER (SEE DETAIL)</b>   |
|  | <b>BUILDING DOOR SLAB (2% MAX SLOPE WITHIN 5-FT OF DRIVE IN OR MAN DOOR)</b>  |
|  | <b>STEEL STAIRS (SEE ARCHITECTURAL PLANS)</b>   |
|  | <b>TAPER CURB HEAD (SEE DETAIL)</b>   |
|  | <b>PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)</b>  |
|  | <b>MAN DOOR</b>   |
|  | <b>OVERHEAD DOOR</b>  |

88TH AVENUE - COUNTY TRUNK HIGHWAY "H"



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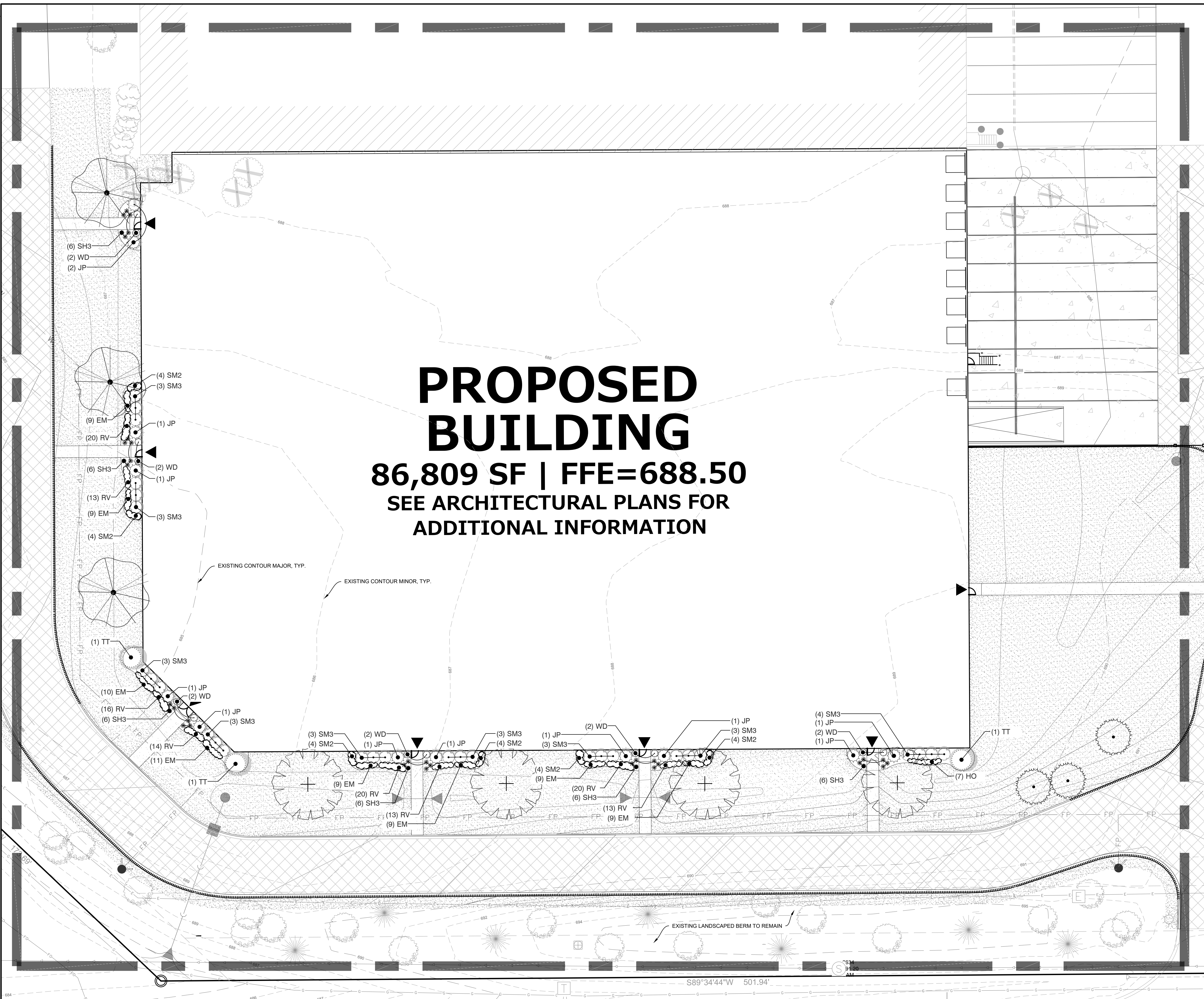
**VOLKSWAGEN EXPANSION**  
**PLEASANT PRAIRIE, WI**

**SITE DIMENSIONAL & PAVING PLAN**

| REVISIONS |                                   |
|-----------|-----------------------------------|
| 1         | VILLAGE COMMENTS 08/16/19         |
| 3         | FINAL SITE & OPERATIONAL 09/04/19 |

|   |
|---|
| PEG JOB NO: 2418.00-WI<br>TGM<br>REG. NO. 07/03/19<br>SCALE 1" = 30'<br>SHEET C-5<br>C-11 |
|---|

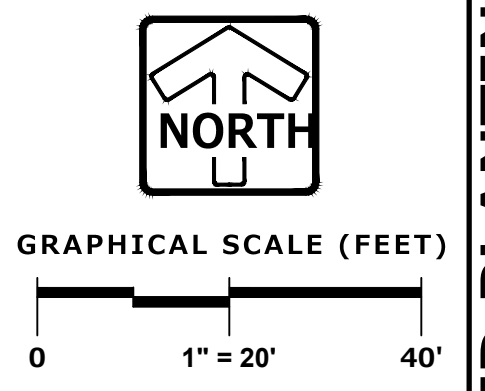
REVIEWED: WTD  
DESIGNED: DJB  
DRAFTED: DJB



**PROPOSED  
BUILDING**  
86,809 SF | FFE=688.50  
SEE ARCHITECTURAL PLANS FOR  
ADDITIONAL INFORMATION

**PLANT KEY**

| DECIDUOUS SHRUBS   | BOTANICAL NAME                                    | COMMON NAME                    |
|--------------------|---|--------------------------------|
| SM3                | Syringa meyeri 'Palibin'                          | Dwarf Korean Lilac             |
| WD                 | Weigela florida 'Dark Horse'                      | Weigela                        |
| EVERGREEN SHRUBS   | BOTANICAL NAME                                    | COMMON NAME                    |
| JP                 | Juniperus chinensis 'Kallays Compact'             | Kallay Compact Pfitzer Juniper |
| TT                 | Thuja occidentalis 'Techny'                       | Techny Arborvitae              |
| ORNAMENTAL GRASSES | BOTANICAL NAME                                    | COMMON NAME                    |
| SH3                | Sporobolus heterolepis                            | Prairie Dropseed               |
| PERENNIALS         | BOTANICAL NAME                                    | COMMON NAME                    |
| EM                 | Echinacea purpurea 'Magnus'                       | Magnus Purple Coneflower       |
| HO                 | Hemerocallis x 'Stella de Oro'                    | Stella de Oro Daylily          |
| RV                 | Rudbeckia fulgida speciosa 'Viette's Little Suzy' | Coneflower                     |
| SM2                | Salvia nemorosa 'May Night'                       | May Night Sage                 |
| GROUND COVERS      | BOTANICAL NAME                                    | COMMON NAME                    |
|                    | Turf Seed Drought Tolerant Dwarf Fescue Blend     |                                |



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**VOLKSWAGEN EXPANSION**  
**PLEASANT PRAIRIE, WI**

**ENLARGED PLANTING PLAN**

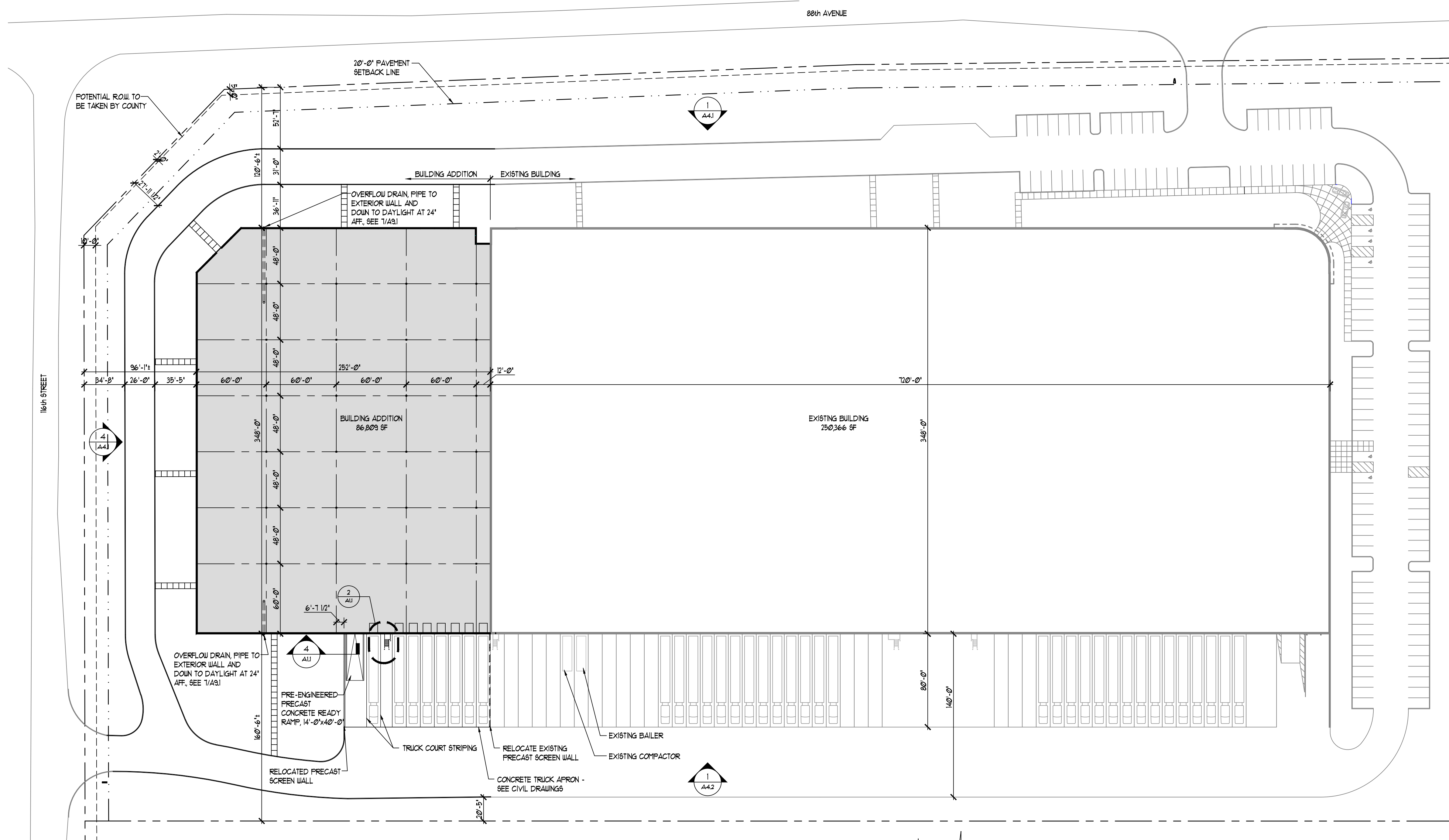
| REVISIONS |                                   |
|-----------|-----------------------------------|
| 1         | VILLAGE COMMENTS 08/16/19         |
| 2         | VILLAGE COMMENTS 08/21/19         |
| 3         | FINAL SITE & OPERATIONAL 09/04/19 |

REG JOB No: 2418.00-WI  
 REG PM: TGM  
 START DATE: 07/03/19  
 SCALE: 1" = 20'  
**SHEET**  
**L-2**  
**L-3**

Z:\PROJECTS\2018\1248.00-WI\CAD\SHEETS\1248.00-WI LANDSCAPE PLAN.DWG

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ENLARGED PLANTING PLAN  
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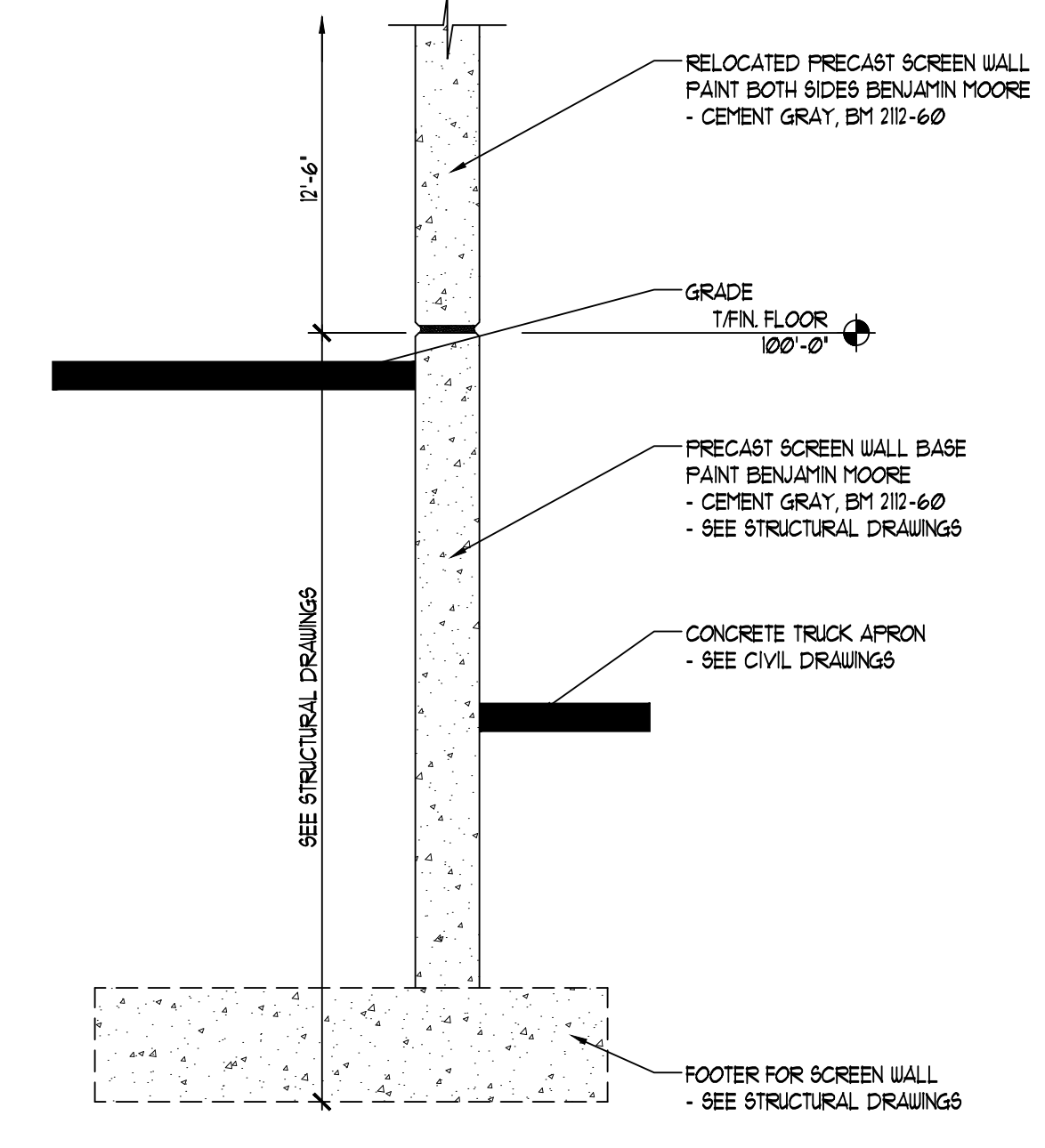
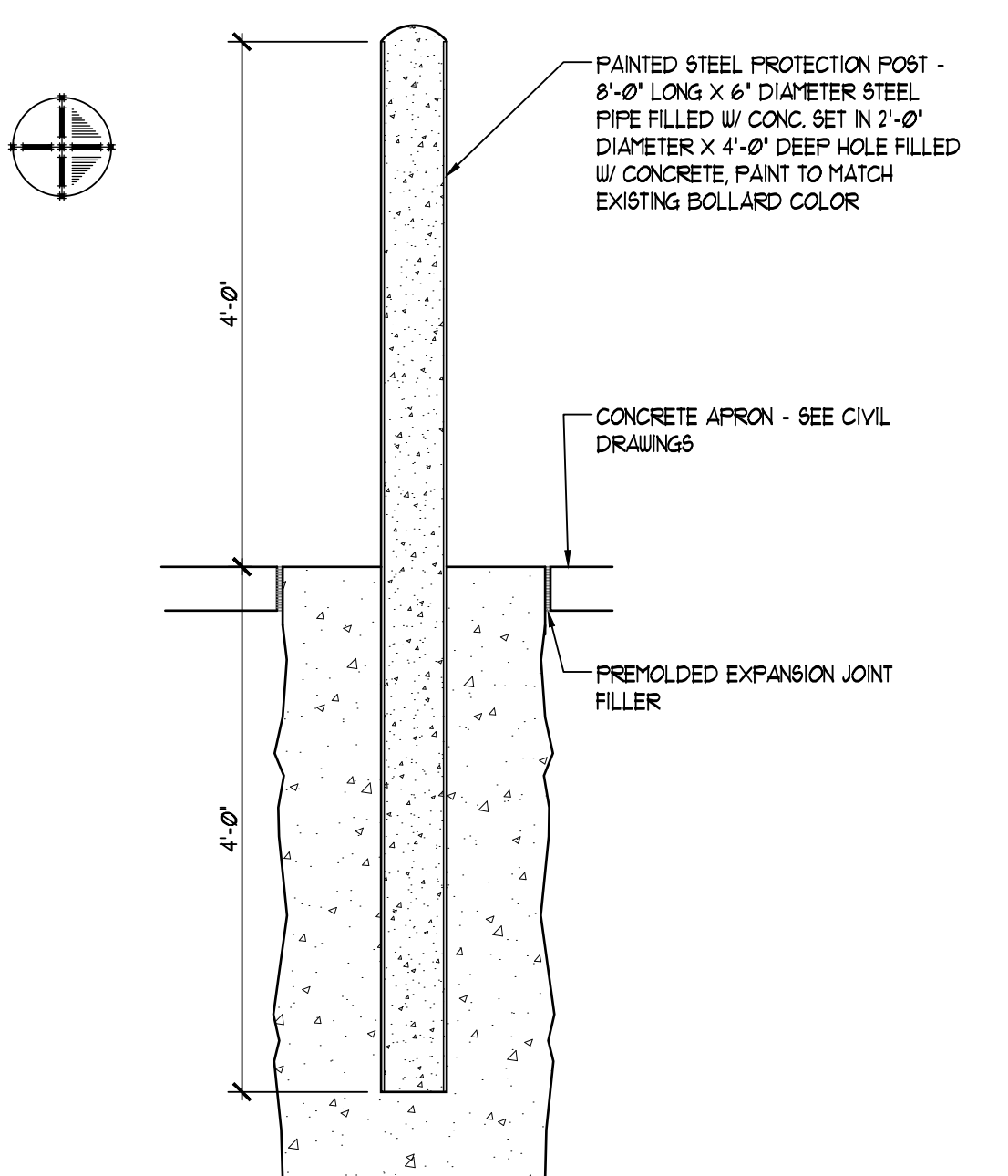
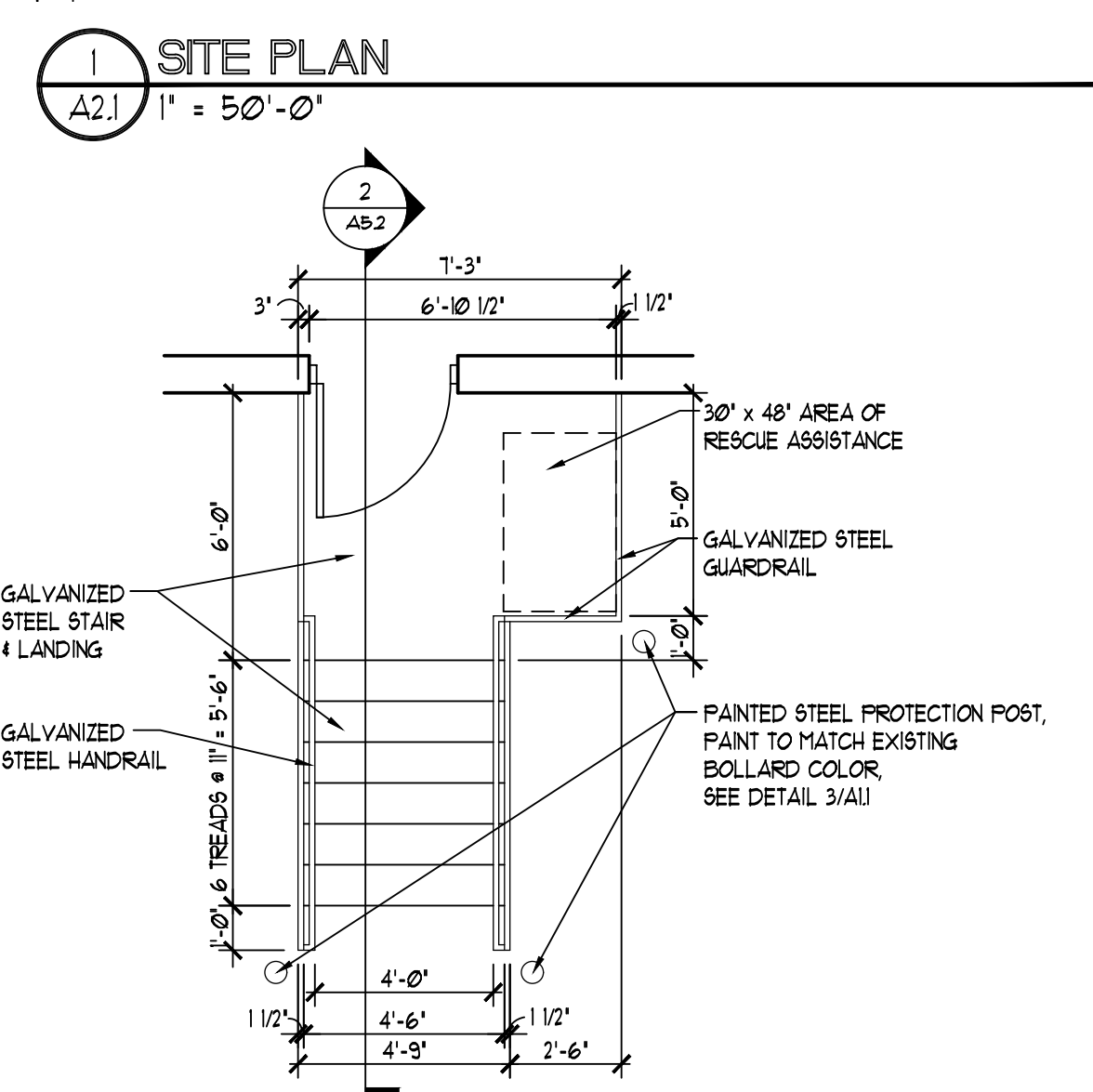




- GENERAL SITE NOTES**
1. ALL SITE LIGHTING SHALL BE DIRECTED DOWNWARDS AND SHALL NOT GLARE ONTO ADJACENT PROPERTIES OR PUBLIC ROADWAYS.
  2. TRUCKS/TRAILERS PARKED OUTSIDE OF THE FACILITY SHALL NOT BE USED AS A MEANS OF ADDITIONAL STORAGE AND/OR WAREHOUSING SPACE, EXCEPT FOR THOSE TRUCKS/TRAILERS THAT HAVE BEEN LOADED AND ARE AWAITING IMPENDING DELIVERY OR THOSE THAT ARE IN QUEUE AND ARE AWAITING IMPENDING UNLOADING PROCEDURES.
  3. AT NO TIME SHALL THERE BE ANY OUTDOOR STORAGE OF PALLETS (WOODEN, PLASTIC, OR METAL), RECYCLING MATERIALS, GARBAGE, LANDSCAPING EQUIPMENT OR LANDSCAPE MATERIALS, ETC.
  4. PROJECT PARCEL IS ZONED M-2, GENERAL MANUFACTURING DISTRICT.
  5. THE LOCATION OF ALL CONSTRUCTION TRAILERS PARKED ON THE SITE DURING CONSTRUCTION ACTIVITIES SHALL BE APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE. NO CONSTRUCTION TRAILERS SHALL BE PARKED IN VILLAGE, COUNTY, OR STATE RIGHTS-OF-WAY. ALL CONSTRUCTION RELATED SIGNAGE SHALL BE APPROVED AND PERMITTED BY THE VILLAGE.
  6. MUNICIPAL UTILITIES SHALL NOT BE BURIED UNDER EARTH BERMS OR TREE LANDSCAPING.
  7. ALL PARKING LOT AND PAVEMENT PARKING STRIPING SHALL BE WHITE.
  8. ALL ENTRANCES AND EXITS SHALL BE RENUMBERED ON THE EXTERIOR AND INTERIOR BEGINNING AT THE MAIN ENTRANCE AND MOVING CLOCKWISE AROUND THE STRUCTURE. NUMBERS SHALL BE OF A REFLECTIVE MATERIAL AND MUST BE VISIBLE FROM THE FARTHEST POINT OF THE ADJACENT PARKING LOT AND PLACED ON THE SAME LOCATION OF EACH DOOR.

**DEVELOPMENT DATA:**

|  |  |
|--|--|
| PROPOSED LAKEVIEW LOT 84 - BUILDING EXPANSION: |  |
| SITE ZONING:                                   | M-2, GENERAL MANUFACTURING DISTRICT                |
| SITE AREA:                                     | 115 ACRES (146,530 SF)                             |
| BUILDING FOOTPRINT AREA:                       | 331,715 SF   |
| BUILDING FOOTPRINT PERCENTAGE:                 | 45.2%  |
| SITE COVERAGE RATIO:                           |  |
| BUILDING IMPERVIOUS AREA:                      | 331,715 SF   |
| ALL OTHER IMPERVIOUS AREA:                     | 220,218 SF   |
| TOTAL IMPERVIOUS AREA:                         | 551,933 SF   |
| TOTAL IMPERVIOUS PERCENTAGE:                   | 14.1%  |
| GREENSPACE RATIO:                              |  |
| TOTAL LANDSCAPED AREA:                         | 109,131 SF   |
| TOTAL LANDSCAPED PERCENTAGE:                   | 29.3%  |
| PARKING:                                       |  |
| TOTAL CAR SPACES:                              | 133 SPACES (EXISTING)<br>(INCLUDING 6 HANDICAPPED) |
| TOTAL TRUCK DOCK SPACES:                       | 38 DOCK LOCATIONS (30 EXISTING)                    |
| TOTAL DRIVE-IN DOORS:                          | 2 D.I.D. (1 EXISTING)                              |
| TOTAL TRUCK PARKING SPACES:                    | 77 SPACES (EXISTING)                               |

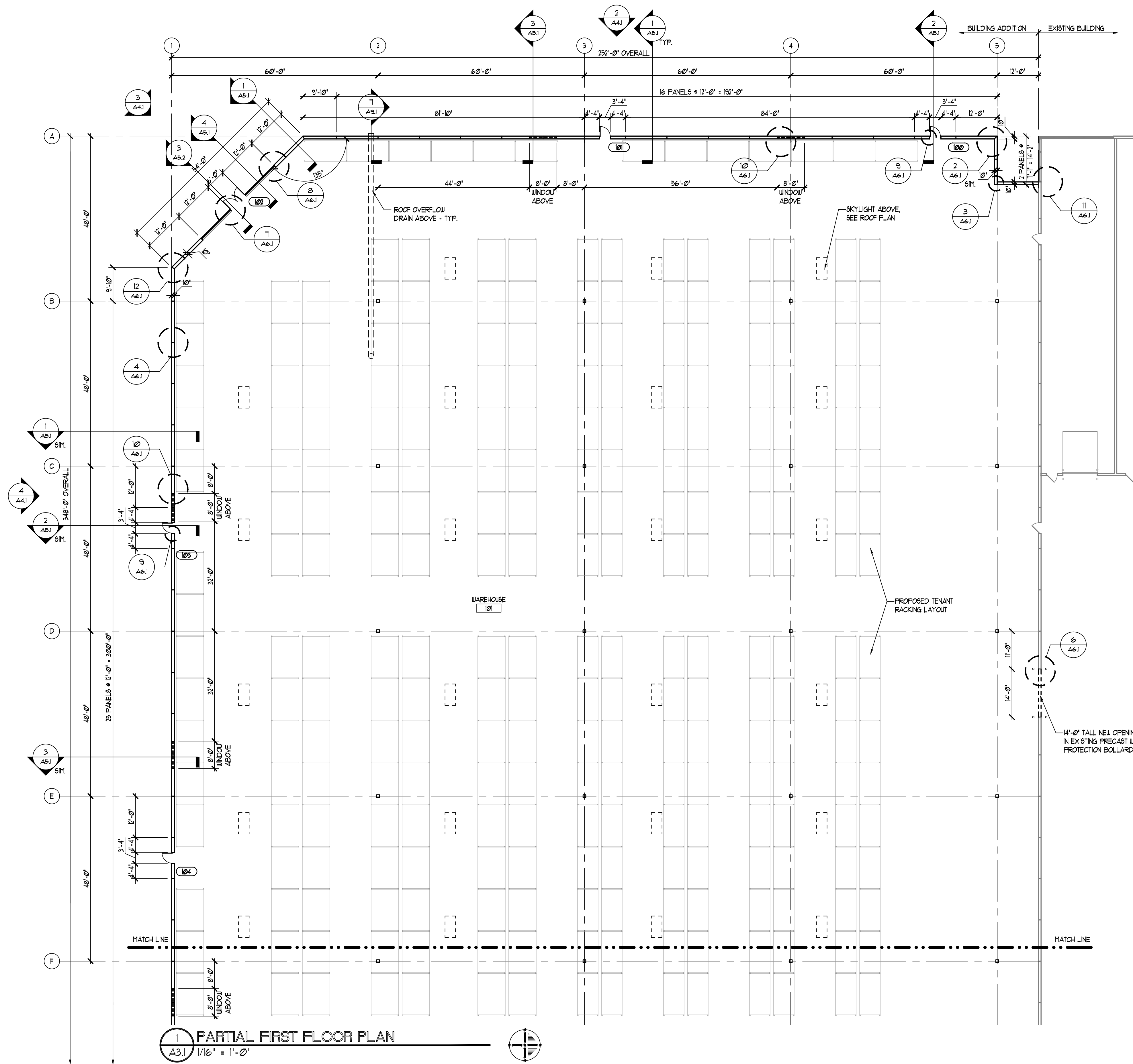


**2** EGRESS STAIR PLAN  
A1.1 1/4" = 1'-0"

**3** BOLLARD SECTION  
A1.1 3/4" = 1'-0"

**4** RELOCATED PRECAST WALL SECTION  
A1.1 3/4" = 1'-0"

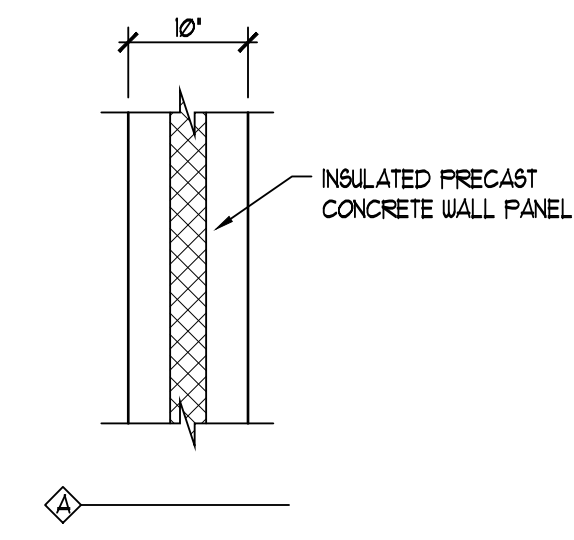
REVISIONS  
 VW PARTS DISTRIBUTION CENTER EXPANSION  
 LakeView Corporate Park  
 SITE PLAN  
 2510 Lake Cook Road Suite 280 Riverwoods, IL 60015 Ph: (847)940-0300 WWW.PIDARCHITECTS.COM  
 Partners in Design ARCHITECTS  
 PROJECT NO: 513.19.082  
 DRAWN BY: TKM CHECKED BY: JJH  
 DATE: 08.01.19  
 SHEET NO: A1.1



1 PARTIAL FIRST FLOOR PLAN  
A3.1 1/16" = 1'-0"

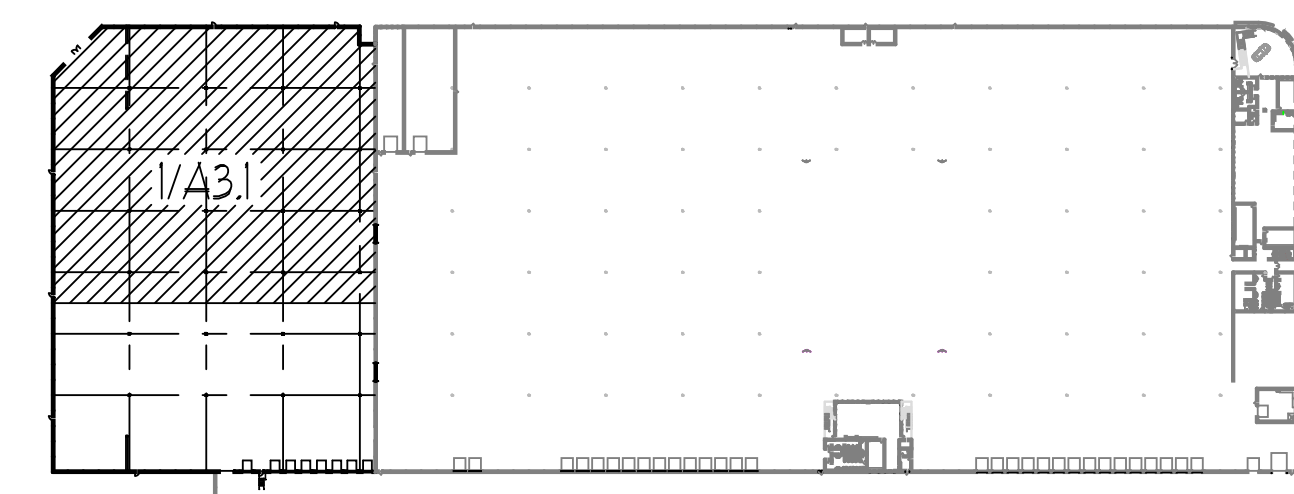
**WALL TYPES**

1. ALL EXTERIOR WALLS TO BE TYPE 'A' UNLESS NOTED OTHERWISE.



**FLOOR PLAN LEGEND**

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL AND ASSOCIATED DEVICES TO BE REMOVED
- NEW DOOR, SEE DOOR SCHEDULE
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN

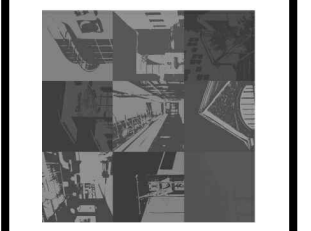


KEY PLAN  
NOT TO SCALE

VW PARTS DISTRIBUTION CENTER EXPANSION  
 LakeView Corporate Park  
 PARTIAL FLOOR PLAN

2510 Lake Cook Road  
 Suite 280  
 Riverwoods, IL 60015  
 Ph: (847) 940-0300  
 WWW.PIDAARCHITECTS.COM

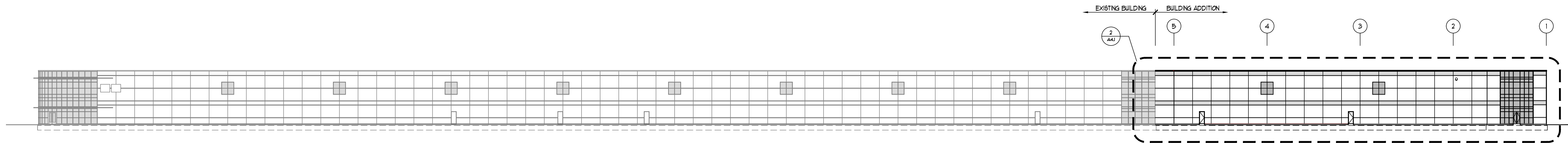
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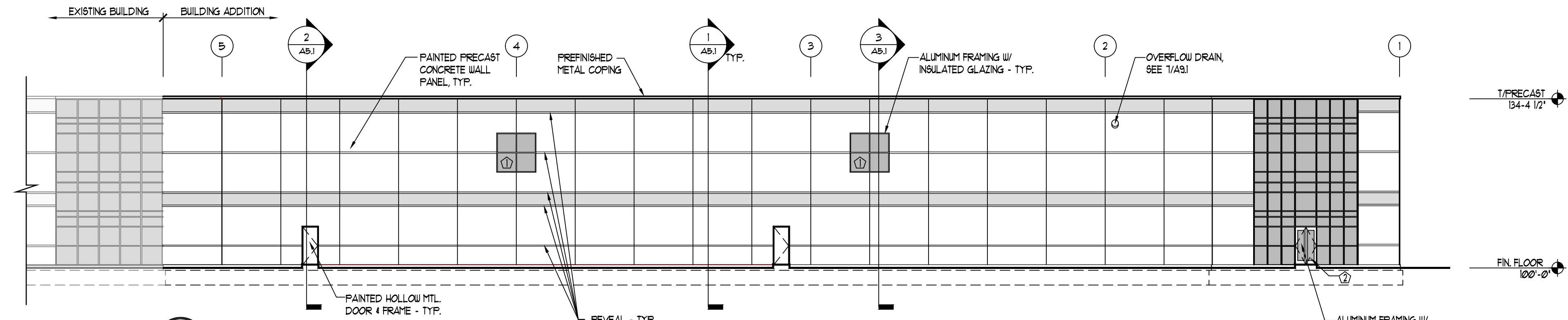
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 08.01.19  
 SHEET NO:

**A3.1**

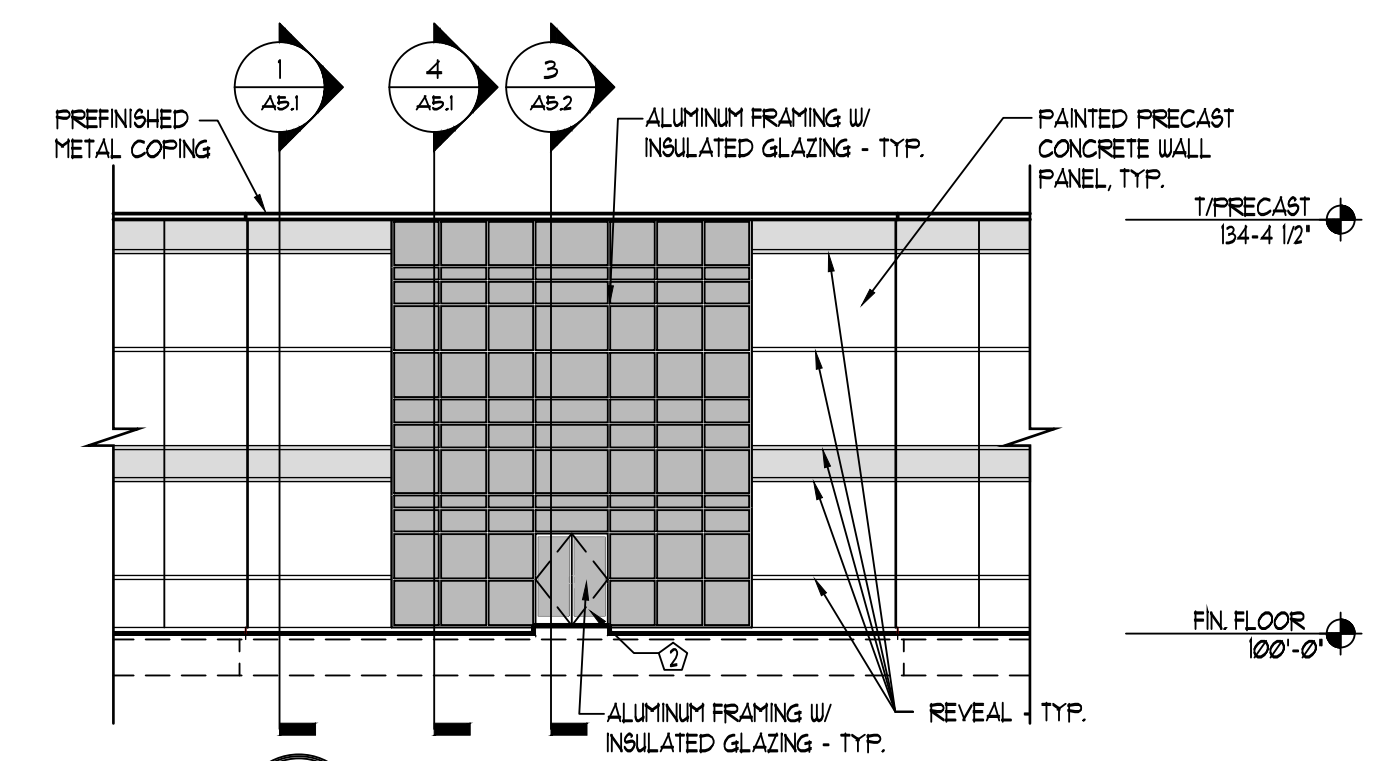




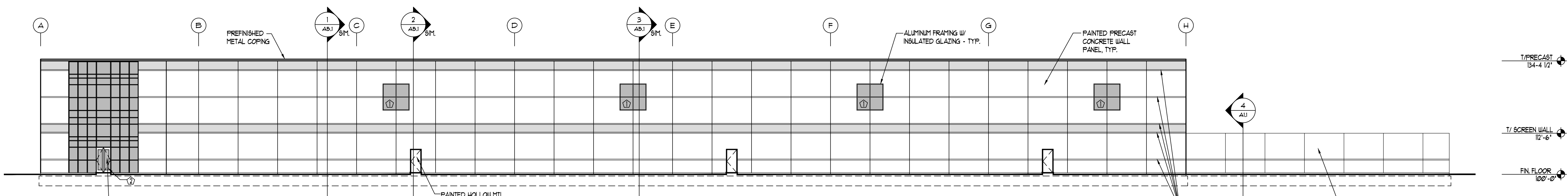
**1 WEST ELEVATION**  
A41 1/32" = 1'-0"



**2 ENLARGED WEST ELEVATION**  
A41 1/16" = 1'-0"



**3 ENLARGED SOUTHWEST ELEVATION**  
A41 1/16" = 1'-0"



**4 ENLARGED SOUTH ELEVATION**  
A41 1/16" = 1'-0"

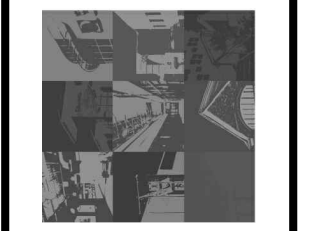
**COLOR LEGEND:**

|  |   |
|--|---|
|  | COLOR 1:<br>BENJAMIN MOORE - CEMENT GRAY, BM 212-60   |
|  | COLOR 2:<br>BENJAMIN MOORE - STONE HARBOR, BM 2111-50 |

**VW PARTS DISTRIBUTION CENTER EXPANSION**  
 LakeView Corporate Park  
**EXTERIOR ELEVATIONS**

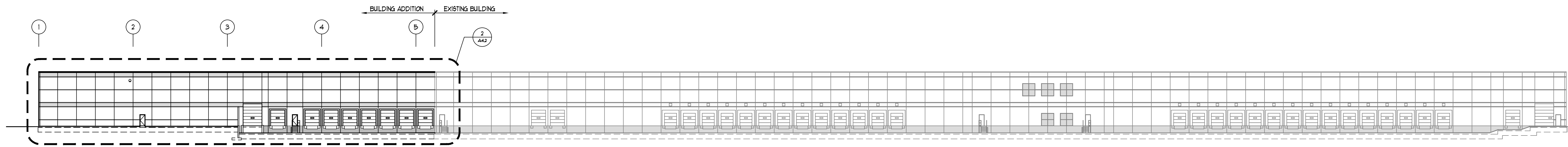
2510 Lake Cook Road  
 Suite 280  
 Riverwoods, IL 60015  
 Ph: (847) 940-0300  
 WWW.PIDAARCHITECTS.COM

**Partners in Design**  
**ARCHITECTS**

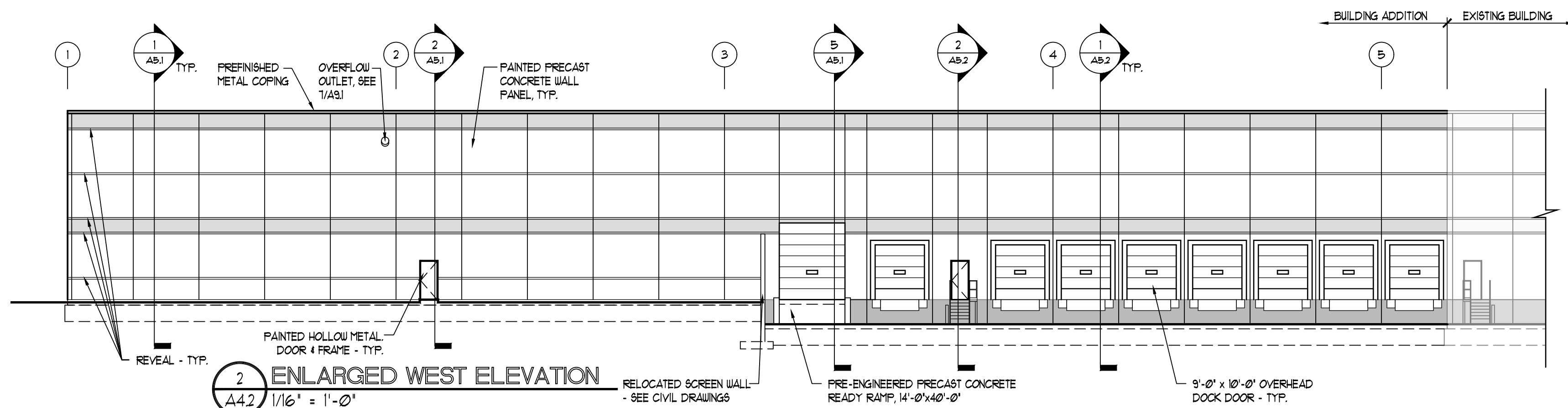


PROJECT NO.:  
**513.19.082**  
 DRAWN BY: **TKM** CHECKED BY: **JJH**  
 DATE: **08.01.19**  
 SHEET NO.:

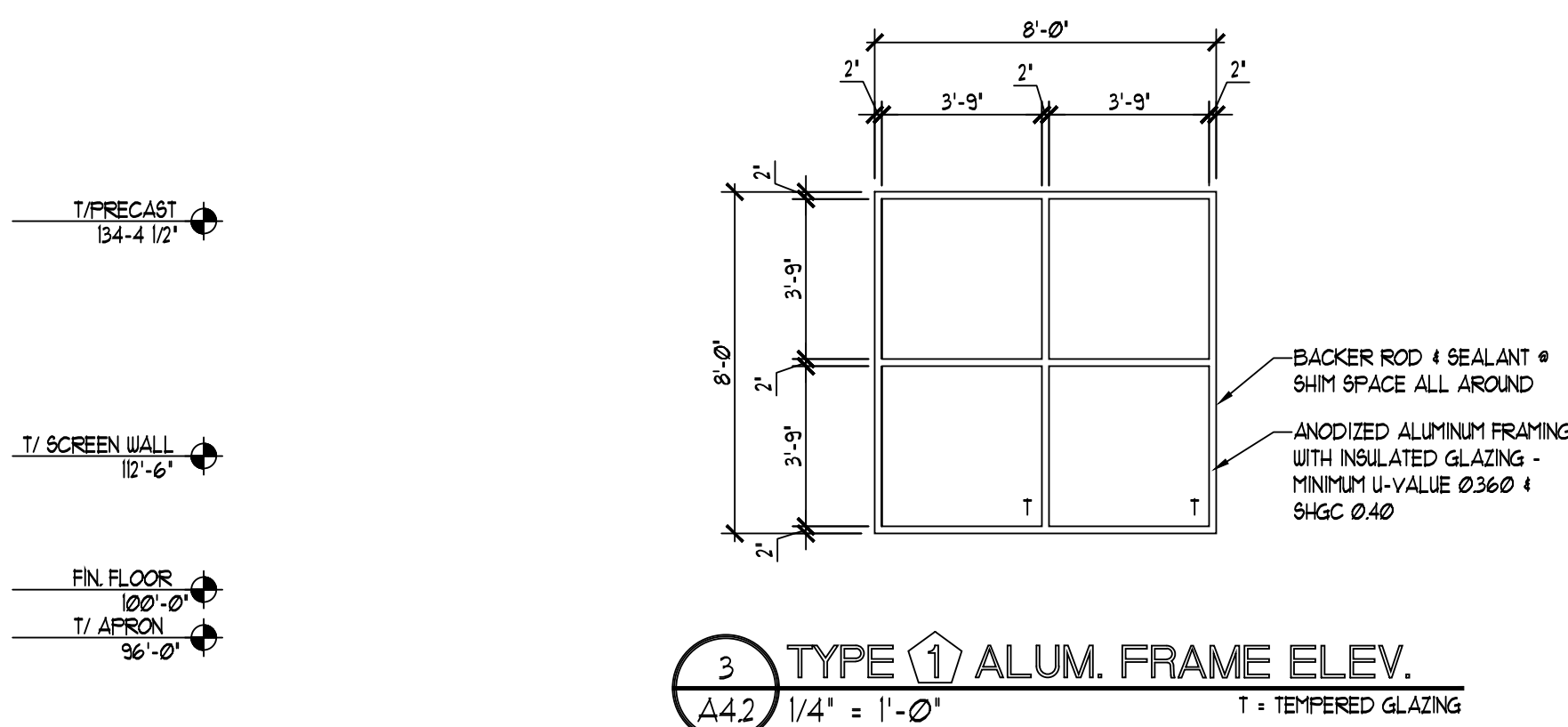
**A4.1**



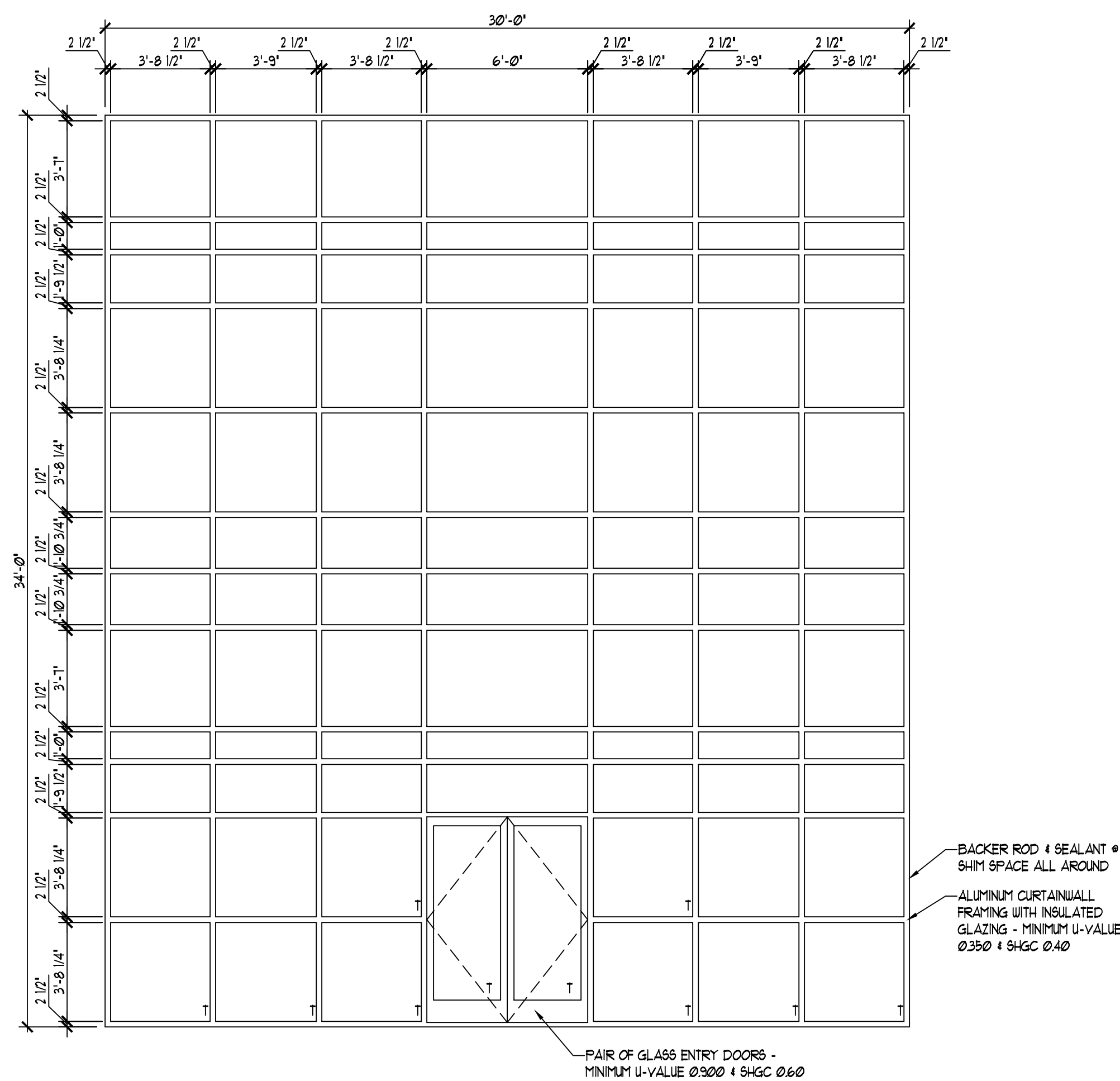
1 EAST ELEVATION  
A4.2 1/32" = 1'-0"



2 ENLARGED WEST ELEVATION  
A4.2 1/16" = 1'-0"



3 TYPE 1 ALUM. FRAME ELEV.  
A4.2 1/4" = 1'-0"



4 TYPE 2 ALUM. FRAME ELEV.  
A4.2 1/4" = 1'-0"

COLOR LEGEND:

|  |   |
|--|---|
|  | COLOR 1:<br>BENJAMIN MOORE - CEMENT GRAY, BM 210-60   |
|  | COLOR 2:<br>BENJAMIN MOORE - STONE HARBOR, BM 2111-50 |

REVISIONS  
 VW PARTS DISTRIBUTION CENTER EXPANSION  
 LakeView Corporate Park  
 EXTERIOR ELEVATIONS  
 2510 Lake Cook Road  
 Suite 280  
 Riverwoods, IL 60015  
 Ph.: (847) 940-0300  
 WWW.PIDAARCHITECTS.COM  
 Partners in Design  
 ARCHITECTS  
 PROJECT NO.: 513.19.002  
 DRAWN BY: TKM CHECKED BY: JJH  
 DATE: 08.01.19  
 SHEET NO.: A4.2

- B. Consider the required of Mark Eberle, P.E. with Nielsen, Madsen, and Barber S.C. for **Site and Operational Plans** approval for a parking lot expansion for Good Foods Group, LLC located south of their facility at 10100 88<sup>th</sup> Avenue in LakeView Corporate Park.

**Recommendation:** Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of December 9, 2019.

## VILLAGE STAFF REPORT OF DECEMBER 9, 2019

Consider the required of Mark Eberle, P.E. with Nielsen, Madsen, and Barber S.C. for **Site and Operational Plans** approval for a parking lot expansion for Good Foods Group, LLC located south of their facility at 10100 88<sup>th</sup> Avenue in LakeView Corporate Park.

*Good Foods Group is requesting approval of a parking lot expansion to accommodate 156 additional parking spaces on the property south of their 93,430 square foot facility located at 10100 88<sup>th</sup> Avenue. The current site has 193 on-site parking spaces.*

Good Foods has occupied this building since 2013. In 2014, they constructed an addition and anticipated that the existing site could accommodate parking for 150 employees. Good Foods has grown to employ 245 people and since parking on site is not adequate, they are currently shuttling employees from off-site parking areas. The addition of the 156 parking spaces will provide for 349 parking spaces for their employees. The new parking lot provides a marked pedestrian access to the building.

### **Village staff recommends conditional approval of the Site and Operational Plans subject to the above comments and the following conditions:**

1. The Preliminary Site and Operational Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans shall be prepared and reviewed. **The following changes shall be made to the plans and three (3) revised paper copies and one electronic copy of the revised Site and Operational Plans with a written description of how each of the comments below have been addressed shall be submitted for final staff review:**
  - a. See **attached** comments dated November 12, 2019 from the Village Engineering Department.
  - b. Remove the no semi truck parking signs on 102<sup>nd</sup> Street and the sign detail. No parking on the public street is required to be approved by ordinance and when approved, appropriate signs will be installed by the Village.
2. As part of the overall project the Village Fire & Rescue Department is requiring that the following be completed. Contact Craig Roepke, Village Fire Chief at 262-694-8027 with any questions.
  - a. Repaint hydrant(s) to current color scheme.
  - b. Retrofit hydrant(s) to 5" Storz connection.
  - c. If not existing, add AED to building in most appropriate accessible location.
  - d. Repaint pumper pad no parking pavement markings and add no parking signage.
3. The sampling manhole on the Good Foods facility site shall be brought up to the current Village specifications. Contact Tom Hupp with the Village Public Works Department at 262-925-6789 to discuss the requirements and any required permits.



4. **Prior to the issuance of the required erosion control permits and underground plumbing permits the following shall be submitted (1 paper copy and a pdf copy):**
  - a. The Lots shall be combined prior to issuance of permits. See **attached** Lot Combination Form. The lots shall be in the same ownership prior to being combined.
  - b. A copy of the LakeView Commercial Association approval letter.
  - c. Written approval from any easement holder(s) for proposed grading, utility, and/or other work within easement limits.
  - d. A copy of the Wisconsin Department of Natural Resources N.O.I. Permit. (submitted)
  - e. Village Erosion Control Permit Application and approved plans.
  - f. Village Utility Permit for the storm sewer work.
  
5. **Upon satisfaction of the above conditions and prior to work commencing on the site a preconstruction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications noted above are submitted). The purpose of the preconstruction meeting is to discuss the construction, site logistics, schedule, inspection process and requirements in detail with the owner, engineer, grading contractor, underground utility contractor, and the staff inspectors. The Design Engineer of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting. The Developer's Design Engineer of Record is responsible for the following for the Pre-Con Meeting:**
  - a. Attendance at Preconstruction meeting - Developer/Design Engineer shall invite and attendance is required for the following people at the pre-con meeting – Owner, Design Engineer of Record, Project Superintendent for this project, Site Excavator, Utility Contractor and other trades as applicable.
  - b. Pre-construction agenda - A sample agenda will be provided by the Village staff to the Design Engineer. The Design Engineer shall tailor the agenda to the project and provide copies for all attendees. (Pre-con minutes shall be emailed by Design Engineer back to all attendees within 7 days of meeting).
  - c. Project construction schedule – 11" by 17" must be of readable size. Provide copy for all attendees.
  - d. Site logistics plan – identify the trailer location, site contractor directional signage, on-site contractor parking, gravel access road, travel route to the site, construction site fencing location proposed hours of operation. Provide copy for all attendees.
  - e. Final set of approved plans – bring 1 full size set and 3 reduced size sets (half size) for discussion purposes.
  - f. Attendee sign in sheet – circulate at meeting.
  - g. List of emergency contact information and business cards – Owner, Design Engineer of Record, Project Superintendent for this project, Site Excavator, Underground Utilities Contractor, and General Contractor. Provide copy for all attendees.

6. **Following the pre-construction meeting, all necessary permits and fees shall be paid and permits obtained from Village Building Inspection Department and construction may commence.**

7. **Other Comments:**

- a. There shall be no construction vehicle parking or equipment storage permitted on 88<sup>th</sup> Avenue or 102<sup>nd</sup> Street. On-site (off-street) parking areas shall be designated to accommodate all construction related workers and site visitors.
- b. There shall be no Good Foods semi-trucks parked on 88<sup>th</sup> Avenue or 102<sup>nd</sup> Street. The Village will initiate the process to prohibit all semi-truck and trailer parking on these streets.
- c. Prior to work commencing on the site, all required permits shall be issued by the Village and all required erosion control measures shall be in place and inspected and maintained.
- d. All required landscaping shall be installed prior to acceptance of the work. A written letter of verification and certification shall be provided to the Village by the landscape installer that all landscaping have been installed in accordance with the approved landscape plan. However, if cold weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village a cash deposit, a letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
- e. Prior to verbal occupancy, one (1) electronic copy of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- f. Prior to occupancy, one (1) electronic copy of the as-built record drawings of all graphical data of all private storm sewer facilities in order for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements.
- g. All exterior lights shall not be turn up/facing or glare onto adjacent roadways or properties to cause a nuisance.
- h. All exterior lights shall be installed with the same color and temperature. In addition, the parking lot lights to be LED (5000K) "Dark Sky" compliant.
- i. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.

- j. Outdoor storage of raw materials, finished goods or racking (pallet storage) is prohibited in this parking lot. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is also prohibited.
- k. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles.
- l. No semi-trucks or trailers shall be parked in this employee parking lot.
- m. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
- n. No truck or automobile parking is permitted in driveways, maneuvering lanes or on landscaped areas.
- o. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- p. All Village fees incurred by the Village Community Development, Public Works and Engineering Departments and/or expert assistant required by the Village throughout the development process (until written occupancy on every building) will be billed directly to the Developer. Such fees shall be paid in a timely manner.

## MEMORANDUM

**To:** Peggy Herrick, Assistant Planner / Zoning Administrator  
**From:** Matthew J. Fineour, P.E.  
**Date:** November 22, 2019  
**Re:** Good Foods Inc. – Employee Parking Lot  
DEV1911-005



Peggy,

Office of the Village Engineer

The Engineering Department has reviewed the engineering plans for the proposed employee parking lot. We have the following comments noted on the attached mark-up plan and as listed below.

### **See comments on attached mark-up plan sheets.**

1. Only plan sheets with comments are included.
2. Comments that apply to multiple locations are not repeated for every occurrence.

### **General**

3. A permit is required from Kenosha County for the proposed storm sewer discharge into the CTH "H" road ditch. The Developer shall apply for the permit and provide a copy of the permit to the Village upon issuance.
4. The existing two culverts associated with Good Foods driveways along CTH "H" shall be evaluated to ensure they are adequately sized for the contributory existing and proposed drainage or if they need to be upsized. The design engineer shall check with the County regarding if they have a specific storm frequency event they would like to have evaluated that may be greater than the 10-year storm event. Provide the drainage calculations and contributory drainage area map.

The interim grading plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed.

Attachments: Plan mark up.

\*\*\*





KENOSHA

CONSTRUCTION PLANS for GOOD FOODS INC. EMPLOYEE PARKING LOT ADDITION SITE GRADING, DRAINAGE, & PAVEMENT IMPROVEMENTS for CG SCHMIDT INC. 11777 West Lake Park Drive, Milwaukee, Wisconsin

VOPP ENG REVIEW PLAN MARK UP NOVEMBER 22, 2019

Nielsen Madsen + Barber CIVIL ENGINEERS AND LAND SURVEYORS 1458 Horizon Blvd. Suite 200, Racine, WI. 53406

SHEET INDEX

Table with 2 columns: Plan Sheet, Sheet No. Lists various sheets like TITLE SHEET, EXISTING CONDITIONS & SITE DEMOLITION PLAN, etc.

CONTRACTOR

CG SCHMIDT INC. JOE HOFFMEIER 11777 WEST LAKE PARK DRIVE MILWAUKEE, WI 53224

OWNER

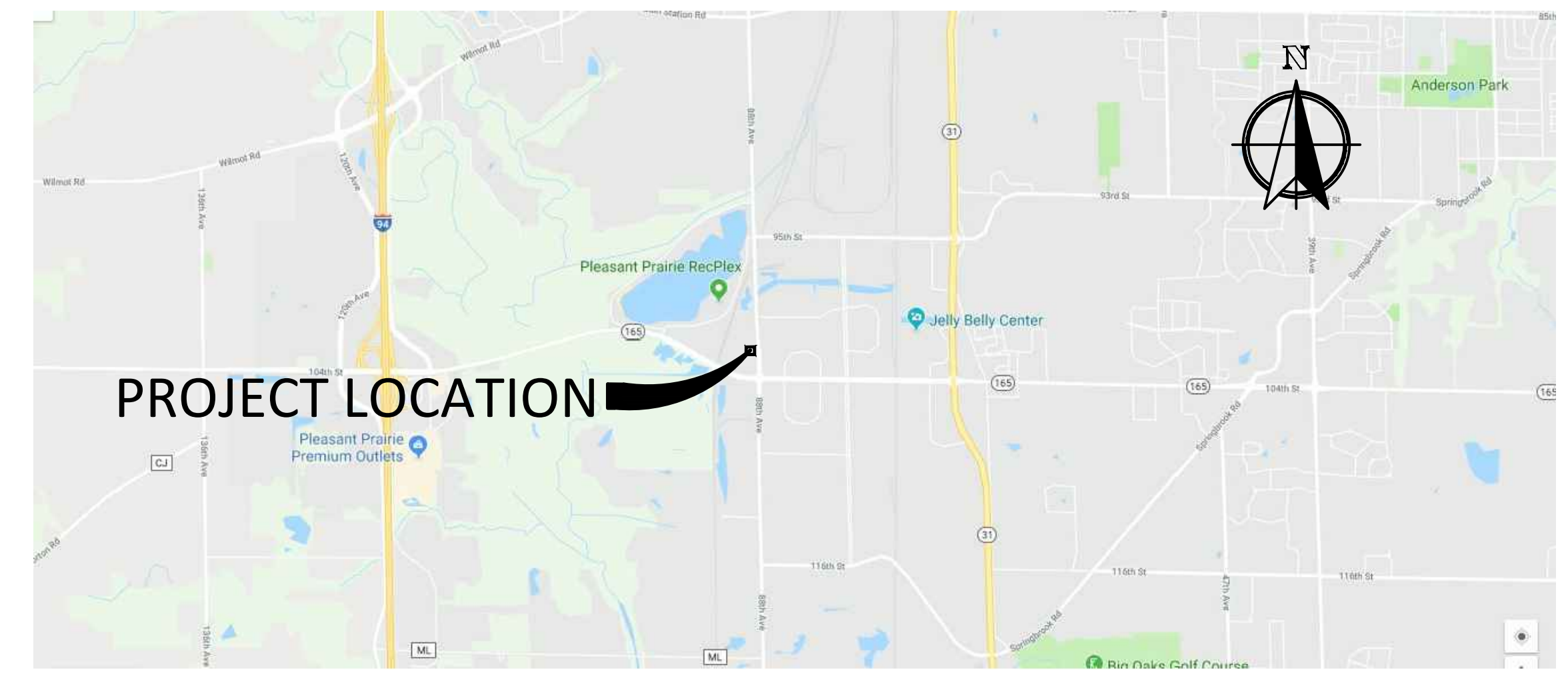
NAPANOOK, LLC. (GOOD FOODS INC.) KURT PENN 10100 88TH AVENUE PLEASANT PRAIRIE, WI 53158

GOVERNING AGENCY CONTACTS

- PLEASANT PRAIRIE VILLAGE HALL 9915 39TH STREET PLEASANT PRAIRIE, WI 53158 OFFICE: (262) 694-1400
-BUILDING INSPECTION DEPARTMENT SANDRO PEREZ OFFICE: (262) 694-9304
-ADMINISTRATION NATHAN THIEL OFFICE: (262) 925-6721
-ASSISTANT VILLAGE ADMINISTRATOR THOMAS SHIRCEL OFFICE: (262) 925-6721
-DEPUTY PLANNER AND ZONING ADMINISTRATOR PEGGY HERRICK OFFICE: (262) 925-6716
-DEPUTY PLANNER AND ZONING ADMINISTRATOR AARON KRAMER OFFICE: (262) 925-6711
-ENGINEERING DEPARTMENT MATT FINEOUR, P.E. OFFICE: (262) 925-6778
KURT DAVIDSEN, P.E. OFFICE: (262) 925-6728
MONICA YUHAS OFFICE: (262) 925-6729

PUBLIC UTILITY CONTACTS

- AMERICAN TRANSMISSION COMPANY BRIAN MCGEE OFFICE: (262) 506-6895
-WE-ENERGIES ALLIE KLAWINSKI OFFICE: (262) 552-3227
-ATANDT MIKE TOYEK OFFICE: (262) 636-0549
-TDS TELECOM SOUTHEAST WISCONSIN OFFICE: (877) 483-7142
-WEC ENERGY GROUP JOEL BURROW OFFICE: (414) 221-3192
-SPECTRUM STEVE CRAMER OFFICE: (414) 277-4045
ROBERT TUNUTA OFFICE: (414) 277-4205



DIGGERS HOTLINE Call 811 or (800) 242-8511 www.DiggersHotline.com

PRE-CONSTRUCTION NOTE

PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING (OWNER'S REPRESENTATIVE, OWNER'S ENGINEER, GENERAL CONTRACTOR, VILLAGE ENGINEER, VILLAGE BUILDING INSPECTOR, FIRE AND RESCUE INSPECTOR, IT/DSDS INSPECTOR AND ZONING ADMINISTRATOR) MUST BE HELD AT THE VILLAGE'S OFFICES.

CONSTRUCTION ACCESS NOTE

A TEMPORARY CONSTRUCTION ACCESS AND STONE TRACKING PAD SHALL BE INSTALLED OFF OF 102ND STREET AS SHOWN ON SHEET C-4. ALL CONSTRUCTION TRAFFIC SHALL ACCESS THE SITE VIA THIS LOCATION.

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY.

BENCH MARKS

- 1. TOP NUT OF HYDRANT LOCATED AT NORTH END OF 102nd STREET ON EAST SIDE, ±215 FEET NORTH OF 102nd STREET EAST-WEST CENTERLINE. ELEVATION: 699.40
2. TOP NUT OF HYDRANT LOCATED AT SOUTHWEST CORNER OF 102nd STREET AND 88th AVENUE (CTH H). ELEVATION: 704.78

LEGEND

Legend table with columns: Description, Existing, Proposed. Lists symbols for features like EDGE OF WOODS, DECIDUOUS TREE, CONIFEROUS TREE, etc.

BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

ABBREVIATIONS

Table of abbreviations: BASE LINE (BL), LONG CORD OF CURVE (CHD), CURB AND GUTTER (C&G), etc.

GOOD FOODS INC. EMPLOYEE PARKING LOT ADDITION GRADING, DRAINAGE, & PAVING IMPROVEMENTS FOR CG SCHMIDT INC. VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN

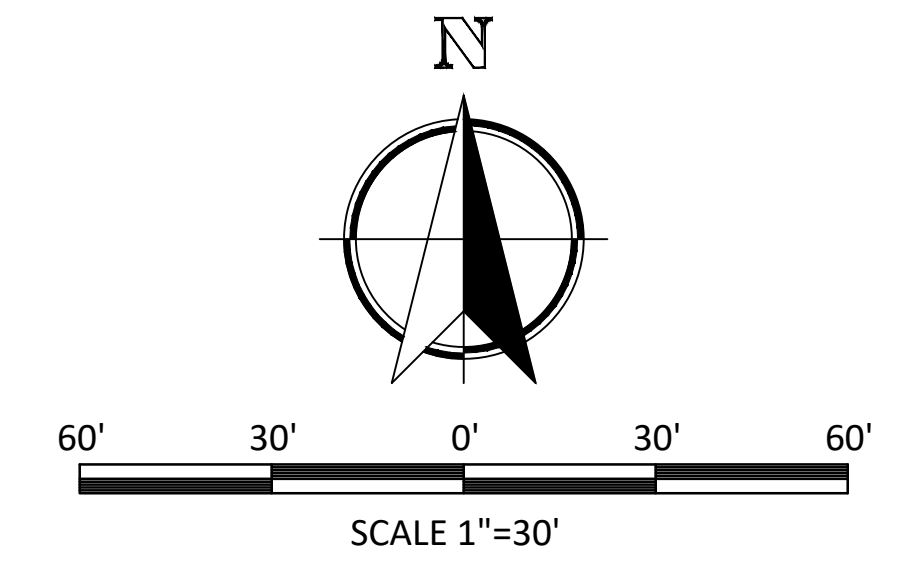
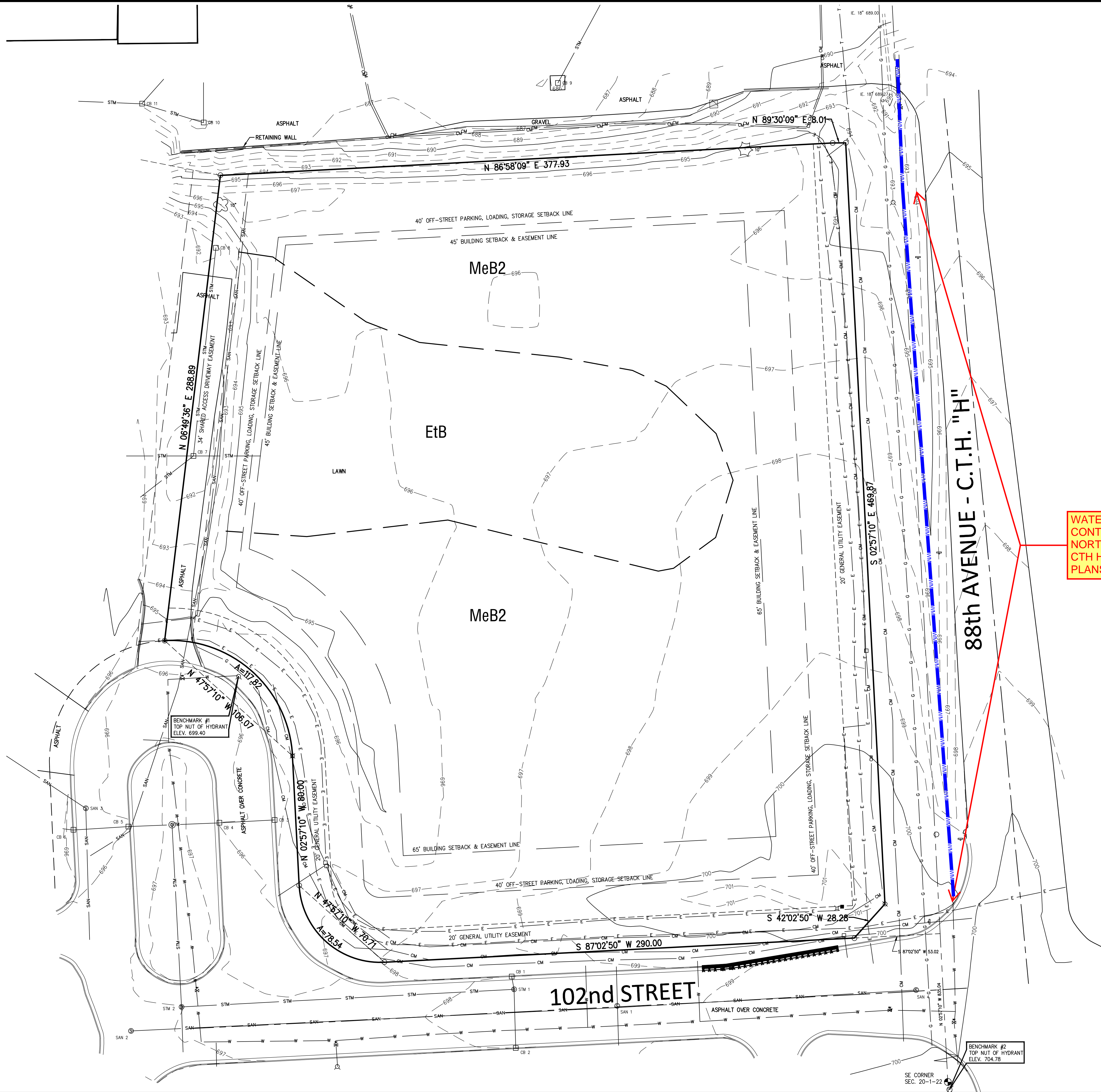
Table with columns: NO., REVISION, DATE. For tracking changes to the drawing.

PROJ. MGR: MDE DRAFTED: APK DATE: 11-1-2019 CHECKED: MDE DATE: 11-5-2019

2018.0348.01 SHEET C-1

ISSUE FOR APPROVAL: 11-8-19





**EXISTING UTILITY DATA**

|   |  |  |
|---|--|--|
| STM 1<br>RIM 698.17<br>IE. 12" N 691.02<br>IE. 15" S 690.92<br>IE. 24" W 690.57 | CB 5<br>RIM 695.88<br>IE. 15" E 688.53<br>IE. 18" W 688.28                         | SAN 1<br>RIM 698.66<br>IE. 10" E/W 680.44                    |
| STM 2<br>RIM 696.99<br>IE. 24" E 689.54<br>IE. 24" N 689.24<br>IE. 15" S 689.64 | CB 6<br>RIM 695.14<br>IE. 18" E 687.89<br>IE. 24" W 687.79                         | SAN 2<br>RIM 696.61<br>IE. 10" E/W 681.76<br>IE. 8" N 682.31 |
| CB 1<br>RIM 697.88<br>IE. 12" S 693.63  | CB 7<br>RIM 691.65<br>IE. 12" N/E/W 688.00<br>IE. 15" SW 687.80                    | SAN 3<br>RIM 695.48<br>IE. 8" S/NW 683.33<br>(FLOWS SOUTH)   |
| CB 2<br>RIM 697.83<br>IE. 15" N 690.78<br>IE. 12" S 690.83                      | CB 8<br>RIM 691.72<br>IE. 12" S 688.57   | SAN 4<br>RIM 699.87<br>IE. 10" ?? 679.62<br>(FULL)           |
| CB 3<br>RIM 695.28<br>IE. 15" W 692.18  | CB 9<br>RIM 685.88<br>IE. 12" NE 682.23  |  |
| CB 4<br>RIM 695.96<br>IE. 15" E 691.46<br>IE. 15" W 691.31                      | CB 10<br>RIM 685.86<br>IE. 8" N 680.01<br>IE. 12" NW 679.71                        |  |
|   | CB 11<br>RIM 686.63<br>IE. 12" WNW 679.48<br>IE. 6" NE 679.98<br>IE. 12" SE 679.53 |  |

**SITE DEMOLITION LEGEND**

- \*\*\*\*\* SAW CUT PAVEMENT (FULL DEPTH)
- REMOVE CURB AND GUTTER

**UTILITY NOTE**

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.



ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

LEGEND:

|                                |                        |                               |
|--------------------------------|------------------------|-------------------------------|
| ⊙ STORM MANHOLE                | ⊙ SANITARY MANHOLE     | ■ PAD MOUNT TRANSFORMER       |
| □ CATCH BASIN                  | — SAN — SANITARY SEWER | □ COMMUNICATION BOX           |
| — STM — STORM SEWER            | ⊕ ELECTRIC PEDESTAL    | — CM — COMMUNICATION LINE     |
| — G — GAS MAIN                 | — E — ELECTRIC LINE    | ⊙ LIGHT POLE                  |
| ⊕ SIGN                         | ⊕ HYDRANT              | ⊙ "PK" NAIL                   |
| ⊕ DECIDUOUS TREE               | ⊕ WATER VALVE          | ⊙ FOUND 1" IRON PIPE          |
| ⊕ CONIFEROUS TREE              | — W — WATER MAIN       | ⊙ FOUND 1.25" IRON PIPE W/CAP |
| — SOIL CLASSIFICATION BOUNDARY |                        | ⊙ FOUND 1.25" IRON PIPE       |
| EtB SOIL CLASSIFICATION        |                        |                               |

**Nielsen Madsen + Barber**  
 CIVIL ENGINEERS AND LAND SURVEYORS  
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406  
 Tele: (262)634-5588 Website: www.nmbasc.net

**GOOD FOODS INC.**  
 EMPLOYEE PARKING LOT ADDITION  
 EXISTING CONDITIONS & SITE DEMOLITION PLAN  
 FOR  
**CG SCHMIDT INC.**  
 VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN

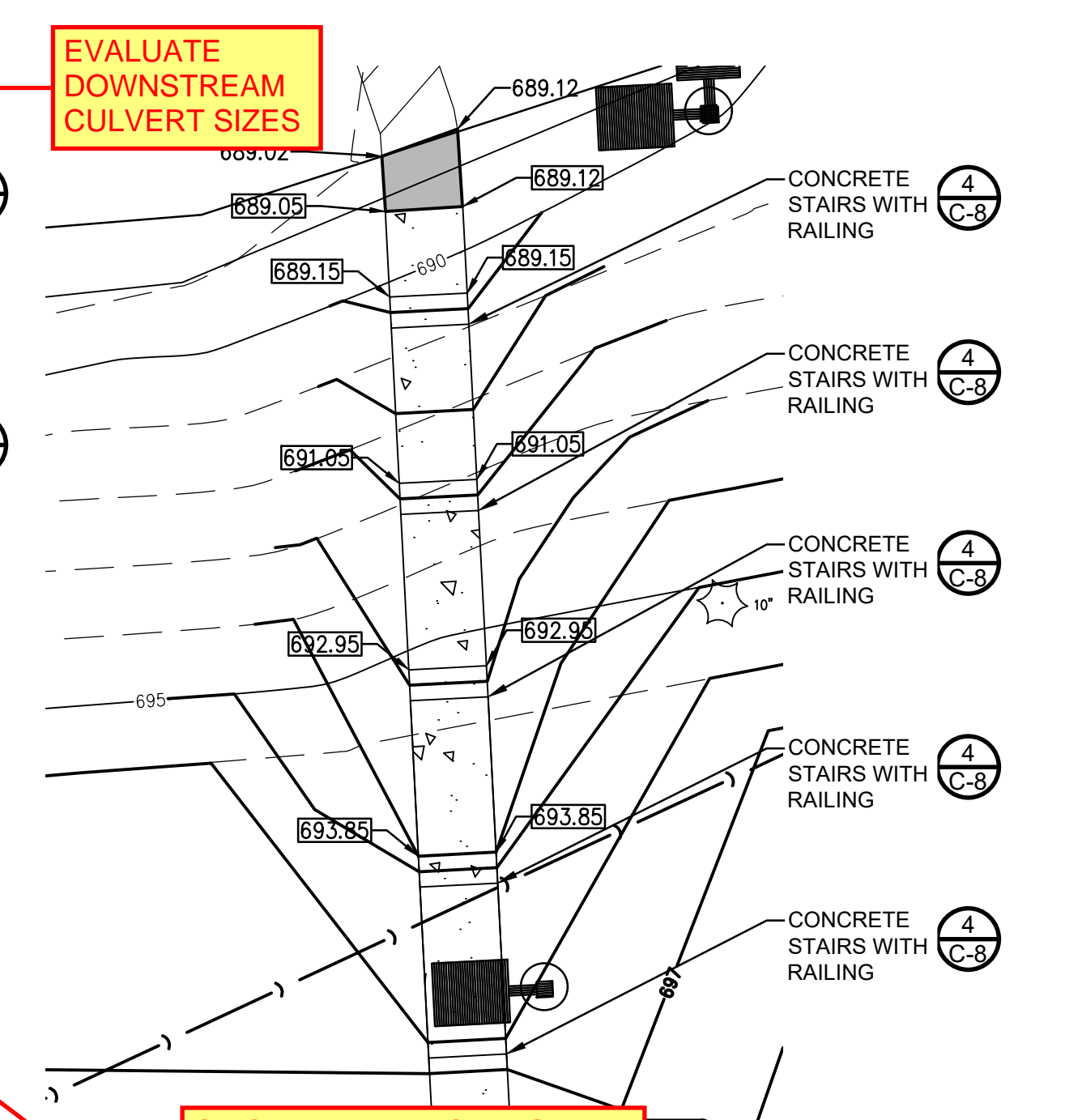
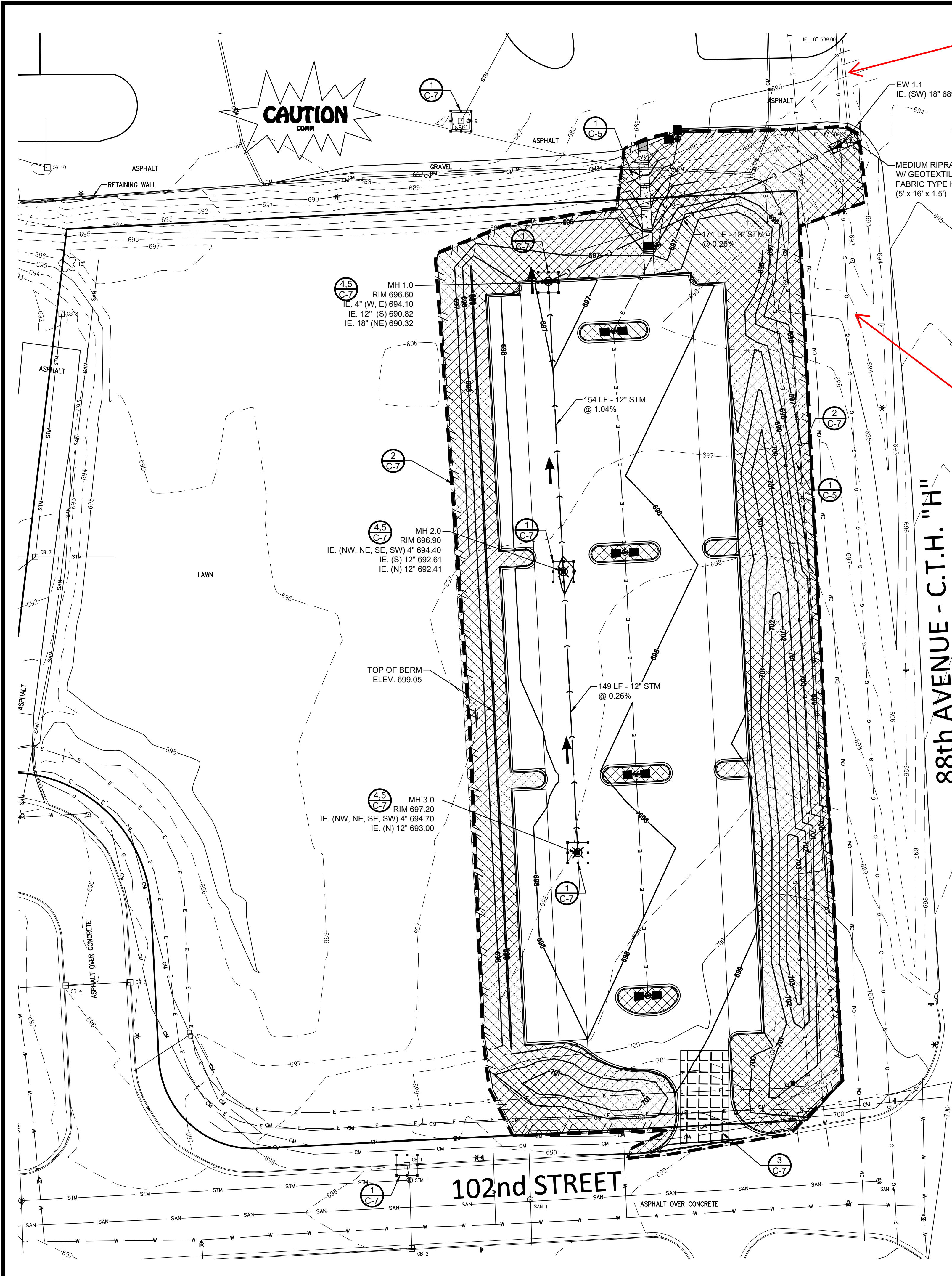
|     |          |    |      |
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| NO. | REVISION | BY | DATE |
|     |          |    |      |
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PROJ. MGR: \_\_\_\_\_ MDE  
 DRAFTED: \_\_\_\_\_ APK  
 DATE: 11-1-2019  
 CHECKED: \_\_\_\_\_ MDE  
 DATE: 11-5-2019

2018.0348.01  
 SHEET  
**C-2**

**ISSUE FOR APPROVAL: 11-8-19**





**GRADING & EROSION CONTROL LEGEND**

- 692 EXISTING CONTOURS
- 702 PROPOSED CONTOURS
- 604.88 EXISTING SPOT GRADE
- 604.88 FINISHED PAVEMENT GRADE
- 604.88 FINISHED SIDEWALK GRADE
- 604.88 TOP OF CURB GRADE
- 604.88 CURB FLANGE GRADE
- 604.88 FINISHED YARD GRADE
- OVERLAND FLOW ROUTE
- MEDIUM RIPRAP W/ TYPE HR FABRIC
- LIMITS OF DISTURBANCE (2.22 ACRES)
- STORM INLET PROTECTION
- SILT FENCE
- STONE TRACKING PAD
- EROSION MAT CLASS 1, TYPE B

**RESTORATION NOTE**  
SEE LANDSCAPING PLAN FOR SITE LANDSCAPING & RESTORATION DETAILS.

**EROSION & SEDIMENT CONTROL NOTES**  
SEE SHEET C-5 FOR SITE GRADING AND EROSION CONTROL SPECIFICATIONS.

**STORM SEWER SPECIFICATIONS**  
THE STORM SEWER SYSTEM WAS SIZED ACCORDING TO SPS TABLE 382.36-4 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C14". ANY MATERIAL APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE AND THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES MAY BE USED AT THE SLOPES AND SIZES DESIGNED.  
STORM SEWER AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-C. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4'-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.  
STORM SEWER UNDERDRAIN PIPE SHALL BE IN ACCORDANCE WITH SECTION 612.2.6 OF THE "STATE SPECIFICATIONS". UNDERDRAIN PIPE SHALL BE FURNISHED WITH CLASS 2 PERFORATIONS AND GEOTEXTILE FABRIC (TRENCH WRAP), TYPE "DF" IN ACCORDANCE WITH THE TYPICAL SECTIONS SHOWN ON THE PLANS.  
BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".  
ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.  
A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS PER SPS 382.36(7)(d)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE WITHIN THE STRUCTURES AND ROOF DRAIN RISERS.  
1. WIRE SPLICES SHALL BE IN ACCORDANCE WITH STANDARD ELECTRICAL PRACTICES. ACCEPTABLE WIRE SPLICES ARE BRASS SPLIT BOLTS, DRYCONN WATERPROOF CONNECTORS, SNAP-LOC MODEL LV 9500, OR APPROVED EQUAL. WIRE NUTS ARE NOT ACCEPTABLE  
2. BRANCH CONNECTIONS UTILIZING SPLIT BOLTS - SPLICE BRANCH TRACER WIRE TO MAIN TRACER WIRE USING THE FOLLOWING PROCEDURE: BARE TRACER WIRE ON MAIN LINE (DO NOT CUT); CONNECT BRANCH WIRE TO MAIN LINE WITH BRASS SPLIT BOLT; AND SEAL CONNECTION WITH RUBBER ELECTRICAL TAPE AND OVER WRAP WITH TWO LAYER OF POLYETHYLENE ADHESIVE TAPE 1-1/2" WIDE AND 8MM THICK.  
3. BRANCH CONNECTIONS UTILIZING OTHER APPROVED CONNECTORS - FOLLOW MANUFACTURER'S RECOMMENDATIONS.  
STORM SEWER MANHOLES (MH) SHALL BE REINFORCED CONCRETE STRUCTURES IN ACCORDANCE WITH VILLAGE OF PLEASANT PRAIRIE SPECIFICATIONS.  
ALL STORM SEWERS AND MANHOLES SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.40.

**STORM WATER MAINTENANCE PLAN**

- THE STORM WATER DRAINAGE STRUCTURES BEING INSTALLED AS PART OF THIS PROJECT SHALL BE INSPECTED ON A SEMIANNUAL BASIS.
- AS PART OF THE INSPECTION, ANY SILT, SEDIMENT OR DEBRIS BUILT UP IN THE BOTTOM OF ANY STRUCTURE SHALL BE REMOVED AND DISPOSED OF.
- IF EXCESSIVE AMOUNTS OF SEDIMENT ARE PRESENT, THE MAINTENANCE SCHEDULE SHALL BE ADJUSTED ACCORDINGLY OR A PAVEMENT SWEEPING PROGRAM ESTABLISHED TO MINIMIZE THE SEDIMENT LOADING ENTERING THE STORM WATER DRAINAGE STRUCTURES.
- THE PROPERTY OWNER IS ULTIMATELY RESPONSIBLE FOR ENSURING THAT THE STORM WATER LEAVING THE SITE IS CLEAN PER STATE SPECIFICATIONS.
- THIS SITE DRAINS TO A REGIONAL RETENTION BASIN WITHIN LAKEVIEW CORPORATE PARK (TO THE NORTH).

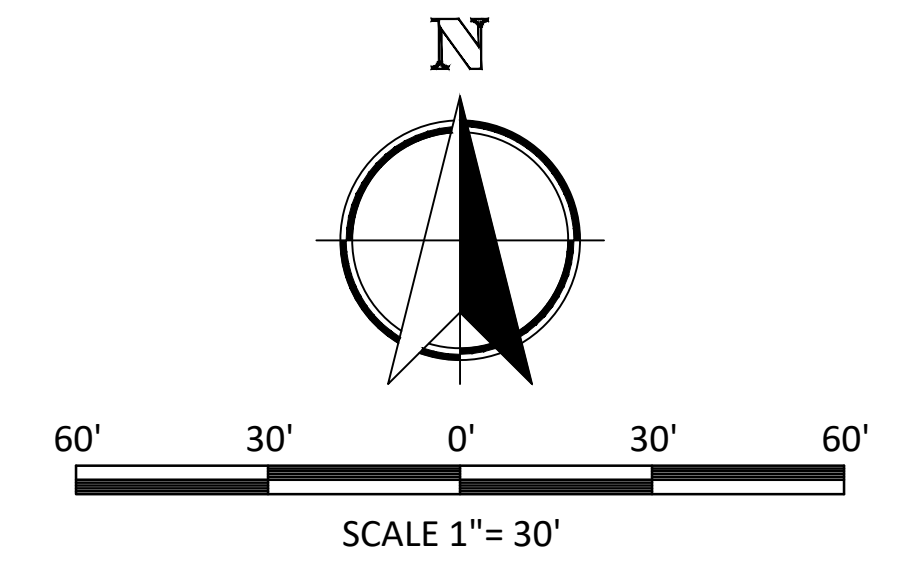
**GENERAL NOTES**

ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY TO BE PERFORMED BY CONTRACTORS THAT ARE APPROVED BY VILLAGE OF PLEASANT PRAIRIE. LIST OF APPROVED CONTRACTORS AND PRE-APPROVAL APPLICATION CAN BE FOUND ON THE VILLAGE WEBSITE UNDER FORMS AND LICENSES UNDER CONTRACTOR QUALIFICATIONS.  
CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 3 DAYS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.  
CONTRACTOR SHALL CONTACT THE VILLAGE PUBLIC WORKS DEPARTMENT STEVE WLAHOVICH @ 262-925-6767 TO SCHEDULE INSPECTIONS FOR ALL WORK PERFORMED WITHIN THE VILLAGE RIGHT-OF-WAY.  
ANY AND ALL EXISTING SIDEWALKS, CURBS OR PAVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE SAWCUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "VILLAGE SPECIFICATIONS".  
AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

**UTILITY NOTE**  
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BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.  
ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

**DIGGER'S HOTLINE**  
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[www.DiggersHotline.com](http://www.DiggersHotline.com)



88th AVENUE - C.T.H. "H"

102nd STREET

**Nielsen Madsen + Barber**  
CIVIL ENGINEERS AND LAND SURVEYORS  
1458 Horizon Blvd. Suite 200, Racine, WI. 53406  
Tele: (262)634-5588 Website: [www.nmbcc.net](http://www.nmbcc.net)

**GOOD FOODS INC.**  
EMPLOYEE PARKING LOT ADDITION  
GRADING, DRAINAGE & EROSION CONTROL PLAN  
FOR  
CG SCHMIDT INC.  
VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN

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**ISSUE FOR APPROVAL: 11-8-19**



### EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE CONSTRUCTION SEQUENCING AND/OR EROSION CONTROL PLANS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE IMPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND VILLAGE OF PLEASANT PRAIRIE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE VILLAGE OF PLEASANT PRAIRIE AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 380.21) AND MAINTAINED PER SPS 380.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
- B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE VILLAGE OF PLEASANT PRAIRIE OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE VILLAGE OF PLEASANT PRAIRIE OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE STRUCTURE. THE FABRIC SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELL SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM DITCH. PUMPED WATER CAN BE TREATED IN FILTERING TANKS. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED.

DITCH CHECKS AND APPLICABLE EROSION NETTING WITHIN 10 DAYS OF COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO GRASS COVER SHALL BE BROADCASTED WITH SEED AND COVER FOR LESS THAN 1 YEAR. REQUIRE TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

ALL DISTURBED SLOPES SHALL BE STABILIZED WITH CLASS I, TYPE A EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED (POLYMER) SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

ALL DISTURBED SWALES AND DITCHES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WisDOT) APPROVED (POLYMER) SOIL STABILIZATION TREATMENT. SOIL EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1053.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE VILLAGE OF PLEASANT PRAIRIE.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

### UTILITY NOTE

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BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927. ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

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### SITE GRADING & SUB-GRADE PREPARATION

ALL EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED AND STOCKPILED AT THE LOCATION SHOWN OR AS DIRECTED BY THE GENERAL CONTRACTOR.

EXCAVATE, GRADE AND SHAPE SUBGRADE TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI-15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3±1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

THE FILL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION.

UPON COMPLETION OF THE GRADING AND COMPACTION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES THAT RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER AND THE GENERAL CONTRACTOR'S GEOTECHNICAL ENGINEER.

TEMPORARY SEEDING IS REQUIRED FOR ALL STOCKPILES AND OTHER EXPOSED LAND AREAS IF NOT ACTIVELY WORKED WITHIN 30 DAYS. AT THE COMPLETION OF THE PAVEMENT WORK, RE-SPREAD SALVAGED TOPSOIL OR IMPORT TOPSOIL AS NECESSARY TO PROVIDE A MINIMUM SIX-INCH (6") LAYER IN ALL LANDSCAPE AND LAWN AREAS. ALL DISTURBED AREAS SHALL BE RESTORED PER THE LANDSCAPE PLAN.

EXCESS TOPSOIL NOT BEING USED FOR THE PROJECT SHALL BE HAULED OFF-SITE. NO STOCKPILES WILL BE ALLOWED.

### PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

ASPHALTIC CONCRETE PAVEMENT SHALL BE WISDOT LT 58-28 S MEETING THE REQUIREMENTS OF SECTION 460 OF THE "STATE SPECIFICATIONS". PAVEMENT SHALL BE INSTALLED IN TWO (2) LIFTS IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET. A TACK COAT SHALL BE INSTALLED BETWEEN THE LOWER AND UPPER COURSES IN ACCORDANCE WITH SECTION 455.3.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR CURB & GUTTER SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

LIGHT-DUTY CONCRETE SHALL BE FIVE INCHES (5") IN THICKNESS ON FIVE INCHES (5") OF DENSE AGGREGATE BASE COURSE AND BE CONSTRUCTED IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET.

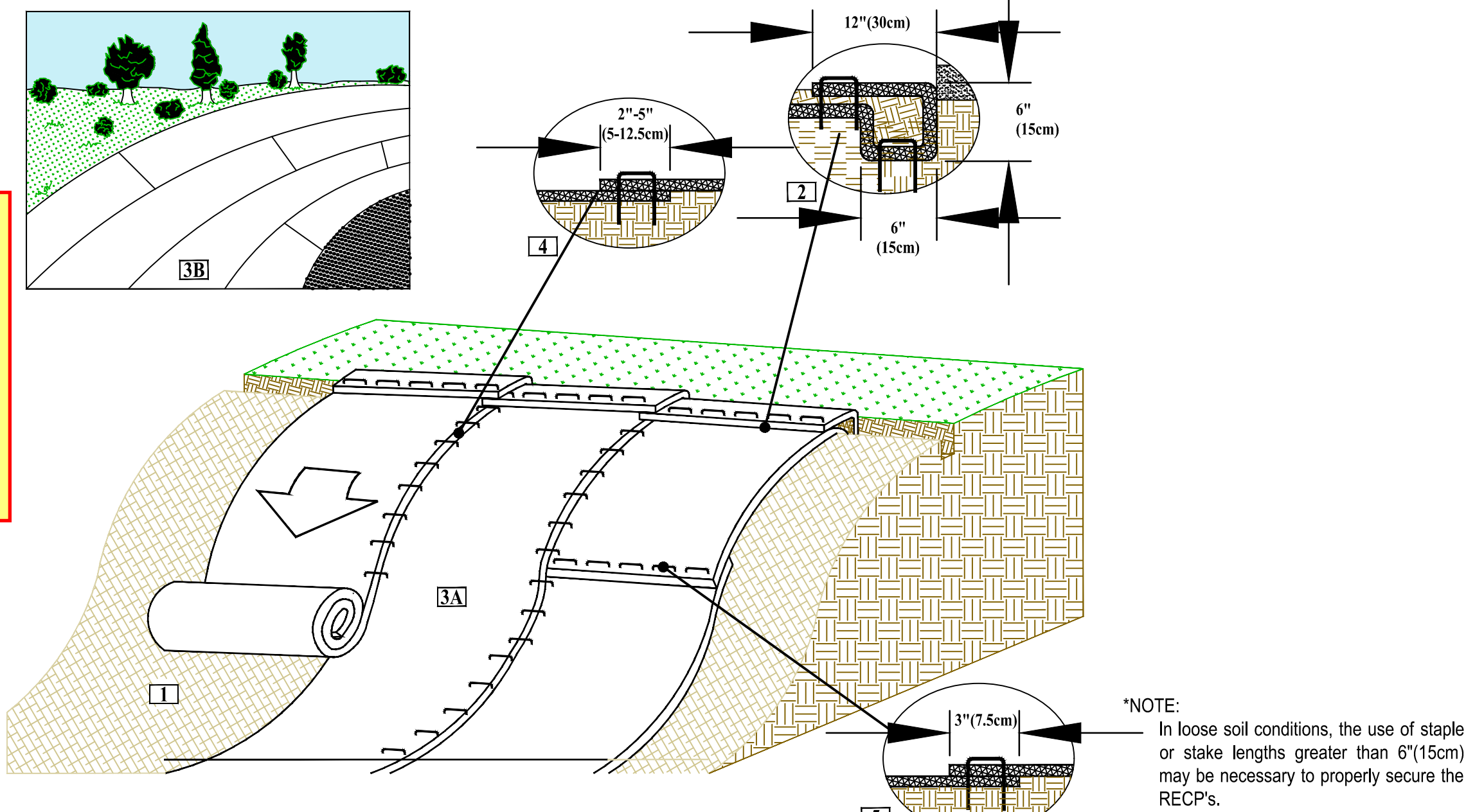
ALL CONCRETE CURB AND GUTTER SHALL BE 18" VERTICAL FACE OR MOUNTABLE CURB CONFORMING TO THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SECTION 601 OF THE "STATE SPECIFICATIONS". ALL CURB & GUTTER SHALL BE "REVERSE PAN CURB" OR "STANDARD CURB" AS INDICATED BY THE LEGEND BELOW AND INSTALLED IN A MANNER TO SHED ALL STORM WATER RUNOFF TOWARDS THE DRAINAGE STRUCTURES.

- 30" DEPRESSED CONCRETE CURB & GUTTER
- 18" VERTICAL FACE CONCRETE CURB & GUTTER
- 18" VERTICAL FACE (REVERSE PAN) CONCRETE CURB & GUTTER

CONTRACTION JOINTS SHALL BE AT TEN-FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

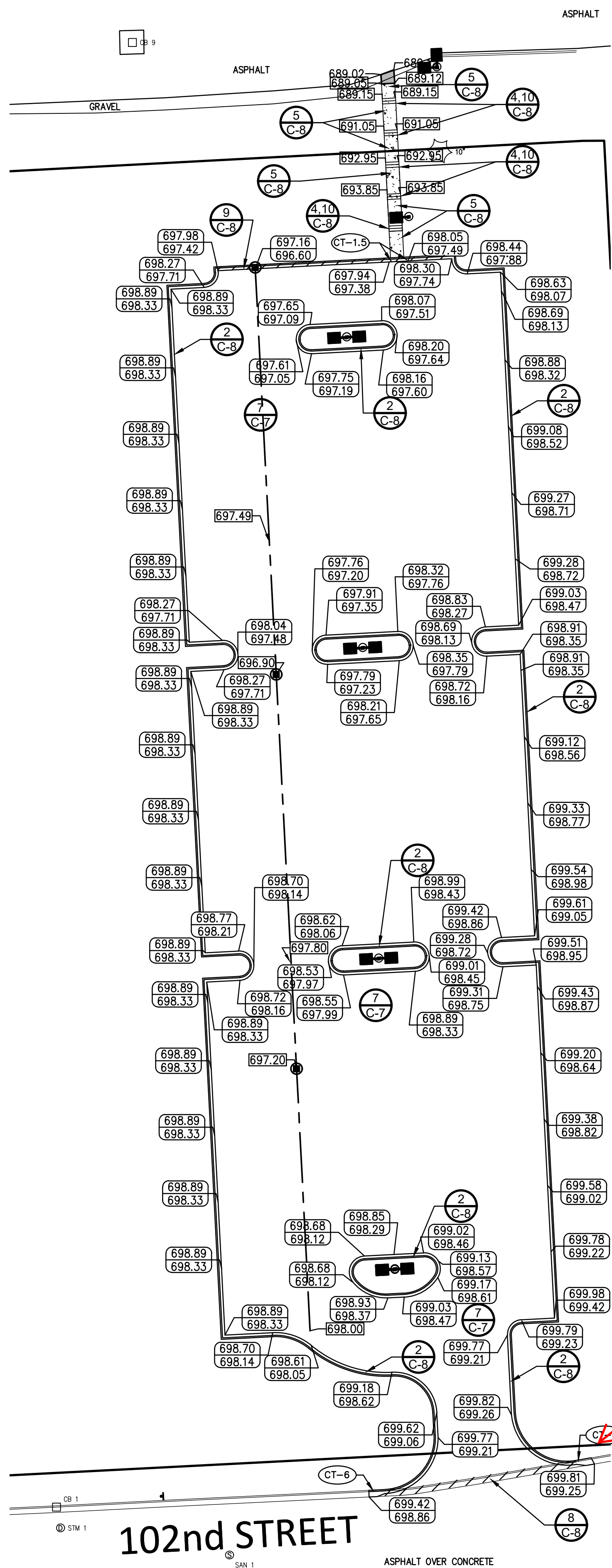


- Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the RECPs in a 6" (15cm) deep X 6" (15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12" (30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12" (30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12" (30cm) apart across the width of the RECPs.
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
- The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
- Consecutive RECPs spliced down the slope must be end over end (Shingle style) with an approximate 3" (7.5cm) overlap. Staple through overlapped area, approximately 12" (30cm) apart across entire RECPs width.

\*NOTE:  
In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the RECPs.

### PAVEMENT GRADING LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- 604.88 — EXISTING SPOT GRADE
- 604.88 — FINISHED PAVEMENT GRADE
- 604.88 — TOP OF CURB GRADE
- 604.88 — CURB FLANGE GRADE
- — DRAINAGE SWALE CENTERLINE



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**GOOD FOODS INC.**  
**EMPLOYEE PARKING LOT ADDITION**  
**PAVEMENT GRADING PLAN**

FOR  
**CG SCHMIDT INC.**  
VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN

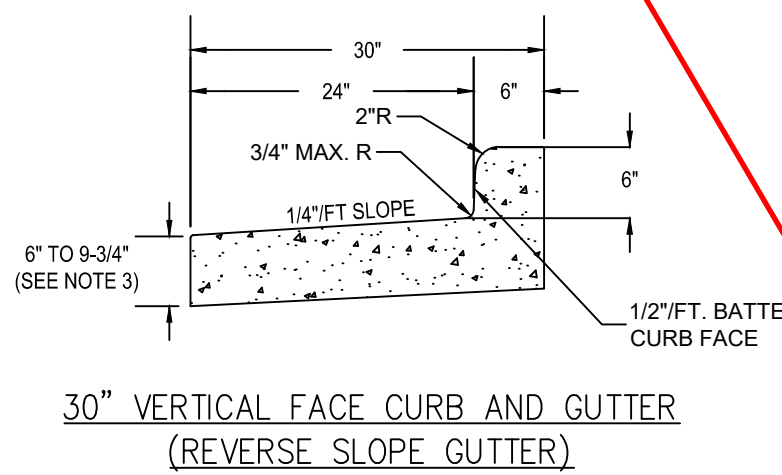
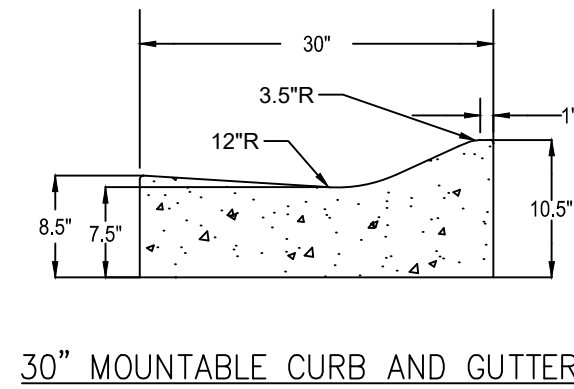
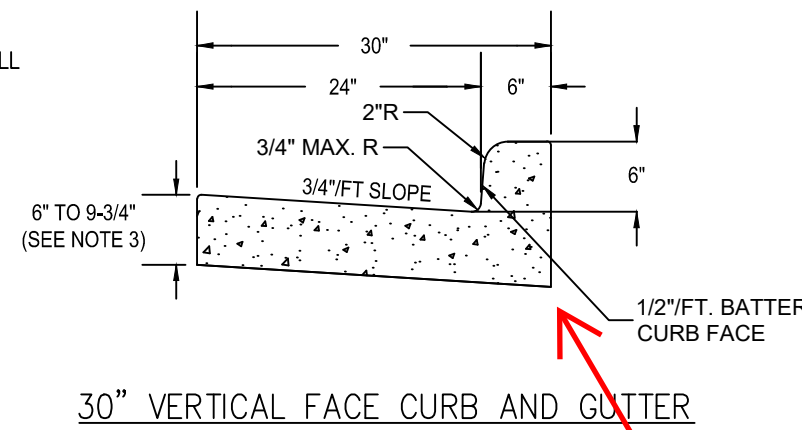
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- NOTE:
- DAMAGED CURB / GUTTER SECTIONS SHALL BE REMOVED TO THE NEAREST JOINT.
  - CURB AND GUTTER CONSTRUCTED ADJACENT TO EXISTING CURB AND GUTTER SHALL BE INSTALLED USING TWO (2) NO.4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER.
  - WHERE ADJACENT PAVEMENT SECTION CONTAINS CONCRETE THE GUTTER THICKNESS SHALL EXTEND TO THE BOTTOM OF THE ADJACENT CONCRETE PAVEMENT.



SCALE: NTS

STANDARD CURB & GUTTER DETAILS

DETAIL: RD - 9

DATE: 12-1-15

VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN

APPROVED BY: MATT FINEOUR

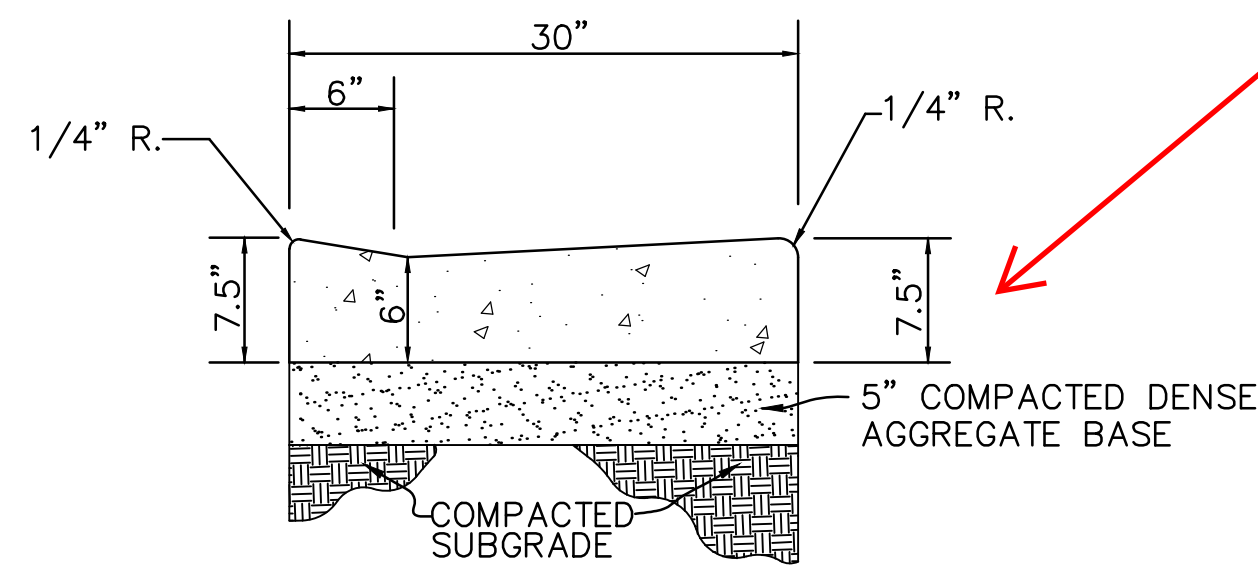
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2 18" VERTICAL FACE  
REVERSE PAN  
CURB AND GUTTER DETAIL

NOT TO SCALE

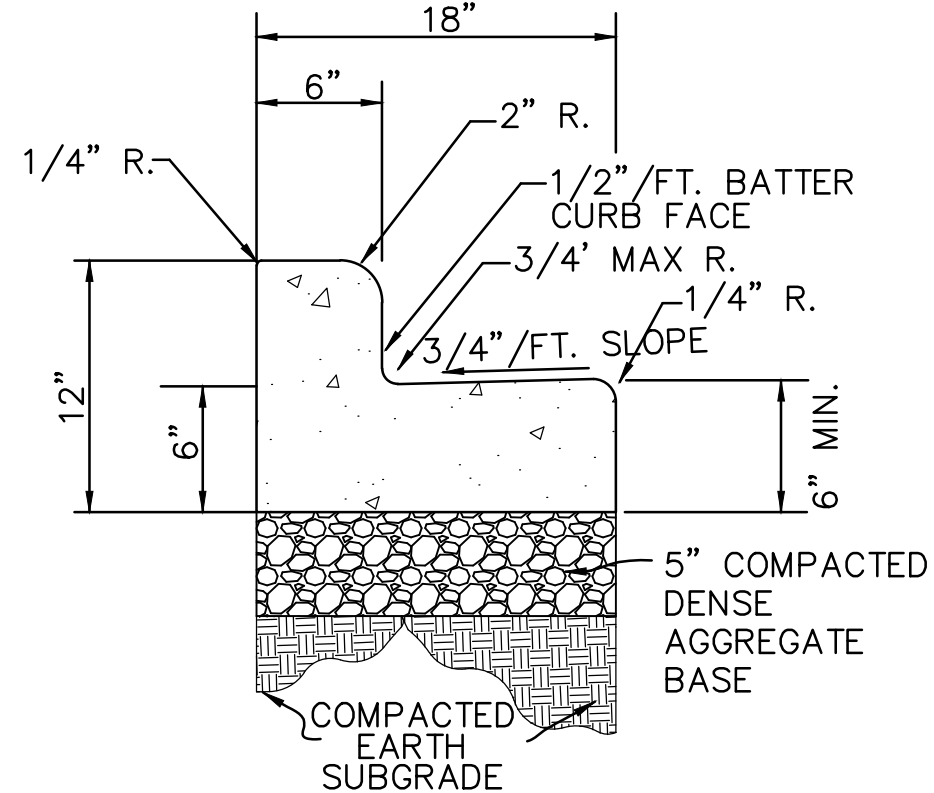
USE STANDARD CURB  
8-INCH THICK WITH NO  
CURB HEAD.. TIE INTO  
EXISTING CONCRETE BASE

EXISTING 102ND  
ROAD SECTION



8 ENTRANCE  
CURB AND GUTTER DETAIL

NOT TO SCALE

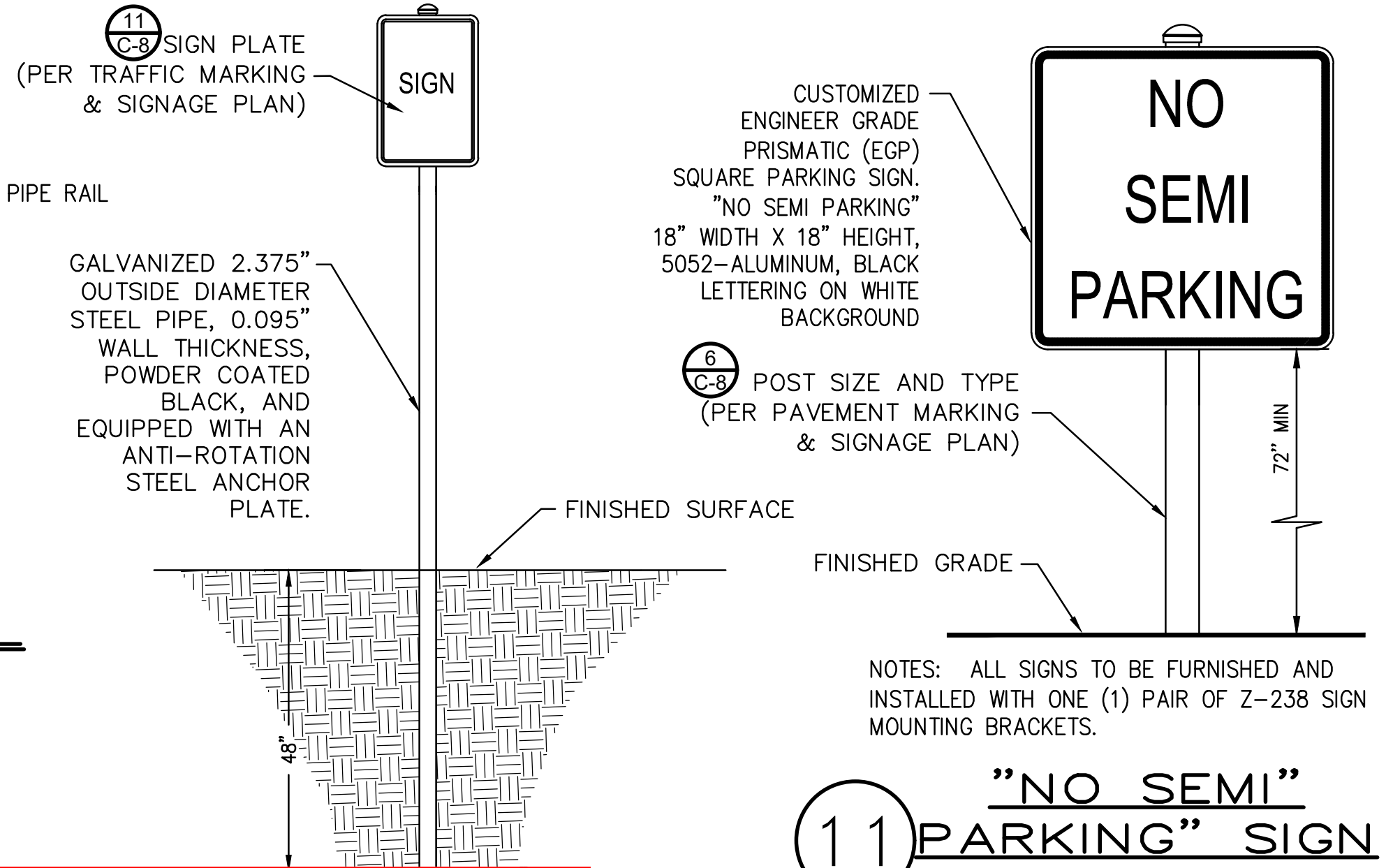


9 18" VERTICAL FACE  
CURB AND GUTTER DETAIL

NOT TO SCALE

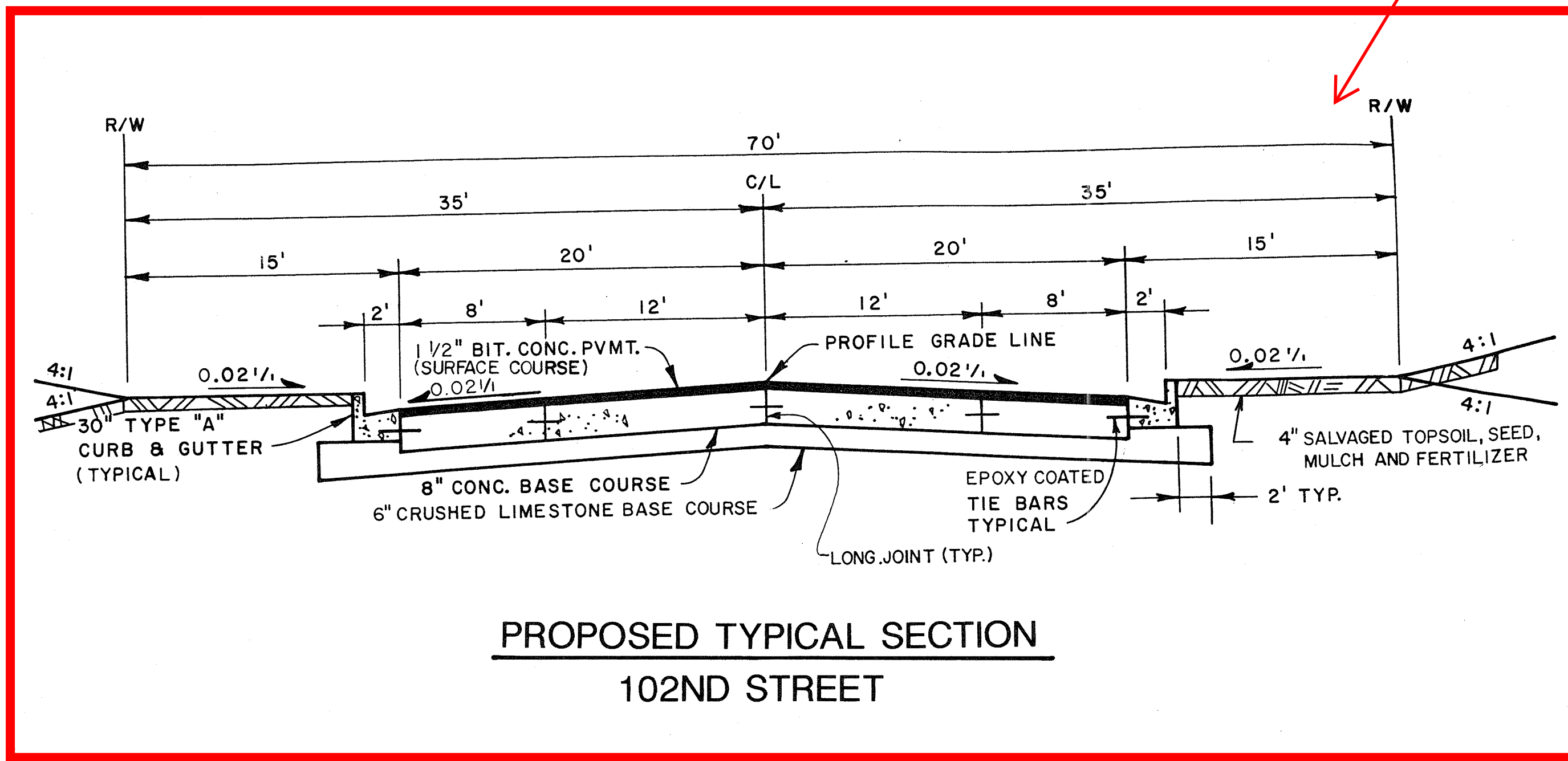
10 EMBEDDED POST DETAIL

NOT TO SCALE



11 "NO SEMI"  
PARKING" SIGN  
DETAIL

NOT TO SCALE



PROPOSED TYPICAL SECTION  
102ND STREET

RIPRAP TREATMENT AT ENDWALLS

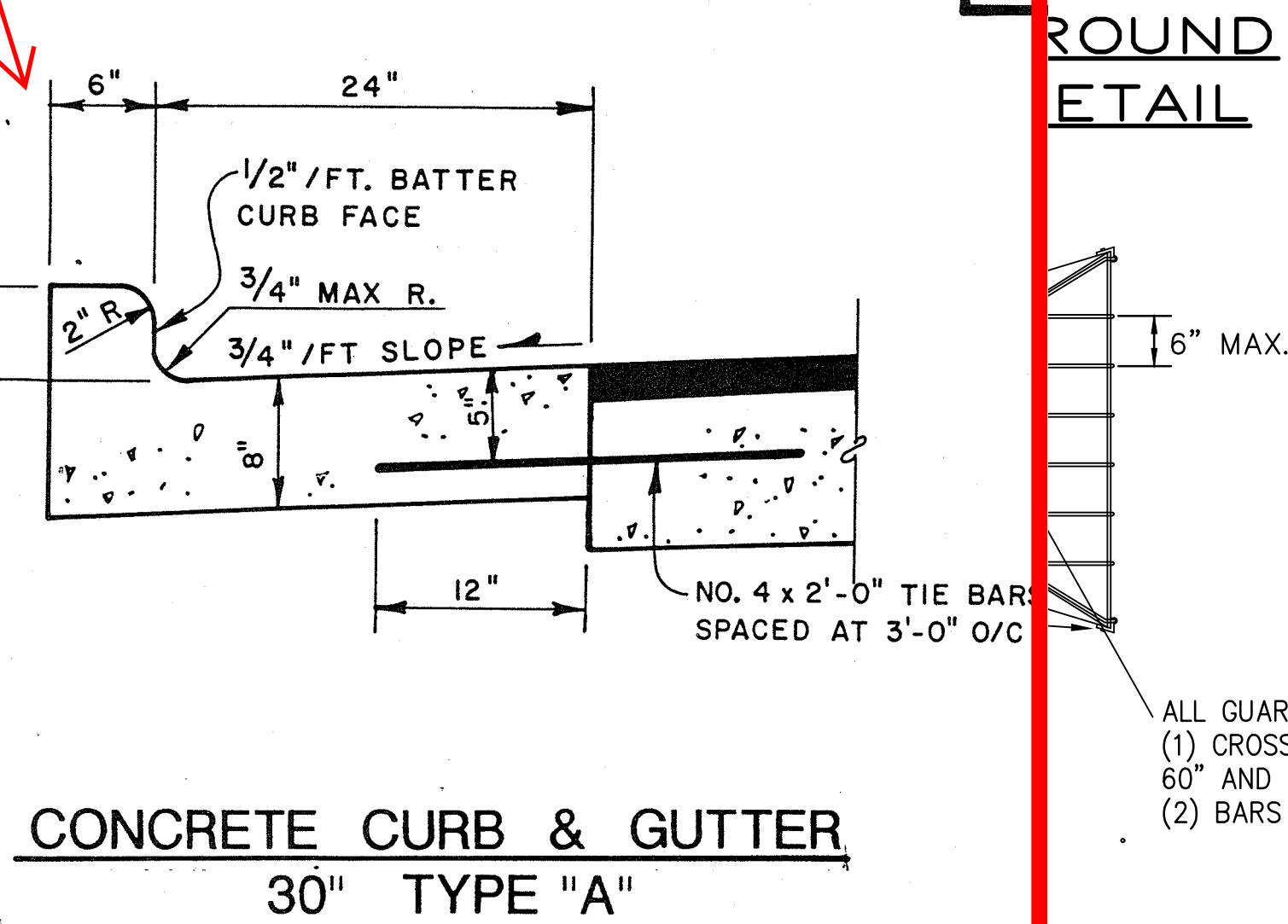
DETAIL: STM - 6

DATE: 12-2-15

VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN

APPROVED BY: MATT FINEOUR

3



CONCRETE CURB & GUTTER  
30" TYPE "A"

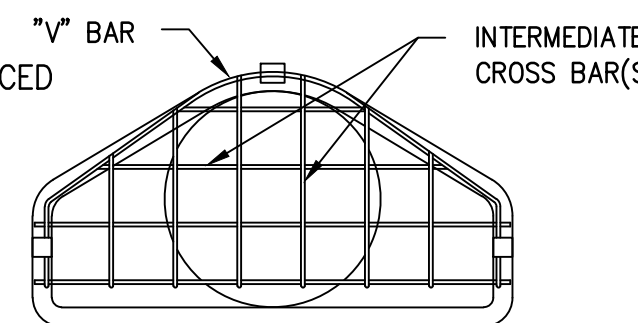
\*TO BE INSTALLED ON ALL RCP FLARED ENDWALLS

7 TRASH GUARD FOR FLARED ENDS DETAIL

NOT TO SCALE

| ROUND     |        | ARCH      |    |
|-----------|--------|-----------|----|
| PIPE SIZE | H      | PIPE SIZE | H  |
| 12"       | 2-1/2" | 22"-29"   | 4" |
| 15"       | 3"     | 36"-44"   | 5" |
| 18"-24"   | 4"     | 51"-65"   | 6" |
| 27"-36"   | 5"     | 73"-102"  | 7" |
| 42"-54"   | 6"     |           |    |
| 60"-72"   | 7"     |           |    |
| 78"-90"   | 8"     |           |    |

- ALL GUARDS TO HAVE  
(1) CROSS BAR,  
60" AND UP TO HAVE  
(2) BARS EQUALLY SPACED



FRONT

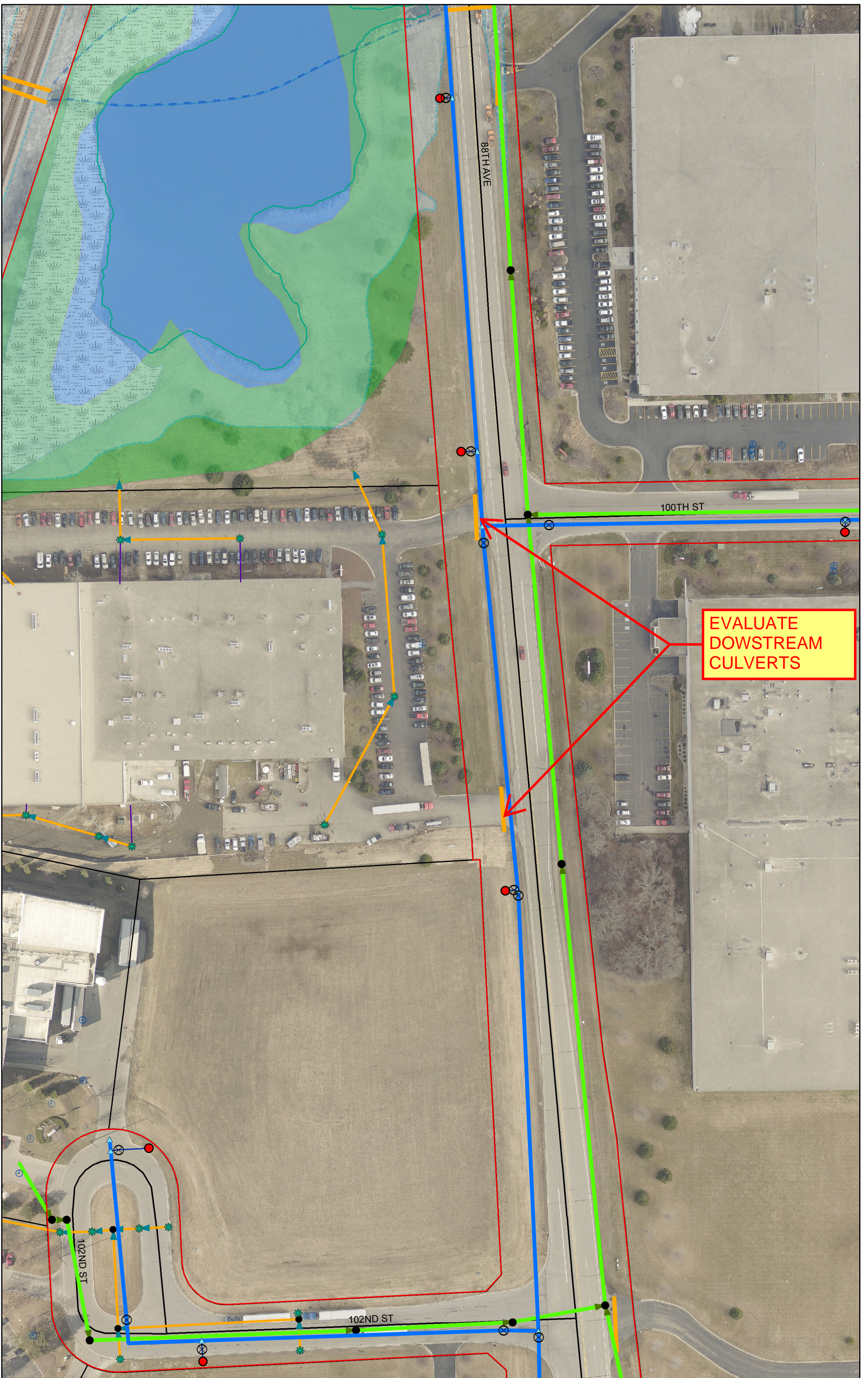
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DATE: 11-1-2019  
CHECKED: MDE  
DATE: 11-5-2019

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C-8





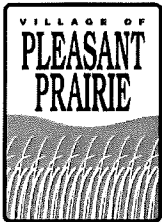
EVALUATE  
DOWSTREAM  
CULVERTS

0 105 210 Feet

1 inch = 100 feet







**SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT**

*For all applications that require Village Plan Commission Approval*

| APPROVAL REQUESTED   | TYPE OF WORK   |
|--|--|
| <input checked="" type="checkbox"/> Final Site and Operational Plan<br><input type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit<br><input type="checkbox"/> Preliminary Site and Operational Plan<br><input type="checkbox"/> Preliminary Site and Operational Plan/ Conditional Use Permit<br><input type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement) | <input type="checkbox"/> New Building<br><input type="checkbox"/> Building Addition<br><input type="checkbox"/> Building Alteration<br><input type="checkbox"/> New Tenant |

Name of Business: Good Foods Group, LLC

Site Address: 10100 88th Avenue Suite #: \_\_\_\_\_

Tax Parcel Number: 92-4-122-204-0057

Zoning District(s): M-2

Name of Development: Good Foods Employee Parking Lot Addition

Estimated Date of Occupancy: N/A

Detailed Description of the Proposed Project and Use:

156 stall employee parking lot addition with vehicular access off of 102nd Street and pedestrian access (via stairway) north to the main plant.

Detailed Description of Company:

Speciality foods manufacturer

**Select One Option**

- Relocation of Business from \_\_\_\_\_
- New Location for Business in Pleasant Prairie
- Expansion/Change to Existing Business in Pleasant Prairie
- New Start Up Business

DEU1911-005

**SITE AND BUILDING INFORMATION**

Lot Area: 189,922 sq. ft. Lot Area: 4.36 ac.  
Building Area: N/A sq. ft. Building Height: N/A ft.  
Tenant Area: N/A sq.ft.  
Addition Area: N/A sq. ft. Addition Height: N/A ft.  
Total Impervious Surface Area: 51,604 sq. ft.  
Total Landscape Area: 45,299 sq.ft. Site % of Open Space 72.8 %

**ON-SITE PARKING/TRAFFIC INFORMATION**

Total # of parking spaces (on-site): 156  
Total # of regular parking spaces (on-site): 156  
Total # of handicapped accessible spaces (on-site): 0  
Total # of truck parking spaces (on-site): 0  
Total # of dock doors: 0  
Anticipated automobile trips to and from the site (excluding trucks):  
Number of daily average trips: 156 Maximum number of daily trips: 200  
Anticipated truck trips to and from the site:  
Number of daily average trips: 0 Maximum number of daily trips: 0

**OPERATIONAL INFORMATION**

Hours (Open to the public): Parking lot to be open to employees during business hours  
Delivery hours: N/A

**EMPLOYMENT INFORMATION**

Proposed total number of full-time employees: N/A  
Proposed total number of part-time employees: N/A  
Number of shifts: N/A  
Total of number of employees per shift: 1<sup>st</sup> N/A, 2<sup>nd</sup> N/A, 3<sup>rd</sup> N/A  
Largest number of employees on site at any one time: N/A

**PUBLIC FACILITIES INFORMATION**

**Check all that apply:**

- The property is serviced by Public Sanitary Sewer
- The property is serviced by Public Water
- The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: N/A

**If property is zoned M-1, M-2 or M-5 then the following shall be completed:**

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- |  |            |         |
|--|------------|---------|
| <input type="checkbox"/> Factory Group F-1 (Moderate-hazard) | <u>N/A</u> | sq. ft. |
| <input type="checkbox"/> Factory Group F-2 (Low-hazard)      | <u>N/A</u> | sq. ft. |
| <input type="checkbox"/> Storage Group S-1 (Moderate-hazard) | <u>N/A</u> | sq. ft. |
| <input type="checkbox"/> Storage Group S-2 (Low-hazard)      | <u>N/A</u> | sq. ft. |
| <input type="checkbox"/> Business Group B                    | <u>N/A</u> | sq. ft. |
| <input type="checkbox"/> High-Hazard Group H                 | <u>N/A</u> | sq. ft. |
| <input type="checkbox"/> Other _____                         | <u>N/A</u> | sq. ft. |

Types and quantities of goods and materials to be made, used or stored on site:

N/A

Types of equipment or machinery to be used on site:

N/A

Types and quantities of solid or liquid waste material which require disposal:

N/A

Method of handling, storing and disposing of solid or liquid waste materials:

N/A

Methods of providing site and building security other than the Village Police Department:

N/A

Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

Parking lot, sidewalks and stairs to be plowed, shoveled, and salted during winter months.  
On-site landscaping to be maintained per applicable restrictive covenants.

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

No semi-truck parking signs to be installed on 102nd Street

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

- WI DNR NOI Permit
- WI DSP General Plumbing Permit
- VoPP Erosion Control Permit
- VoPP Work in Highway Right of Way Permitt

### **PLANS AND OTHER ATTACHMENTS**

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- Title Sheet
- Survey
- Site Plan
- Grading and Drainage Plan
- Building and Fire Protection Plans
- Lighting Plan (including photometric plan)
- Landscape and Open Space Plan
- Signage Plan
- Industrial Waste Survey
- Required Application Fee and Pre-Development Agreement


The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.

I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

**PROPERTY OWNER:**

Print Name: Napanook, LLC  
Signature:   
Address: 10100 88th Ave  
Pleasant Prairie WI 53158  
(City) (State) (Zip)  
Phone: (262) 465-6914  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Date: November 8, 2019

**APPLICANT/AGENT:**

Print Name: Mark D. Eberle  
Signature:   
Address: 1458 Horizon Blvd  
Mt. Pleasant WI 53406  
(City) (State) (Zip)  
Phone: 262-634-5588  
Fax: \_\_\_\_\_  
Email: meberle@nmbssc.net  
Date: 11-08-19

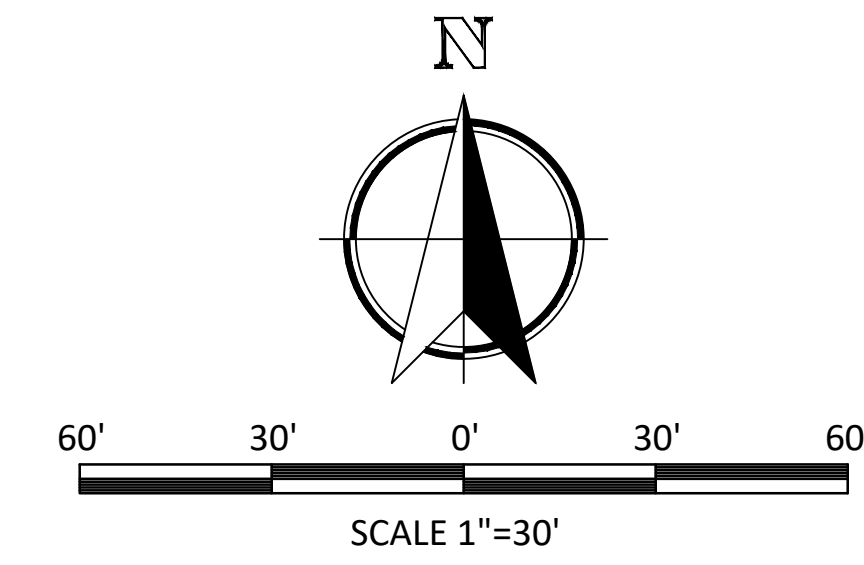
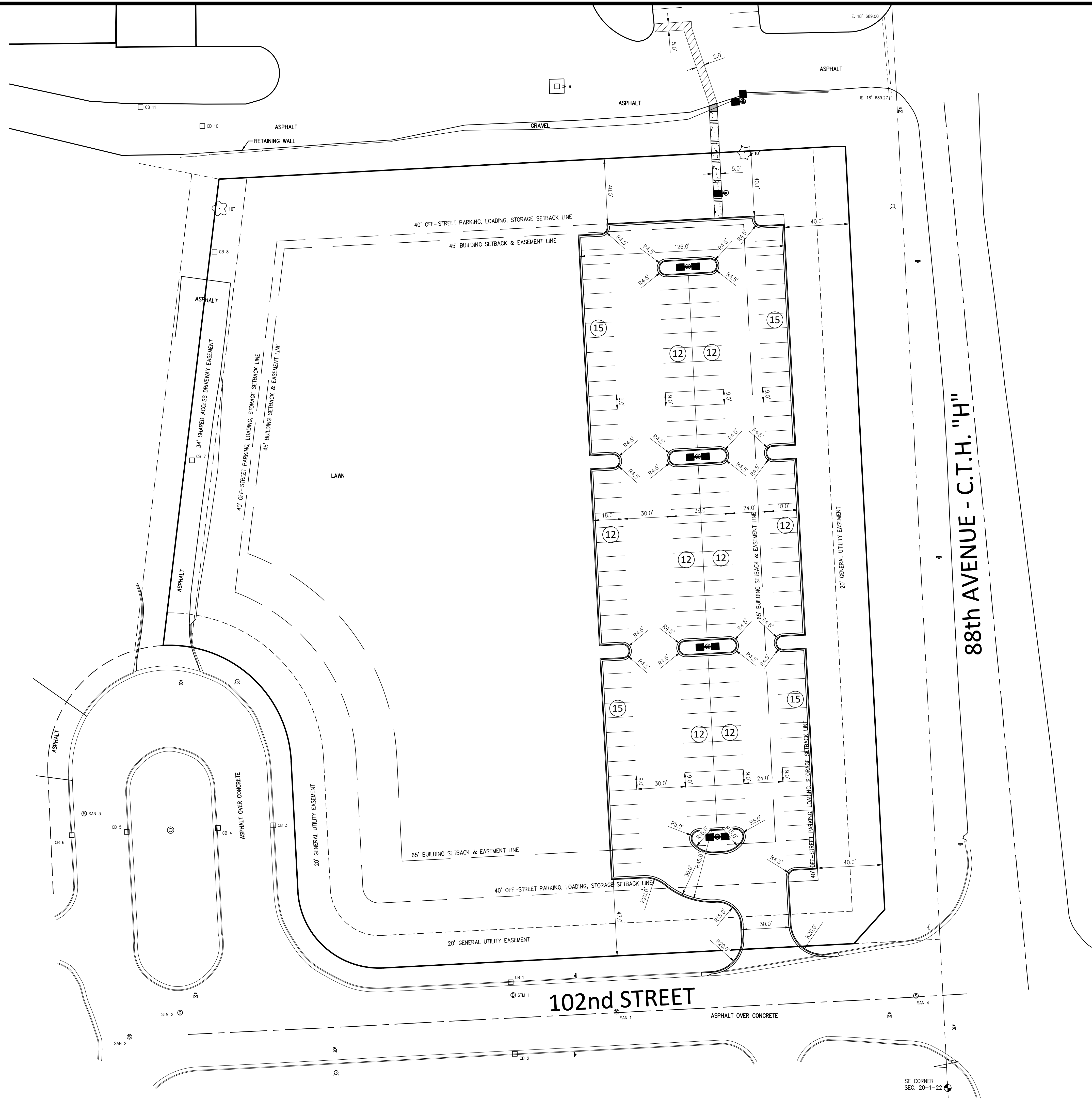
**TENANT CONTACT:**

Print Name: N/A  
Signature: \_\_\_\_\_  
Address: \_\_\_\_\_  
(City) (State) (Zip)  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_  
Email: \_\_\_\_\_  
Date: \_\_\_\_\_









### PARKING COUNT

|                                |     |
|--------------------------------|-----|
| REGULAR SPACES                 | 156 |
| STANDARD ADA ACCESSIBLE SPACES | 0   |
| ADA VAN ACCESSIBLE SPACES      | 0   |
| TOTAL:                         | 156 |

### REFERENCES

ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT:

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2018 CURRENT EDITION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WisDOT WEBSITE AT <http://roadwaystandards.dot.wi.gov/standards/stnds-spec/index.htm>

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 INCORPORATED.

CHAPTER 405 OF THE VILLAGE OF PLEASANT PRAIRIE MUNICIPAL CODE "DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS", CURRENT EDITION, INCLUDED HEREIN AND REFERRED TO AS THE "VILLAGE SPECIFICATIONS".

LAND DIVISION ORDINANCE OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, CHAPTER 18, VILLAGE CODE OF ORDINANCES, JUNE 1998, REVISED EDITION MAY 21, 2001.

ALL EROSION CONTROL, EARTHWORK, SITE GRADING, BASES, PAVEMENTS AND INCIDENTAL CONSTRUCTION ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STATE SPECIFICATIONS" AND "VILLAGE SPECIFICATIONS".

\* WHENEVER THE "STATE SPECIFICATIONS" AND THE "VILLAGE SPECIFICATIONS" DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

\* WHENEVER THE "STATE SPECIFICATIONS", "VILLAGE SPECIFICATIONS" OR CONSTRUCTION PLANS DIFFER, THE "VILLAGE SPECIFICATIONS" SHALL GOVERN.

Call 811 or (800) 242-8511  
www.DiggersHotline.com

### UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

**Nielsen Madsen + Barber**  
CIVIL ENGINEERS AND LAND SURVEYORS  
1458 Horizon Blvd. Suite 200, Racine, WI. 53406  
Tele: (262)634-5588 Website: www.nmbcc.net

**GOOD FOODS INC.**  
**EMPLOYEE PARKING LOT ADDITION**  
**DIMENSIONED SITE PLAN**

FOR  
**CG SCHMIDT INC.**  
VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN

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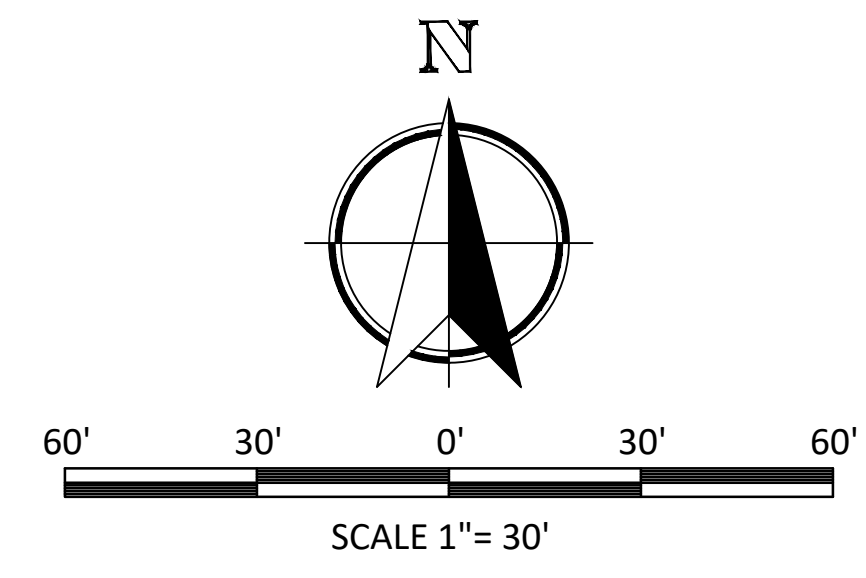
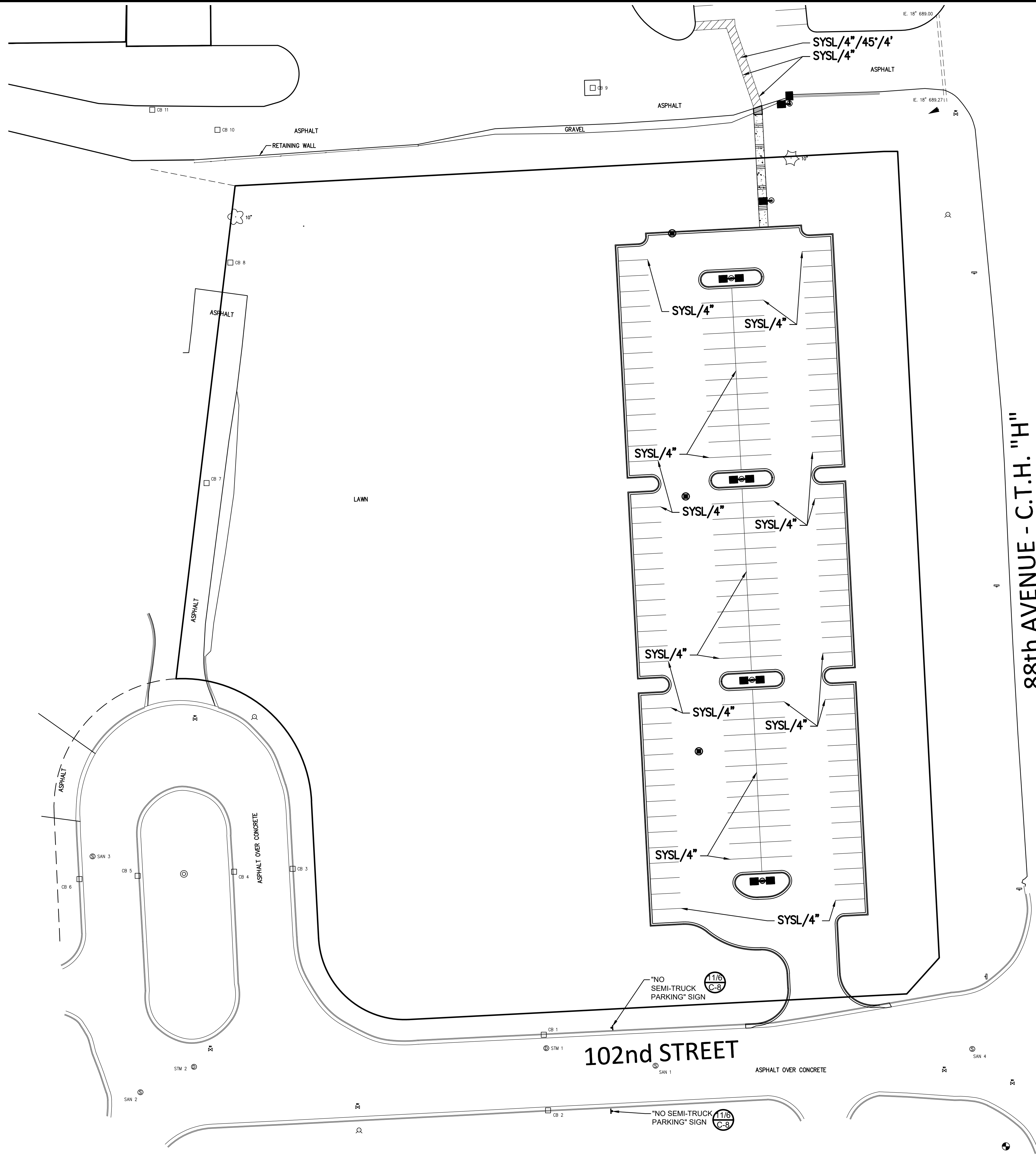
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DATE: 11-1-2019  
CHECKED: \_\_\_\_\_ MDE  
DATE: 11-5-2019

**2018.0348.01**

SHEET  
**C-3**

**ISSUE FOR APPROVAL: 11-8-19**





**SIGN / POST LEGEND**

$\frac{11/6}{C-8}$  = SIGN (DETAIL 11) MOUNTED ON POST (DETAIL 6) AS SHOWN ON SHEET C-8

**PAVEMENT MARKING LEGEND**

SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH  
SYSL/4"/45"/4" - SINGLE WHITE SOLID LINE / 4" WIDE EACH, 45', 4' O.C.

**PAVEMENT MARKING NOTES**

CONTRACTOR SHALL VERIFY PAVEMENT MARKING COLOR WITH OWNER PRIOR TO CONSTRUCTION.

PROVIDE CONTRACTOR GRADE ACRYLIC PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT PAVEMENT SURFACE CONDITIONS FOR DEFECTS THAT WILL ADVERSELY AFFECT THE QUALITY OF WORK AND NORMAL PREPARATORY WORK AS SPECIFIED.

DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS OR PAVEMENTS WHICH CANNOT BE PUT INTO USE IN ACCEPTABLE CONDITION. IF THESE AREAS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.

LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY LINES STRAIGHT AND EVEN.

PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM OVERSPRAY PAINT.

APPLY MARKING PAINT AS A RATE PER MANUFACTURERS SPECIFICATIONS.

BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.

ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6.

PARKING LOT STRIPING SHALL BE INSTALLED WITH WISCONSIN DOT APPROVED TRAFFIC PAINT IN ACCORDANCE WITH SECTION 646 OF THE "STATE SPECIFICATIONS". ALL PARKING STALL STRIPING SHALL BE FOUR INCHES (4") IN WIDTH AND SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLANS.

**UTILITY NOTE**

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.



**mb**  
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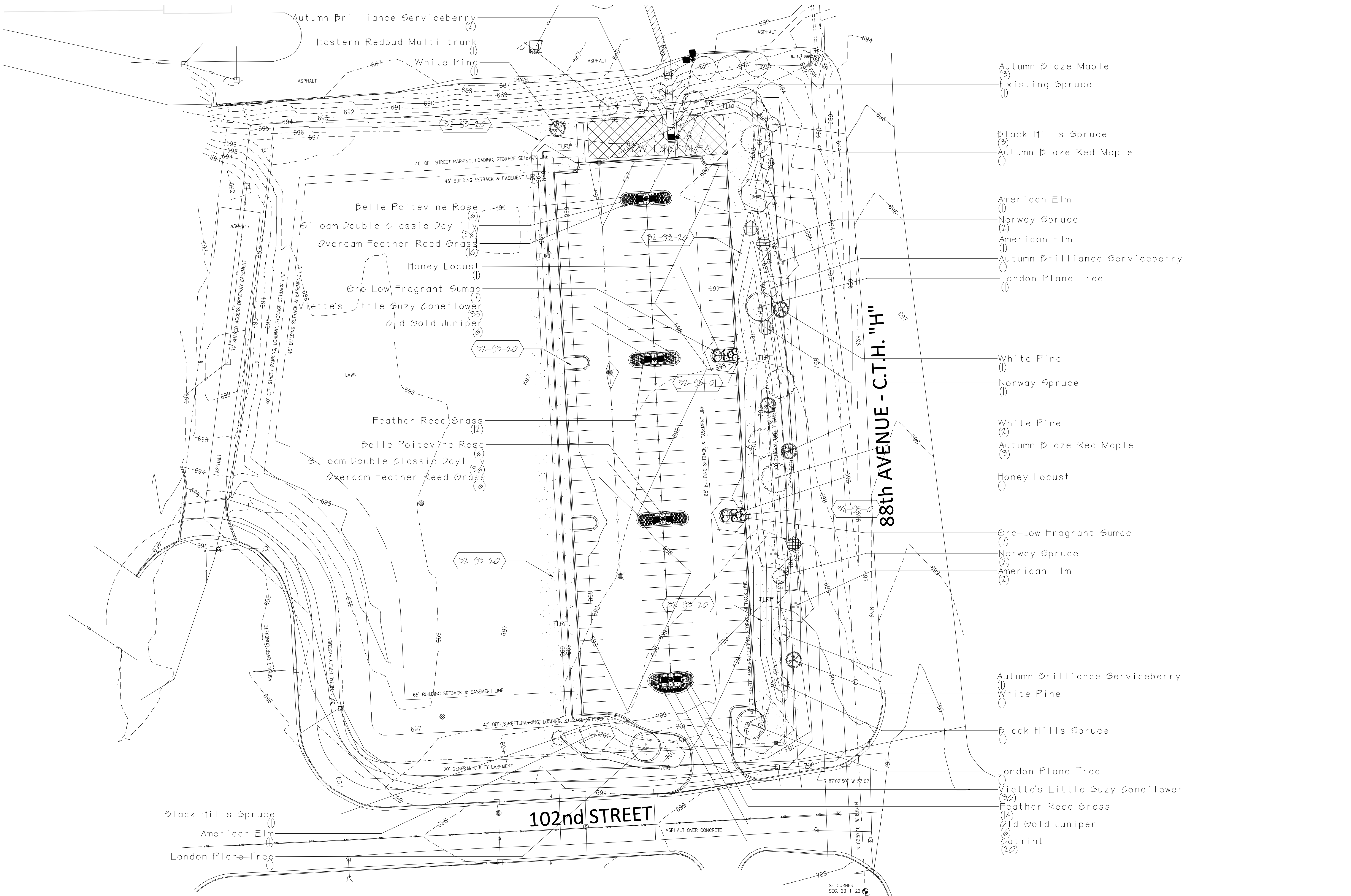
**GOOD FOODS INC.**  
**EMPLOYEE PARKING LOT ADDITION**  
**PAVEMENT MARKING & SIGNAGE PLAN**  
FOR  
**CG SCHMIDT INC.**  
VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN

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CHECKED: \_\_\_\_\_ MDE  
DATE: 11-5-2019

2018.0348.01  
SHEET  
**C-6**

**ISSUE FOR APPROVAL: 11-8-19**



THOMAS NORDLOH ASSOCIATES  
 Landscape Architecture  
 Project Management  
 4111 Taft Rd, Kenosha WI 53142

COMPASS SCALE  
 THIS LANDSCAPE PLAN HAS BEEN CREATED BY  
 THOMAS NORDLOH ASSOCIATES LANDSCAPE  
 ARCHITECTS AND IS PROTECTED BY U.S. COPY  
 RIGHT LAW. THIS DRAWING IS THE PROPERTY OF  
 THOMAS NORDLOH ASSOCIATES LANDSCAPE  
 ARCHITECTS AND IS NOT TO BE REPRODUCED  
 OR TRANSMITTED IN ANY FORM OR BY ANY  
 MEANS, ELECTRONIC OR MECHANICAL, FOR  
 PROFIT OR NOT FOR PROFIT, WITHOUT THE  
 EXPRESS WRITTEN PERMISSION OF THOMAS  
 NORDLOH ASSOCIATES LANDSCAPE  
 ARCHITECTS AND/OR PROJECT MANAGEMENT, LLC.



| No. | Revision/Issue | Date |
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**GOOD FOODS INC.,**  
**EMPLOYEE PARKING LOT ADDITION**  
 FOR  
**CG SCHMIDT INC.**  
 VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA, STATE OF WISCONSIN

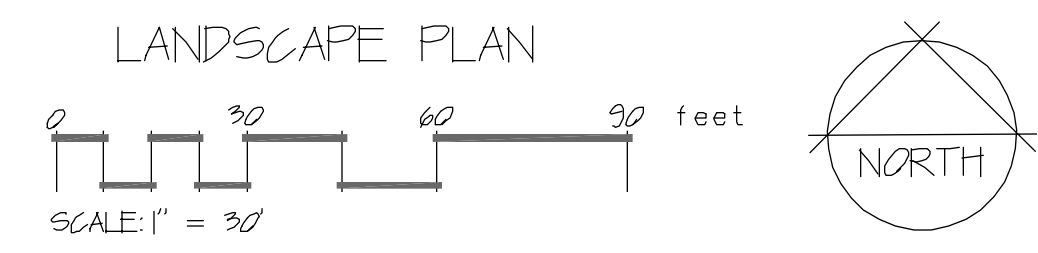
Thomas H. Nordloh  
 Landscape Architect  
 Reg. # 097-000624

Project: 20191029

Date: 11.8.19

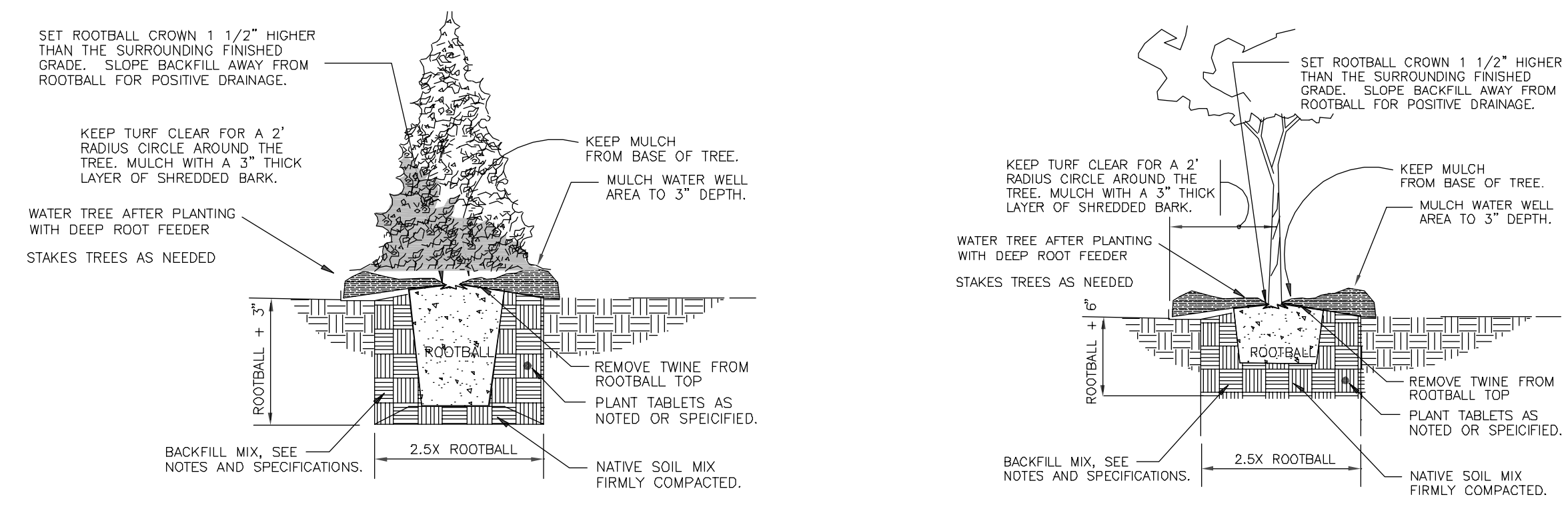
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**102 EVERGREEN PLANTING DETAIL**  
 1" = 1'-0"

**100 TREE PLANTING DETAIL**  
 1" = 1'-0"

**PLANT SCHEDULE**

| TREES   | COMMON NAME                     | SIZE     | CONTAINER | QTY |
|---|---------------------------------|----------|-----------|-----|
| Acer freemanii 'Autumn Blaze'                     | Autumn Blaze Maple              | Existing |           | 3   |
| Acer rubrum 'Autumn Blaze'                        | Autumn Blaze Red Maple          | 2" Cal.  | B&D       | 4   |
| Amelanchier canadensis 'Autumn Brilliance'        | Autumn Brilliance Serviceberry  | 6'       | B&D       | 4   |
| Cercis canadensis                                 | Eastern Redbud Multi-trunk      | 9-10'    | B&D       | 1   |
| Gleditsia triacanthos                             | Honey Locust                    | 4" Cal.  | B&D       | 2   |
| Platanus x acerifolia                             | London Plane Tree               | 2" Cal.  | B&D       | 3   |
| Ulmus x 'Frontier'                                | American Elm                    | 2" Cal.  | B&D       | 5   |
| EVERGREEN TREES                                   | COMMON NAME                     | SIZE     | CONTAINER | QTY |
| Picea abies                                       | Norway Spruce                   | 9-10'    | B&D       | 5   |
| Picea abies                                       | Existing Spruce                 | Existing |           | 1   |
| Picea glauca 'Densata'                            | Black Hills Spruce              | 6'       | B&D       | 5   |
| Pinus strobus                                     | White Pine                      | 7-8'     | B&D       | 5   |
| SHRUBS  | COMMON NAME                     | SIZE     | CONTAINER | QTY |
| Rhus aromatica 'Gra-Low'                          | Gra-Low Fragrant Sumac          | 3 gal    |           | 14  |
| Rosa x 'Belle Poitevine'                          | Belle Poitevine Rose            | 3 gal    |           | 12  |
| ANNUALS/PERENNIALS                                | COMMON NAME                     | SIZE     | CONTAINER | QTY |
| Hemerocallis x 'Siloam Double Classic' TM         | Siloam Double Classic Daylily   | 1 gal    |           | 72  |
| Nepeta x faassenii 'Blue Wonder'                  | Catmint                         | 1 gal    |           | 20  |
| Rudbeckia fulgida speciosa 'Viette's Little Suzy' | Viette's Little Suzy Coneflower | 1 gal    |           | 65  |
| GRASSES   | COMMON NAME                     | SIZE     | CONTAINER | QTY |
| Calamagrostis x acutiflora 'Karl Foerster'        | Feather Reed Grass              | 1 gal    |           | 26  |
| Calamagrostis x acutiflora 'Overdam'              | Overdam Feather Reed Grass      | 1 gal    |           | 32  |
| SHRUB EVERGREENS                                  | COMMON NAME                     | SIZE     | CONTAINER | QTY |
| Juniperus chinensis 'Old Gold'                    | Old Gold Juniper                | 5 gal    |           | 12  |

**REFERENCE NOTES SCHEDULE**

| SYMBOL | PLANTING DESCRIPTION                           | QTY          |
|--------|--|--------------|
|        | TURF-SEED AND DN EROSION BLANKET               | 39,222 sq ft |
| SYMBOL | PLANTING ACCESSORIES DESCRIPTION               | QTY          |
|        | EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL | 16 lf        |



NOTE: PLANT SCHEDULES ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. VERIFY ALL QUANTITIES BEFORE SUBMITTING A PROPOSAL TO THE GENERAL CONTRACTOR.  
 VERIFY ALL SEED AREAS WITH CIVIL PLANS.

**GENERAL LANDSCAPE NOTES:**

- Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
- Always contact Diggers Hotline (800-242-8511) or JULIE Bll (or 1-800-892-0123) before proceeding with any work.
- Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
- Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities due to changes in the overall phase I landscape plan.
- Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester.
- Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
- Spade cut plant beds and tree rings with a 4" deep shovel cut.
- Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
- Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
- Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
- Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
- Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
- If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
- Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

- C. Consider the request of Matthew Larson, owner of the property located at 10636 39<sup>th</sup> Avenue for approval of a **Certified Survey Map** to subdivide the property into two parcels.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions presented in the Village Staff Report of December 9, 2019.

## VILLAGE STAFF REPORT OF DECEMBER 9, 2019

Consider the request of Matthew Larson, owner of the property located at 10636 39<sup>th</sup> Avenue for approval of a **Certified Survey Map** to subdivide the property into two parcels.

*The petitioner is requesting to subdivide the property located at 10636 39<sup>th</sup> Avenue Street (Tax Parcel Number 92-4-122-261-0220) into two (2) parcels. The property is currently zoned R-4 (UHO), Urban Single Family Residential with an Urban Landholding Overlay District. The R-4 District requires lots to have a minimum frontage of 90 feet on a public road and a minimum lot area of 15,000 square feet per lot.*

Lot 1 is proposed to be 334,204 square feet (7.67 ac.) with 123.99 feet of frontage on 39<sup>th</sup> Avenue. Lot 1 has an existing home and detached shed on the property. This lot could be further subdivided in the future with extension of 41<sup>st</sup> Avenue and/or 43<sup>rd</sup> Avenue roadway and public infrastructure, at the cost of the property owner, from the existing development south of Lot 1. In addition, further environmental evaluation would need to be completed to determine the exact location of wetlands on the western portion of Lot 1, by the property owner, to determine the feasibility and subdivision plat.

Lot 2 is proposed to be 23,811 square feet with 100.07 feet of frontage on 39<sup>th</sup> Avenue.

Also, additional right-of-way is being dedicated (a total of 50 ft. from center) for a future right-of-way expansion or improvements of 39<sup>th</sup> Avenue. Public municipal sanitary sewer and water are available on 39<sup>th</sup> Avenue and a new home on Lot 2 will be required to connect to said public improvements. 39<sup>th</sup> Avenue is a county highway (CTH EZ) and a new driveway for Lot 2 will require a permit from Kenosha County.

The proposed land division conforms with the minimum regulations of the R-4 Zoning District requirements related to lot area and lot frontage (15,000 square feet in area with 90 feet of frontage on a public street) and the requirements of the Land Division and Development Control Ordinance.

### **The Village staff recommends approval of the CSM subject the above comments and the following conditions:**

1. See ***attached*** changes on the CSM. A revised draft shall be submitted for final review.
2. Any outstanding special assessments or outstanding taxes shall be paid prior to recording the CSM. Pursuant to the Village's Finance Department there are no outstanding special assessments or taxes due. However, the 2019 tax bills will be generated by early December. Also, for any new home constructed on the site there will be a \$1,600 sewer connection fee and \$1,490 impact fee required to be paid at the time of building permit.
3. A grading, drainage, and erosion control plan shall be prepared and approved by the Village prior to any proposed home or building permits being issued.
4. The CSM shall be revised, executed by the property owner and submitted to the Village for signatures prior to recording at the Kenosha County Register of Deeds Office. A copy of the recorded CSM document shall be provided to the Village within 30 days of Village Board's approval.



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a division of a part of the Northeast 1/4 of the Northeast 1/4 of Section 26, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

*add language*

Prairie Lane Heights  
First Addition

Lot 16

S 1/2 107th St.

Unplatted Lands

43rd Ave.

N 02°52'40" W 442.37'

*Dedicated*  
15' Sanitary Sewer Easement  
(Doc. No. 871467)

Notes:

- Denotes iron pipe found and accepted.
- Denotes 1"x24' iron pipe set, weighing min. of min. of 1.13 lbs/lin. ft.

Map bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone(NAD-27) (Jan., 2018), with the east line of the NE 1/4 of Sec. 26, T 1 N, R 22 E having an assumed bearing of N 2°52'40" W.

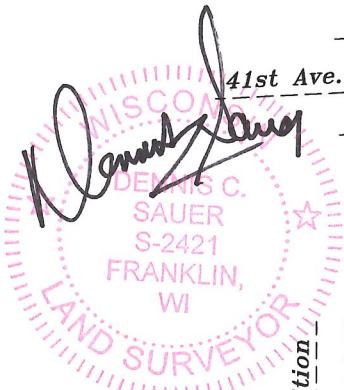
All lots on this map are to be served by public sanitary sewer.

Lot 1  
334,204 sq. ft.  
7.67 acres

30' Sanitary Sewer Easement (Doc. No. 871467)  
N 89°16'41" E 670.20'

Unplatted Lands

*Dedicated*



11/12/19

41st Ave.

Prairie Lane Heights First Addition

Lot 27  
Lot 28  
Lot 29  
S 89°19'14" W 929.19'

(Rec. as S 87°48'15" E)

South line NE 1/4 of Sec. 26-1-22

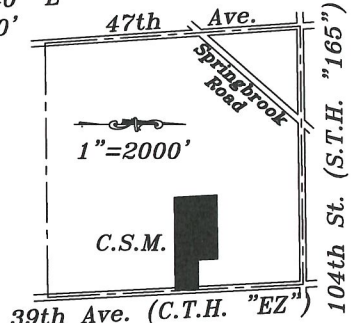
Exist. Shed

Exist. Dw.

Lot 2  
23,811 sq. ft.  
0.55 acres

S 02°52'40" E 205.00'

47th Ave.



Vicinity Map

NE 1/4 Sec. 26-1-22

~~17' to be dedicated to the Village of Pleasant Prairie for public street purposes.~~

5' Utility Easement (Doc. No. 870945)

SE Cor., NE 1/4 Sec. 26-1-22 (conc. mon. w/brass cap) N= 195,202.15 E=2,578,711.84

Lot 4 C.S.M. No. 2522

S 02°52'40" E 238.10'

39th Avenue (C.T.H. "EZ")

Lot 1 C.S.M. No. 2863

~~33' dedicated to the Village of Pleasant Prairie for public street purposes.~~

NE Cor., NE 1/4 Sec. 26-1-22 (conc. mon. w/brass cap) N= 197,860.36 E=2,578,578.21



Graphic Scale  
Scale: 1"=120'



Scale: 1"=120'

*Dedicated Public Street*

### **DEDICATED AND EASEMENT PROVISIONS**

PERPETUAL EASEMENTS CO-EXTENSIVE WITH EACH AREA SHOWN AS A 15' OR 30' DEDICATED SANITARY SEWER EASEMENT ON LOT 1 ON THIS CSM ARE HEREBY DEDICATED, GIVEN, GRANTED, AND CONVEYED BY THE DEVELOPER TO THE VILLAGE FOR PUBLIC SANITARY SEWERAGE SYSTEM IMPROVEMENTS, USES AND PURPOSES, AND FOR ALL RELATED INGRESS AND EGRESS, CONSTRUCTION, INSTALLATION, REPAIR, ALTERATION, REPLACEMENT AND MAINTENANCE ACTIVITIES. THESE SANITARY SEWER EASEMENTS SHALL BE EXCLUSIVE, EXCEPT FOR (1) SUCH OTHER EASEMENTS AS MAY BE DEDICATED ON THIS CSM WITH RESPECT TO THE SAME AREA OR ANY PORTION THEREOF; (2) SUCH USE, PLANTING, CARE AND MAINTENANCE OF THE EASEMENT AREAS BY THE OWNER OF LOT 1 ON WHICH SUCH EASEMENTS ARE LOCATED AS WILL NOT INTERFERE WITH THE SANITARY SEWER IMPROVEMENTS, USES AND PURPOSES OF THE VILLAGE; AND (3) SUCH FUTURE DRIVEWAY OR OTHER USES OF THE EASEMENT AREAS THAT MAY BE APPROVED BY THE VILLAGE. IN THE EVENT OF ANY CONFLICTS BETWEEN THE RIGHTS OF THE VILLAGE PURSUANT TO THESE SANITARY SEWER EASEMENTS AND THE RIGHTS OF ANY OTHER PERSONS OR ENTITIES WITH RESPECT TO THE 15' OR 30' DEDICATED SANITARY SEWER EASEMENT AREAS, THE VILLAGE'S RIGHTS UNDER THESE EASEMENTS SHALL BE DEEMED TO BE SUPERIOR.

### **RESTRICTIVE COVENANT LANGUAGE**

THE LOT 1 OWNER HEREBY COVENANTS THAT THE DEDICATED 15' AND 30' SANITARY SEWER EASEMENTS GRANTED BY THE PREVIOUS PROPERTY OWNER TO THE VILLAGE AND SHOWN ON LOT 1 ON THIS CSM HEREBY PLACES RESTRICTIONS ON THE REFERENCED LOT BECAUSE OF THE LOCATION OF THESE EASEMENTS WHICH WERE GIVEN, GRANTED, CONVEYED TO THE VILLAGE FOR THE MAINTENANCE, CLEANING, TELEVISIONING, REPLACEMENT AND RECONSTRUCTION OF PUBLIC SANITARY SEWER MAIN AND RELATED APPURTENANCES. THERE SHALL BE NO PHYSICAL ENCROACHMENTS OF ANY PLANTINGS OR LANDSCAPING OTHER THAN GRASS; NO STRUCTURES, OR ARCHITECTURAL PROJECTIONS; AND NO FENCES, POSTS, POLES, DRIVEWAYS, DECKS, WINDOWS, FIREPLACES, OR ROOFS WHICH EXTEND INTO THE REFERENCED EASEMENT. THIS COVENANT SHALL RUN WITH THE LAND, SHALL BE BINDING UPON THE LOT 1 OWNER, ITS SUCCESSORS, ASSIGNS AND SUCCESSORS-IN-TITLE OF THE LOT, IN HIS/HER CAPACITY AS OWNER OF LOT 1 AND SHALL BENEFIT AND BE ENFORCEABLE BY THE VILLAGE.



# CERTIFIED SURVEY MAP APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to subdivide the property with a Certified Survey Map (CSM) as hereinafter requested:

Property Location: 10636 39th Ave

Legal Description: a division of part of NE 1/4 of NE 1/4 of Sec 26, Town (N), Range 22E

Tax Parcel Number(s): 92-4-122-261-0220

Existing Zoning District(s): R-4

### Select all that apply:

- The property abuts or adjoins State Trunk Highway \_\_\_\_\_
- The property abuts or adjoins County Trunk Highway CTH E2
- Municipal Sanitary Sewer is available to service said property
- Municipal Water is available to service said property

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

### PROPERTY OWNER:

### APPLICANT/AGENT:

Print Name: Matt Larson

Print Name: \_\_\_\_\_

Signature: [Signature]

Signature: \_\_\_\_\_

Address: 10636 39th Ave

Address: \_\_\_\_\_

Pleasant Prairie WI 53158  
(City) (State) (Zip)

(City) (State) (Zip)

Phone: 224-430-3683

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: Larson.Matthew@live.com

Email: \_\_\_\_\_

Date: 11/12/19

Date: \_\_\_\_\_

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a division of a part of the Northeast 1/4 of the Northeast 1/4 of Section 26, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

Prairie Lane Heights

First Addition

Lot 16

S 1/2 107th St.

Unplatted Lands

43rd Ave.

N 02°52'40" W

442.37'

15' Sanitary Sewer Easement  
(Doc. No. 871467)

Notes:

- Denotes iron pipe found and accepted.
- Denotes 1"x24' iron pipe set, weighing min. of min. of 1.13 lbs/lin. ft.

Map bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone(NAD-27) (Jan., 2018), with the east line of the NE 1/4 of Sec. 26, T 1 N, R 22 E having an assumed bearing of N 2°52'40" W.

All lots on this map are to be served by public sanitary sewer.

Unplatted Lands

979.23'

South line NE 1/4 of Sec. 26-1-22

30' Sanitary Sewer Easement (Doc. No. 871467)

670.20'

Unplatted Lands

Lot 1  
334,204 sq. ft.  
7.67 acres

41st Ave.

60'

30'

929.19'

S 89°19'14" W

(Rec. as S 87°48'15" E)

Lot 27

Prairie Lane Heights First Addition

Lot 28

14.5'

S 1/2 107th St.

30'

17.01'

N 02°52'40" W

137.99'

33.03'

66'

107th St.

Exist. Shed

22.92'

100.00'

N 00°43'19" W

22.73'

S 02°52'40" E

205.00'

47th Ave.

Exist. Dw.

17.00'

N 89°16'41" E

240.00'

17.01'

N 02°52'40" W

137.99'

33.03'

66'

107th St.

33.03'

N 02°52'40" W

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107th St.

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N 02°52'40" W

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107th St.

33.03'

N 02°52'40" W

137.99'

33.03'

66'

107th St.



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a division of a part of the Northeast 1/4 of the Northeast 1/4 of Section 26, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
MILWAUKEE COUNTY ) SS

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify:

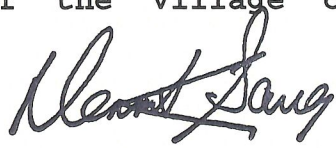
That I have surveyed, divided and mapped a division of a part of the Northeast 1/4 of the Northeast 1/4 of Section 26, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin, bounded and described as follows: Commencing at the Northeast corner of said Northeast 1/4; thence S 02°52'40" E along the East line of said Northeast 1/4, 1092.66 feet to the point of beginning of the lands to be described; thence continuing S 02°52'40" E along said East line, 238.10 feet to a point on the North line of Prairie Lane Heights First Addition, a recorded Subdivision; thence S 89°19'14" W along said North line, 979.23 feet to a point; thence N 02°52'40" W, 442.37 feet to a point; thence N 89°16'41" E, 670.20 feet to a point; thence S 02°52'40" E, 205.00 feet to a point; thence N 89°16'41" E, 309.00 feet to the point of beginning. Said lands containing 369,920 square feet (8.49 acres).

That such map is a correct representation of all exterior boundaries of the land surveyed and the land division thereof made.

That I have made such survey, land division and map by the direction of Matthew A. Larson, owner of said land.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 18 of the Village Municipal Code, Land Division and Development Ordinance of the Village of Pleasant Prairie.

November 7, 2019  
Date

  
\_\_\_\_\_  
Dennis C. Sauer  
Professional Land Surveyor S-2421



PREPARED FOR:  
Matthew A. Larson  
10636 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

PREPARED BY:  
Metropolitan Survey Service  
9415 West Forest Home Avenue  
Hales Corners, WI 53130

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a division of a part of the Northeast 1/4 of the Northeast 1/4 of Section 26, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

OWNER'S CERTIFICATE OF DEDCIATION

As owner, Matthew A. Larson, do hereby certify that I have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 18 of the Village Municipal Code, Land Division and Development Control Ordinance of the Village of Pleasant Prairie.

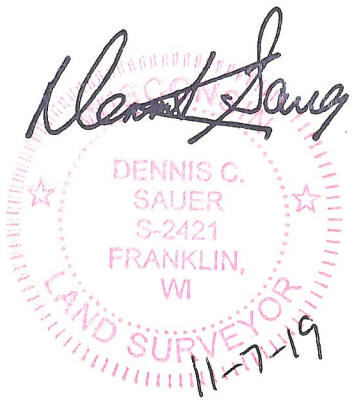
WITNESS the hand and seal of said owners this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Matthew A. Larson, Owner

STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY) SS

PERSONALLY, came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, Matthew A. Larson, Owner, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public  
State of Wisconsin  
My Commission Expires: \_\_\_\_\_



THIS INSTRUMENT WAS DRAFTED BY:  
Dennis C. Sauer, P.L.S. S-2421

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a division of a part of the Northeast 1/4 of the Northeast 1/4 of Section 26, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

CONSENT OF MORTGAGEE:

Trustone Financial, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this map and does hereby consent to the above certification of owner.

IN WITNESS WHEREOF, the said Trustone Financial, has caused these presents to be signed by \_\_\_\_\_, (Title \_\_\_\_\_, at \_\_\_\_\_, Wisconsin, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Trustone Financial:

\_\_\_\_\_  
Signed  
Print Name and Title: \_\_\_\_\_

STATE OF WISCONSIN)  
COUNTY ) SS

PERSONALLY came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, \_\_\_\_\_, (Title) \_\_\_\_\_, of Trustone Financial, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

\_\_\_\_\_  
Signature  
Print Name: \_\_\_\_\_  
Notary Public State of Wisconsin  
My Commission Expires: \_\_\_\_\_

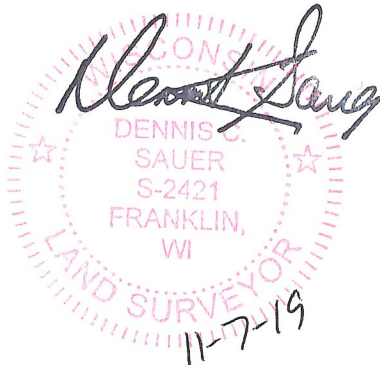
VILLAGE OF PLEASANT PRAIRIE APPROVAL

The Village of Pleasant Prairie does hereby approve the land division shown in the Certified Survey Map herein and consents to its recording this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Jane C. Snell  
Village Clerk

\_\_\_\_\_  
John P. Steinbrink  
Village President

\_\_\_\_\_  
Michael J. Serpe, Chairman  
Village Plan Commission



THIS INSTRUMENT WAS DRAFTED BY:  
Dennis C. Sauer, P.L.S. S-2421



- D. Consider the request of Julie Ogren, agent for Larry Day, owner of the property located at 4016 93<sup>rd</sup> Street for approval of a **Certified Survey Map** to subdivide the property into two parcels.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions presented in the Village Staff Report of December 9, 2019.



## VILLAGE STAFF REPORT OF DECEMBER 9, 2019

Consider the request of Julie Ogren, agent for Larry Day, owner of the property located at 4016 93<sup>rd</sup> Street for approval of a **Certified Survey Map** to subdivide the property into two parcels.

*The petitioners are requesting to subdivide the property located at 4016 93<sup>rd</sup> Street (Tax Parcel Number 92-4-122-144-0127) into two (2) parcels. The property is currently zoned R-4, Urban Single Family Residential which requires lots to have a minimum frontage of 90 feet on a public road and a minimum lot area of 15,000 square feet per Lot.*

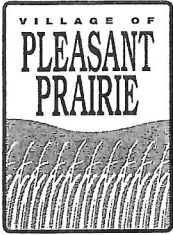
Lot B-1 is proposed to be 36,492 square feet with 109 feet of frontage on 93<sup>rd</sup> Street. Lot B-2 is 41,061 square feet with 122.65 feet of frontage on 93<sup>rd</sup> Street. Lot B-2 has an existing home on the property. In addition, additional right-of-way is being dedicated (a total of 50 feet from center) for future right-of-way expansion or improvements for 93<sup>rd</sup> Street. Public municipal sanitary sewer and water are available on 93<sup>rd</sup> Street and a new home on Lot B-1 will be required to connect to said public improvements.

The proposed land division conforms with the minimum regulations of the R-4 Zoning District requirements related to lot area and lot frontage (15,000 square feet in area with 90 feet of frontage on a public street) and the requirements of the Land Division and Development Control Ordinance.

### **The Village staff recommends approval of the CSM subject the above comments and the following conditions:**

1. Any outstanding special assessments or outstanding taxes shall be paid prior to recording the CSM. Pursuant to the Village's Finance Department there are no outstanding special assessments or taxes due. However, the 2019 tax bills will be generated by early December. Also, for any new home constructed on the site there will be a \$1,600 sewer connection fee and \$1,490 impact fee required to be paid at the time of building permit.
2. A grading, drainage, and erosion control plan shall be prepared and approved by the Village prior to any proposed home or building permits being issued.
3. The original CSM shall be recorded at the Kenosha County Register of Deeds Office. A copy of the recorded CSM document shall be provided to the Village within 30 days of Village Board's approval.

\$250.00



RECEIVED

NOV 18 2019

CERTIFIED SURVEY MAP APPLICATION

PLEASANT PRAIRIE

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to subdivide the property with a Certified Survey Map (CSM) as hereinafter requested:

Property Location: ~~Wauwatosa~~ 4016 93rd Street

Legal Description: Lot B of Survey MAP 1078 in SE 1/4 Sec 14-1-22

Tax Parcel Number(s): 92-4-122 - 144-0172 0127

Existing Zoning District(s): R-4

Select all that apply:

- The property abuts or adjoins State Trunk Highway \_\_\_\_\_
- The property abuts or adjoins County Trunk Highway \_\_\_\_\_
- Municipal Sanitary Sewer is available to service said property
- Municipal Water is available to service said property

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

APPLICANT/AGENT:

Print Name: Larry A. Day  
 Signature: *Larry A. Day*  
 Address: 4016 93 St  
 Pleasant Prairie WI 53158  
 (City) (State) (Zip)  
 Phone: 262 496 7906 / 262 925-6864  
 Fax: 262 925-6865  
 Email: lcallen576@gmail.com  
 Date: 11-19-19

POA  
 Print Name: Julie Ogren  
 Signature: *Julie Ogren*  
 Address: 5011 45 St  
 Kenosha WI 53144  
 (City) (State) (Zip)  
 Phone: 262 925 6864  
 Fax: 262 925 6865  
 Email: homeconnectionsllc@gmail.com  
 Date: 11-19-19

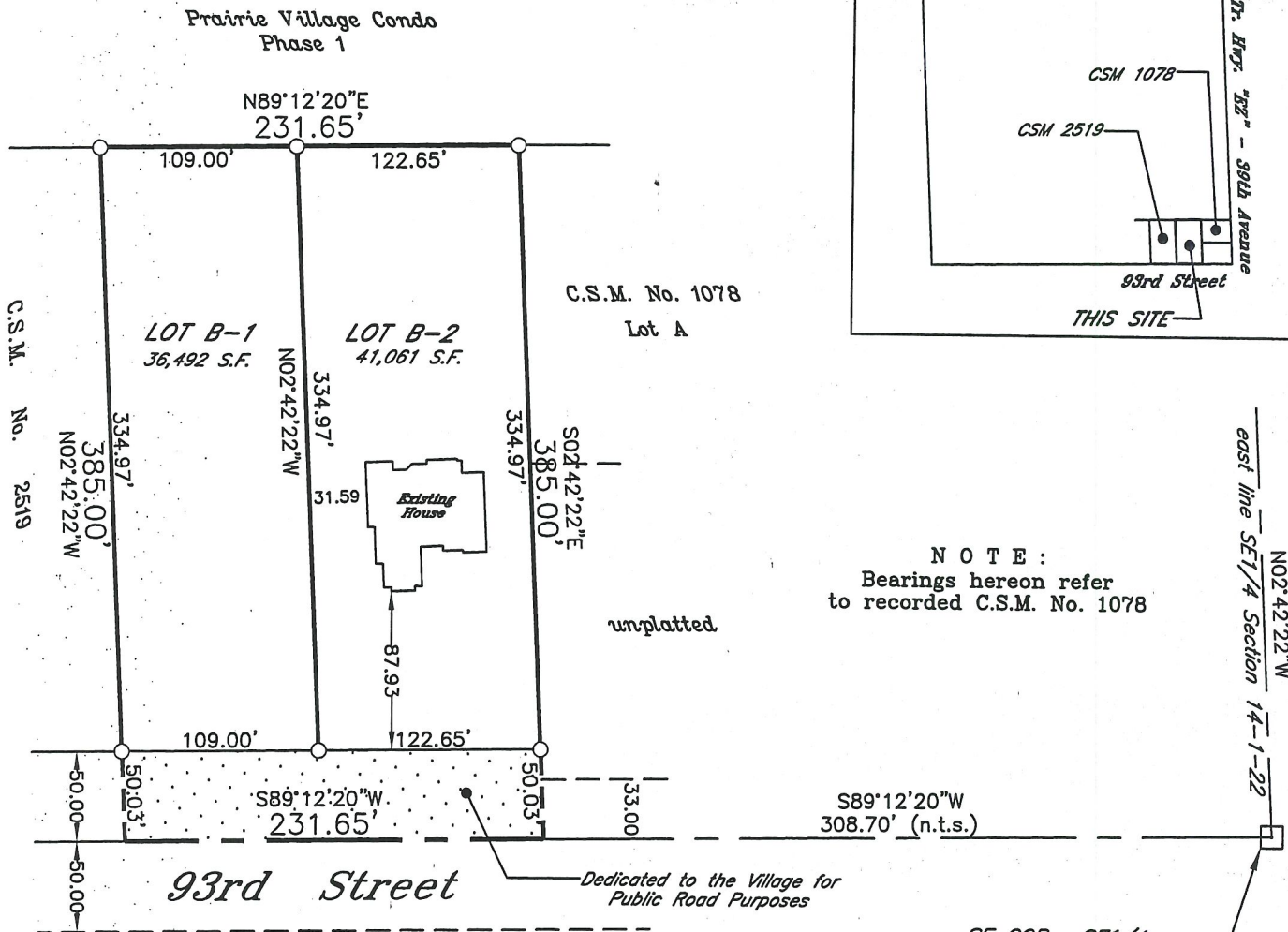
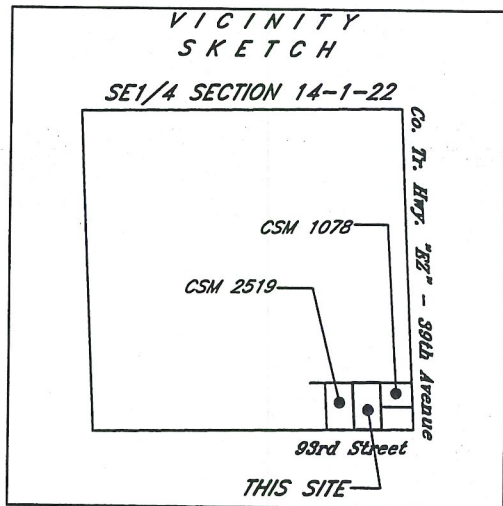
DEV1911-009

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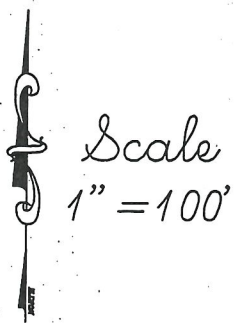
PLEASANT PRAIRIE

Lots shown hereon shall be served by public sanitary sewer.



NOTE: Bearings hereon refer to recorded C.S.M. No. 1078

SE COR. SE1/4 SECTION 14-1-22  
N. 203,186.93  
E. 2,578,321.31  
(concrete monument)



denotes 1" x 2' iron pipe (weight: 1.13 lbs per foot)

address: 4016 - 93rd Street

J.K.R. SURVEYING, INC.  
8121 22ND AVENUE KENOSHA, WI. 53143

CERTIFIED SURVEY MAP

- for -

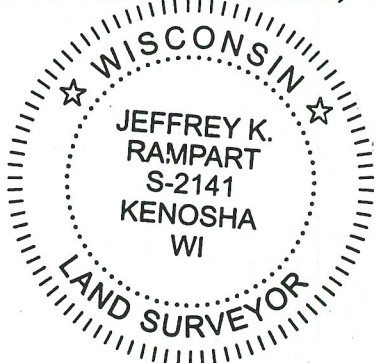
Larry & Patricia Day

(Re-division of Lot B of Certified Survey Map No. 1078)

in SE1/4 Section 14-1-22

VILLAGE OF PLEASANT PRAIRIE

KENOSHA COUNTY, WIS.



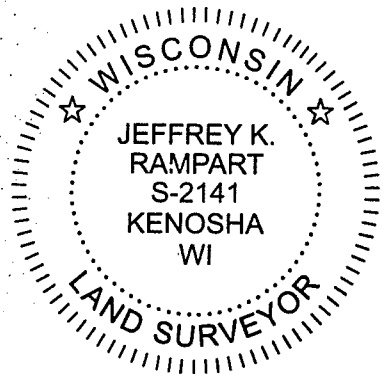
WISCONSIN REGISTERED LAND SURVEYOR  
Dated... November 15, 2019



CERTIFIED SURVEY MAP

I, JEFFREY K. RAMPART, SURVEYOR, hereby certify that I have prepared this certified survey map, the exterior boundaries of which are described as:

Lot B of Certified Survey Map No. 1078, a plat on file and of record in the Kenosha County Land Registry; lying and being in part of the Southeast Quarter of Section 14, Town 1 North, Range 22 East of the Fourth Principal Meridian and lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin and being more particularly described as: Commencing at the southeast corner of said quarter section; thence S 89°12'20" W along the south line of said quarter section 308.70 feet to the point of beginning of the parcel to be herein described; thence continue S 89°12'20" W along said south line 231.65 feet; thence N 02°42'22" W parallel to the east line of said quarter section 385.00 feet; thence N 89°12'20" E parallel to the south line of said quarter section 231.65 feet; thence S 02°42'22" E parallel to the east line of said quarter section 385.00 feet to the south line of said quarter section and the point of beginning; subject to a public highway over and across the southerly portion thereof and subject to easements and restrictions of record.



That I have complied with the provisions of chapter 236.34 of the State Statutes on certified surveys and the Village of Pleasant Prairie Land Division and Platting Ordinance.

Dated this ..15th.. day of ...November..., 2019.

SURVEYOR.....*JKR*.....  
JEFFREY K. RAMPART

As owners, we hereby certify that we caused the land described on this plat to be surveyed, divided, dedicated and mapped as represented on this plat.

OWNER.....*Larry Day*.....  
LARRY DAY

OWNER.....*Patricia K Day*.....  
PATRICIA DAY

STATE OF WISCONSIN  
KENOSHA COUNTY S.S.

Personally came before me this ...18... day of ...November, 2019, the above named Larry and Patricia Day, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

My Commission Expires...9-19-2020.....  
*Juni Agner*  
NOTARY PUBLIC

This certified survey map has been submitted to and approved by the Village Board of the Village of Pleasant Prairie on this ..... day of ....., 20\_\_.

PLAN COMMISSION CHAIRMAN,  
MICHAEL J. SERPE

VILLAGE CLERK, CMC, Jane C. Snell

APPROVED.....  
VILLAGE PRESIDENT, John P. Steinbrink

OWNER.....  
Larry & Patricia Day  
410 - 93rd Street  
Pleasant Prairie, WI 53158