

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
NOVEMBER 11, 2019
AGENDA**

1. Call to Order.
2. Roll Call.
3. Consider approval of the October 28, 2019 Plan Commission meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business:
 - A. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT** for the request of Daniel Seguin on behalf of the property owners of City View Manufactured Home Park to renovate the existing office so that the building can be utilized year-round by the community manager of the housing community located at 4303 75th Street.
 - B. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** to amend and correct the 118th Avenue and STH 50 Planned Unit Development Ordinance to adjust the open space requirements for Lots 2 and 3 to match the approved plans attached to the PUD related to the properties at 7520 118th Avenue and the vacant property to the west of 7540 118th Avenue.
 - C. Consider the request of Karl Music on behalf of Nexus Pharmaceuticals for **Preliminary Site and Operational Plan** approval of the building shell for their new manufacturing building to be located at 10300 128th Avenue in the Prairie Highlands Corporate Park.
 - D. Consider **Plan Commission Resolution #19-15** to initiate a zoning text amendment related to zoning fees.
7. Adjourn.

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above. **The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.**

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
October 28, 2019**

A meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on October 28, 2019. Those in attendance were Michael Serpe; Mike Pollocoff; Wayne Koessl; Deb Skarda (Alternative #1); Judy Juliana; Bill Stoebig; John Skalbeck; Brock Williamson (Alternate #2); and Terry Rice (Alternate #3). Michelle Burnette (Alternate #2) was excused. Also in attendance were Nathan Thiel, Village Administrator; Peggy Herrick, Assistant Village Planner and Zoning Administrator; and Aaron Kramer, Deputy Planner and Zoning Administrator.

1. CALL TO ORDER.

2. ROLL CALL.

Michael Serpe:

Before we go any further, we'd like to introduce, we've got one new Plan Commission member, Alternate Terry Rice. And Terry's got some history with the Village. And I think we'll let him explain that. Terry, the floor is yours.

Terry Rice:

I was on the Town Board for two terms back I guess it was in 1980 to 1984. It was kind of way back then prior to being a Village. And I was fortunate enough to hire Mike Pollocoff and a police chief and a fire chief back then just kind of when the Town was starting to grow and be where it's at now. I'm happy to be back here. I've been gone for 35 years and happy to be back doing it all over again.

Michael Serpe:

Happy to have you back, Terry.

Wayne Koessl:

Welcome back.

Michael Serpe:

We like to think that we still conduct our Village meetings a little bit like the Town meetings. We let the people feel like they have a say and we're going to listen to them, and I think that's important that we continue that way. I know John runs the meeting that way on the Village Board meetings, and we do pretty much the same here. Michelle is not here, we'd introduce her, but Michelle is the other alternate. And if she shows up we'll let her get introduced. With that we'll continue.

3. CONSIDER APPROVAL OF THE OCTOBER 14, 2019 PLAN COMMISSION MEETING MINUTES.

Judy Juliana:

Move to approve.

Wayne Koessl:

Second.

Michael Serpe:

MOTION MADE BY JUDY JULIANA AND SECONDED BY WAYNE KOESSL FOR APPROVAL OF THE OCTOBER 14TH MINUTES. ALL THOSE IN FAVOR SAY AYE.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

4. CORRESPONDENCE.

5. CITIZEN COMMENTS.

Michael Serpe:

Is there anybody wishing to speak? Now is your opportunity. We have one item on the agenda tonight. The introduction of Terry Rice is probably going to take longer than that item. Anybody wishing to speak? We'll close citizens' comments.

6. NEW BUSINESS

A. PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT for the request of Doug Stanich on behalf of The Cottages at Village Green to use Units 6 and 7 as sales and model condominium units.

Peggy Herrick:

Mr. Chairman, this is a petition for a Conditional Use Permit for the request of Doug Stanich on behalf of The Cottages at Village Green to use Units 6 and 7 as sales and model condominium units. Currently Units 4 and 5 are being used as a model. Those will no longer be used. When these are completed in December these will then be used as the models. Again, this will be Unit

6 and 7 as shown on the overhead. You can see the location of them. They're right north of where the existing models were.

The subject properties are known as Units 6 and 7 of The Cottages at Village Green Condominiums generally located just north of Main Street west of 46th Court on South Cottage Lane within U.S. Public Land Survey Section 23, Township 1 North, Range 22 East in the Village of Pleasant Prairie further identified as Tax Parcel Numbers 92-4-122-233-2006 and 92-4-122-233-2007.

The units are zoned R-8 (PUD) Urban Two Family Residential District with a Planned Unit Development Overlay District. Pursuant to Section 420-113 C (1) (b) of the Village Zoning Ordinance, model units and related temporary real estate offices or marketing centers are allowed in the R-8 District with the approval of a Conditional Use Permit by the Plan Commission.

Pursuant to Section 420-148 (65) of the Village Zoning Ordinance, the Model Units/ Sales Center are allowed with the following conditions: The Plan Commission may set a specific time frame for such use to be allowed. Village staff recommends that these units not be allowed longer than four years or until all units are sold, whichever occurs first. Said units shall not be occupied for a sales and marketing office until a final certificate of occupancy has been issued. Village staff supports the use of these units as a model and sales office after the verbal to occupy is approved. Said units shall be constructed to be handicapped accessible and meet all ADA requirements. Said units shall not be open past 9:00 p.m. The petitioner is proposing that the hours will be 11:00 am to 4:00 pm Friday, Saturday and Sunday. These model hours are acceptable to the Village staff, and the Village recommends that the units could also be open by appointment as well.

Proper exterior maintenance of the property shall be provided such as but not limited to lawn and yard maintenance and snow removal. Said units shall be completely landscaped prior to occupancy. The unit areas shall be landscaped and the driveway paved prior to verbal occupancy and the use of the units as model and marketing units. The units are currently under construction and are intended to be completed by late December, 2019. The offsite parking area shall be completed with either a gravel base or a paved surface prior to verbal to occupy. Parking shall be required within the driveway and allowed on to public streets adjacent to the units. Vehicular parking shall not block any driveways or fire hydrants and shall not be allowed on any streets during snow emergencies and shall not hinder traffic visibility.

Notices were sent to adjacent property owners via regular mail on October 10, 2019, and the required notice was published in the *Kenosha News* on October 14 and 21, 2019. The petitioner was emailed a copy of the Plan Commission Memorandum on October 25, 2019. According to the Village Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of facts, the application and related materials and information presented tonight at this public hearing that the project as planned will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit. The petitioner is here if he'd like to add anything else or if you have further comments or questions for him.

Michael Serpe:

This is a matter for public hearing. Anybody wishing to speak? Doug, we're not going to let you sit there. Name and address.

Doug Stanich:

Doug Stanich, I live at 3116 86th Street, Kenosha. We did sell both of our models so that's the reason we're here today.

Michael Serpe:

Can you give us an update on what's happening out there, Doug, as far as sales and projected --

Doug Stanich:

Right now we've got 30 some under construction or occupied with another six that will be going in the ground hopefully between now and the end of the year. So we're closing in on a little bit over 40 units. So it's moving pretty good at a pretty good pace.

Michael Serpe:

It's looking good. Anything else to add?

Doug Stanich:

Sales have been good. They're beautiful. And I have one for you.

Michael Serpe:

Good article in the paper the other day, too.

Doug Stanich:

Thank you.

Wayne Koessl:

Doug, do you agree with the 13 conditions outlined by staff?

Doug Stanich:

I do. You did say that it's okay to have a gravel driveway temporarily?

Peggy Herrick:

No, they're required to be paved.

Doug Stanich:

We've got that scheduled for the 11th of this month, but the weather is changing suddenly, too fast. So that may be an issue.

Michael Serpe:

Thank you, Doug. Anybody else wishing to speak?

Peggy Herrick:

Does the Plan Commission have an issue if they're not paved?

Michael Serpe:

I'm sorry?

Peggy Herrick:

If they're not paved prior to them using this as the model homes due to weather?

Mike Pollocoff:

Concrete or asphalt?

Doug Stanich:

Concrete.

Mike Pollocoff:

You should be able to --

Doug Stanich:

We should be able to. Just in case. I have a little concern but we should make it.

Michael Serpe:

Thanks, Doug. Anybody else wishing to speak? We'll close the public hearing and open it up to comments and questions from the Commission. Anybody? What's your pleasure?

Wayne Koessl:

Move approval of the Conditional Use Permit subject to the conditions outlined by staff.

Judy Juliana:

Second.

Michael Serpe:

Motion made and seconded for approval. All those in favor signify by saying aye.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Our latest member for the Plan Commission just arrived, Michelle Burnette. Michelle, welcome. Maybe you'd like to just take a minute and tell us about yourself.

Michelle Burnette:

Well, hello, everybody. Thank you. I apologize for being late. In patient care that sometimes will happen. But this is the first time I can honestly say when I had to be somewhere at six o'clock on a Monday that it happened to me. So my regrets, sorry about that. I'm a speech pathologist at Froedtert Pleasant Prairie Hospital, and have been involved in the planning committees for downtown Pleasant Prairie. I grew up here in Kenosha, moved away for, I don't know, a few decades, and found my way back finally about two years ago. And I'm very happy to be here, and I appreciate the opportunity serve on the Plan Commission. Thank you.

Michael Serpe:

Welcome, welcome.

7. ADJOURN.

Judy Juliana:

Move to adjourn.

John Skalbeck

Second.

Michael Serpe:

Motion made and seconded for adjournment. All those in favor say aye.

Voices:

Aye.

Michael Serpe:

Thank you.

Meeting Adjourned: 6:10 p.m.

- A. **PUBLIC HEARING AND CONSIDERATION OF A CONDITIONAL USE PERMIT** for the request of Daniel Seguin on behalf of the property owners of City View Manufactured Home Park to renovate the existing office so that the building can be utilized year-round by the community manager of the housing community located at 4303 75th Street.

Recommendation:

Village staff recommends that the Plan Commission approve the **Conditional Use Permit** subject to the attached comments and conditions of the Village Staff Report of November 11, 2019.

VILLAGE STAFF REPORT OF NOVEMBER 11, 2019

CONSIDERATION OF A CONDITIONAL USE PERMIT for the request of Daniel Seguim on behalf of the property owners of City View Manufactured Home Park to renovate the existing office so that the building can be utilized year-round by the community manager of the housing community located at 4303 75th Street.

PUBLIC HEARING COMMENTS:

As a part of the hearing record, the Village staff has compiled a listing of findings, exhibits and conclusions regarding the petitioner's request as presented and described below:

Findings of Fact

1. The petitioner is requesting a **Conditional Use Permit** to renovate the existing office so that the building can be utilized year-round by the community manager of the City View Manufactured Home Park located at 4303 75th Street. (**Exhibit 1**).
2. The property is located within U.S. Public Land Survey Section 11, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 91-4-122-111-0026.
3. The property is zoned R-12, Manufactured Home/Mobile Home Park Subdivision which allows for a sales and management office with approval of a Conditional Use Permit approved by the Plan Commission
4. On January 10, 2000, the Plan Commission approved Conditional Use Permit Grant #00-01 (**Exhibit 2**) that allowed the building (approximately 310 square feet) to be used as a sales and management office to operate one (1) day per week with business hours between 9 am and 1 pm.
5. The new owners are proposing to renovate this building and to be utilized year round by the manager.
6. The office renovations project includes the following exterior changes: (1) Modify the existing entry door to meet current ADA code for opening clearance and install an aluminum and glass door and frame; (2) replace existing windows with energy efficient vinyl sliders and replacement of the side entry storm door and frame; and (3) upgrade exterior wall lighting to LED Energy efficient fixture by the entry door areas. This lighting shall not cause a glare or nuisance to any adjacent residents or onto the public right-of-way. In addition, a small sign that indicates the office hours may be placed at the entry.
7. The following interior changes include: (1) update and provide HVAC (furnace and air conditioning), plumbing and electrical service; (2) paint the of ceiling, walls, doors, frames and trim and installing new vinyl planking floors; and (3) provide a new Managers office area, provide a new transaction counter top and provide a new resident seating area.
8. This small building is considered a non-conforming structure in that it does not meet the current 65 foot building setback. As a non-conforming structure, interior modifications are allowed; however, no expansion or addition is allowed unless all setback requirements are met. Furthermore, if the structure is removed or destroyed then it could not be rebuilt in the same location based on the current Zoning Ordinance requirements.
9. At this time no improvements are being made to the existing parking area other than maintenance patching and striping. No work is planned for the fence area used for

parking adjacent to this building and to store recreational vehicles in the western parking lot. This area will be evaluated when the WI DOT completes its final plans and acquires the additional right-of-way for the STH 50 widening project which will impact this property. A combination of new fencing and landscaping will be required to screen the parking areas.

10. Pursuant to the current 60% STH 50 plans provided to the Village from the WI DOT, they will be acquiring additional right-of-way and sloping easements to complete any grading associated with the STH 50 project (**Exhibit 3**). This work will impact the paved areas on the property and it does not appear that the improvements will require this building to be removed; however, after the STH 50 work is complete this building will be closer to the property line adjacent to STH 50 and some site improvements may be likely.
11. Notices were sent to adjacent property owners via regular mail on October 24, 2019 and the required notice was published in the Kenosha News on October 28, 2019 and November 4, 2019.
12. The petitioner was emailed a copy of the Plan Commission Memorandum on November 11, 2019.
13. According to the Village's Zoning Ordinance, the Plan Commission shall not approve a Conditional Use Permit unless they find after viewing the findings of fact, the application and related materials and information presented at the public hearing that the project as planned, will not violate the intent and purpose of all Village Ordinances and meets the minimum standards for granting of a Conditional Use Permit.

Village Staff Conclusions and Recommendation:

The Village staff has determined that based upon the foregoing information presented in the application and at the public hearing that the project meets the following standards for granting of a Conditional Use Permit in that the proposed and applied for use:

- does not impede the traffic patterns on the site or cause traffic congestion or traffic circulation problems and the traffic patterns on the site do not hinder, harm or distract the provisions of public services;
- does not impair an adequate supply of light and air to the adjacent properties;
- does not increase danger of fire;
- does not create storm water flooding or drainage, create obnoxious odors, problems or otherwise endanger the public health, safety or welfare;
- has no existing identified hazard, danger, harm, noxiousness, offensiveness, nuisance or other adversity or inconsistency that would endanger the public's health, safety or welfare related to the proposed use;
- is not inherently inconsistent with either the R-12 District in which it is located or the adjoining residential neighborhood; and
- will comply with all applicable Village ordinance requirements and all other applicable federal, state or local requirements relating to land use, buildings, development control, land division, environmental protection, sewer and water services, storm water management, streets and highways and fire protection.

Based on the foregoing information, the Village staff recommends that if the Plan Commission determines that the petitioner has met the specific standards for granting of a Conditional Use Permit as specified above; then the Conditional Use Permit shall be approved subject to the following conditions:

1. Proper building/zoning permits are required for the interior remodeling of the office area and a certificate of occupancy shall be issued when all work is completed, inspected and approved. Additional comments will be forthcoming from the Building Inspection Department
2. Proper exterior maintenance of the property shall be provided, such as but not limited to lawn and yard maintenance and snow removal.
3. At this time no improvements are being made to the existing parking area other than maintenance patching and striping. No work is planned for the fence area used for parking adjacent to this building and to store recreational vehicles in the western parking lot. This area will be evaluated when the WI DOT completes its final plans and acquires the additional right-of-way for the STH 50 widening project which will impact this property. A combination of new fencing and landscaping will be required to screen the parking areas.
4. No use on site shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
5. No changes to the exterior site or building shall be made without the Village's approval.
6. Upon approval of the Conditional Use Permit the property owner shall sign the Conditional Use Grant Document and the document shall be recorded at the Kenosha County Register of Deeds office.
7. The Conditional Use Grant shall become effective upon the execution and recording of the document and shall constitute an effective covenant running with the land. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance. Construction and operation of the use granted shall be in strict conformity to the approved plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the Conditional Use Permit(s) or zoning violation prosecution, or both.
8. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.

DEV1910-004

RECEIVED

SEP 12 2019

10/16/19

PLEASANT PRAIRIE



CONDITIONAL USE PERMIT APPLICATION

Use this application only if Site and Operational Plan approval is not required.

I (We), the undersigned do hereby petition the Village Plan Commission to approve a Conditional Use Permit as hereinafter requested.

Project Name: CITY VIEW OFFICE RENOVATION

Property Location: 4303 75TH STREET.

Legal Description: V 817 P233 1970 & V 1337 P956 1990

Tax Parcel Number(s): 91-4-122-111-0026-0

Existing Zoning District(s): KENOSHA, COUNTY

The Proposed Use for this Property is:

TO BE USED BY COMMUNITY MANAGER TO CONDUCT DAILY BUSINESS OF COMMUNITY.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

APPLICANT/AGENT:

Print Name: Brad Volk

Print Name: DANIEL SEGUIN

Signature: [Handwritten Signature]

Signature: [Handwritten Signature]

Address: 31200 Northwestern Hwy Farmington Hills MI 48334

Address: 31200 NORTHWESTERN HWY FARMINGTON HILLS MI 48334

Phone: 248-626-0737

Phone: 248-880-2639

Fax:

Fax:

Email: licenses@rhp-properties.com

Email: dseguin@rhp-properties.com

Date: 9/4/19

Date: SEPT 3, 2019

DEV 1910-004

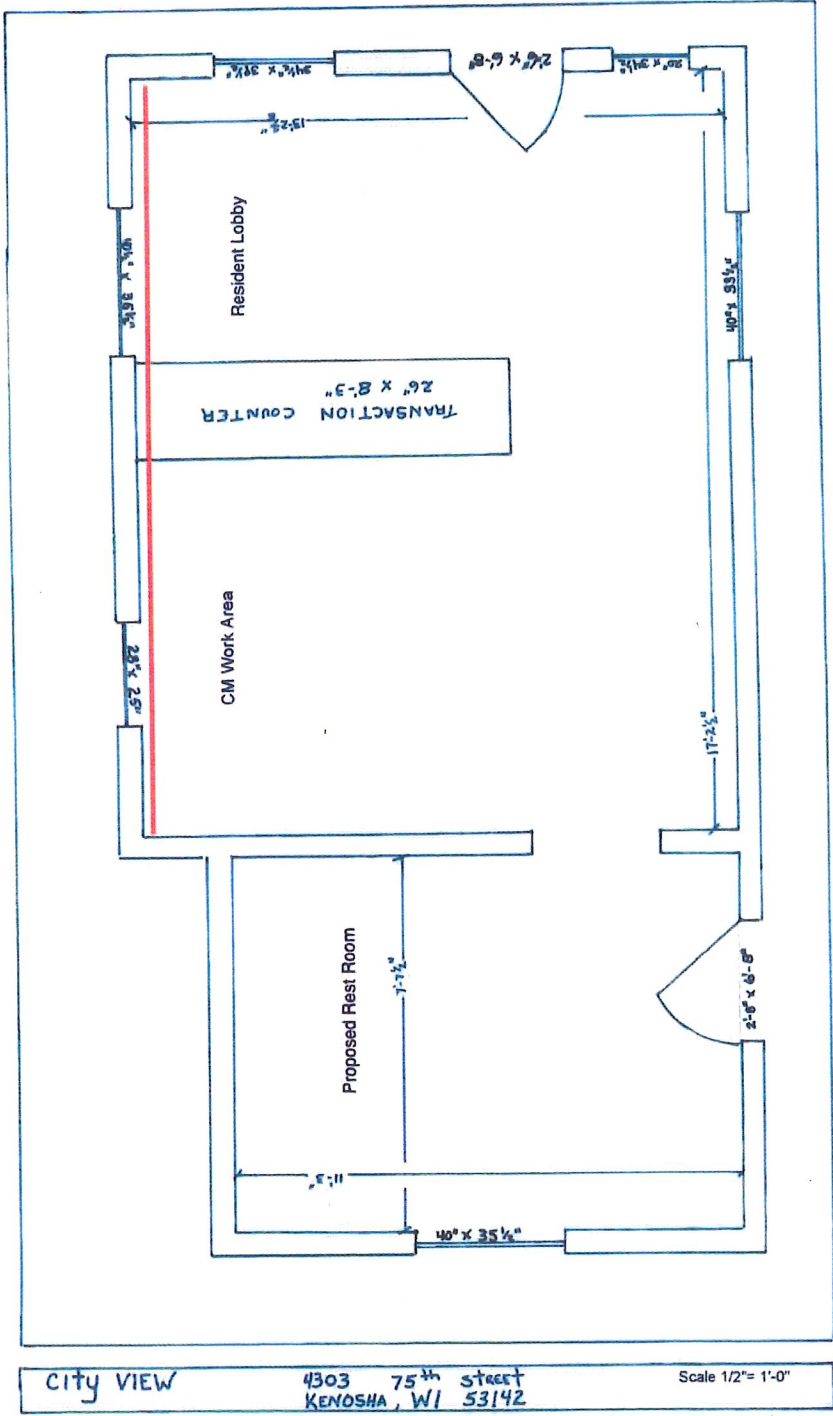


RHP-City View

INTERIORSOURCE, LLC.

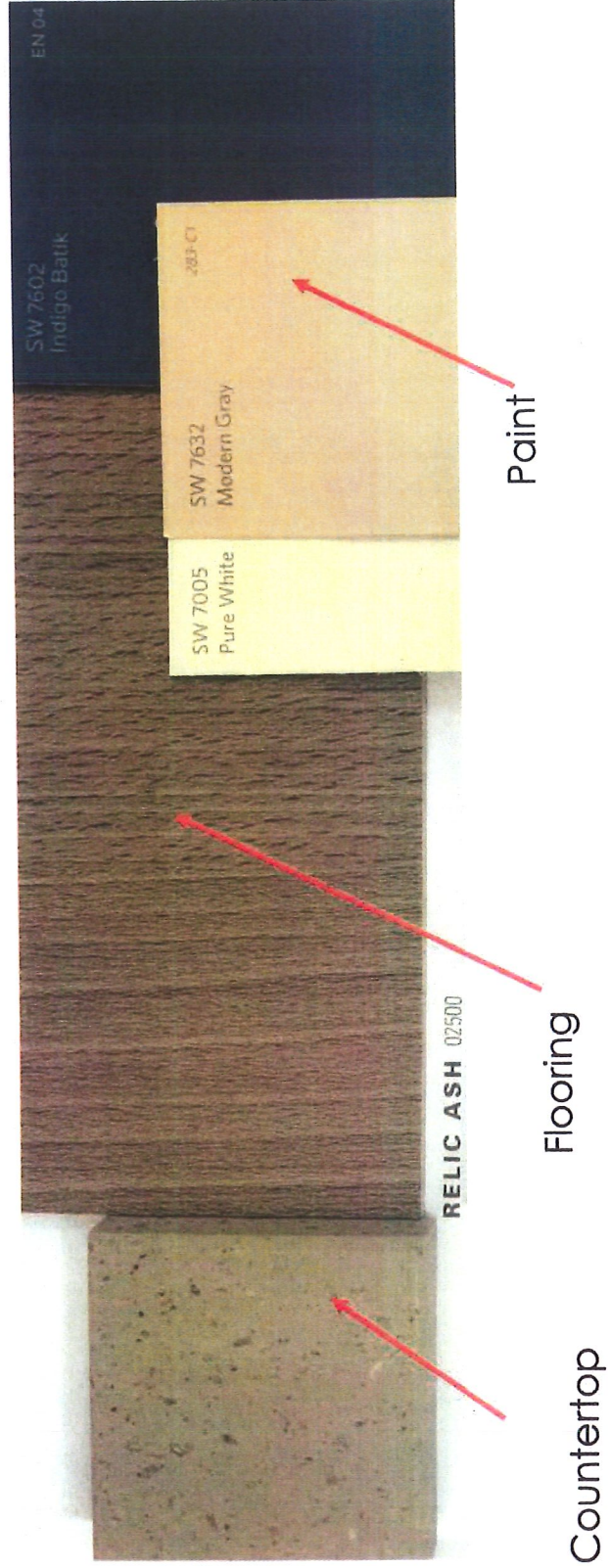
City View -Office Scope

- 1.) New store front entry
- 2.) New surface mounted office lighting
- 3.) Painting of ceiling, walls, doors, frames and trim
- 4.) New solid surface transaction top
- 5.) Flooring- vinyl planking
- 6.) Windows
- 7.) HVAC- furnace and air conditioning – Possible wall mount heat pump
- 8.) Plumbing- bath Rm if possible, comply with ADA requirements.
- 9.) Electrical service- check for possible upgrades if needed.
- 10.) New Managers -desk, chair, file 4 drawer unit.
- 11.) New resident seating area – lobby area
- 12.) Art work

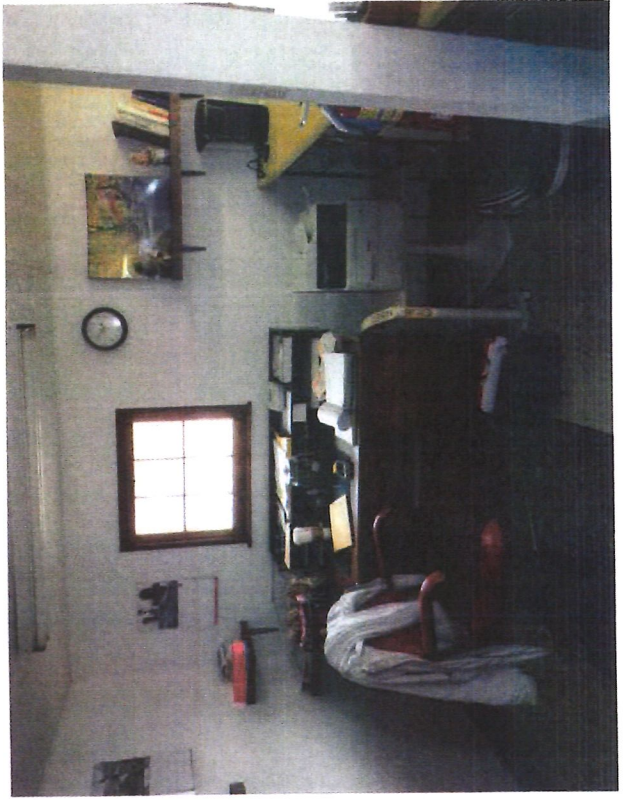


Highlighted red line indicates accent paint color

Finish specifications



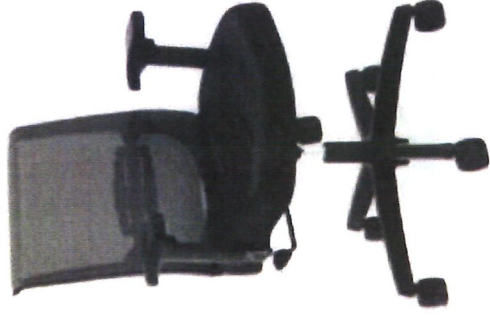




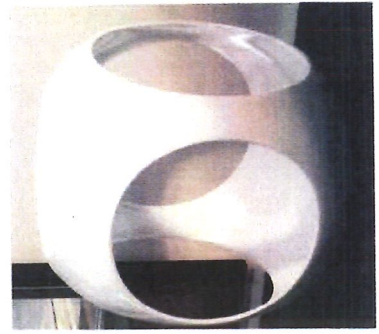
Furniture



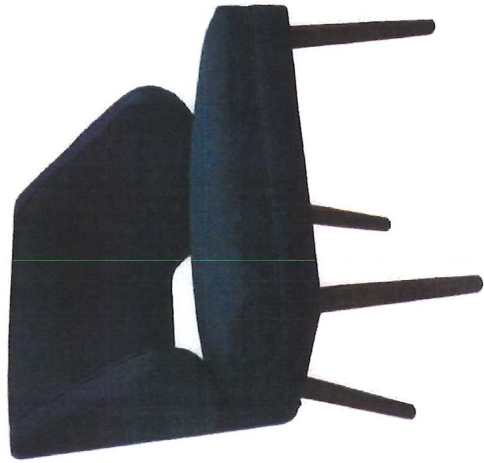
A. Desk



B. Desk chair



E. Lobby side table



D. Lobby chair

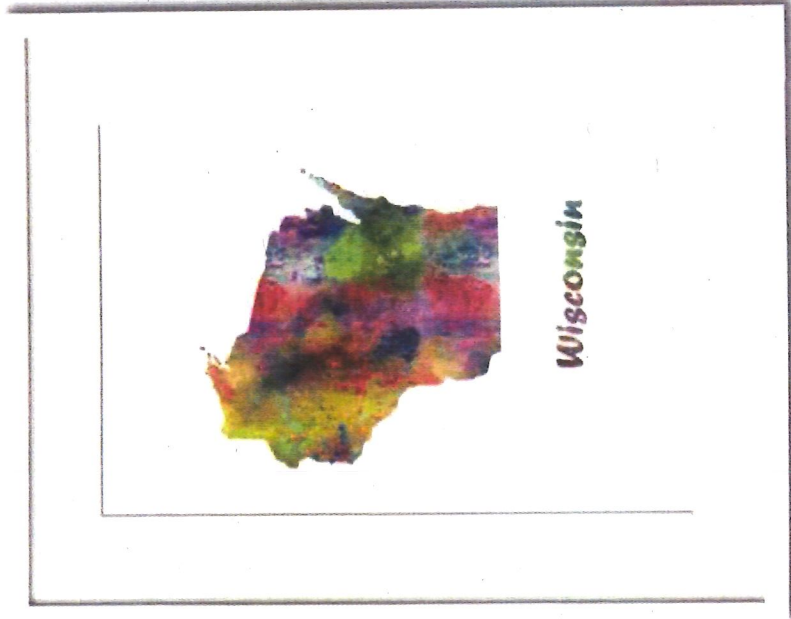


C. Files

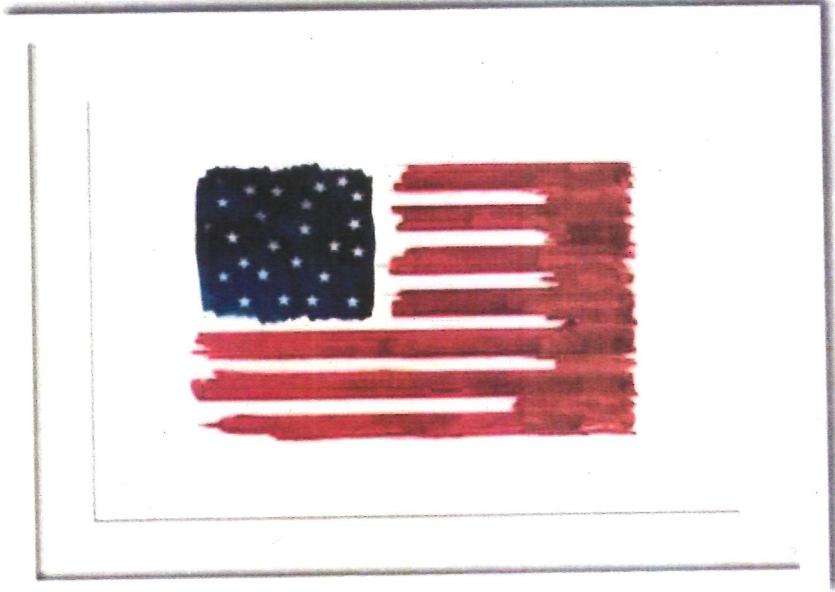


File finish

Artwork



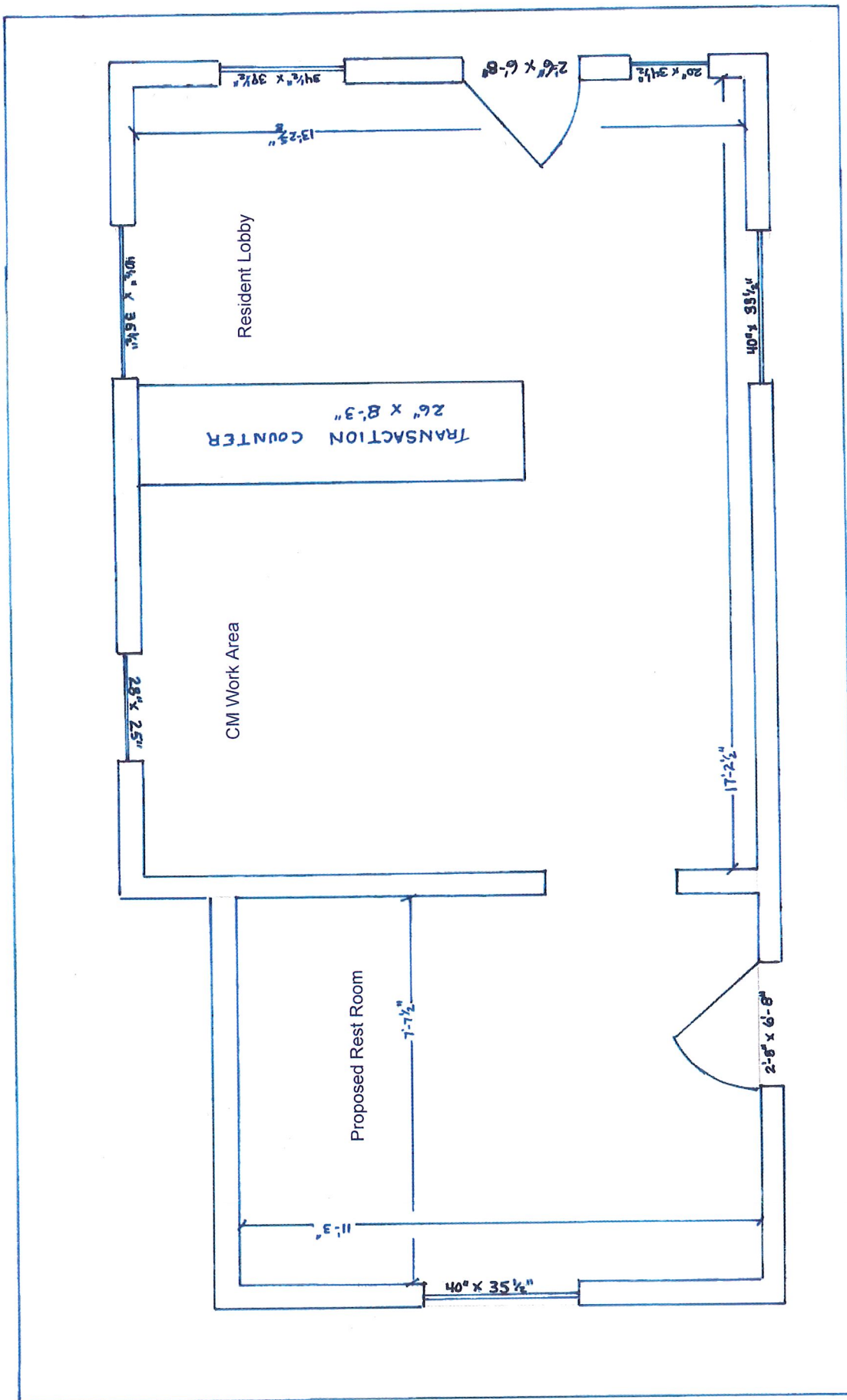
1. Map of Wisconsin



2. Stars & Buildings

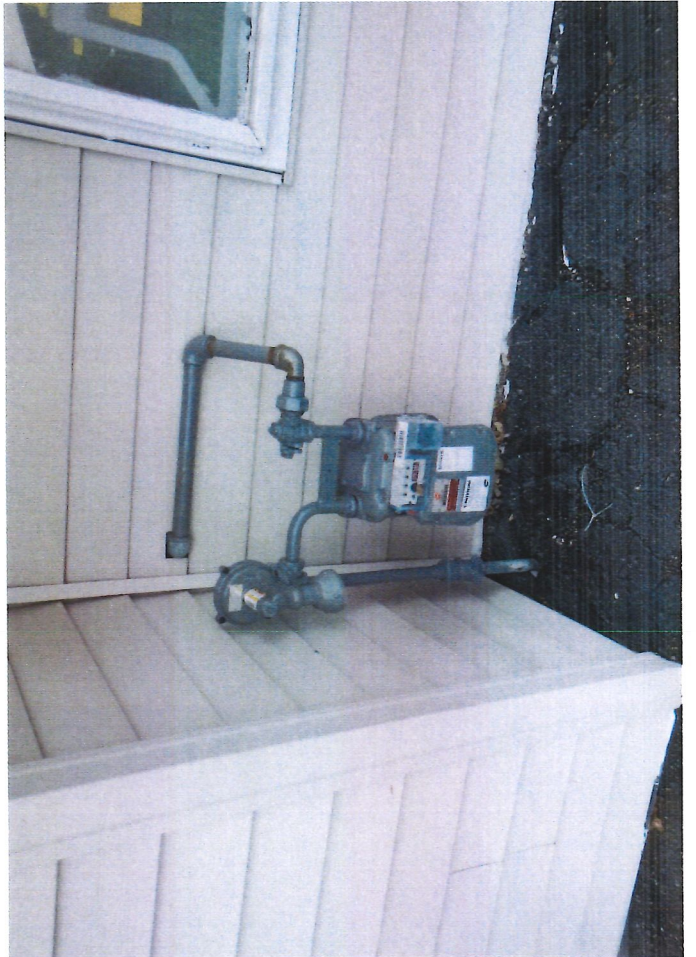
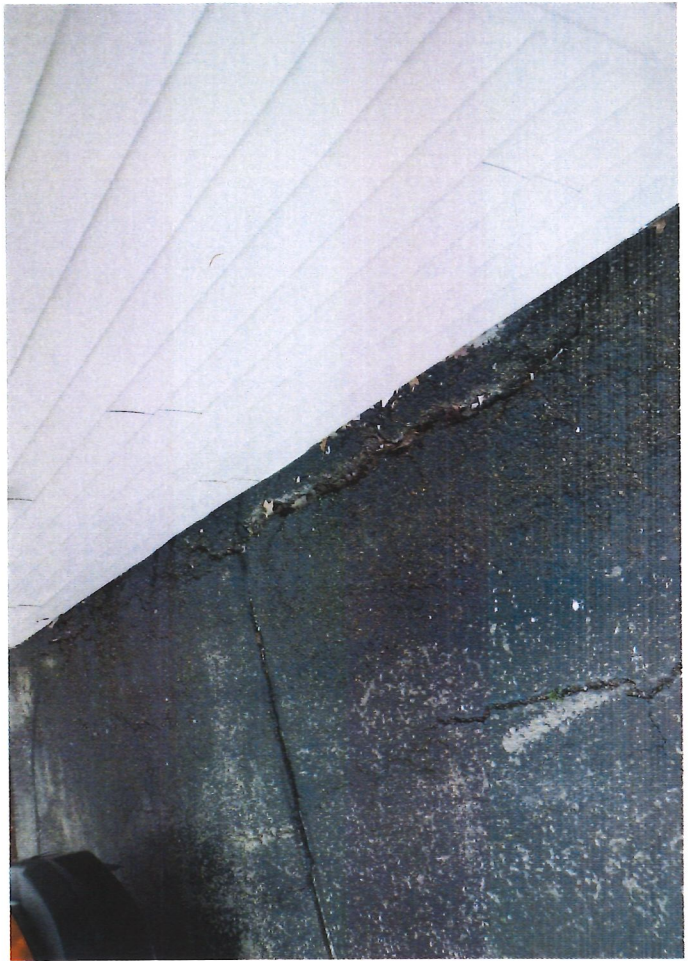
City View -Office Scope

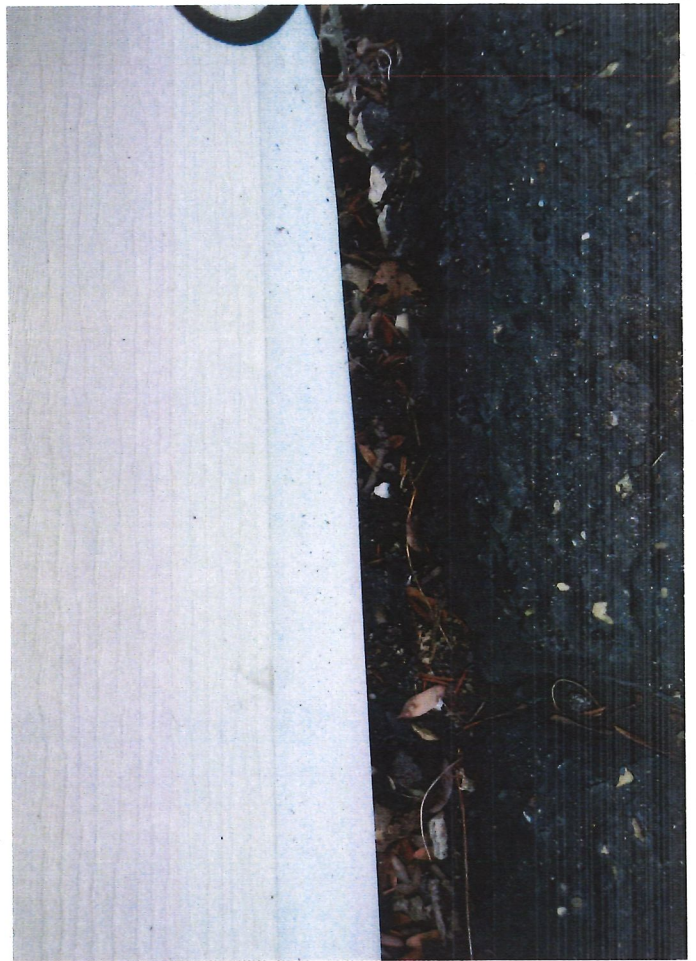
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- 8.) Plumbing- bath Rm if possible, comply with ADA requirements.
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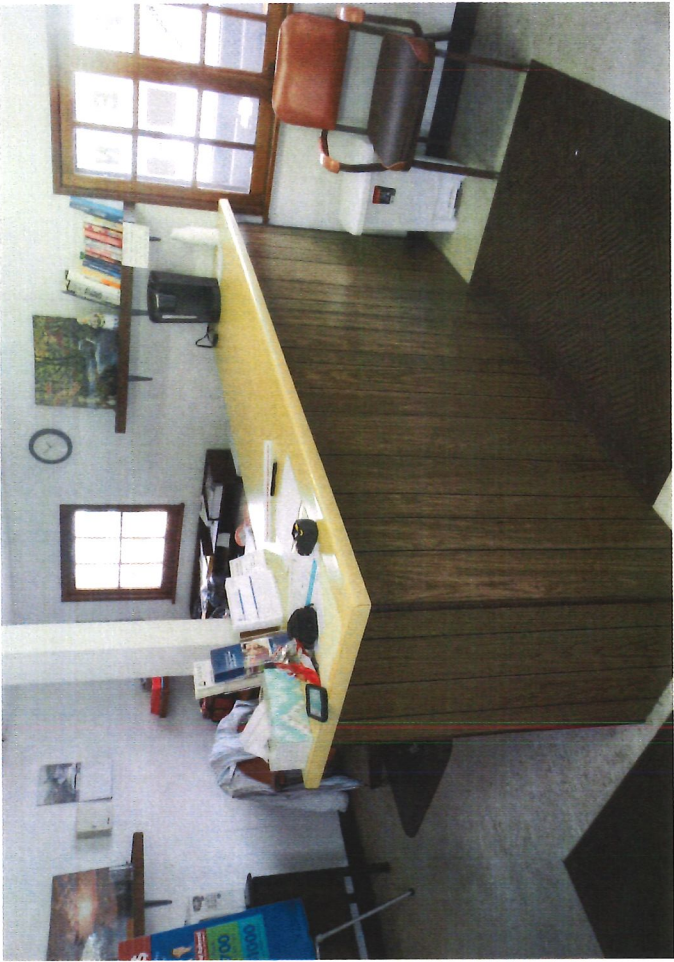


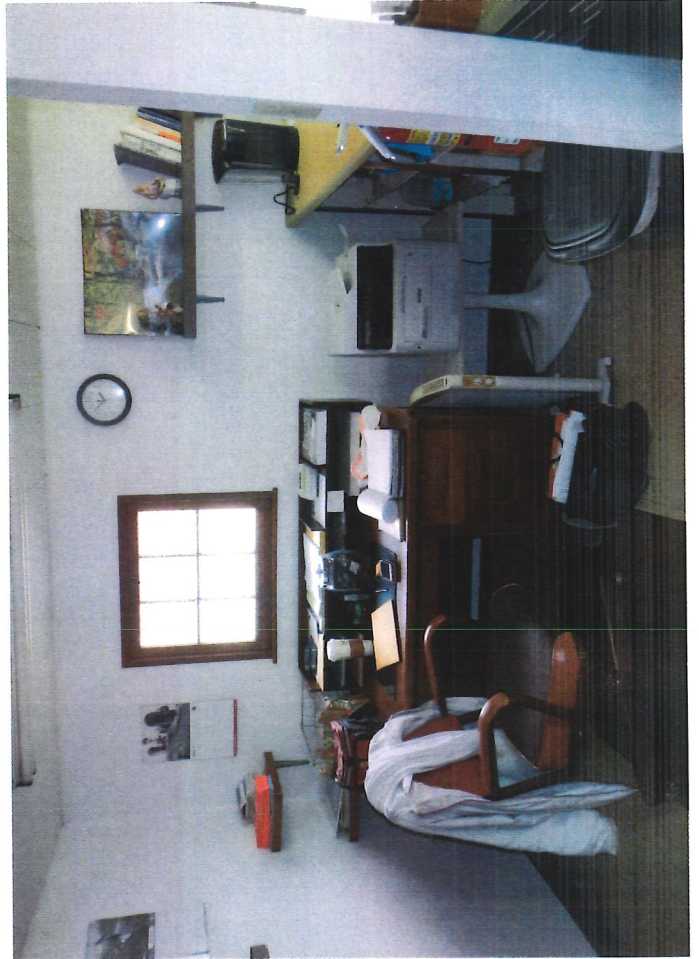














COPY

DOCUMENT NUMBER

1174493

CONDITIONAL USE PERMIT

RECORDED

at Kenosha County, Kenosha, WI 53140
Louise J. Principec, Register of Deeds
on 2/29/2000 at 8:48 AM
5562 \$14.00

REGDEED3

BRAD

**VILLAGE OF PLEASANT PRAIRIE
CONDITIONAL USE GRANT NO. 00-01**

Before the Village Plan Commission of the Village of Pleasant Prairie, Kenosha County, Wisconsin, in regard to the property located at 4303 75th Street.

14-

Return to:

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Parcel Number:

91-4-122-111-0026-0

Legal Description:

Part of the Northwest 1/4 of the Northeast 1/4 of Section 11, Town 1 Range 22 East, 836 feet East of the Northwest Corner of said 1/4 Section, thence South 1314.20 feet, thence East 483.43 feet, thence North 1317.88 feet, thence West 491.69 feet to the Point of Beginning, Easement Ex V 817 P233 1970 & V 1337 P 956 1990, being in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin.

WHEREAS, the Zoning Code and Zoning District Map of the Village of Pleasant Prairie, pursuant to State Statute, provides that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the Village of Pleasant Prairie as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

WHEREAS, such petition having been made, and public hearing held thereon, and the Plan Commission of the Village of Pleasant Prairie having determined that by reason of the particular nature, character and circumstances of the proposed use, and of the specific and contemporary conditions, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance;

NOW THEREFORE, a conditional use is granted, subject to compliance with the terms and conditions hereinafter stated for City View MHC, LLC, to continue the use of the existing office building in the City View MHC as a sales and management office located at 4303 75th Street and further identified as Tax Parcel Number 91-4-122-111-0026-0 in the Village. The sales and management office facility will continue to serve as a management office for the City View MHC operation which currently consists of the collection of rent checks from homeowners living within the MHC. In addition, the MHC office will serve as a



sales office for the purpose of conducting manufactured home sales within the City View Manufactured Home Community. The sales and management office is proposed to be operated one (1) day per month on a regular schedule with business hours of 9 a.m. to 1 p.m. Additional hours of operation for sales related issues would be set-up by appointment on an as-needed basis.

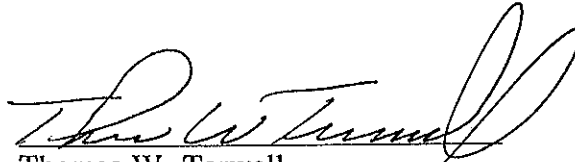
The Village approved the Conditional Use Permit subject to the following conditions:

1. Said facilities shall not be used until a final occupancy permit has been issued.
2. Said facilities shall not be open past 9:00 p.m. any night.
3. Proper exterior maintenance of the property shall be provided such as but not limited to lawn and yard maintenance and snow removal.
4. Said facilities shall be completely landscaped prior to occupancy.
5. Said facilities shall be handicapped accessible and meet all ADA requirements.
6. The off-street parking area shall be completed with either a gravel base or a paved surface prior to occupancy.
7. Compliance with the Operational Plans as approved by the Village on January 18, 2000 and compliance with any and all conditions of said approval.
8. The Conditional Use Grant shall become effective upon the execution and recording by the Village for the Owners of the premises and shall constitute an effective covenant running with the land.
9. The Conditional Use Grant is subject to amendment and termination in accordance with the provisions of the Village Zoning Ordinance.
10. Operation of the use granted shall be in strict conformity to the approved Operational Plans filed in connection with the petition for this permit. Violations of these conditions may result in the revocation of the conditional use permit or zoning violation prosecution, or both.

Granted by the action of the Village of Pleasant Prairie Plan Commission the 10th day of January, 2000.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:


Thomas W. Terwall
Plan Commission Chairman


Donald Hackbarth
Secretary

OWNER:


Robert M. Fitzgerald, Chief Operating Officer
Continental Communities

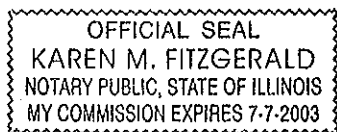
ACKNOWLEDGMENT

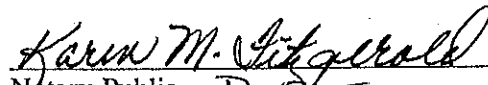
STATE OF IL)

SS

DuPAGE COUNTY)

Personally came before me this 24TH day of JANUARY, 2000, the above named to me known to be the person (Robert M. Fitzgerald) who executed the foregoing instrument and acknowledge the same.




Notary Public, DuPAGE County, IL.
My Commission expires: 7/7/2003.

THIS INSTRUMENT WAS DRAFTED BY:

Jean M. Werbie, Community Development Director
Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, Wisconsin 53158

STATE PROJECT	FEDERAL PROJECT	
	PROJECT	CONTRACT
1310-10-71		

STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION

PLAN OF PROPOSED IMPROVEMENT STH 50 75TH STREET, CITY OF KENOSHA/ VILLAGE OF PLEASANT PRAIRIE KENOSHA COUNTY 88TH AVENUE TO 43RD AVENUE

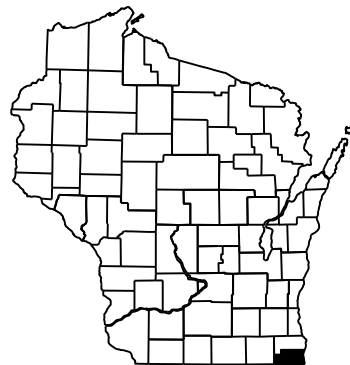
STATE PROJECT NUMBER
1310-10-71

60% PLANS
DECEMBER 14, 2018

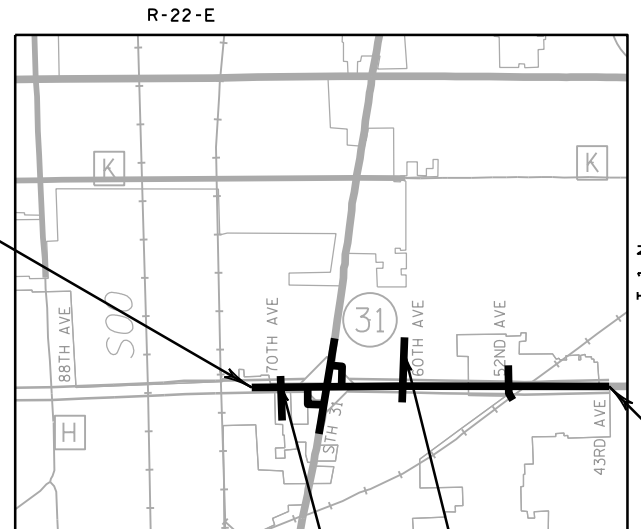
ORDER OF SHEETS

- Section No. 1 Title
- Section No. 2 Typical Sections and Details
- Section No. 3 Estimate of Quantities
- Section No. 3 Miscellaneous Quantities
- Section No. 4 Right of Way Plat
- Section No. 5 Plan and Profile
- Section No. 6 Standard Detail Drawings
- Section No. 7 Sign Plates
- Section No. 8 Structure Plans
- Section No. 9 Computer Earthwork Data
- Section No. 9 Cross Sections

TOTAL SHEETS =



BEGIN PROJECT 1310-10-71
STA 278EB+90.11
X = 610217.216
Y = 127598.951



END PROJECT 1310-10-71
STA 369EB+13.66
X = 619235.534
Y = 127398.303

DESIGN DESIGNATION	STH 50 70TH TO 52ND	STH 50 52ND TO 43RD
A.A.D.T. (2008)	= 29,300	27,000
A.A.D.T. (2039)	= 49,200	38,400
D.H.V.	= 4.2	4.2
D.D.	= 58/42	58/42
T.	= 5.3%	5.3%
DESIGN SPEED	= 45 MPH	35 MPH
ESALS	= 4,400,000	4,400,000

CONVENTIONAL SYMBOLS

PLAN		PROFILE	
CORPORATE LIMITS		GRADE LINE	
PROPERTY LINE		ORIGINAL GROUND	
LOT LINE		MARSH OR ROCK PROFILE (To be noted as such)	
LIMITED HIGHWAY EASEMENT		SPECIAL DITCH	
EXISTING RIGHT OF WAY		GRADE ELEVATION	
PROPOSED OR NEW R/W LINE		CULVERT (Profile View)	
SLOPE INTERCEPT		UTILITIES	
REFERENCE LINE		ELECTRIC	
EXISTING CULVERT		FIBER OPTIC	
PROPOSED CULVERT (Box or Pipe)		GAS	
COMBUSTIBLE FLUIDS		SANITARY SEWER	
MARSH AREA		STORM SEWER	
WOODED OR SHRUB AREA		TELEPHONE	
		WATER	
		UTILITY PEDESTAL	
		POWER POLE	
		TELEPHONE POLE	

LAYOUT
SCALE 0 .5 MI.

TOTAL NET LENGTH OF CENTERLINE = 1.7090 MI.

ELEVATIONS SHOWN ON THIS PLAN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, NAVD 88 (2007) ADJUSTED. COORDINATES ON THIS PLAN ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), KENOSHA COUNTY, NAD 1983 (2007)

ORIGINAL PLANS PREPARED BY
HNTB 11414 WEST PARK PLACE
MILWAUKEE, WI 53224
(414) 359-2300

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

PREPARED BY
Surveyor Kenosha County
Designer HNTB
Project Manager Jason Dahlgren
Regional Examiner _____
Regional Supervisor _____
C.O. Examiner _____

APPROVED FOR THE DEPARTMENT
DATE: _____ (Signature)

E

PROJECT ID: 1310-10-71

COUNTY: KENOSHA

GENERAL NOTES

THE CONTRACTOR SHALL CONTACT THE UTILITIES AND DIGGERS HOTLINE TO LOCATE AND FIELD VERIFY UTILITIES PRIOR TO THE START OF WORK. THE LOCATIONS OF EXISTING AND PROPOSED UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. ANY LOCAL, MUNICIPAL OR OTHER UTILITY THAT IS NOT A MEMBER OF DIGGERS HOTLINE SHALL BE CONTACTED SEPARATELY.

EXISTING SURFACE ELEVATIONS SHOWN IN CROSS SECTIONS DOES NOT ACCOUNT FOR ANY PLANNED REHABILITATION/OVERLAY WORK.

NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT APPROVAL OF THE ENGINEER.

RIGHT OF WAY LINES SHOWN ON THE CROSS SECTIONS ARE APPROXIMATE.

PROTECT INLETS WITH PROPER INLET PROTECTION AT LOCATIONS EXHIBITING RISK OF BEING IMPACTED BY CONSTRUCTION OPERATIONS AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE ENGINEER.

THE EXACT LOCATIONS OF PRIVATE ENTRANCES ARE TO BE DETERMINED IN THE FIELD BY THE ENGINEER. ALL DRIVEWAYS ARE TO BE REPLACED IN KIND UNLESS OTHERWISE DIRECTED BY THE ENGINEER, OR AS SHOWN ON THE PLANS. BASE AGGREGATE DENSE 1-1/4 INCH SHALL BE USED UNDER ALL DRIVEWAYS.

THE EXACT LOCATION AND WIDTH OF TEMPORARY ACCESS FOR DRIVEWAYS SHALL BE DETERMINED BY THE ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESHAPING AND SEEDING ANY PREVIOUSLY GRASSED AREAS WHICH ARE DISTURBED BY ANY OPERATION OUTSIDE OF THE NORMAL CONSTRUCTION LIMITS AT THE CONTRACTOR'S EXPENSE.

RE-TOPSOIL OF GRADED AREAS, AS DESIGNATED BY THE ENGINEER, IMMEDIATELY AFTER GRADING IS COMPLETED WITHIN THOSE AREAS. SEED, FERTILIZER, AND MULCH/EROSION MAT TOP-SOILED AREAS, AS DESIGNATED BY THE ENGINEER, WITHIN FIVE (5) CALENDAR DAYS AFTER PLACEMENT OF TOPSOIL. IF GRADED AREAS ARE LEFT EXPOSED FOR MORE THAN FIVE (5) CALENDAR DAYS, SEED THOSE AREAS WITH TEMPORARY SEED AND MULCH. EROSION BALES ARE TO ONLY BE USED FOR REINFORCEMENT OF PROPOSED SILT FENCE

LOCATIONS ALONG WETLANDS. ANY OTHER USE OF EROSION BALES IS PROHIBITED.

STOCKPILE EXCESS MATERIAL OR SPOILS ON UPLAND AREAS AWAY FROM WETLANDS, FLOODPLAINS AND WATERWAYS. STOCKPILED SOIL SHALL BE PROTECTED AGAINST EROSION. IF STOCKPILED MATERIAL IS LEFT FOR MORE THAN FOURTEEN (14) CALENDAR DAYS, SEED THE STOCKPILE WITH TEMPORARY SEED AND MULCH.

EROSION CONTROL DEVICES ARE AT SUGGESTED LOCATIONS. THE ACTUAL LOCATIONS WILL BE DETERMINED BY THE CONTRACTORS ECIP AND BY THE ENGINEER. EROSION CONTROL BMP'S SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED OR UNTIL THE ENGINEER DETERMINES THAT THE BMP IS NO LONGER REQUIRED.

WHEN THE QUANTITY OF HMA PAVEMENT OR BASE AGGREGATE IS MEASURED FOR PAYMENT BY THE TON, THE DEPTH OR THICKNESS OF THE LAYER SHOWN ON THE PLAN IS THE MINIMUM REQUIRED AND THE ACTUAL THICKNESS WILL DEPEND ON THE DISTRIBUTION OF THE MATERIAL AS DIRECTED BY THE ENGINEER.

A SAWED JOINT IS REQUIRED WHERE NEW HMA PAVEMENT MEETS EXISTING HMA PAVEMENT.

CURB AND GUTTER GRADES ARE GIVEN TO THE FLANGE. CURB AND GUTTER RADII ARE MEASURED TO THE FLANGE

SIDEWALK GRADES ARE GIVEN FROM THE FRONT OF THE SIDEWALK WHEN SHOWN.

SAWCUT ASPHALTIC AND CONCRETE DRIVEWAYS AND/OR PARKING LOTS AT THE MATCHLINE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

FERTILIZER SHALL NOT BE USED NEAR NAVIGABLE WATERWAYS OR WETLANDS.

BROKEN CONCRETE CONTAINING STEEL SHALL NOT BE USED AS RIPRAP OR HEAVY RIPRAP.

THE REMOVAL OF MESH MATERIAL THAT IS FOUND IN EXISTING PAVEMENT WILL BE INCIDENTAL TO THE REMOVAL OF THE PAVEMENT ITEM IN THAT SECTION.

REMOVAL OF EROSION CONTROL DEVICES IS INCIDENTAL TO THE COST OF THEIR RESPECTIVE BID ITEMS.

EROSION CONTROL DEVICES SHALL BE PLACED IN SEQUENCE WITH CONSTRUCTION OPERATIONS OR AS DETERMINED BY THE ENGINEER

ALL MANHOLE AND INLET OFFSETS ARE GIVEN TO THE CENTER OF THE STRUCTURE.

PRIOR TO ORDERING DRAINAGE PIPES AND STRUCTURES, THE CONTRACTOR SHALL VERIFY RELATED DRAINAGE INFORMATION IN THE PLAN AND PROVIDE DOCUMENTATION TO THE ENGINEER IN ACCORDANCE WITH THE SPECIFICATIONS. THIS ALSO INCLUDES VERIFICATION OF INVERT ELEVATIONS AT ALL PROPOSED STORM SEWER CONNECTION POINTS TO EXISTING SYSTEMS.

TRAFFIC CONTROL DEVICES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS DIRECTED BY THE ENGINEER.

SIGNS IN CONFLICT WITH TRAFFIC CONTROL "IN USE" SHALL BE COVERED AS DIRECTED BY THE ENGINEER AND PAID FOR UNDER THE ITEM "TRAFFIC CONTROL COVERING SIGNS TYPE 1 OR TYPE 2."

STATIONING, DISTANCES AND OFFSETS FOR SIGNS SHOWN IN THE PLANS ARE APPROXIMATE AND THE FINAL LOCATION OF SIGNS ARE TO BE DETERMINED BY THE ENGINEER.

BENCHMARK LOCATIONS SHOWN ON PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED.

REMOVAL PLAN DOES NOT INCLUDE REMOVAL OF TEMPORARY PAVEMENT. SEE TRAFFIC CONTROL PLAN.

5 FOOT WIDE SIDEWALK REQUIRES TRANSVERSE JOINTS SPACED AT 5 FEET, 8 FOOT WIDE

SIDEWALK REQUIRES TRANSVERSE JOINTS SPACED AT 8 FEET, 10 FOOT WIDE SIDEWALK REQUIRES TRANSVERSE JOINTS SPACED AT 10 FEET.

EXCAVATION REQUIRED FOR ALL SIGN STRUCTURES, BRIDGES, AND RETAINING WALLS IS NOT INCLUDED IN THE COMPUTED EARTHWORK AND IS INCIDENTAL TO THE PERTINENT STRUCTURE ITEMS. SEE STRUCTURE PLANS FOR ADDITIONAL GUIDANCE ON REQUIRED EXCAVATION LIMITS.

SIDEWALK REPLACEMENT SHOULD BE TO THE NEAREST JOINT. LIMITS ARE APPROXIMATE

AND ARE TO BE VERIFIED IN THE FIELD BY THE ENGINEER. MATCH EXISTING SIDEWALK WIDTH.

FOR ALL CURB RAMPS, REFER TO THE STANDARD DETAIL DRAWINGS FOR THE RAMP TAPER DIMENSIONS. SIDEWALK WIDTHS ARE DIMENSIONED IN THE PLAN.

INLET AND DISCHARGE ELEVATIONS FOR DRAINAGE STRUCTURES SHOWN ON THE PLAN

MAY BE ADJUSTED TO FIT FIELD CONDITIONS WITH PERMISSION FROM THE ENGINEER.

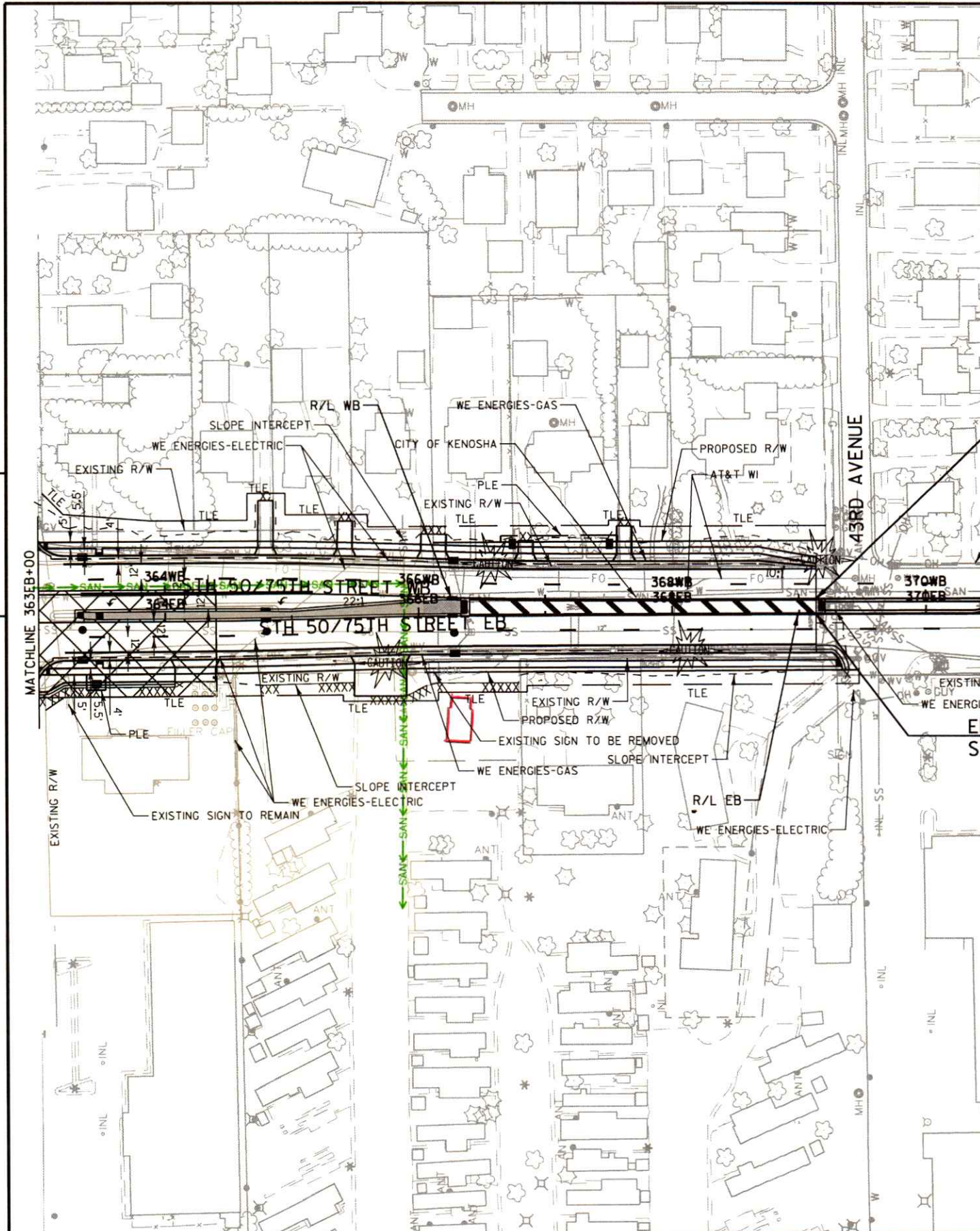
EXISTING SIGNING TO REMAIN IN PLACE UNTIL NEW SIGNING IS IN PLACE.

CONTRACTOR MUST CONTACT THE PROJECT ENGINEER AND SEWRPC AT LEAST TWO (2) WEEKS PRIOR TO WORK NEAR ANY PUBLIC SURVEY MONUMENT.

ABBREVIATIONS

AEW	APRON END WALL
AGG	AGGREGATE
BAD	BASE AGGREGATE DENSE
BM	BENCH MARK
C&G	CURB AND GUTTER
C/L	CENTER OR CONSTRUCTION LINE
CMCP	CORRUGATED METAL CULVERT PIPE
CONC	CONCRETE
CSD	CONCRETE SURFACE DRAIN
CP	CULVERT PIPE
CY	CUBIC-YARD
Δ	DELTA
D	DEGREE OF CURVE
DISCH	DISCHARGE
EAT	ENERGY ABSORBING TERMINAL
EB	EASTBOUND
FE	FIELD ENTRANCE
HMA	HOT MIX ASPHALT
INV	INVERT
L	LENGTH OF CURVE
LHF	LEFT HAND FORWARD
LT	LEFT
WL	MATCHLINE
MIN	MINIMUM
ML	MAINLINE
NB	NORTHBOUND
NC	NORMAL CROWN
PAVT	PAVEMENT
PC	POINT OF CURVE
PCC	POINT OF COMPOUND CURVE
PE	PRIVATE ENTRANCE
PI	POINT OF INTERSECTION
PLE	PERMANENT LIMITED EASEMENT
PT	POINT OF TANGENT
R	RADIUS OF CURVE
R/L	REFERENCE LINE
R/W	RIGHT OF WAY
RC	REVERSE CROWN
RCAEW	APRON ENDWALL FOR CULVERT PIPE REINFORCED CONCRETE
REQD	REQUIRED
RHF	RIGHT HAND FORWARD
RO	RUN OFF LENGTH
RRSP	RAILROAD SPIKE
RT	RIGHT
SALV	SALVAGED
SAPBC	SALVAGED ASPHALTIC PAVEMENT BASE COARSE
SB	SOUTHBOUND
SDD	STANDARD DETAIL DRAWINGS
SE	SUPER ELEVATION
SF	SQUARE FOOT
SSPRC	STORM SEWER PIPE REINFORCED CONCRETE
SSPRCHE	STORM SEWER PIPE REINFORCED CONCRETE HORIZONTAL ELLIPTICAL
STA	STATION
SY	SQUARE YARD
T	TANGENT LENGTH
TLE	TEMPORARY LIMITED EASEMENT
VCL	VERTICAL CURVE LENGTH
VPC	POINT OF VERTICAL CURVE
VPI	POINT OF VERTICAL INTERSECTION
VPT	POINT OF VERTICAL TANGENT
WB	WESTBOUND

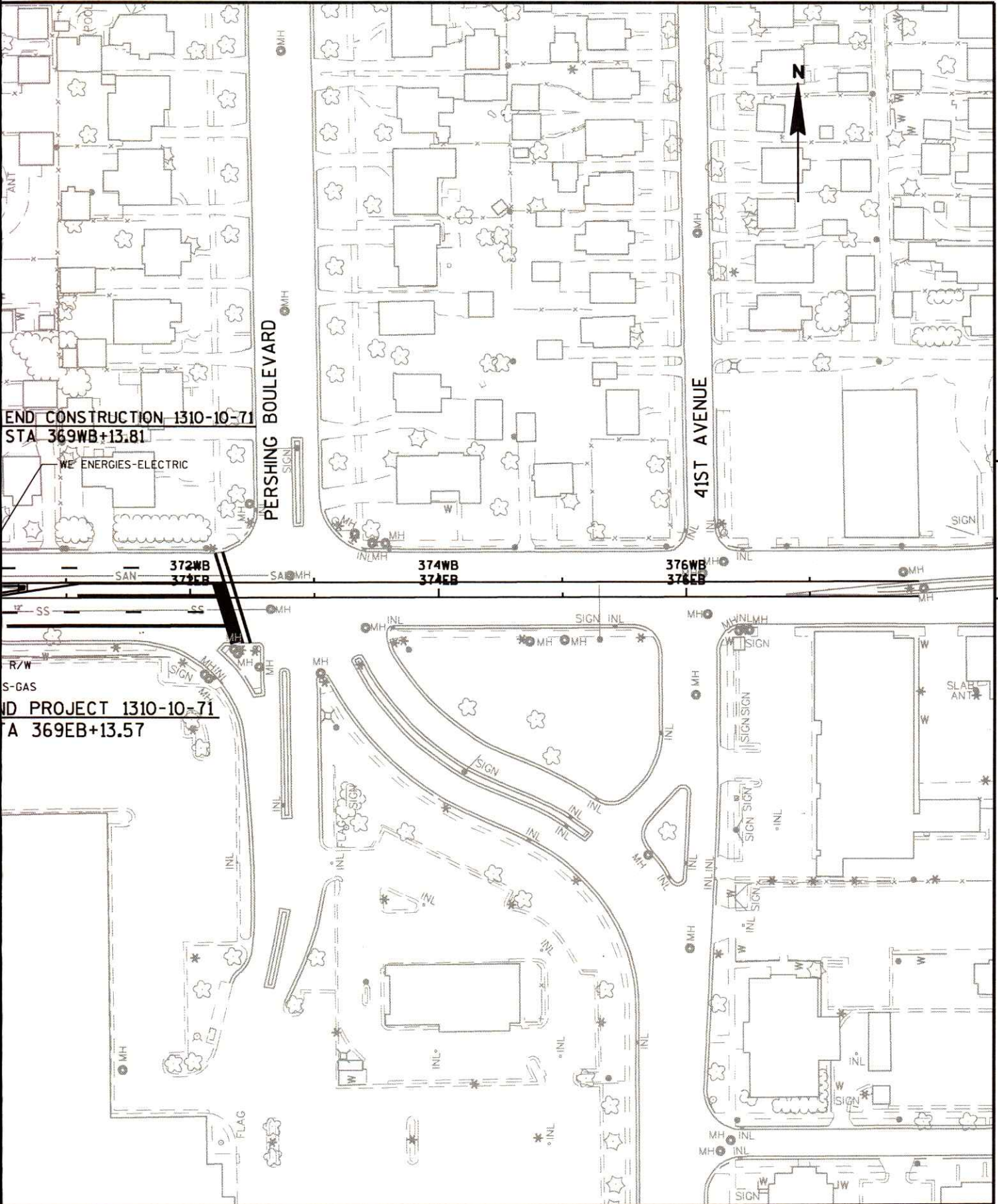
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PROJECT NO:1310-10-71

HWY:STH 50

COUNTY:KENOSHA



5

PLAN SHEET: STH 50

SHEET PRE_166

E

B. **PUBLIC HEARING AND CONSIDERATION OF A ZONING TEXT AMENDMENT** to amend and correct the 118th Avenue and STH 50 Planned Unit Development Ordinance to adjust the open space requirements for Lots 2 and 3 to match the approved plans attached to the PUD related to the properties at 7520 118th Avenue and the vacant property to the west of 7540 118th Avenue.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Zoning Text Amendment as presented in the Village Staff Report of November 11, 2019.

VILLAGE STAFF REPORT OF NOVEMBER 11, 2019

CONSIDERATION OF A ZONING TEXT AMENDMENT to amend and correct the 118th Avenue and STH 50 Planned Unit Development Ordinance to adjust the open space requirements for Lots 2 and 3 to match the approved plans attached to the PUD related to the properties at 7520 118th Avenue and the vacant property to the west of 7540 118th Avenue.

On October 14, 2019, the Plan Commission approved Resolution #19-14 to initiated an amendment to the 118th Avenue and STH 50 Planned Unit Development (PUD) Ordinance to correct a section of the ordinance related to open space to comply with the open space calculations shown on the final approved plans shown on Exhibit B of said Ordinance.

In 2004, the Village Board adopted Ord. #04-27 related to the re-development of three properties located at the southwest corner 118th Avenue and STH 50 including Walgreens referenced as Lot 2, LaQuinta referenced as Lot 4 and vacant property east of LaQuinta referenced as Lot 3. In addition, the Village Board adopted minor modifications to the PUD in 2009 by Ord, #19-06 and in 2011 by Ord. #11-04 related to building colors and materials for LaQuinta and pavement setbacks as a result of the DOT acquiring additional right-of-way.

Earlier this year it was brought to the Village's attention that Exhibit B and the text related to open space are inconsistent and the development specifically of the Walgreens on Lot 2 were built pursuant to the plans illustrated in Exhibit B.

Therefore, the PUD is amended to correct the text to be consistent with the referenced Exhibit as it relates to open space as follows:

- (1) Lot 2 shall not be less than **28%** ~~30%~~,
- (2) Lot 3 shall not be less than **36%** ~~29%~~ and
- (3) Lot 4 shall not be less than 15%.

Village staff recommends approval of the Zoning Text Amendment as presented.

ORDINANCE NO. 19-__

**TO AMEND THE VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE
KENOSHA COUNTY, WISCONSIN**

**THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN, DO ORDAIN THAT SECTION d. iii. OF THE
SPECIFIC DEVELOPMENT PLAN #11 ENTITLED "118TH AVENUE AND STH 50
PLANNED UNIT DEVELOPMENT" IN CHAPTER 420 ATTACHMENT 3 APPENDIX C IS
HEREBY AMENDED TO READ AS FOLLOWS:**

- iii. Section 420-121 H (3) related to open space shall be amended to read: The minimum amount of open space for each lot shall be as follows:
- (1) Lot 2 shall not be less than **28%** ~~30%~~,
 - (2) Lot 3 shall not be less than **36%** ~~29%~~ and
 - (3) Lot 4 shall not be less than 15%.

Adopted this ____ day of _____, 2019.

VILLAGE OF PLEASANT PRAIRIE

John P. Steinbrink
Village President

ATTEST:

Jane C. Snell
Village Clerk

Posted: _____

__-118th Ave & STH 50 PUD Amend - Open Space Correction
CODE1910-001

ORDINANCE # 04-27

**ORDINANCE TO AMEND SECTION 12.26-4
OF THE VILLAGE OF PLEASANT PRAIRIE GENERAL ZONING AND
SHORELAND/FLOODPLAIN ZONING ORDINANCE,
KENOSHA COUNTY, WISCONSIN
RELATING TO THE 118th AVENUE AND STH 50
PLANNED UNIT DEVELOPMENT**

BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that Section 12.26-4 (l) 10 of the Village Zoning Ordinance is hereby created to read as follows:

10. 118th Avenue and STH 50 Planned Unit Development (PUD)

- a. It is the intent that the development of the properties as legally described below is in conformity with the Village of Pleasant Prairie (Village) adopted Comprehensive Land Use Plan; that the development would not be contrary to the general health, safety, welfare and economic prosperity of the community; and that the architectural design, landscaping, lighting and general site development will result in an attractive and harmonious business environment of sustained desirability and economic stability and not adversely affect the property values of the surrounding neighborhood.
- b. Legal Description: The properties are known as Lots 2, 3 and 4 of CSM 2416 located in U.S. Public Land Survey Section 7, Township 1 North, Range 22 East in the Village of Pleasant Prairie and further identified as Tax Parcel Numbers 91-4-122-072- 0032, 91-4-122-072-0033 and 91-4-122-072-0034 and are herein after referred to as the "DEVELOPMENT". (Said CSM and related Easements referenced on the CSM are recorded at the Kenosha County Register of Deeds Office and on file with the Village See Exhibit A for a list of Documents)
- c. Requirements within the DEVELOPMENT:
 - i. The DEVELOPMENT shall include three separate parcels and each parcel shall have one (1) principal structure located on said parcel as shown on **Exhibit B** and specifically:
 - (1) Lot 2 of said CSM shall include a maximum 14,820 square foot Freeway Convenience Store; and
 - (2) Lot 3 of said CSM shall include a maximum 6,800 square foot Restaurant building(s); and
 - (3) Lot 4 of said CSM shall include a maximum 43,940 square foot Hotel.
 - ii. The DEVELOPMENT shall be in compliance with all Federal, State, County and Village ordinances and regulations except as expressly modified in Section 12.26-4 (l) 10 d below.
 - iii. The DEVELOPMENT shall be in compliance with the Village approved Site and Operational Plan(s) and Conditional Use Permit(s) on file with the Village Community Development Department.
 - iv. The DEVELOPMENT sites and structures shall be operated and maintained in a uniform manner, regardless of property ownership. If the DEVELOPMENT, or any portion of the DEVELOPMENT, is sold to another entity(s), the

DEVELOPMENT shall continue to operate as a unified development pursuant to the approved plans as shown in **Exhibit B**.

- v. The three (3) principal buildings within the DEVELOPMENT shall be constructed of the following materials and colors:
- (1) Hotel:
 - (a) Siding: T1-11 Wood Paneling Color: Barcelona Beige Tinted 150%
 - (b) Columns: Dryvit: Super White FS-101
 - (c) Awning: Cloth, Model: Sunbrella, Color, Burgandy #8631, Manufacturer: Glen Raven Mills.
 - (d) If a new hotel is constructed on Lot 4 then the materials used shall be same as the listed below for the Freeway Convenience Store.
 - (2) Freeway Convenience Store:
 - (a) Field Brick: Harmar 810 medium red
 - (b) Accent Materials
 - (i) Brick: Harmar 801 medium red
 - (ii) Precast Concrete: Color Buff by Prairie Stone
 - (iii) Split face concrete block to match Precast Concrete
 - (iv) Cement Plaster details to match Precast Concrete
 - (c) Fascia, Gutter & Copings: Pre-Clad "Almond"
 - (d) Downspouts: painted to match brick
 - (e) Window and Door Trim: Bronze Anodized Storefront
 - (f) Roof: Asphalt Shingles, Color Antique Slate by Elk with pre-clad "Almond" color flashing.
 - (g) Spandrel Glass: light gray
 - (3) Restaurant:
 - (a) Field Brick: Harmar 810 medium red
 - (b) Accent Materials:
 - (i) Brick: Harmar 801 medium red
 - (ii) Precast Concrete: Color Buff by Prairie Stone
 - (iii) Split face concrete block to match Precast Concrete
 - (c) Fascia, Gutter & Copings: Pre-Clad "Almond"
 - (d) Downspouts: painted to match brick
 - (e) Window and Door Trim: Bronze Anodized Storefront

118th Avenue/STH 50
Planned Unit Development
Section 12.26-4(1) 10 Zoning Text Amendment

- (f) Roof: Asphalt Shingles, Color Antique Slate by Elk with pre-clad "Almond" color flashing.
 - (g) Spandrel Glass: light gray, if applicable.
 - vi. No additional land divisions shall be allowed within the DEVELOPMENT unless approved by the Village.
- d. Specific Modifications to the Village General Zoning and Shoreland/Floodplain Zoning Ordinance and Regulations and Specific Requirements for the DEVELOPMENT:
 - i. Section 12.22-4 (h) 1 related to lot size shall be amended to read: 1.46 acres minimum per property within the DEVELOPMENT.
 - ii. Section 12.22-4 (h) 2 related to lot frontage shall be amended to read: minimum frontage of 150 square feet; however, only two (2) access points are allowed from 118th Avenue onto Lot 4 of said CSM for all three parcels and no access shall be provided to/from STH 50 or the IH-94 off ramp lying west of the Development. All lots are subject to the Cross Access Easement and the Reciprocal Easement Agreement referred to on said CSM. Said Easement and Agreement shall not be removed or altered without prior approval from the Village Board.
 - iii. Section 12.22-4 (h) 3 related to open space shall be amended to read: The minimum amount of open space for each lot shall be as follows:
 - (1) Lot 2 shall not be less than 30%,
 - (2) Lot 3 shall not be less than 29% and
 - (3) Lot 4 shall not be less than 15%.
 - iv. Section 12.22-4 (d) h iii related to setbacks for the principal buildings shall be amended to read:
 - (1) Freeway Convenience Store including drive-thru on Lot 2:
 - (a) Street setbacks: 65 feet minimum;
 - (b) Side setback (to west property line): 22 feet minimum;
 - (c) Rear setback (to south property line): 45 feet minimum; and
 - (d) Wetland setback: 2 feet minimum.
 - (2) Restaurant on Lot 3:
 - (a) Street setback (to west property line): 45 feet minimum;
 - (b) Side setback (to north property line): 45 feet minimum;
 - (c) Side setback (to south property line): 27 feet minimum;
 - (d) Rear setback: (to east property line) 19 feet minimum; and
 - (e) Wetland setback: 25 feet minimum.
 - (3) Hotel on Lot 4:
 - (a) Street setback: 38 feet minimum;

118th Avenue/STH 50
Planned Unit Development
Section 12.26-4(1) 10 Zoning Text Amendment

- (b) Side setback (to north property line): 31 feet minimum;
 - (c) Side setback (to south property line): 26 feet minimum;
 - (d) Rear setback (to west property line): 45 feet minimum;
 - (e) Wetland setback: 25 feet minimum;
 - (f) If a new hotel is constructed on Lot 4, then the following minimum setbacks shall be maintained:
 - (i) Street setbacks: 65 feet minimum;
 - (ii) Side and rear setbacks: 45 feet minimum; and
 - (iii) Wetland setback: 25 feet minimum.
- v. Section 12.11-07 (j) 2 j related to street trees shall not be required in this DEVELOPMENT.
- vi. Traffic, Parking and Access:
- (1) Section 12.13- 3 e related to setback for parking spaces and driveways shall be amended to read:
 - (a) The paved parking area and maneuvering lanes on Lot 2 shall meet the following minimum setbacks:
 - (i) Street setbacks: 20 feet minimum;
 - (ii) Side setback (to west property line): 2 feet minimum;
 - (iii) Rear setback (to south property line): 8 feet minimum; and
 - (iv) Wetland setback: two (2) feet minimum.
 - (b) The paved parking area and maneuvering lanes on Lot 3 shall meet the following minimum setbacks:
 - (i) Street setback (to west property line): 30 feet minimum;
 - (ii) Side setback (to north property line): 20 feet minimum;
 - (iii) Side setback (to south property line): 15 feet minimum;
 - (iv) Rear setback: (to east property line): no setback; and
 - (v) Wetland setback: 5 foot minimum.
 - (c) The paved parking area and maneuvering lanes on Lot 4 shall meet the following minimum setbacks:
 - (i) Street setback: 5 feet minimum;
 - (ii) Side setback (to north property line): no setback;
 - (iii) Side setback (to south property line): 5 feet minimum;
 - (iv) Rear setback (to west property line: no setback; and
 - (v) Wetland setback: 25 feet minimum;

- (d) If a new building is constructed on Lot 4, then the following minimum setbacks for paved areas and maneuvering lands shall meet the following:
 - (i) Street setbacks: 20 feet minimum;
 - (ii) Side and rear setbacks: 20 feet minimum; and
 - (iii) Wetland setback: 25 feet minimum.
- (e) Section 12.13-6 a 27 related to the number of parking spaces for Convenience Stores shall be amended to read as follows:
 - (i) 72 parking spaces plus 4 handicapped spaces shall be required.

vii. Fences

- (1) Section 12.15-9 related to Commercial fences shall be amended to read as follows:
 - (a) The commercial fences pursuant to Exhibit B shall be used to provide screening subject to the following requirements:
 - (i) Said fence shall be constructed of pre-finished steel ornamental painted black;
 - (ii) Said fence shall be located a minimum of three (3) feet from the street property line on Lot 4 and shall be a minimum of 15 feet from the street property lines;
 - (iii) Said fence shall not exceed three (3) feet;
 - (iv) Said fence shall not be located within the wetlands;
 - (v) Said fence shall not be placed within a vision triangle;
 - (vi) No fence shall be placed within any easement(s) without written permission from the easement holder;
 - (vii) Said fence shall be in compliance with any structural requirements of any local and State codes.

viii. Signage

- (1) No neon signage is allowed within the DEVELOPMENT
- (2) Section 12.14 S 14 related to Freeway Sign shall be amended to read as follows:
 - (a) One Freeway sign will be allowed for all three properties will be allowed within the DEVELOPMENT on Lot 3 of said CSM;
 - (b) Maximum area: 336 square feet per side furthermore, the Hotel portion of the sign shall not exceed 156 square feet, the Freeway Convenience Store sign shall not exceed 90 square feet and Restaurant sign shall not exceed 90 square feet);

118th Avenue/STH 50
Planned Unit Development
Section 12.26-4(1) 10 Zoning Text Amendment

- (c) An electronic changing message sign or an electronic scrolling sign shall not be incorporated into the sign;
 - (d) Maximum height: 45 feet;
 - (e) Minimum setback: 20 feet from any public street or highway right-of-way line and 25 feet from any wetlands;
 - (f) Shall be illuminated, internally only; and
 - (g) The sign installer shall provide written verification to the Village Zoning Administrator upon installation that the sign complies with the sign permit requirements.
- (3) Section 12.14 S 20 related to Primary Monument Sign shall be amended to read as follows:
- (a) Only one primary monument sign for all three properties is allowed within the DEVELOPMENT and shall be located on Lot 2 of said CSM;
 - (b) A changeable copy sign, electronic changing message sign or electronic scrolling sign is permitted;
 - (c) Maximum area: 127 square feet per face;
 - (d) Maximum height: 16 feet;
 - (e) Minimum setback distances: 15 feet from any public street or highway right-of-way line;
 - (f) Shall include the street address of each principal building within the Development including the street number(s) and the name of the street, but such address(s) may be placed on the base of the sign (where they will not count toward the maximum area of the sign display) and the letters shall be a minimum of 3 inches high;
 - (g) Landscaping: shall extend a minimum of five (5) feet in every direction from the base of the sign and the landscaping shall be manicured so that the street address is visible;
 - (h) Shall be internally illuminated; and
 - (i) The base of the sign shall be constructed of brick to match the building on Lot 1 of said CSM.
- (4) Section 12.14 S 26 related to Secondary Monument Sign shall be amended to read as follows:
- (a) One secondary monument sign is allowed on Lot 4 for use by the owners of Lot 3 with the DEVELOPMENT;
 - (b) Maximum number: one (1) sign permitted within the DEVELOPMENT and shall be located within the landscaped area in the northwest corner of Lot 4 a minimum of 5 feet from the back of curb and 25 feet from the wetlands;
 - (c) Maximum height: : six (6) feet;

118th Avenue/STH 50
Planned Unit Development
Section 12.26-4(1) 10 Zoning Text Amendment

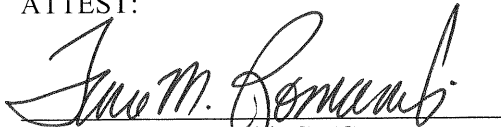
- (d) Maximum area: 30 square feet;
 - (e) Landscaping: three (3) feet in every direction from the sign base or other supporting structure;
 - (f) Shall be internally illuminated;
 - (g) The base of the sign shall be constructed of brick to match the building on Lot 1 and 3 of said CSM.
- (5) Section 12.14 U 10 related to general requirements for primary monument signs shall not apply to this DEVELOPMENT.
- (6) Section 12.14 U 11 related to aggregate permitted background commercial advertising sign area shall be amended to read as follows:
- The aggregate permitted background commercial advertising sign area allowed within the DEVELOPMENT shall be:
- (a) Lot 2: 187 square feet;
 - (b) Lot 3: 75 square feet;
 - (c) Lot 4: 229 square feet;
- (Note that not all commercial advertising signs are counted in determining the aggregate permitted background commercial advertising sign area, pursuant to Subsection 12.14.B.2.).
- e. To ensure a Unified Development the following site improvements on Lot 4 are required to be installed and completed by October 1, 2004 unless otherwise noted including:
- i. Curb and gutter shall be installed around all landscape islands and in the parking lot as shown on **Exhibit C**.
 - ii. Landscaping including the fence shown on **Exhibit C** shall be installed.
 - iii. Existing Primary Monument Sign, existing secondary monument sign shall be removed.
 - iv. The existing dumpster shall be removed and relocated pursuant to **Sheet 4 of Exhibit B**.
 - v. Replacement or fix and maintain the existing building in the southeast parking lot shall be completed.
 - vi. The parking lot shall be striped pursuant to the parking plans on **Sheet 4 of Exhibit B** including the installation of three (3) semi-truck parking spaces.
 - vii. No more than 4 semi trucks shall be allowed to park on Lot 3 as shown on **Exhibit D** provided that they are patrons of Hotel; however, all semi-truck parking shall be phased out or discontinued on Lot 3 by October 1, 2004 or earlier if Lot 3 is under construction with a new Restaurant. If Lot 3 is still vacant as of October 1, 2004 an acceptable barrier shall be installed along the property line between Lots 3 and 4 until the development of Lot 3 is proposed to prohibit truck parking. In addition, Lot 3 shall not be used for storage of construction materials or equipment or be used as a staging site for Lot 2 unless a plan is presented to the Village for review and the area is secured.

- viii. A detailed cost breakdown for the above improvements on Lot 4 shall be submitted to the Village for review prior to the issuance of permits for the construction of the Freeway Convenience Store on Lot 2 of said CSM. Upon approval of the cost breakdown a performance bond or letter of credit equal to the cost of the improvements shall be submitted to the Village to ensure compliance with the aforementioned requirements. If said work is not completed in the timeframe provided the bond or letter of credit will be used to pay for said improvements to be completed by a contractor of the Village. If the cost of the improvements exceeds the amount of the bond the property owner will be responsible for the additional costs.
 - ix. The Alternative parking, curb and gutter, landscaping and fence shown on **Sheet 3 of Exhibit B** shall be installed pursuant to this plan within six (6) months of additional right-of-way being dedicated on 118th Avenue for the future improvements to said roadway. Prior to commencement of said work an erosion control permit shall be submitted to the Village for review and issuance of permits.
- f. Amendments
- i. The PUD regulations for said DEVELOPMENT may be amended pursuant to Section 12.02-11 of the Zoning Ordinance.
 - ii. For an amendment related to a particular parcel within the DEVELOPMENT, then the Owner(s) of said property requesting the change shall file the required application.

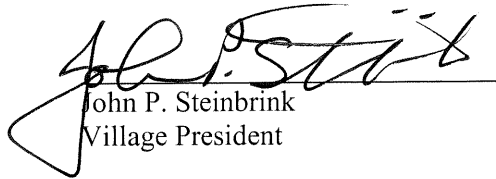
Adopted this 19th day of April 2004.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:



Jane M. Romanowski, CMC
Village Clerk



John P. Steinbrink
Village President

Posted: 6/15/04

118th Avenue/STH 50
Planned Unit Development
Section 12.26-4(1) 10 Zoning Text Amendment

EXHIBIT A
LIST OF RECORDED DOCUMENTS

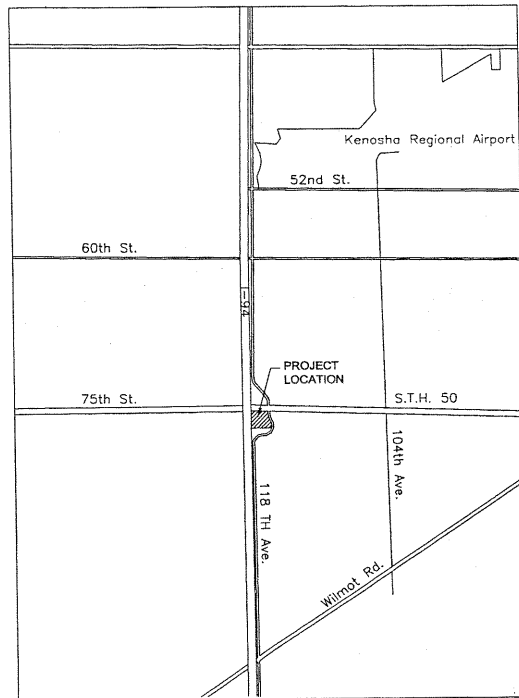
- Certified Survey Map 2419: Document # 1389426 recorded at the Kenosha County Register of Deeds on May 28, 2004
- Reciprocal Easement Agreement with Covenants, Conditions and Restrictions: Document #1389427 recorded at the Kenosha County Register of Deeds on May 28, 2004
- Sign Easement Agreement: Document #1389428 recorded at the Kenosha County Register of Deeds on May 28, 2004
- Sign Declaration: Document #1389429 recorded at the Kenosha County Register of Deeds on May 28, 2004

RECEIVED
MAY 21 2004

FINAL PLANS FOR PROPOSED STH 50/118TH AVENUE PLANNED UNIT DEVELOPMENT

INDEX OF SHEETS

- SHEET NO. 1 - EXISTING CONDITIONS
- SHEET NO. 2 - WETLAND INFORMATION
- SHEET NO. 2A - ALTA SURVEY (WALGREENS SITE)
- SHEET NO. 2B - LOTS 3 AND 4 LEGAL DESCRIPTION AND MAP
- SHEET NO. 3 - PARCEL INFORMATION AND EASEMENT PLAN
- SHEET NO. 4 - SITE PLAN (DIMENSIONED)
- SHEET NO. 5 - SITE DATA
- SHEET NO. 6 - GRADING PLAN
- SHEET NO. 7 - MASTER LANDSCAPE PLAN
- SHEET NO. 8 (L.1) - WALGREENS LANDSCAPING PLAN
- SHEET NO. 9 - MASTER SITE SIGNAGE PLAN
- SHEET NO. 10 (A2.1) - WALGREENS EXTERIOR ELEVATIONS
- SHEET NO. 11 (A5.2) - WALGREENS EXTERIOR SIGN DATA
- SHEET NO. 12 (E0.1A) - WALGREENS PHOTOMETRIC CALCULATIONS
- SHEET NO. 12A - BAYMONT PHOTOMETRIC CALCULATIONS
- SHEET NO. 13 (A0.1) - WALGREENS SITE PLAN
- SHEET NO. 14 (C1.0) - WALGREENS SITE PREPARATION AND EROSION CONTROL PLAN
- SHEET NO. 15 (C2.0) - WALGREENS SITE GRADING AND DRAINAGE PLAN
- SHEET NO. 16 (C2.1) - WALGREENS SITE GRADING AND DRAINAGE PLAN (EXISTING ROADWAY CONDITION)
- SHEET NO. 17 (C3.0) - WALGREENS SITE UTILITY PLAN
- SHEET NO. 18 (C4.0) - WALGREENS SITE DETAILS AND SPECIFICATIONS
- APPENDIX - BAYMONT LIGHTING PLAN



OWNER, LOT 2 _____

OWNER, LOT 3 _____

OWNER, LOT 4 _____

ALBION ARCHITECTS
338 North Milwaukee St.
Suite 503
Milwaukee, WI 53202
414.223.3330
414.223.3340 fax
www.albionarch.com

WALGREENS ARCHITECT

B & G REALTY
100 E WISCONSIN AVENUE, SUITE 1900
MILWAUKEE, WI 53202-4125
PHONE: 414-905-1111
FAX: 414-905-2878

OWNER/APPLICANT

REDMOND COMMERCIAL DEVELOPMENT CORP
WALKESHA, WI
PHONE: 262-896-8721
FAX: 262-549-1725

WALGREENS DEVELOPER

BAYMONT INN
IRVING WITCOFF, PROJECT MANAGER
PHONE: 262-857-7911
7540 118TH AVENUE
PLEASANT PRAIRIE, WI

SIGMA

DEVELOPMENT, INC.
1300 WEST CANAL STREET
MILWAUKEE, WISCONSIN 53233
PHONE: (414) 643-4200
FAX: (414) 643-4210
TOLL FREE: 1-800-732-4601

WALGREENS ENGINEER

HNTB

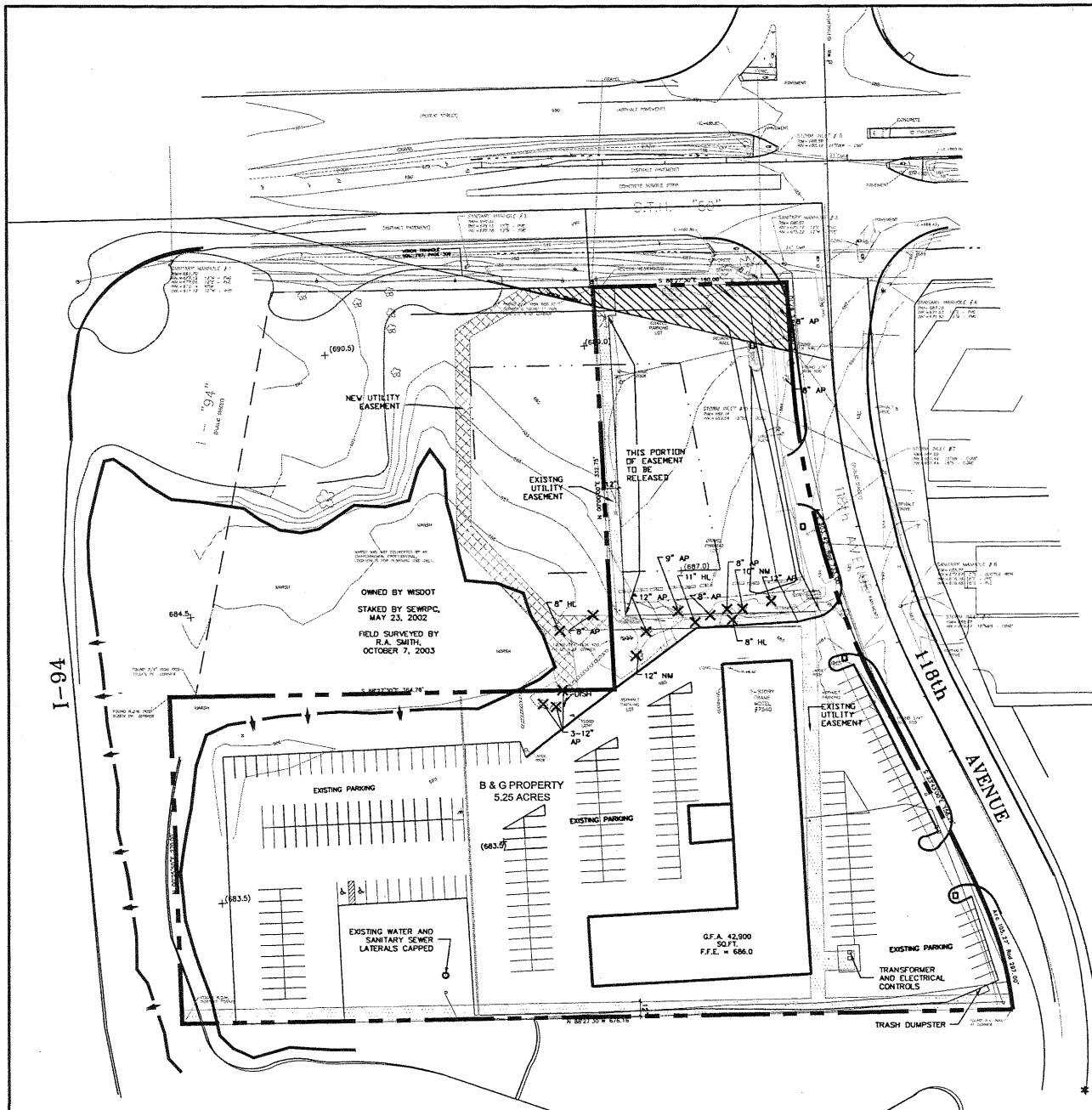
ARCHITECTS ENGINEERS PLANNERS
11414 WEST PARK PLACE, SUITE 300
MILWAUKEE, WISCONSIN 53224
PHONE: (414)359-2300
FAX: (414)359-2310
TOM KROSCIA - PLANNER / LANDSCAPE ARCHITECT
B & G REALTY (PLANNER)

REDMOND COMMERCIAL DEVELOPMENT CORP
TAMMY MAUER, PROJECT MANAGER
PHONE: 262-896-3787
ON SITE SUPERINTENDENT
FRANK SOBOSZAK
PHONE: 262-613-1668

DATE: May 20, 2004

Exhibit B

Ord # 04-27



EXISTING PLANT MATERIAL OVER 8" DIAMETER

SYM.	COMMON NAME
HL	HONEYLOCUST
AP	AUSTRIAN PINE
NM	NORWAY MAPLE

- X TREES TO BE REMOVED
- VISION EASEMENT

HNTB
 ARCHITECTS ENGINEERS & LANDSCAPERS
 11414 WEST PARK PLACE, SUITE 300
 MILWAUKEE, WISCONSIN 53224

**FINAL
 'PUD' PLAN
 PLEASANT PRAIRIE,
 WISCONSIN**



SHEET TITLE:
**EXISTING
 CONDITIONS**

SCALE: 1"=40'
 PROJECT NO: 37704
 DATE: April 19, 2004
 DESIGNED BY: TKK
 DRAWN BY: JO
 CHECKED BY: TKK
 REVISIONS:

SHEET NO: 1 OF PUD

* SEE SHEET 2 FOR WETLAND INFORMATION



THE REDMOND COMPANY

DESIGN, CONSTRUCTION, CONSULTING, MANAGEMENT, SURVEYING, AND REAL ESTATE SERVICES

CONTACT: 715-835-1100



GRAPHIC SCALE

0 25 50 75 100 150 FEET

1" = 50 FEET

The bearings are based on the State Plane Coordinate System South Zone.

PLAT OF SURVEY

LEGAL DESCRIPTION FOR PROPOSED CERTIFIED SURVEY MAP

Part of the Northwest 1/4 of the Northwest 1/4 of Section 7, in Township 1 North, Range 22 East of the Fourth Principal Meridian, Village of Pleasant Prairie, County of Kenosha, State of Wisconsin, and being more particularly described by metes and bounds as follows:

Commencing at the Northwest corner of the Northwest 1/4 of said Section 7; thence N.89°03'56"E., 125.59 feet along the North line of the Northwest 1/4 of said Section 7; thence S.00°56'03"E., 57.75 feet to the South right-of-way line of State Trunk Highway 50 and the POINT OF REAL BEGINNING of the property to be herein described; thence N.89°03'56"E., 399.97 feet along the South right-of-way line of State Trunk Highway 50; thence S.02°28'04"E., 7.25 feet continuing along the South right-of-way line of State Trunk Highway 50; thence N.89°03'56"E., 110.00 feet continuing along the South right-of-way line of State Trunk Highway 50; thence S.46°42'19"E., 71.63 feet to the Western right-of-way line of 118th Avenue; thence S.02°28'34"E., 17.10 feet along the Western right-of-way line of 118th Avenue; thence Southeast along a curve to the left 303.42 feet, said curve has a radius of 733.00 feet, a chord bearing S.14°20'05"E., a chord distance of 301.26 feet and a delta angle of 27°43'03"; along the Western right-of-way line of 118th Avenue; thence S.26°11'33"E., 156.47 feet continuing along the Western right-of-way line of 118th Avenue; thence continuing Southeast along the Western right-of-way line of 118th Avenue and along a curve to the right 105.11 feet, said curve has a radius of 297.00 feet, a chord bearing S.16°03'17"E., a chord distance of 104.57 feet and a delta angle of 20°18'40"; thence S.89°02'02"W., 876.26 feet to the Eastern right-of-way line of Interstate 94; thence N.02°02'43"W., 270.25 feet along the Eastern right-of-way line of Interstate 94; thence S.89°03'57"W., 35.20 feet continuing along the Eastern right-of-way line of Interstate 94; thence N.02°28'05"W., 340.12 feet continuing along the Eastern right-of-way line of Interstate 94 to the POINT OF REAL BEGINNING.

Said parcel contains 383,300 square feet or 8.340 acres, more or less. The bearings are based on the State Plane Coordinate System South Zone.

Legal Description

LEGAL DESCRIPTION FOR LOT 1 OF PROPOSED CERTIFIED SURVEY MAP

Part of the Northwest 1/4 of the Northwest 1/4 of Section 7, in Township 1 North, Range 22 East of the Fourth Principal Meridian, Village of Pleasant Prairie, County of Kenosha, State of Wisconsin, and being more particularly described by metes and bounds as follows:

Commencing at the Northwest corner of the Northwest 1/4 of said Section 7; thence N.89°03'56"E., 125.59 feet along the North line of the Northwest 1/4 of said Section 7; thence S.00°56'03"E., 57.75 feet to the intersection of the South right-of-way line of State Trunk Highway 50 and the Eastern right-of-way line of Interstate 94 and the POINT OF REAL BEGINNING of the property to be herein described; thence S.02°28'06"E., 340.12 feet along the Eastern right-of-way line of Interstate 94; thence N.89°03'56"E., 354.04 feet along a Northern right-of-way line of Interstate 94 and the extension thereof; thence N.17°38'58"W., 31.32 feet; thence N.31°07'24"W., 26.25 feet; thence N.44°09'34"W., 45.61 feet; thence N.89°03'05"W., 22.70 feet; thence N.08°41'50"W., 94.20 feet; thence N.44°27'28"W., 26.18 feet; thence S.89°00'35"W., 2.88 feet; thence N.02°31'55"W., 132.81 feet; thence N.89°03'56"E., 150.42 feet to the South right-of-way line of State Trunk Highway 50; thence N.02°28'04"W., 7.25 feet along the South right-of-way line of State Trunk Highway 50; thence S.89°03'56"W., 399.97 feet continuing along the South right-of-way line of State Trunk Highway 50 to the POINT OF REAL BEGINNING.

Said parcel contains 35,968 square feet or 2.033 acres, more or less. The bearings are based on the State Plane Coordinate System South Zone.

LEGAL DESCRIPTION FOR LOT 2 OF PROPOSED CERTIFIED SURVEY MAP

Part of the Northwest 1/4 of the Northwest 1/4 of Section 7, in Township 1 North, Range 22 East of the Fourth Principal Meridian, Village of Pleasant Prairie, County of Kenosha, State of Wisconsin, and being more particularly described by metes and bounds as follows:

Commencing at the Northwest corner of the Northwest 1/4 of said Section 7; thence N.89°03'56"E., 125.59 feet along the North line of the Northwest 1/4 of said Section 7; thence S.00°56'03"E., 57.75 feet to the intersection of the South right-of-way line of State Trunk Highway 50; thence N.89°03'56"E., 399.97 feet along the South right-of-way line of State Trunk Highway 50; thence S.02°28'04"E., 7.25 feet continuing along the South right-of-way line of State Trunk Highway 50 to the POINT OF REAL BEGINNING of the property to be herein described; thence N.89°03'56"E., 110.00 feet continuing along the South right-of-way line of State Trunk Highway 50; thence S.46°42'19"E., 71.63 feet to the Western right-of-way line of 118th Avenue; thence S.02°28'34"E., 17.10 feet along the Western right-of-way line of 118th Avenue; thence Southeast along a curve to the left 197.47 feet, said curve has a radius of 733.00 feet, a chord bearing S.10°11'36"E., a chord distance of 196.88 feet and a delta angle of 15°26'09"; along the Western right-of-way line of 118th Avenue; thence S.02°53'53"W., 39.14 feet; thence S.89°00'14"W., 151.43 feet; thence S.02°28'06"E., 52.75 feet; thence S.89°03'56"W., 45.92 feet; thence N.17°38'58"W., 31.32 feet; thence N.31°07'24"W., 26.25 feet; thence N.44°09'34"W., 45.61 feet; thence N.89°30'05"W., 22.70 feet; thence N.08°41'50"W., 94.20 feet; thence N.44°27'28"W., 26.18 feet; thence S.89°00'35"W., 2.88 feet; thence N.02°31'55"W., 132.81 feet; thence N.89°03'56"E., 150.42 feet to the POINT OF REAL BEGINNING, EXCEPTING therefrom land designated as "AREA RESERVED FOR HIGHWAY PURPOSES".

Said parcel contains 85,422 square feet or 1.961 acres, more or less. The bearings are based on the State Plane Coordinate System South Zone.

LEGAL DESCRIPTION FOR LOT 3 OF PROPOSED CERTIFIED SURVEY MAP

Part of the Northwest 1/4 of the Northwest 1/4 of Section 7, in Township 1 North, Range 22 East of the Fourth Principal Meridian, Village of Pleasant Prairie, County of Kenosha, State of Wisconsin, and being more particularly described by metes and bounds as follows:

Commencing at the Northwest corner of the Northwest 1/4 of said Section 7; thence N.89°03'56"E., 125.59 feet along the North line of the Northwest 1/4 of said Section 7; thence S.00°56'03"E., 57.75 feet to the intersection of the South right-of-way line of State Trunk Highway 50 and the Eastern right-of-way line of Interstate 94; thence N.02°28'06"W., 340.12 feet along the Eastern right-of-way line of Interstate 94; thence N.89°03'56"E., 35.20 feet along a Northern right-of-way line of Interstate 94 to the POINT OF REAL BEGINNING of the property to be herein described to a found R/W post; thence S.02°02'43"E., 270.25 feet along the Eastern right-of-way line of Interstate 94 to a found R/W post; thence N.89°02'02"E., 239.40 feet; thence N.02°32'21"W., 270.18 feet; thence S.89°03'56"W., 237.07 feet to the POINT OF REAL BEGINNING.

Said parcel contains 64,356 square feet or 1.477 acres, more or less. The bearings are based on the State Plane Coordinate System South Zone.

LEGAL DESCRIPTION FOR LOT 4 OF PROPOSED CERTIFIED SURVEY MAP

Part of the Northwest 1/4 of the Northwest 1/4 of Section 7, in Township 1 North, Range 22 East of the Fourth Principal Meridian, Village of Pleasant Prairie, County of Kenosha, State of Wisconsin, and being more particularly described by metes and bounds as follows:

Commencing at the Northwest corner of the Northwest 1/4 of said Section 7; thence N.89°03'56"E., 125.59 feet along the North line of the Northwest 1/4 of said Section 7; thence S.00°56'03"E., 57.75 feet to the intersection of the South right-of-way line of State Trunk Highway 50 and the Eastern right-of-way line of Interstate 94; thence N.02°28'06"W., 340.12 feet along the Eastern right-of-way line of Interstate 94; thence S.89°03'56"W., 35.20 feet along a Northern right-of-way line of Interstate 94 to the POINT OF REAL BEGINNING of the property to be herein described; thence N.89°02'02"E., 239.40 feet; thence N.02°32'21"W., 270.18 feet; thence S.89°03'56"W., 237.07 feet; thence N.89°00'14"E., 151.47 feet; thence N.6°53'53"E., 39.14 feet to the intersection of the Western right-of-way line of 118th Avenue; thence Southeast along a curve to the left 105.95 feet, said curve has a radius of 733.00 feet, a chord bearing S.10°11'36"E., a chord distance of 105.86 feet and a delta angle of 08°18'54"; along the Western right-of-way line of 118th Avenue and along a curve to the right 105.11 feet, said curve has a radius of 297.00 feet, a chord bearing S.16°03'17"E., a chord distance of 104.57 feet and a delta angle of 20°18'40"; to a found P.K. nail; thence S.89°02'02"W., 436.86 feet to the POINT OF REAL BEGINNING, EXCEPTING therefrom land designated as "AREA RESERVED FOR HIGHWAY PURPOSES".

Said parcel contains 117,553 square feet or 2.699 acres, more or less. The bearings are based on the State Plane Coordinate System South Zone.

SURVEYOR'S CERTIFICATION

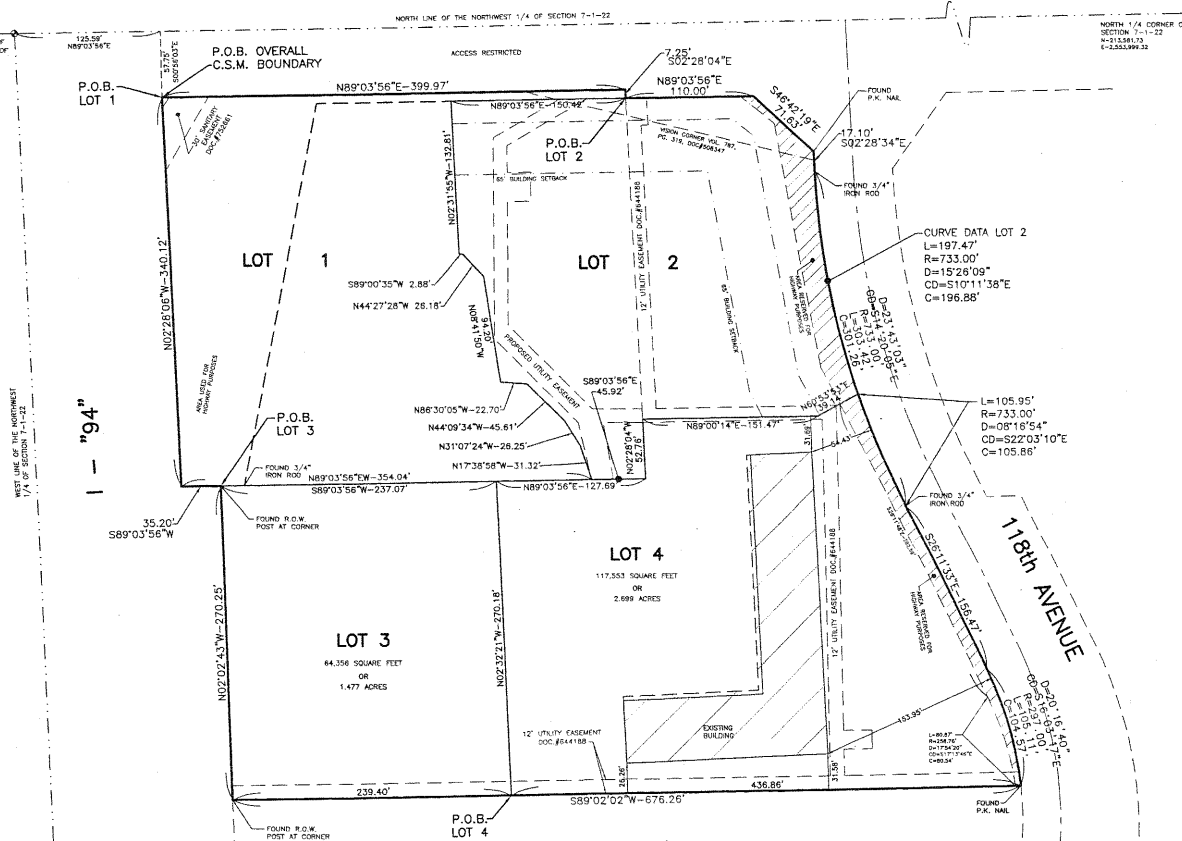
I, William F. Ohm, Registered Land Surveyor of the State of Wisconsin, do hereby certify that I have made a survey of the above described property according to official records and that to the best of my knowledge and belief the accompanying map is a true and correct representation thereof and that all buildings and significant visible improvements lie wholly within the boundary lines and that no encroachments exist, except as noted on said map. This survey is made for the exclusive use of the present owners of the property and also those who purchase, mortgage or guarantee the title thereto, and is certified for one year from date hereto.

Date this 18th day of February, 2004
Revised: Date this 2nd day of March, 2004
Revised: Date this 15th day of April, 2004

William F. Ohm S-2576
MSA Professional Services, Inc.
201 Corporate Drive, Beaver Dam WI 53616

S.T.H. "50"

DESIGNATED PUBLIC STREET



TRANSPORTATION • MUNICIPAL DEVELOPMENT • ENVIRONMENTAL SERVICES • SURVEYING • REAL ESTATE CONSULTING

MSA
PROFESSIONAL SERVICES

DATE: 02/18/04
DRAWN BY: J. J. J. J.
CHECKED BY: W. F. Ohm

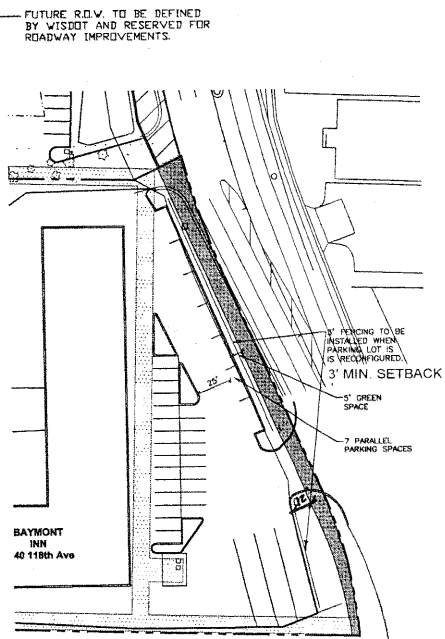
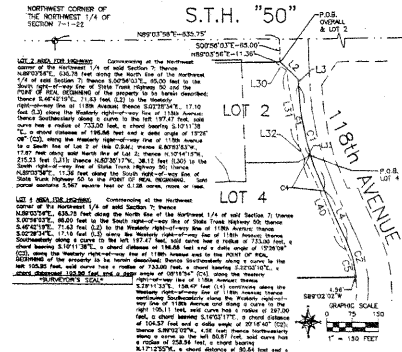
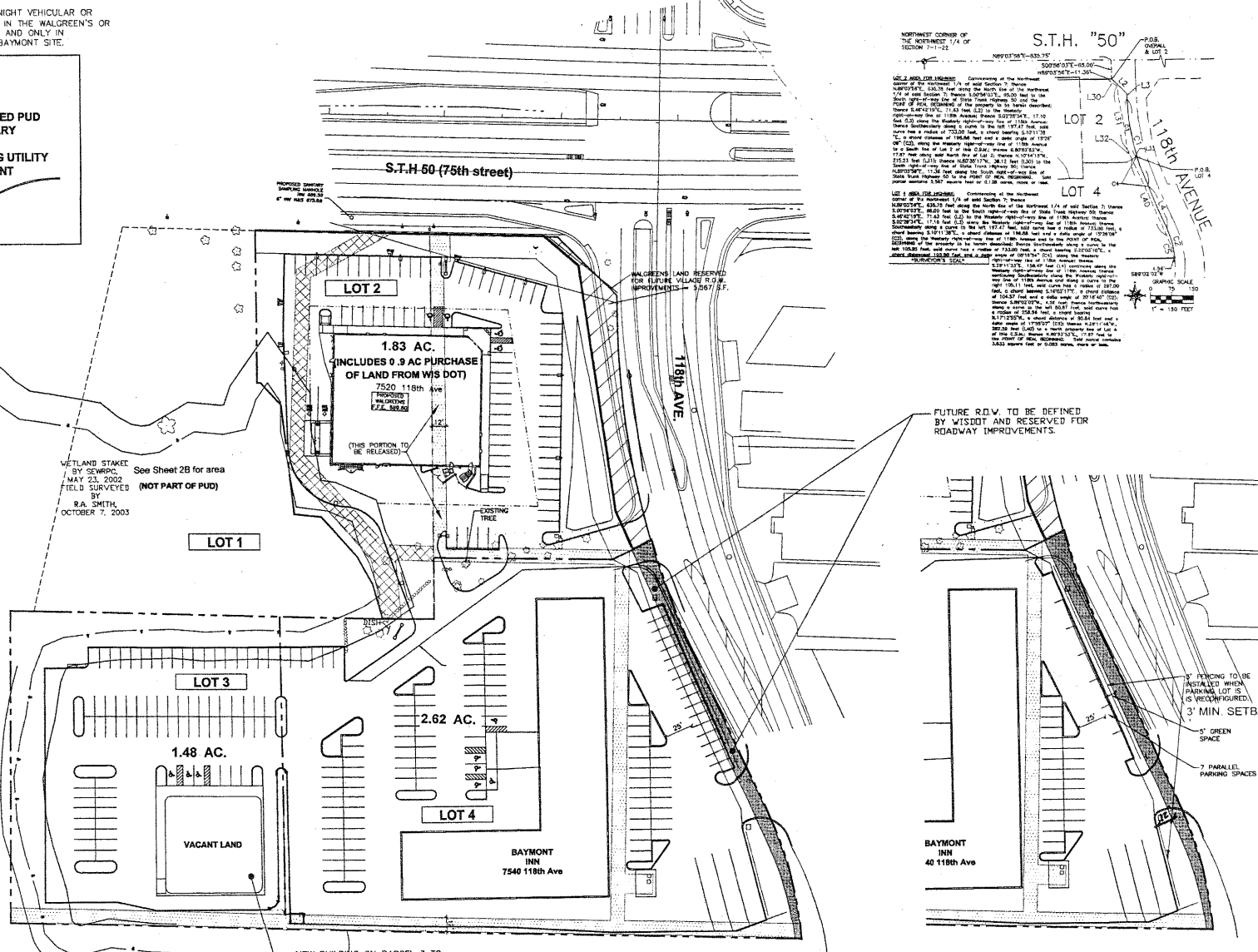
PLEASANT PRAIRIE PROPOSED C.S.M.
The Redmond Group
Pleasant Prairie, Wisconsin

FILE NO. 2350104
SHEET 1 OF 1

* THERE SHALL BE NO OVERNIGHT VEHICULAR OR TRUCK PARKING (12AM-5AM) IN THE WALGREEN'S OR RESTAURANT PARKING AREAS AND ONLY IN DESIGNATED AREAS ON THE BAYMONT SITE.

KEY

- PROPOSED PUD BOUNDARY
- EXISTING UTILITY EASEMENT



ALTERNATE PARKING CONFIGURATION

NOTE: AT THE TIME THAT THE ALTERNATIVE PARKING IS PROPOSED, THE SITE AND OPERATIONAL PLAN SHALL BE SUBMITTED IN ADDITION, CHANGES TO THE PUD MAY BE REQUIRED TO BE AMENDED.

The parking, curb and gutter, landscaping and fence shown on Exhibit E of the PUD Ordinance shall be installed pursuant to this plan within six (6) months of additional right-of-way dedication on 118th Avenue for the future improvements to said roadway. Prior to commencement of said work an erosion control permit shall be submitted to the Village for review and issuance of permits.



FINAL 'PUD' PLAN
PLEASANT PRAIRIE, WISCONSIN



SHEET TITLE
PARCEL INFORMATION AND EASEMENT PLAN

SCALE: 1"=40'
PROJECT NO: 37704
DATE: April 28, 2004
DESIGNED BY: TKK
DRAWN BY: JQ
CHECKED BY: TKK
REVISIONS:

* SEE SHEET 2 FOR WETLAND INFORMATION

SITE DATA FOR WALGREENS

APPLICABLE ZONING CODES: VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE

SITE CRITERIA: B-4, C-1 (PUD)

ZONING DESIGNATION: B-4, C-1 (PUD)

LOT SIZE: 76,923 S.F. (1.77 ACRES)

BUILDING SETBACK: REQUIRED
 HIGHWAY R.O.W. SETBACK: 65'-0"
 ARTERIAL R.O.W. SETBACK: 65'-0"
 SIDE SETBACK: 45'-0" MIN.
 REAR SETBACK: 45'-0" MIN.
 WETLAND SETBACK TO DRIVE: 25'-0" MIN.
 WETLAND SETBACK TO BLDG.: 25'-0" MIN.

BUILDING HEIGHT LIMIT: 35'-0"

BUILDING HEIGHT (PROPOSED): 28'-2"

LANDSCAPE AREA (REQUIRED): 25% OF LOT AREA: 19,230 S.F.

LANDSCAPE AREA (PROPOSED): 22,273 S.F. (INCLUDES WATER DETENTION)

PARKING (REQUIRED): 28X
 COMMENCEMENT STORE:
 5 SPACES PER 1,000 S.F. OF GROSS FLOOR AREA
 (14,820/1,000) X 5 = 74 SPACES
 1 PER 25 SPACES (78/25)=4 SPACES

H.C. SPACES (REQUIRED): 76 SPACES (REQUIRED 74+4 H.C.=78)

PARKING (PROPOSED): 76 SPACES (REQUIRED 74+4 H.C.=78)

PARKING SETBACK (REQUIRED): 20'-0" FROM ALL LOT LINES

PARKING SETBACK (PROPOSED): 8'-0"

PARKING SPACE SIZE: 9'-0" x 18'-0" MIN.

DRIVE ASILE WIDTH: 24'-0" MIN.

PARKING SETBACK TO WETLAND (REQUIRED): 25'-0"

PARKING SETBACK TO WETLAND (PROPOSED): 2'-3"

SIGN AREA SUMMARY

AGGREGATE COMMERCIAL SIGNAGE ALLOWED PER SECTION 12.14 U 11c: 150 S.F.

WALL SIGNS: WALGREENS* NORTH ELEVATION: 62.19 S.F.
 WALGREENS* EAST ELEVATION: 62.19 S.F.
 WALGREENS* WEST ELEVATION: 62.19 S.F.

TOTAL AGGREGATE COMMERCIAL SIGNAGE PROPOSED: 186.57 S.F.

INFORMATION SIGNS: DRIVE-THRU SIGN: 12.6 S.F.
 EXIT SIGN: 2.1 S.F.
 CLEARANCE SIGN: 2.9 S.F.
 TOTAL INFORMATIONAL SIGNAGE: 17.6 S.F.

PRIMARY MONUMENT SIGN ALLOWED PER SECTION 12.14 S. 20c: 180 S.F. PER SIDE

SIGN AREA PROPOSED: 126.81 S.F. PER SIDE

SIGN SETBACK: 20'-0"

SITE DATA FOR RESTAURANT

APPLICABLE ZONING CODES: VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE

SITE CRITERIA: B-4, C-1 (PUD)

ZONING DESIGNATION: B-4, C-1 (PUD)

LOT SIZE: 63,598 S.F. (1.46 ACRES)

BUILDING SETBACK: REQUIRED
 HIGHWAY R.O.W. SETBACK (WEST): 65'-0"
 ARTERIAL R.O.W. SETBACK: 65'-0"
 SIDE SETBACK (EAST): 45'-0" MIN.
 REAR SETBACK (SOUTH): 45'-0" MIN.
 WETLAND SETBACK TO DRIVE: 25'-0" MIN.
 WETLAND SETBACK TO BLDG.: 25'-0" MIN.

BUILDING HEIGHT LIMIT: 35'-0" MAXIMUM

BUILDING HEIGHT (PROPOSED): 35'-0"

LANDSCAPE AREA (REQUIRED): 25% OF LOT AREA: 15,899 S.F.

LANDSCAPE AREA (PROPOSED): 23,087 S.F. - 36%

PARKING (REQUIRED): RESTAURANT
 1 SPACE PER 100 S.F. OF FLOOR AREA PLUS ONE SPACE PER EVERY 2 EMPLOYEES ON THE LARGEST SHIFT PLUS REQUIRED HANDICAPPED PARKING SPACES.

H.C. SPACES (REQUIRED): 3 SPACES

PARKING (PROPOSED): A TOTAL OF 77 PARKING SPACES (INCLUDING 3 HANDICAPPED SPACES) ARE PROPOSED. RESTAURANT SHALL NOT EXCEED THE REQUIRED PARKING RATIO

PARKING SETBACK (REQUIRED): 20'-0" FROM ALL LOT LINES

PARKING SETBACK (PROPOSED): 0'-0" FROM LOTLINE

PARKING SPACE SIZE: 9'-0" x 18'-0" MIN.

DRIVE ASILE WIDTH: 24'-0" MIN.

PARKING SETBACK TO WETLAND (REQUIRED): 25'-0"

PARKING SETBACK TO WETLAND (PROPOSED): 5'-0"

SIGN AREA SUMMARY

AGGREGATE COMMERCIAL SIGNAGE ALLOWED PER SECTION 12.14 U 11b: 75 S.F.

WALL SIGNS: NORTH ELEVATION: 20 S.F.
 SOUTH ELEVATION: 15 S.F.
 EAST ELEVATION: 20 S.F.
 WEST ELEVATION: 20 S.F.

TOTAL AGGREGATE COMMERCIAL SIGNAGE PROPOSED: 75 S.F.

INFORMATION SIGNS: DRIVE-THRU SIGN: 12.6 S.F.
 EXIT SIGN: 2.1 S.F.
 CLEARANCE SIGN: 2.9 S.F.
 TOTAL INFORMATIONAL SIGNAGE: 17.6 S.F.

PRIMARY MONUMENT SIGN ALLOWED PER SECTION 12.14 S. 14c: 300 S.F. PER SIDE

SIGN AREA PROPOSED: 336 S.F. PER SIDE

SIGN SETBACK: 50'-0" (FROM I-94)

SITE DATA FOR BAYMONT INN

APPLICABLE ZONING CODES: VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE

SITE CRITERIA: B-4, C-1 (PUD)

ZONING DESIGNATION: B-4, C-1 (PUD)

LOT SIZE: 115,434 S.F. (2.65 ACRES)

BUILDING SETBACK: REQUIRED
 HIGHWAY R.O.W. SETBACK: 65'-0"
 ARTERIAL R.O.W. SETBACK: 65'-0"
 SIDE SETBACK (NORTH & SOUTH): 45'-0" MIN.
 REAR SETBACK (WEST): 45'-0" MIN.
 WETLAND SETBACK TO DRIVE: 25'-0" MIN.
 WETLAND SETBACK TO BLDG.: 25'-0" MIN.

BUILDING HEIGHT LIMIT: 35'-0" MAXIMUM

BUILDING HEIGHT (EXISTING): 35'-0"

LANDSCAPE AREA (REQUIRED): 25% OF LOT AREA: 28,859 S.F.

LANDSCAPE AREA (PROPOSED): 17,424 S.F., 15%

PARKING (REQUIRED): HOTEL
 1 SPACE PER ROOM PLUS
 1 SPACE PER 3 EMPLOYEES
 93+8 (24 FULL SHIFTS)=101 SPACES

H.C. SPACES (REQUIRED): 1 PER 25 SPACES (101/25)=4 SPACES

PARKING (PROPOSED): 118 SPACES (INCLUDES SEMI PARKING) (REQUIRED: 101+4 H.C.=105)

PARKING SETBACK (REQUIRED): 20'-0" FROM ALL LOT LINES

PARKING SETBACK (PROPOSED): 5' MIN. FROM STREET R.O.W. 0' FROM LOTLINE, 13' FROM WETLAND

PARKING SPACE SIZE: 9'-0" x 18'-0" MIN.

DRIVE ASILE WIDTH: 24'-0" MIN.

PARKING SETBACK TO WETLAND (REQUIRED): 25'-0"

PARKING SETBACK TO WETLAND (PROPOSED): 13'-0"

SIGN AREA SUMMARY

AGGREGATE COMMERCIAL SIGNAGE ALLOWED PER SECTION 12.14 U 11d: 225 S.F.

WALL SIGNS: "BAYMONT INN AND SUITES" NORTH ELEVATION: 104.8 S.F.
 "BAYMONT INN AND SUITES" WEST ELEVATION: 120.5 S.F.

TOTAL AGGREGATE COMMERCIAL SIGNAGE PROPOSED: 225.3 S.F.

INFORMATION SIGNS: TOTAL INFORMATIONAL SIGNAGE: 1.5 S.F.

SECONDARY MONUMENT SIGN ALLOWED PER SECTION 12.14 S.209(1): 36 S.F. PER SIDE

SIGN AREA PROPOSED: 30 S.F. PER SIDE

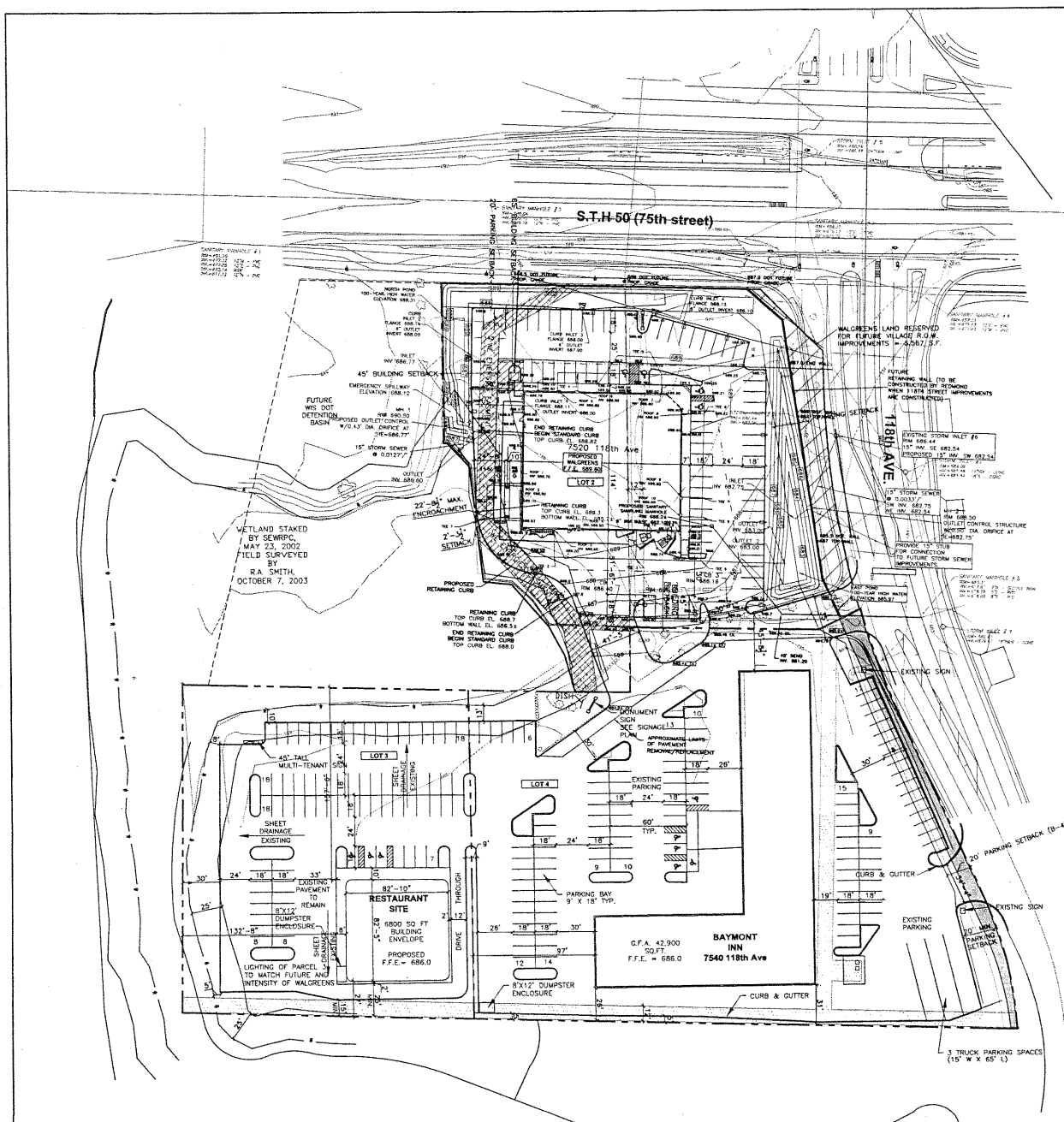


PINAL
PUD PLAN
 PLEASANT PRAIRIE,
 WISCONSIN



SHEET TITLE
SITE DATA

SCALE: PROJECT NO. 27704
 DRAWN BY: J. K. K.
 DESIGNED BY: J. K. K.
 CHECKED BY: J. K. K.
 REVISIONS:



GENERAL NOTES:

1. ALL PARKING LOTS SHALL HAVE 6 INCH CONCRETE CURB AND GUTTER.
2. LOTS 2, 3 AND 4 SHALL HAVE CURB OPENINGS (18") APPROXIMATELY 50' ON CENTER TO ALLOW STORM WATER DRAINAGE TO FOLLOW EXISTING PATTERNS.
3. NOTICE OF INTENT (NOI) SHALL BE FILED WITH THE DEPARTMENT OF NATURAL RESOURCES (DNR) BEFORE ANY GRADING TAKES PLACE.
4. DNR SHALL BE CONTACTED TO MAKE DETERMINATION OF ANY CONNECTIONS TO NAVIGABLE WATER AND POSSIBLE CHAPTER 30 PERMIT.
5. BAYMONT EXTERIOR COLORS AND MATERIALS:
SIDING: T1-11 WOOD PANELING; BARCELONA BEIGE
COLUMNS: DRYVIT- SUPER WHITE FS-101
AWNING: CLOTH- SUNBRELA, COLOR- BURGANDY #8631

* SEE SHEET 2 FOR WETLAND INFORMATION

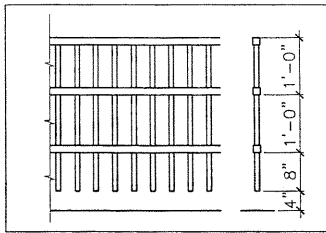


**FINAL
'PUD' PLAN
PLEASANT PRAIRIE,
WISCONSIN**



SHEET TITLE:
GRADING PLAN

SCALE: 1"=40'
PROJECT NO. 37704
DATE: May 20, 2004
DESIGNED BY: TKK
DRAWN BY: JO
CHECKED BY: TKK
REVISIONS:



FENCE DETAIL
NOT TO SCALE

PREFINISHED STEEL ORNAMENTAL
FENCE PAINTED BLACK

PARKING LOT LANDSCAPING

LOT	PARKING LOT (sq. ft.)	LANDSCAPED ISLANDS (sq. ft.)	PLANTING ISLANDS % of parking lot (sq. ft.)	OPEN SPACE (sq. ft.)
2	39,172	1,764	4.5	22,273
3	34,150	1,300	3.8	23,087
4	75,000	2,990	4.0	17,424

MASTER PLANT DATA CHART

LOT 2	LOT 3	LOT 4	TOTAL QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE HEIGHT
SHADE AND ORNAMENTAL TREES									
6	3	0	9	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	7"	BB	60'
3	4	3	10	CC	Crotaegus crus-galli	Cockspur Hawthorn	1-1/2"	BB	25'
0	11	9	20	FP	Fraxinus pennsylvanica 'Palmare'	Palmare Green Ash	2"	BB	50'
0	4	3	7	PM	Prunus mosackii	Amur Chokecherry	1-1/2"	BB	30'
4	0	3	7	PS	Prunus sargentii	Sargent Cherry	1-1/2"	BB	20'
10	1	0	11	QR	Quercus rubra	Red Oak	7"	BB	60'
0	6	6	12	TA	Tilia americana	Basswood	7"	BB	60'
0	0	6	6	US	Ulmus 'Sapporo Autumn Gold'	Sapporo Autumn Gold Elm	7"	BB	60'
SHRUBS									
12	16	3	31	RB	Barberis thunbergii atropurpurea	Red Barberry	24"	POT	4'
28	24	42	94	BH	Diervilla lonicifolia	Bush honeysuckle	18"	POT	3'
18	0	0	18	SR	Hybrid rose (cultivar grant)	Shrub rose	18"	POT	3'
5	11	9	25	GM	Philadelphus 'Golden'	Golden Mockorange	24"	POT	5'
38	37	78	149	PJ	Juniperus chinensis pfitzeri	Pfitzer Juniper	24"	POT	5'
10	9	4	23	MKL	Syringa velutina 'Miss Kim'	Miss Kim Lilac	24"	POT	5'
EVERGREEN TREES									
5	6	0	11	PN	Pinus nigra	Australian Pine	5"	BB	40'
7	2	6	15	BHS	Picea glauca densata	Black Hills Spruce	7"	BB	40'

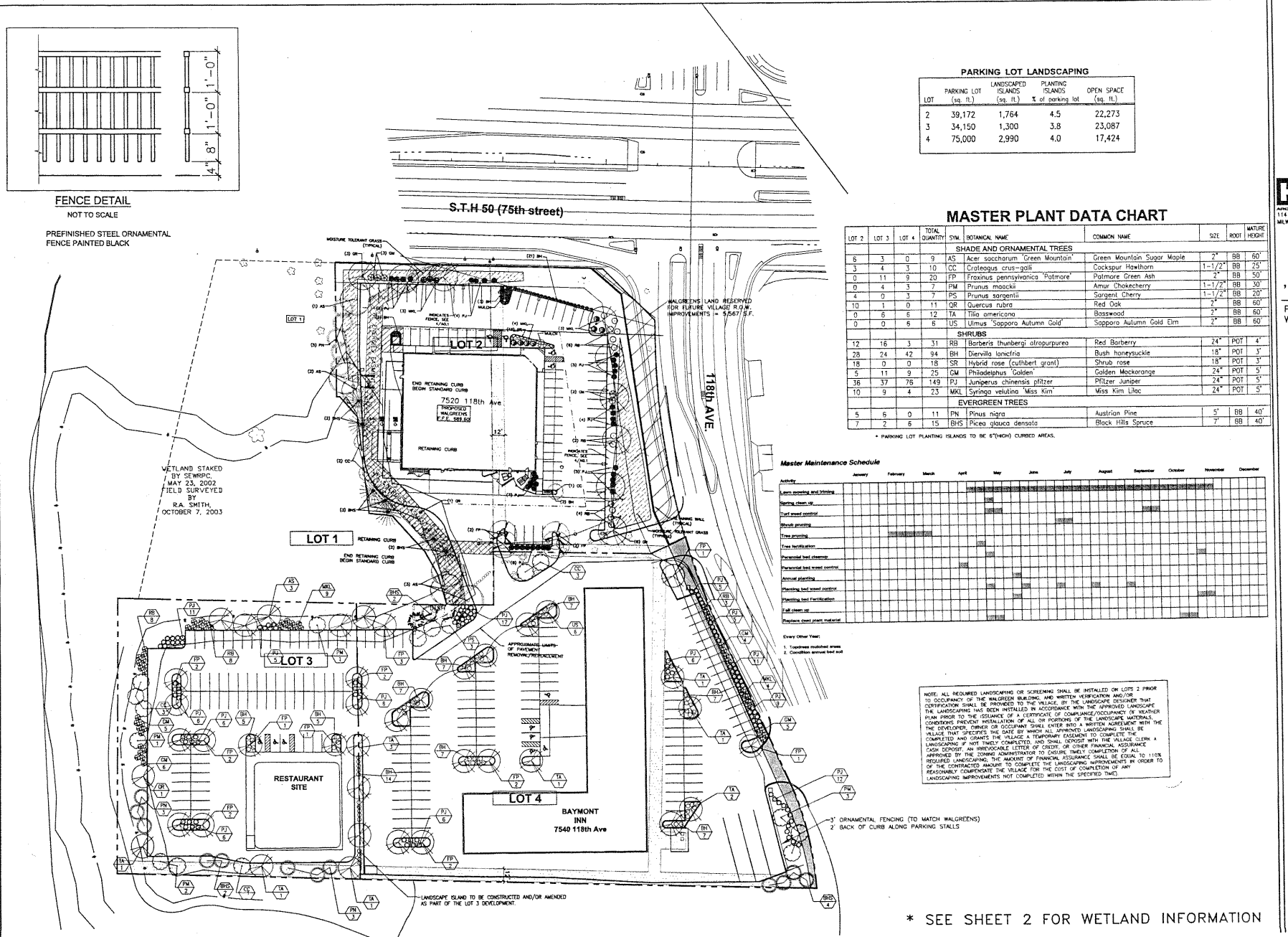
* PARKING LOT PLANTING ISLANDS TO BE 6"(HIGH) CURBED AREAS.

Master Maintenance Schedule

Activity	January	February	March	April	May	June	July	August	September	October	November	December
Leaf removal and Utilizing												
Spring Clean up												
Turf weed control												
Shrub pruning												
Tree pruning												
Tree fertilization												
Personalized bed cleanup												
Personalized bed weed control												
Annual planting												
Wintering bed weed system												
Personalized bed fertilization												
Ball mill up												
Replace street plant material												

Every Other Year:
1. Complete mulched areas
2. Complete annual bed bed

NOTE: ALL REQUIRED LANDSCAPING OR SCREENING SHALL BE INSTALLED ON LOTS 2 PRIOR TO OCCUPANCY OF THE WALKER BUILDING AND WRITTEN VERIFICATION AND/OR CERTIFICATION SHALL BE PROVIDED TO THE TOWN BY THE LANDSCAPE DESIGNER. THE LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN PRIOR TO THE OCCURRENCE OF A CERTIFICATE OF COMPLIANCE/ADJUDICATE HEARING. CONSIDERS PREVIOUS INSTALLATION OF ALL OR PORTIONS OF THE LANDSCAPE MATERIALS. CONSIDERS PREVIOUS INSTALLATION OF ALL OR PORTIONS OF THE LANDSCAPE MATERIALS. THE DEVELOPER, OWNER OR OCCUPANCY SHALL ENTER INTO A WRITTEN AGREEMENT WITH THE TOWN THAT SPECIFIES THE DATE BY WHICH ALL APPROVED LANDSCAPING SHALL BE COMPLETED AND SHALL RELEASE A TEMPORARY ESCROW TO COMPLETE THE LANDSCAPING. IF NOT TIMELY COMPLETED, AND SHALL DEPOSIT WITH THE TOWN CASH OR LANDSCAPING. IF THE AMOUNT OF FINANCIAL ASSURANCE SHALL BE EQUAL TO 110% OF THE CONTRACTED AMOUNT TO COMPLETE THE LANDSCAPING IMPROVEMENTS OR ORDER TO REQUIREMENT COMPENSATE THE TOWN FOR THE COST OF COMPLETION OF ANY LANDSCAPING IMPROVEMENTS NOT COMPLETED WITHIN THE SPECIFIED TIME.



FINAL 'PUD' PLAN
PLEASANT PRAIRIE, WISCONSIN



SHEET TITLE:
MASTER
LANDSCAPE PLAN

SCALE: 1"=40'
PROJECT NO: 37704
DATE: May 20, 2004
DESIGNED BY: TKK
DRAWN BY: JO
CHECKED BY: TKK
REVISIONS:

SHEET NO: 7 OF PUD

* SEE SHEET 2 FOR WETLAND INFORMATION

PLANT DATA CHART

QNTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	MAT. SIZE	ROOT
SHRUBS						
12	RB	BARBERIS THUNBERGI ATROPURPUREA	RED BARBERRY	24"	4"	POT
5	GM	PHILADELPHUS "GOLDEN"	GOLDEN MOCKORANGE	24"	4-5"	POT
36	PJ	JUNIPERUS CHINENSIS PFITZER	PFITZER JUNIPER	24"	4-5"	POT
10	MKL	SYRINGA VELUTINA "MISS KIM"	MISS KIM LILAC	24"	4-5"	POT
28	BH	DIERVILLA LONICERA	BUSH HONEYSUCKLE	18"	2-3"	POT
18	SR	HYBRID ROSE (CUTHBERT GRANT)	SHRUB ROSE	18"	2-3"	POT
TREES						
6	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2"	30'wx60'h	BB
3	CC	CRATEAGUS CRUS-GALLI	COCKSPUR HAWTHORN	1-1/2"	10'wx25'h	BB
4	FP	PRUNUS SARGENTII	SARGENT CHERRY	2"	25'wx60'h	BB
10	QR	QUERCUS RUBRA	RED OAK	2"	25'wx60'h	BB
5	PN	PINUS NIGRA	AUSTRIAN PINE	5"	20'wx40'h	BB
7	BHS	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	7" HIGH	25'wx40'h	BB

LANDSCAPING IMPROVEMENTS GENERAL DESCRIPTION

- THE EXTENT OF LANDSCAPING IS SHOWN ON THE DRAWINGS.
 - FURNISH AND INSTALL THE LANDSCAPE IRRIGATION SYSTEM AT ALL LANDSCAPED AREAS COMPLETE WITH ALL VALVES, CONTROLS, ACCESSORIES AND ELECTRICAL COMPONENTS.
 - INCLUDE ALL EXCAVATION, FILLING AND GRADING REQUIRED.
 - INCLUDE SUB-METERING OF LANDSCAPE IRRIGATION SYSTEM.
- QUALITY ASSURANCE:**
- ALL WORKS TO BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE WORK.
 - ALL LANDSCAPE MATERIALS SHALL BE FREE OF DEFECTS, DISEASE, INSECTS/LARVAE/EGGS, INJURIES AND DISFIGUREMENT.
 - EROSION CONTROL AT LANDSCAPED SLOPES OF 5:1 (HORIZONTAL:VERTICAL) OR GREATER.
- SUBMITTALS:**
- IRRIGATION PLAN AND ZONE MAP, WALL MOUNTED 8-1/2"x11-1/2" INDICATING LOCATION OF ALL CONTROLS, SPRING, HOSES (INCLUDING TYPES, VALVES AND CONNECTION TO WATER SERVICE).
 - MAINTENANCE MANUALS INDICATING PROPER CARE OF PLANT MATERIAL AND OPERATION/MAINTENANCE OF IRRIGATION SYSTEM.
- WARRANTY:**
- WARRANTY LAWS AFTER INSTALLATION AND FOR 30 DAYS FOLLOWING ACCEPTANCE OF SITE.
 - WARRANTY TREES AND SHRUBS FOR ONE YEAR FOLLOWING ACCEPTANCE OF SITE.
 - MATERIALS AFTER INSTALLATION AND FOR 30 DAYS FOLLOWING ACCEPTANCE OF SITE.
 - REPLACE ALL SPRAWLTY OR DEAD PLANT MATERIALS FOUND DURING WARRANTY PERIOD.
 - WARRANTY IRRIGATION SYSTEM MATERIALS AND LABOR FOR ONE YEAR FOLLOWING ACCEPTANCE OF SITE.

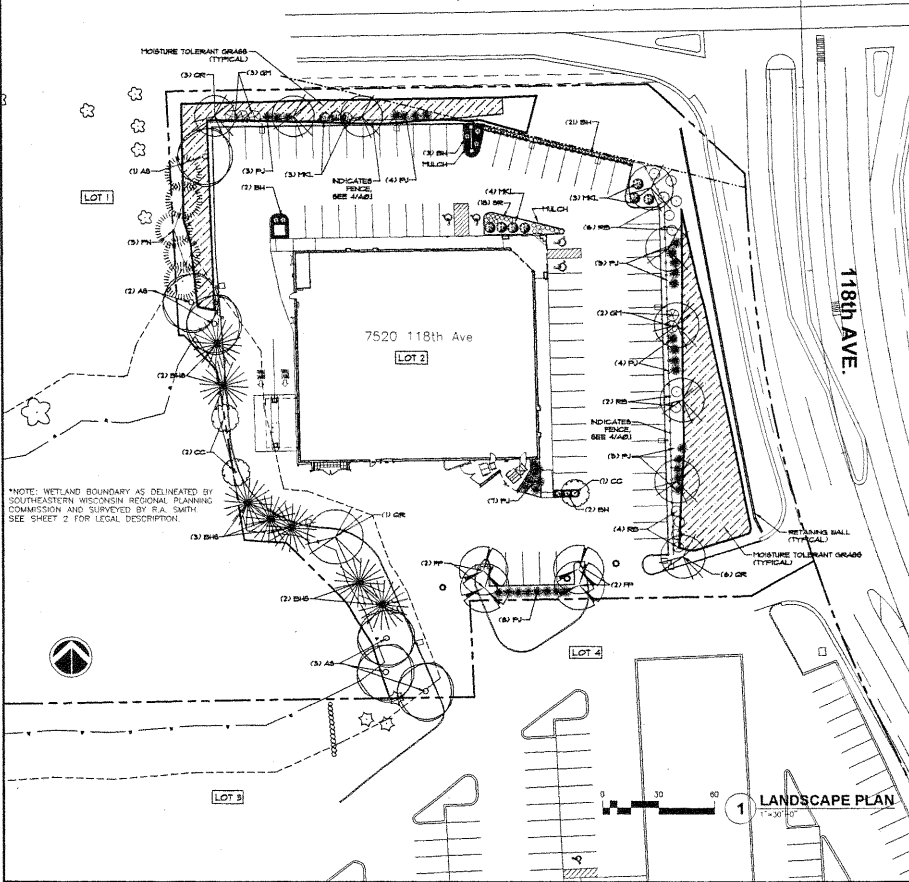
- PLANTING:**
- PLANTING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN NURSERYMEN'S STANDARDS. ALL WOODY PLANT MATERIAL (EXCLUDING TRANSPLANTS) WILL BE GUARANTEED FOR 1 YEAR FROM PROJECT COMPLETION.
 - ALL PLANT MATERIAL WILL BE #1 STOCK IN ACCORDANCE WITH THE AMERICAN NURSERYMEN'S STANDARDS. ALL WOODY PLANT MATERIAL (EXCLUDING TRANSPLANTS) WILL BE GUARANTEED FOR 1 YEAR FROM PROJECT COMPLETION.
 - TRIM ALL DEAD & DAMAGED BRANCHES
 - SELECT BEST VIEWERS ANGLE, LIFT STOCK BY ROOTBALL & PLACE IN PLANTERS PIT
 - SPRAY WITH ANTI-DESICCANT MIX
 - WATER THOROUGHLY AT THE TIME OF PLANTING & THEREAFTER AS DIRECTED
 - INSTALL 3 YEAR SLOW RELEASE FERTILIZER PACKETS IN ALL PLANTING HOLES, AS PER MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS
 - SPRAY WITH ANTI-DESICCANT MIX
 - WATER THOROUGHLY AT THE TIME OF PLANTING & THEREAFTER AS DIRECTED
 - INSTALL 3 YEAR SLOW RELEASE FERTILIZER PACKETS IN ALL PLANTING HOLES, AS PER MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS
 - CUT TREES AT TOP OF ROOTBALL SHALL DOWN TOP 1/3 OF BURLAP AROUND ROOTBALL
 - 2" SPECIFIED MULCH - TOP OF ROOTBALL AT FINISH GRADE
 - FORM 3" SAUCER TO ENCLOSE STOCK
 - SOIL MIX: 2/3 EXISTING SOIL, 1/3 PLANT STARTER MIX
 - LOOSEN SUBSOIL WITH PICK TO ENSURE POROSITY
 - REST BALL OF TREE ON FIRM BOSE OF SUBSOIL TO INSURE THAT TREE DOES NOT LOWER WITH SOIL SETTLEMENT

GENERAL NOTES

- SITE CLEARING:**
- REMOVE ALL EXISTING TREES AND VEGETATION EXCEPT THOSE AS NOTED ON PLAN.
 - ALL EXISTING STREET TREES ARE TO REMAIN.
- DIGGING:**
- CONTACT LOCAL DIGGER'S HOTLINE PRIOR TO DOING ANY DIGGING.
- MULCHING:**
- TREES AND SHRUBS TO RECEIVE A 2" LAYER OF MULTI-COLORED WASHED STONE WITH NO MORE THAN 1" OF MULCH AT THE BASE OF THE TREE OR SHRUB. PERENNIALS ARE TO RECEIVE 1" OF MULCH UNLESS OTHERWISE NOTED.
 - TREES IN LAWN AREA ARE TO RECEIVE A 4 FT. DIAMETER MULCHED TRING.
 - ALL LARGE PLANT BEDS TO RECEIVE LANDSCAPE EDGING.
- SUBSTITUTIONS:**
- SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT/DESIGNER.

- PLANTING:**
- ALL TREES ARE TO BE PLANTED IN HOLES 18" LARGER IN DIAMETER THAN THE ROOT BALL OF THE TREE. ALL SHRUBS ARE TO BE PLANTED IN HOLES 12" LARGER IN DIAMETER THAN THE ROOT BALL OF THE SHRUB.
 - HOLES ARE TO BE BACKFILLED WITH A MIXTURE OF 2/3 ORIGINAL SOIL AND 1/3 PLANT STARTER. TYRAN WEED BARRIER TO BE USED IN ALL PLANT BEDS.
 - TREES AND SHRUBS ARE TO BE PLANTED WITH FERTILIZER PACKETS.
 - SHRUBS AND SHRUBS ARE TO BE EDGED WITH HEAVY DUTY POLY LAWN EDGING WHERE THE BED EDGES MEET TURF AREAS.
 - STAKE ALL DECIDUOUS AND EVERGREEN TREES USING STURDY CEDAR STAKES, THREE PER TREE, AND NYLON "SEAT BELT" STRAPPING, FIRMLY ATTACHED.
 - PERENNIAL AND ANNUAL BEDS ARE TO BE AMENDED WITH 2-3" OF PLANT STARTER, REFINISHED INTO A DEPTH OF 8".
 - ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE SOODED, EXCEPT FOR STORM WATER DETENTION AREA. STORM WATER DETENTION AREA TO BE SOODED W/APPROPRIATE LAWN GRASSES.
 - ALL OTHER PLANTING AREAS NOT MULCHED OR SEEDED ARE TO BE SOODED, INCLUDING P.O.W. AREAS AS NOTED ON PLAN. SOO SHALL CONSIST OF A DENSE, WELL-ROOTED NURSERY GREEN BULLOCKS SOO, AND SHALL BE FROM WEEDS AND UNDESIRABLE GRASSES. SOO SHALL BE LAID SIMPLY, EDGE TO EDGE, WITH STAGGERED JOINTS. AFTER LAYING, SOO TO INSURE SOOD CONTACT WITH THE SOIL.
 - IRRIGATION SYSTEM TO BE PROVIDED & INSTALLED UNDER LANDSCAPE CONTRACTOR'S CONTRACT.
 - IRRIGATION CONTRACTOR TO AVOID CROSSING EASEMENTS IF POSSIBLE. VERIFY ALL EASEMENT LOCATIONS PRIOR TO INSTALLING IRRIGATION LINES. IRRIGATION CONTRACTOR TO SUBMIT TO REMOVAL AT LEAST FOUR (4) WEEKS PRIOR TO INSTALLATION A COMPLETE PERMIT PACKAGE FOR APPROVAL. PROVIDE TO REMOVAL TWO (2) AS-BUILT PLANS OF INSTALLED IRRIGATION SYSTEM.
- NOTES:**
- PLAN OF SURVEY FOR THIS PROPERTY PROVIDED BY OTHERS. LANDSCAPE ARCHITECT TAKES NO RESPONSIBILITY FOR THE ACCURACY THEREOF AND NONE SHOULD BE ASSUMED.

S.T.H 60 (75th street)

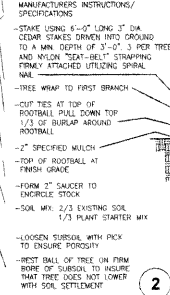


LANDSCAPE PLAN

1 7-30-10

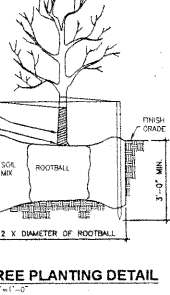
TREE PLANTING DETAIL

1/4"x1'-0"



SHRUB PLANTING DETAIL

1/4"x1'-0"



INTERIOR LANDSCAPED AREA 1,764 SQ. FT. (5% OF PARKING LOT)
 GREEN SPACE AREA 22,273 SQ. FT.
 PARKING LOT AREA 39,172 SQ. FT.

NOTE: ALL REQUIRED LANDSCAPING OR SCREENING SHALL BE INSTALLED ON LOTS 2 PRIOR TO OCCUPANCY OF THE WALGREENS BUILDING AND WRITTEN VERIFICATION AND/OR CERTIFICATION SHALL BE PROVIDED TO THE VILLAGE BY THE LANDSCAPE DESIGNER THAT THE LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN PRIOR TO THE ISSUANCE OF COMPLIANCE/OCCUPANCY OF WEATHER CONDITIONS PREVENT INSTALLATION OF ALL OR PORTIONS OF THE LANDSCAPE MATERIALS. THE DEVELOPER, OWNER OR OCCUPANT SHALL ENTER INTO A WRITTEN AGREEMENT WITH THE VILLAGE THAT SPECIFIES THE DATE BY WHICH ALL APPROVED LANDSCAPING SHALL BE COMPLETED AND GRANTS THE VILLAGE A TEMPORARY EASEMENT TO COMPLETE THE LANDSCAPING IF NOT TIMELY COMPLETED, AND SHALL DEPOSIT WITH THE VILLAGE CASH OR OTHER APPROVED LETTER OF CREDIT, OR OTHER FINANCIAL ASSURANCE APPROVED BY THE ZONING ADMINISTRATOR TO ENSURE TIMELY COMPLETION OF ALL REQUIRED LANDSCAPING. THE AMOUNT OF FINANCIAL ASSURANCE SHALL BE EQUAL TO 110% OF THE CONTRACTED AMOUNT TO COMPLETE THE LANDSCAPING IMPROVEMENTS IN ORDER TO REASONABLY COMPENSATE THE VILLAGE FOR THE COST OF COMPLETION OF ANY LANDSCAPING IMPROVEMENTS NOT COMPLETED WITHIN THE SPECIFIED TIME.

ARCHITECTS
THE WALBION GROUP
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 Milwaukee, WI 53202
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 www.albionarch.com

- PERMISSIONS/SPECIFICATIONS BY:**
- LANDOWNER'S CONSULTANT
 - LANDOWNER'S CONSULTANT
 - LANDOWNER'S CONTRACTOR
 - LANDOWNER'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

- RED BARBERRY
- GOLDEN MOCKORANGE
- PFITZER JUNIPER
- MISS KIM LILAC
- GREEN MOUNTAIN SUGAR MAPLE
- COCKSPUR HAWTHORN
- SARGENT CHERRY
- RED OAK
- AUSTRIAN PINE
- BLACK HILLS SPRUCE

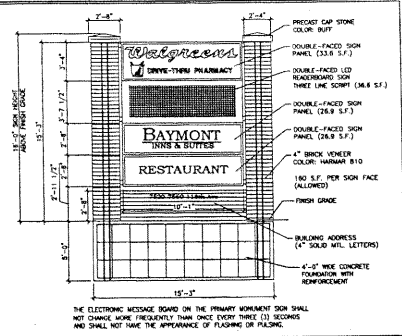
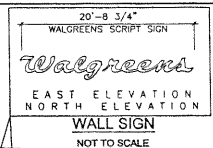
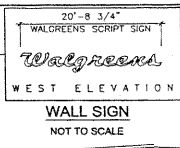
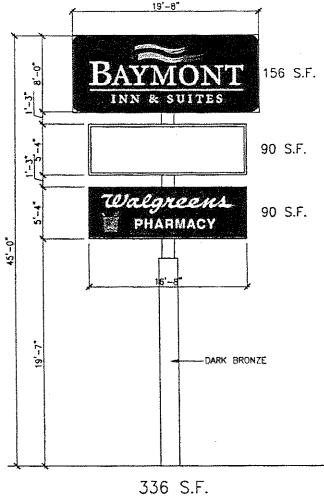
NO.	DATE	DESCRIPTION
H	05-29-04	SUBMITTAL SET
I	05-19-04	SUBMITTAL SET
F	04-26-04	FINAL SUBMITTAL SET
E	04-16-04	FINAL PUD
D	03-13-04	RESUBMITTAL
C	01-16-04	FINAL CONCEPTUAL REVIEW
B	12-04-03	PRELIMINARY
A	02-03-03	PRELIMINARY SUBMITTAL

STORE # 0796
PROJECT NAME
WALGREENS STORE
 S.T.H. 60 AND 118TH AVENUE
 PLEASANT PRAIRIE, WI
DRAWING TITLE

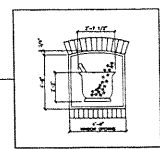
LANDSCAPING PLAN

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: TJE	
RELEASED TO CONSTRUCTION:	REVIEWED BY: D.S.	
	PROJECT NO: 0312-00	SHT 8 OF PUD SUBMITTAL

L1



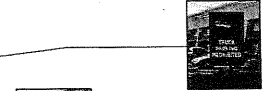
PRIMARY MONUMENT SIGN
NOT TO SCALE



MORTAR & PESTLE LOGO
(ETCHED GLASS, NO NEON)
NOT TO SCALE



WALL SIGN (32'3" X 3'3")
NOT TO SCALE



ON-SITE INFORMATIONAL
TRUCK PARKING
PROHIBITED
TO REMAIN
NOT TO SCALE



EXISTING TRUCK PARKING
PROHIBITED
TO BE REMOVED
NOT TO SCALE

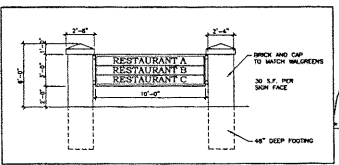
Highway 50 Signage Summary				
Sign Location	Classification	Sign Area (sq. ft.)	Max. Height (ft.)	Comments
Restaurant	Freeway Sign	336/2Face	45	Consolidated sign Baymont, Walgreens and Restaurant
Walgreens	Primary Monument Sign	126.8/2Face	16	Consolidated sign Baymont, Walgreens and Restaurant
Walgreens	Wall Sign (Etched Glass)	5.7	25	Northwest Corner/Logo
Walgreens	Wall Sign	62.19	17	West Façade
Walgreens	Wall Sign	62.19	17	North Façade
Walgreens	Wall Sign	62.19	17	East Façade
Walgreens	Drive Through Information	12.6	16	North Drive-Through Façade
Walgreens	Drive Through Information	2.9	12	Suspended under Canopy
Walgreens (Exit)	Drive Through Information	2.1	16	South Drive-Through Façade
Baymont	Secondary Monument Sign	30	6	Entrance Drive (Internal location)
Restaurant	Wall Sign	75 TOTAL	17	Each Façade - 4 locations
Baymont	Wall Sign	123.5	20	West Façade
Baymont	Wall Sign	104.8	20	North Façade
Baymont	On-Site Informational	1 C	4	North Drive-Through



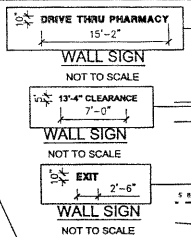
WALL SIGN (38' X 3'3")
NOT TO SCALE

FREEWAY SIGN
NOT TO SCALE

FREEWAY SIGN SIZE REQUESTED AS PART OF PUD APPROVAL: 300 SQ. FT. MAXIMUM, 336 SQ. FT. FACE PROPOSED



SECONDARY MONUMENT SIGN
NOT TO SCALE



WALL SIGN
NOT TO SCALE

WALL SIGN
NOT TO SCALE

WALL SIGN
NOT TO SCALE

* SEE SHEET 2 FOR WETLAND INFORMATION



FINAL 'PUD' PLAN
PLEASANT PRAIRIE, WISCONSIN



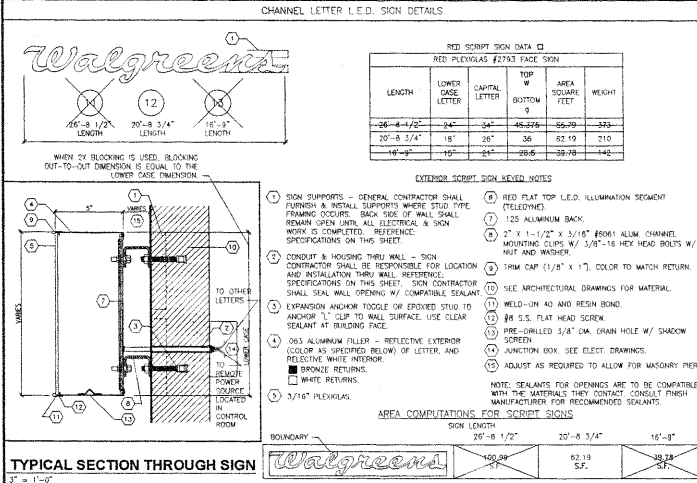
SHEET TITLE:
MASTER SITE
SIGNAGE PLAN

SCALE: 1"=40'
PROJECT NO: 37704
DATE: May 20, 2004
DESIGNED BY: TKK
DRAWN BY: JO
CHECKED BY: TKK
REVISIONS:

CHANNEL LETTER L.E.D. SIGNS

<ul style="list-style-type: none"> BRONZE RETURNS W/ LIGHT BACKGROUND WHITE RETURNS W/ DARK BACKGROUND 	<p>RED #2793 PLEXIGLAS FACE HELVETICA MEDIUM CHANNEL LETTERS, PRE-FINISHED METAL ALUMINUM FILLED BACKS OF LETTERS, 1/2" ALUMINUM PLATE FOR ELECTRICAL DATA & DETAIL SEE ELECTRICAL DRAWINGS.</p>	<ul style="list-style-type: none"> BRONZE RETURNS W/ LIGHT BACKGROUND WHITE RETURNS W/ DARK BACKGROUND
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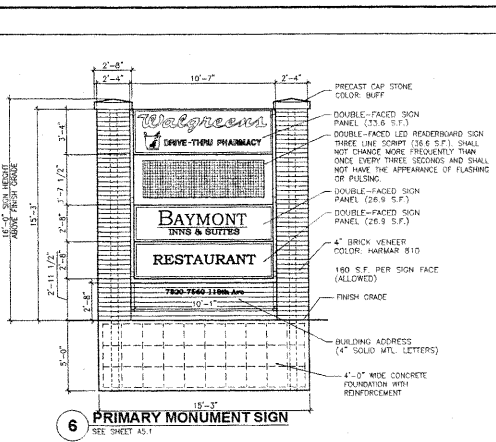
1 NOT USED	4 DRIVE THRU PHARMACY 12.6 SF
2 NOT USED	5 EXIT 2.1 SF
3 NOT USED	



TYPICAL SECTION THROUGH SIGN
3" = 1'-0"

SIGN SPECIFICATION

1. GENERAL CONTRACTOR SHALL:
 - A. THIS CONTRACTOR SHALL COORDINATE ALL WORK. NOTIFY ELECTRICAL CONTRACTOR & SIGN CONTRACTOR AS SOON AS POSSIBLE AFTER THE SIGN WALL OR STRUCTURE IS IN PLACE. GENERAL CONTRACTOR SHALL NOT CLOSE UP THE BACK SIDE OF WALL UNTIL ELECTRICAL CONTRACTOR & SIGN CONTRACTOR HAVE COMPLETED THEIR WORK.
 - B. CONCEALED SIGN SUPPORTS: GENERAL CONTRACTOR SHALL PROVIDE CONCEALED CONTINUOUS UNBUNDLED STRUCTURAL GRADE WOOD SIGN SUPPORTS WHERE STUD OR RAFTER TYPE FRAMING OCCURS.
 1. WHERE SCRIPT SIGNS ARE SHOWN, PROVIDE 2 CONCEALED 2 X 6 MEMBERS AT TOP AND BOTTOM OF SCRIPT FOR ALL SIGNS UP TO 22'-9 3/4" SCRIPT SIGNS OVER 22'-9 3/4" PROVIDE 2 CONCEALED 2 X 8 MEMBERS AT TOP AND BOTTOM OF SIGNS.
 2. N/A.
 3. WHERE INDIVIDUAL LETTER SIGNS ARE SHOWN, PROVIDE 2 CONCEALED 2 X 6 MEMBERS TOP AND BOTTOM OF SIGNS.
2. ELECTRICAL CONTRACTOR:
 - A. THIS CONTRACTOR SHALL PROVIDE ONE MAIN ELECTRIC SERVICE PANEL AND FEEDS TO THE BACK SIDE OF SIGN WALL. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, FEED AND JUNCTION BOXES ALONG BACK SIDE OF SIGN WALL. PROVIDE JUNCTION BOXES FOR EACH LOCATION APPROXIMATELY WHERE SIGN CONTRACTOR WILL PROVIDE CONDUIT HOUSING THROUGH WALL. PROVIDE ELECTRIC SERVICE CAPACITIES AND CIRCUITS AS SHOWN ON ELECTRICAL DRAWINGS.
 - B. SIGN CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH ON EXTERIOR OF SIGN FOR EACH CIRCUIT TO COMPANY WITH STATE AND LOCAL CODES. EACH SIGN SHALL BE ACTIVATED BY APPROVED PHOTO CELL AND TIME SWITCH WITH MANUAL OVERRIDE SWITCH. ELECTRICAL CONTRACTOR TO FURNISH PHOTO CELL, TIME SWITCH AND MANUAL OVERRIDE SWITCH.
3. SIGN CONTRACTOR:
 - A. FELLOW DRAWINGS & SPECIFICATIONS OF SIGNS AND USE TEMPLATES OF APPROVED DIMENSIONS, CONTOURS, SHAPES AND WITH ELECTRICAL COMPONENTS & CAPACITIES AS SPECIFIED.
 - B. SIGN CONTRACTOR SHALL FURNISH FOUR SETS OF SHOP DRAWINGS TO WALGREENS FACILITIES PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 - C. SIGN CONTRACTOR SHALL CONSTRUCT SIGN IN COMPLIANCE WITH ALL APPLICABLE ORDERS AND ORDINANCES, AND ACCORDING TO UNDERWRITING LABORATORIES SPECIFICATIONS AND TO BEAR U.L. LABELS. SIGN CONTRACTOR SHALL OBTAIN ALL STATE AND MUNICIPAL PERMITS NECESSARY TO INSTALL SIGNS.
 - D. SIGN INSTALLATION AT BUILDING FACE WORK BY SIGN CONTRACTOR. A SIGN CONTRACTOR SHALL ESTABLISH CENTER LINE OF SIGN WALL. MEASURE LOCATION OF EACH ELECTRIC LEAD FROM THE CENTER OUTWARD. PROVIDE 1/2" DIA. UNWEDED CONDUIT AND HOUSING THROUGH 1 1/4" GROUND HOLES. LET THROUGH CONDUIT PROJECT THROUGH WALL 1 1/2".
 - E. SIGN CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH ON EXTERIOR OF SIGN FOR EACH CIRCUIT TO COMPANY WITH STATE AND LOCAL CODES. EACH SIGN SHALL BE ACTIVATED BY APPROVED PHOTO CELL AND TIME SWITCH WITH MANUAL OVERRIDE SWITCH. ELECTRICAL CONTRACTOR TO FURNISH PHOTO CELL, TIME SWITCH AND MANUAL OVERRIDE SWITCH.



SIGN AREA SUMMARY

AGGREGATE COMMERCIAL SIGNAGE ALLOWED PER SECTION 12.14 U 11c: 150 S.F.

WALL SIGNS: "WALGREENS" NORTH ELEVATION: 62.19 S.F.
"WALGREENS" EAST ELEVATION: 62.19 S.F.
"WALGREENS" WEST ELEVATION: 62.19 S.F.

TOTAL AGGREGATE COMMERCIAL SIGNAGE PROPOSED: 186.57 S.F.

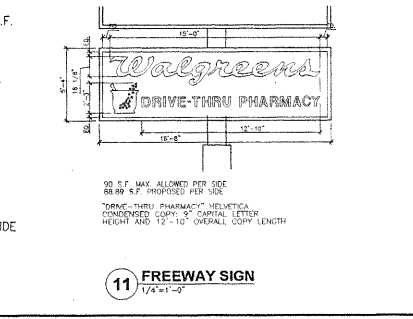
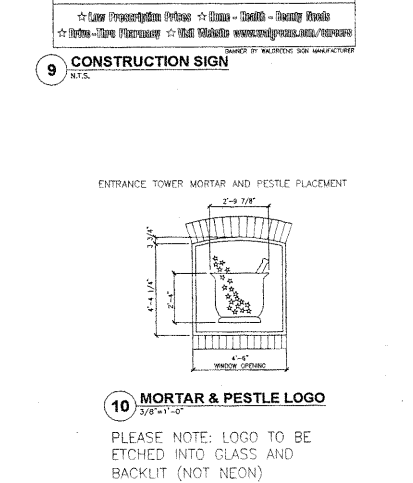
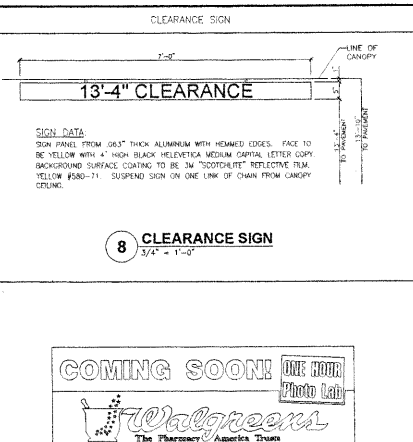
INFORMATION SIGNS

DRIVE-THRU SIGN: 12.6 S.F.
EXIT SIGN: 2.1 S.F.
CLEARANCE SIGN: 2.9 S.F.

TOTAL INFORMATIONAL SIGNAGE: 17.6 S.F.

PRIMARY MONUMENT SIGN ALLOWED PER SECTION 12.14 S. 20e: 160 S.F. PER SIDE

MONUMENT SIGN AREA PROPOSED: 126.81 S.F. PER SIDE
SIGN SETBACK: 20'-0"



ARCHITECTS
THE NALBION GROUP
338 North Milwaukee St.
Suite 903
Milwaukee, WI 53202
414.223.3330
414.223.3340 fax
www.nalbion.com

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

WORK RESPONSIBILITY

ALL EXTERIOR BUILDING SIGNS SHALL BE FURNISHED AND INSTALLED BY WALGREENS SIGN CONTRACTOR.

ALL OTHER RELATED WORK INCLUDING SIGN SUPPORTS AND ELECTRICAL POWER SUPPLY SHALL BE PER SIGN CONTRACTOR'S SPECIFICATIONS - THIS SHEET.

ALL FINAL CONNECTIONS MADE BY SIGN CONTRACTOR.

NO.	DATE	DESCRIPTION
H	06-20-04	SUBMITTAL SET
D	06-10-04	SUBMITTAL SET
F	04-30-04	FINAL SUBMITTAL SET
E	04-19-04	FINAL PUD
D	02-13-04	RESUBMITTAL
C	01-16-04	FINAL CONCEPTUAL REVIEW
B	12-04-03	RESUBMITTAL
A	05-20-03	PRELIMINARY SUBMITTAL

DOCUMENT ISSUES/BENCHMARKS

STORE # 0706

PROJECT NAME
WALGREENS STORE
S.T.H. #50 AND 118TH AVENUE
PLEASANT PRAIRIE, WI

DRAWING TITLE

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	J.S.	A5.2
RELEASED TO CONSTRUCTION:	REVIEWED BY: B.K.	SHT 11 OF PUD SUBMITTAL
	PROJECT NO: 0317-00	

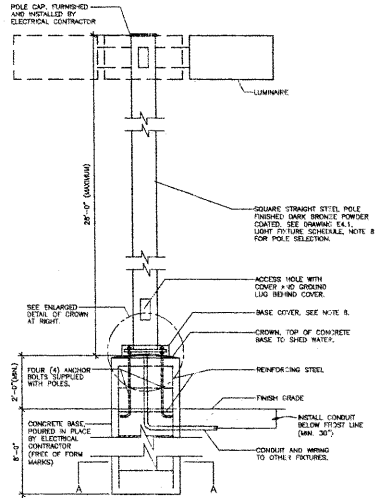
LIGHTING FIXTURE SCHEDULE						
FIXTURE TYPE	CATALOG NUMBER	MANUFACTURER	LAMPS (SEE NOTE 3 BELOW)	MOUNTING	HEIGHT	REMARKS
L-1	CAL-KODHM/STL/2/CA-40/82	WGRAY/EDISON	SEE MFR-400/HOR/82/B	ON POLE	208	SEE NOTE 1, FORWARD-THROW/SPILL-ELEMENTOR DISTRIBUTION FOR LIGHT POLE. SEE NOTE 3
L-2	CAL-KODHM/STL/2/CA-40/82	WGRAY/EDISON	SEE MFR-400/HOR/82/B	ON POLE	208	SEE NOTE 1, TYPE II DISTRIBUTION FOR LIGHT POLE. SEE NOTE 3
R-1	LMCP-100H-WT	LEARNER	SEE MFR100/O/MD	SURFACE	120	WALL PACK CONTROL
S	HORIZONTAL	FAN-SAFE	SEE MFR100/O/MD	RECESSED	120	EXTERIOR SEE NOTE 2

STATISTICS						
Device ID	Tag	Map	Loc	Mount	Height	
Cal 2:1441	100	844	000	81A	208	17A

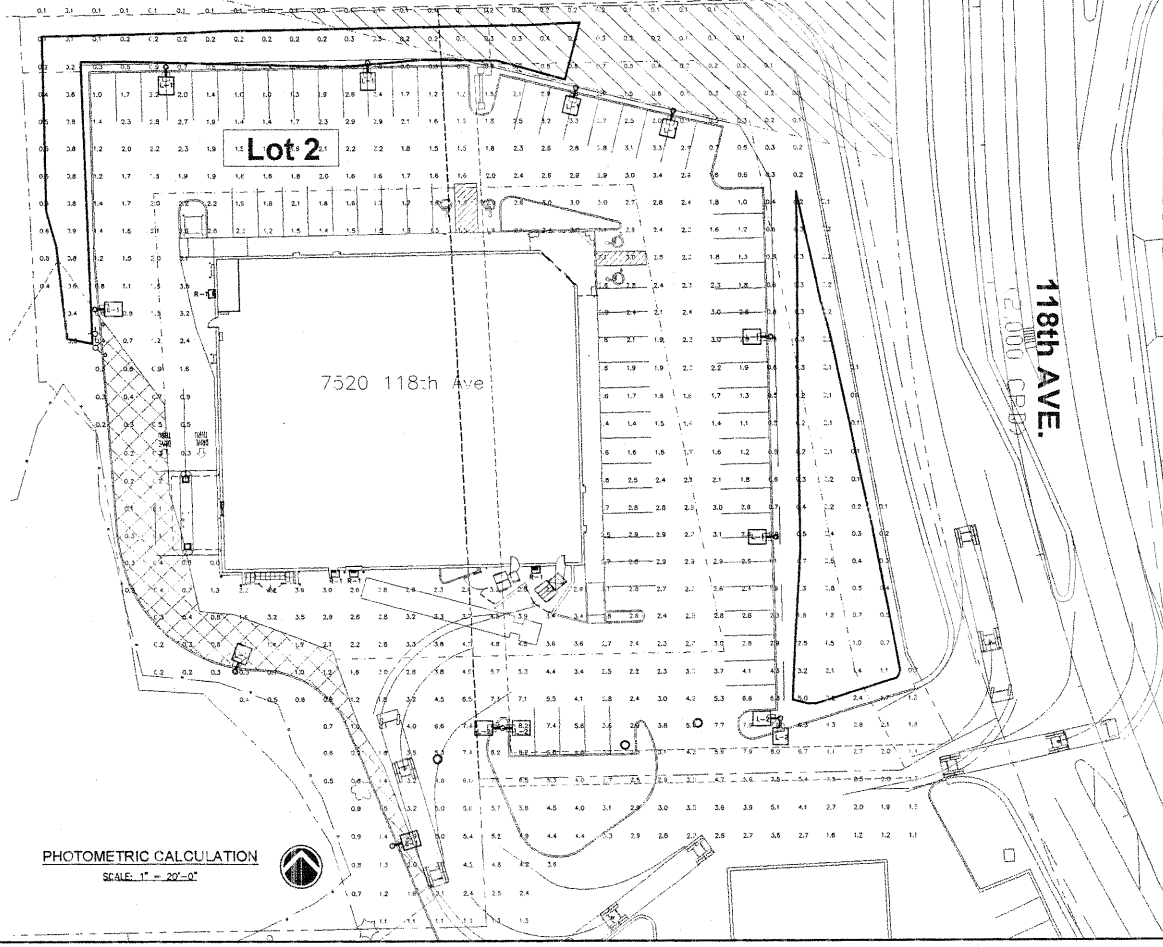
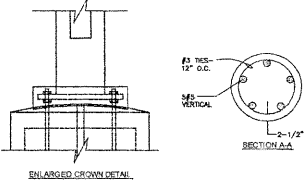
S.T.H 50 (75th street)

(23,920 CPD)

- NOTES:**
1. USE "DA1" TYPE 30 OR "DA1" TYPE 40 SUIT TO LUMINAIR FOR HOUSE (SEE CORDS)
 2. ALL LISTED WET LOCATION AND IP54 FOR MAXIMUM INSECT, DUST, AND WATER PROTECTION.
 3. THE FOLLOWING POLES ARE TYPICAL FOR AN AREA WITH WIND SPEEDS BELOW 40 MPH AND 1.3 FEET FACTOR. CONSULTANT SHALL EVALUATE SITE SPECIFIC CONDITIONS AND APPLICABLE CODES BEFORE MAKING FINAL SELECTION OF PILES.
 4. WISCONSIN/DOCS WISS-94-30-SF2 (0.187" WALL, 2 1/2" DIA) (0.187" WALL, 2 1/2" DIA & 1 1/2" DIA)



1 LIGHTING STANDARD ELEVATION
NOT TO SCALE



PHOTOMETRIC CALCULATION
SCALE: 1" = 20'-0"

THE WALGREEN GROUP ARCHITECTS
338 North Milwaukee St.
Suite 503
Milwaukee, WI 53202
414.223.3330
414.223.3340 fax
www.walgreenarch.com

DRAWINGS/SPECIFICATIONS BY:
 WALGREEN CONSULTANT
 LANDLORDS CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREEN CONTRACTOR
 LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

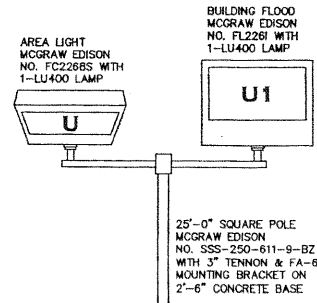
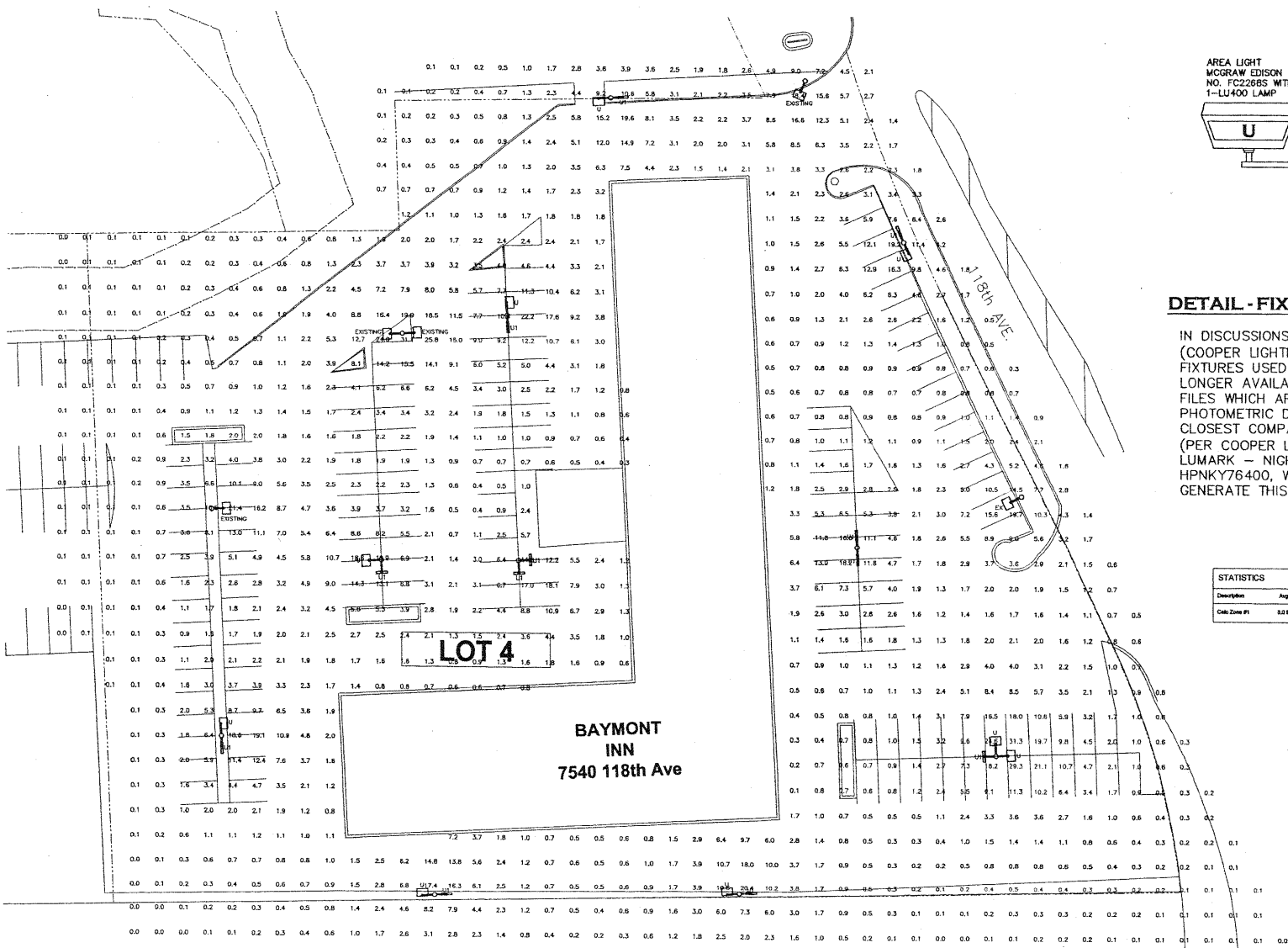
STORE		BUILDING	
NEW	<input type="checkbox"/>	NEW	<input type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

NO.	DATE	DESCRIPTION
H	05-10-04	SUBMITTAL SET
G	05-10-04	SUBMITTAL SET
F	04-10-04	FINAL SUBMITTAL SET
E	04-10-04	FINAL PUD
D	03-10-04	RES. BMITTAL
C	01-10-04	FINAL CONCEPTUAL REVIEW
B	12-1-03	RES. BMITTAL
A	9-25-03	PRELIMINARY S. BMITTAL
NO.	04/04	DESCRIPTION

DOCUMENT ISSUES-BENCHMARKS
STORE # 07965
PROJECT NAME
WALGREENS STORE
S.T.H. 50 AND 118TH AVENUE
PLEASANT PRAIRE, WI
DRAWING TITLE

PHOTOMETRIC CALCULATIONS	
CADD PLOT:	SCALE: AS NOTED
VOID PLOT:	DRAWN BY:
RELEASED TO CONSTRUCTION:	REVIEWED BY:
	PROJECT NO: 0317.00
	SHT 12 OF PUD SUBMITTAL

E0.1A



DETAIL - FIXTURE TYPE "U" & "U1"

IN DISCUSSIONS WITH THE MANUFACTURER (COOPER LIGHTING), THE "U" & "U1" FIXTURES USED ON THIS SITE ARE NO LONGER AVAILABLE & EXISTED PRIOR TO .IES FILES WHICH ARE USED TO GENERATE PHOTOMETRIC DATA. THEREFORE, THE CLOSEST COMPARABLE FIXTURE AVAILABLE (PER COOPER LTC) TO THESE IS THE LUMARK - NICHTHAWK III SERIES NO. HPNKY76400, WHICH IS WHAT WERE USED TO GENERATE THIS PLAN.

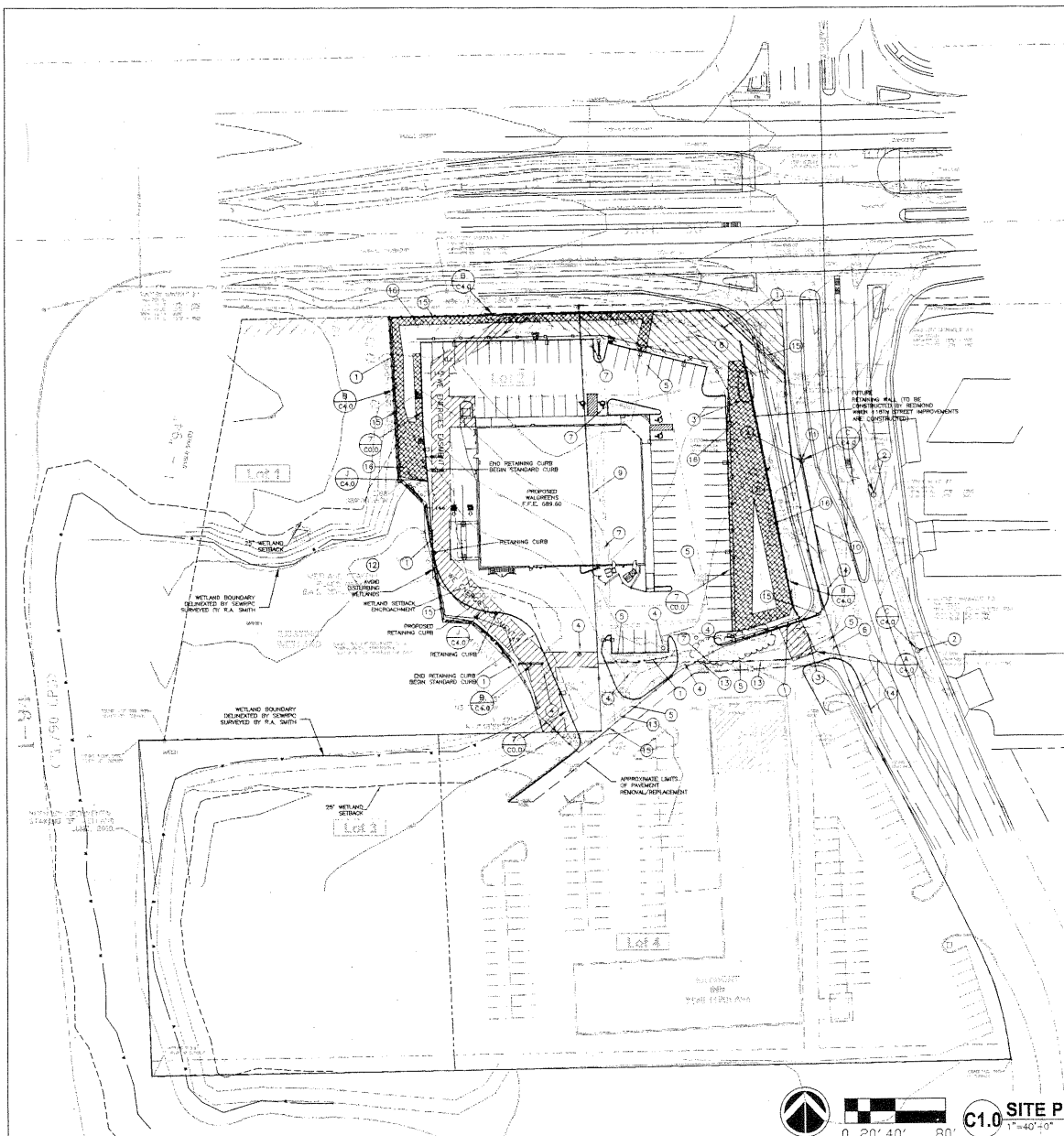
STATISTICS					
Description	Avg	Min	Max	Horiz%	Vert%
Calc Zone Ft	8.8 fc	31.3 fc	69 fc	N/A	N/A

SITE PLAN - PHOTOMETRIC
SCALE: 1" = 20'-0"

Sheet 12A of PUD Submittal

BAYMONT INN & SUITES
7540 118TH AVENUE
PLEASANT PRairie, WISCONSIN

DATE: 11/14/04



- GENERAL NOTES**
1. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND SHALL BE SUBJECT TO THE GENERAL CONTRACTOR'S RESPONSIBILITY FOR PROTECTION OF THE SITE.
 2. ALL EXISTING UTILITIES SHALL BE LOCATED AND DEPTH SHALL BE DETERMINED BY THE GENERAL CONTRACTOR.
 3. THE PLAN IS BASED ON SURVEY OF 1/2" = 100' HORIZONTAL, VERTICAL.
 4. REFER TO SHEET C-1 FOR ADDITIONAL SPECIFICATIONS.
 5. SEE SPECIFICATIONS FOR ALL MATERIALS AND METHODS OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 7. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION.
 8. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION.
 9. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION.
 10. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION.
 11. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES BEFORE CONSTRUCTION.

- NOTED NOTES**
1. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 2. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 3. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 4. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 5. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 6. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 7. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 8. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 9. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 10. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 11. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 12. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 13. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 14. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 15. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 16. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 17. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.
 18. RETAINING WALL SHALL BE CONSTRUCTED WITH 18" MIN. THICKNESS AND SHALL BE REINFORCED WITH 18" DIA. STEEL REINFORCEMENT.

LEGEND

(A) RETAIL NO. ON SHEET NO.	(C) ROOM INFORMATION	1 - NORTH
(B) PROPOSED BUT FENCE	1 - TRAIL PILE	2 - EAST
(C) PROPOSED BUT PROTECTION	1 - GAS METER	3 - SOUTH
(D) EXISTING METALS AND WAREHOUSE	1 - ELECTRIC METER	4 - WEST
(E) EXISTING METALS AND WAREHOUSE	1 - SOL SYSTEM	5 - NORTHWEST
(F) EXISTING METALS AND WAREHOUSE	1 - DISCHARGE TREE	6 - SOUTHWEST
(G) EXISTING METALS AND WAREHOUSE	1 - FINE LINE	7 - SOUTHWEST
(H) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	8 - SOUTHWEST
(I) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	9 - SOUTHWEST
(J) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	10 - SOUTHWEST
(K) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	11 - SOUTHWEST
(L) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	12 - SOUTHWEST
(M) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	13 - SOUTHWEST
(N) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	14 - SOUTHWEST
(O) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	15 - SOUTHWEST
(P) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	16 - SOUTHWEST
(Q) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	17 - SOUTHWEST
(R) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	18 - SOUTHWEST
(S) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	19 - SOUTHWEST
(T) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	20 - SOUTHWEST
(U) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	21 - SOUTHWEST
(V) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	22 - SOUTHWEST
(W) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	23 - SOUTHWEST
(X) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	24 - SOUTHWEST
(Y) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	25 - SOUTHWEST
(Z) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	26 - SOUTHWEST
(AA) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	27 - SOUTHWEST
(AB) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	28 - SOUTHWEST
(AC) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	29 - SOUTHWEST
(AD) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	30 - SOUTHWEST
(AE) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	31 - SOUTHWEST
(AF) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	32 - SOUTHWEST
(AG) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	33 - SOUTHWEST
(AH) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	34 - SOUTHWEST
(AI) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	35 - SOUTHWEST
(AJ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	36 - SOUTHWEST
(AK) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	37 - SOUTHWEST
(AL) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	38 - SOUTHWEST
(AM) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	39 - SOUTHWEST
(AN) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	40 - SOUTHWEST
(AO) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	41 - SOUTHWEST
(AP) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	42 - SOUTHWEST
(AQ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	43 - SOUTHWEST
(AR) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	44 - SOUTHWEST
(AS) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	45 - SOUTHWEST
(AT) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	46 - SOUTHWEST
(AU) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	47 - SOUTHWEST
(AV) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	48 - SOUTHWEST
(AW) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	49 - SOUTHWEST
(AX) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	50 - SOUTHWEST
(AY) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	51 - SOUTHWEST
(AZ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	52 - SOUTHWEST
(BA) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	53 - SOUTHWEST
(BB) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	54 - SOUTHWEST
(BC) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	55 - SOUTHWEST
(BD) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	56 - SOUTHWEST
(BE) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	57 - SOUTHWEST
(BF) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	58 - SOUTHWEST
(BG) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	59 - SOUTHWEST
(BH) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	60 - SOUTHWEST
(BI) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	61 - SOUTHWEST
(BJ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	62 - SOUTHWEST
(BK) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	63 - SOUTHWEST
(BL) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	64 - SOUTHWEST
(BM) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	65 - SOUTHWEST
(BN) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	66 - SOUTHWEST
(BO) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	67 - SOUTHWEST
(BP) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	68 - SOUTHWEST
(BQ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	69 - SOUTHWEST
(BR) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	70 - SOUTHWEST
(BS) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	71 - SOUTHWEST
(BT) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	72 - SOUTHWEST
(BU) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	73 - SOUTHWEST
(BV) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	74 - SOUTHWEST
(BW) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	75 - SOUTHWEST
(BX) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	76 - SOUTHWEST
(BY) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	77 - SOUTHWEST
(BZ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	78 - SOUTHWEST
(CA) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	79 - SOUTHWEST
(CB) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	80 - SOUTHWEST
(CC) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	81 - SOUTHWEST
(CD) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	82 - SOUTHWEST
(CE) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	83 - SOUTHWEST
(CF) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	84 - SOUTHWEST
(CG) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	85 - SOUTHWEST
(CH) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	86 - SOUTHWEST
(CI) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	87 - SOUTHWEST
(CJ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	88 - SOUTHWEST
(CK) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	89 - SOUTHWEST
(CL) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	90 - SOUTHWEST
(CM) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	91 - SOUTHWEST
(CN) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	92 - SOUTHWEST
(CO) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	93 - SOUTHWEST
(CP) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	94 - SOUTHWEST
(CQ) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	95 - SOUTHWEST
(CR) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	96 - SOUTHWEST
(CS) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	97 - SOUTHWEST
(CT) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	98 - SOUTHWEST
(CU) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	99 - SOUTHWEST
(CV) EXISTING METALS AND WAREHOUSE	1 - METALS AND WAREHOUSE	100 - SOUTHWEST

THE REDMOND ARCHITECTS
 338 North Milwaukee St.
 Suite 503
 Milwaukee, WI 53202
 414.223.3330
 414.223.3340 fax
 www.redmondarch.com

THE SIGMA DEVELOPMENT, INC.
 1700 WEST CANAL STREET
 MILWAUKEE, WISCONSIN 53233
 PHONE: (414) 643-4200
 FAX: (414) 643-8110
 TOLL FREE: 1-800-732-4671

WALGREENS STORE
 (S/W) 118TH & HWY 50
 PLEASANT PRAIRIE, WI

C1.0 SITE PREPARATION AND EROSION CONTROL PLAN

LEGEND

NEW	EXISTING
REMODELING	RELOCATION
OTHERS	

DOCUMENT ISSUES/BENCHMARKS

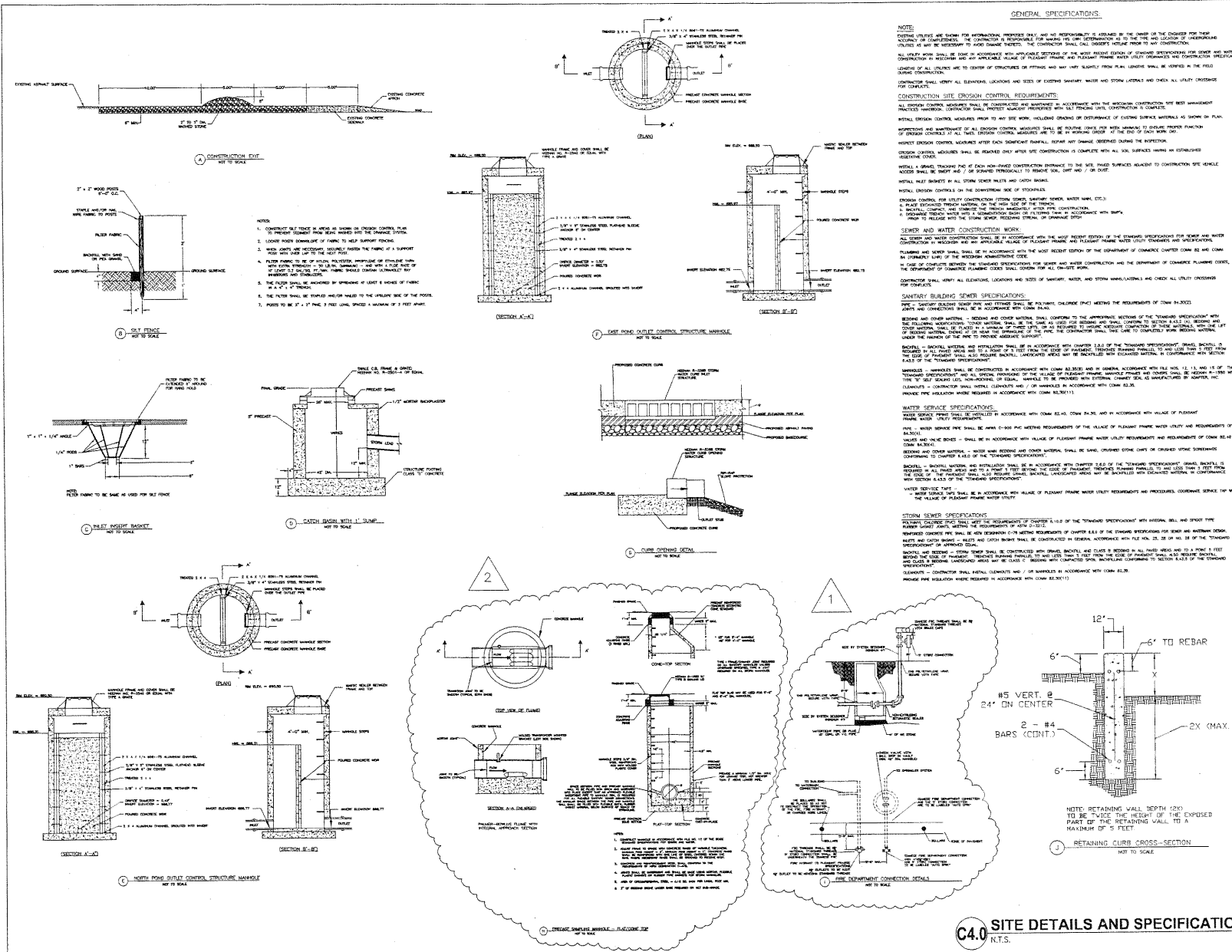
NO.	DATE	DESCRIPTION
F	04-30-04	FINAL SUBMITTAL SET
E	04-16-04	FINAL PLS
D	02-13-04	REVISIONS
C	01-16-04	FINAL CONCEPTUAL REVIEW
B	12-04-03	REVISIONS
A	9-25-03	PRELIMINARY SUBMITTAL

SCALE: 1"=40'

VOID PLOT: JBL

RELEASSED TO CONSTRUCTION: PROJECT NO. 0317.00

SHT 14 OF PUD SUBMITTAL



GENERAL SPECIFICATIONS

NOTE:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS:

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

SEWER AND WATER CONSTRUCTION WORK:

ALL SEWER AND WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

SEWER AND WATER CONSTRUCTION WORK:

ALL SEWER AND WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

WATER SERVICE SPECIFICATIONS:

ALL WATER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

SEWER SPECIFICATIONS:

ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

STORM SEWER SPECIFICATIONS:

ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

RETAINING WALL SPECIFICATIONS:

ALL RETAINING WALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER UTILITY CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND TYPES OF EXISTING UTILITY MAINS AND STRUCTURES AND CHECK ALL UTILITY CONDITIONS FOR CONFLICTS.

ARCHITECTS
THE REDMOND COMPANY
 338 North Milwaukee St.
 Suite 303
 Milwaukee, WI 53202
 414.223.3320
 414.223.3340 fax
 www.redmondarch.com

CONTRACTOR SPECIFICATIONS BY:

- WALGREENS CONSULTANT
- LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE, BY:

- WALGREENS CONTRACTOR
- LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
RELOCATING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	



SIGMA DEVELOPMENT, INC.
 1300 WEST CANAL STREET
 MILWAUKEE, WISCONSIN 53233
 PHONE: (414) 943-4200
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 TOLL FREE: 1-800-732-4871

NO.	DATE	DESCRIPTION
5-11-04	REVISED DETAIL 2 (PRECAST SAMPLING MANHOLE DETAIL)	
3-3-04	REVISED DETAIL 1 (FIRE DEPT. CONNECTION DETAIL)	
04-30-04	FINAL SUBMITTAL SET	
04-18-04	FINAL PLOD	
02-13-04	PRELIMINARY	
01-18-04	FINAL CONSULTANT REVIEW	
01-04-03	PRELIMINARY	
9-25-03	PRELIMINARY SUBMITTAL	

DOCUMENT ISSUE/BENCHMARKS

PROJECT NAME
WALGREENS STORE
 (SWC) 118TH & HWY 50
 PLEASANT PRAIRIE, WI
 DRAWING TITLE

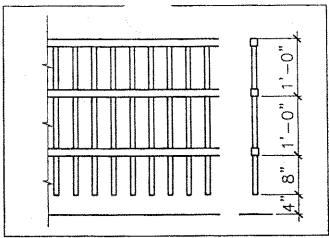
SITE DETAILS AND SPECIFICATIONS

SCALE: N.T.S.
 DRAWN BY: JAL
 REVIEWED BY: JAL
 PROJECT NO. 0217-00
 SHEET 18 OF 110 SUBMITTAL

VOID PLOT: JAL
RELEASED TO CONSTRUCTION: 0217-00

C4.0
 SHEET 18 OF 110 SUBMITTAL

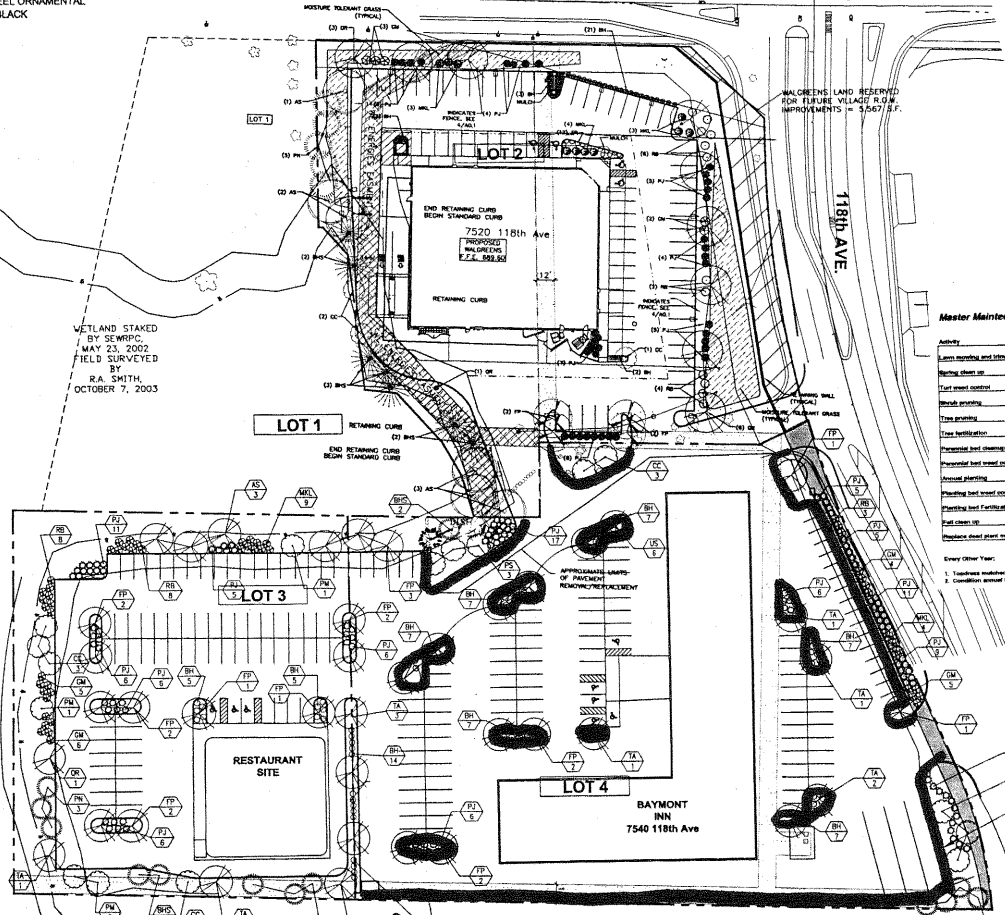
C4.0 SITE DETAILS AND SPECIFICATIONS



FENCE DETAIL
NOT TO SCALE

PREFINISHED STEEL ORNAMENTAL
FENCE PAINTED BLACK

WETLAND STAKED
BY SEMPRIC
MAY 23, 2002
FIELD SURVEYED
BY
R.A. SMITH,
OCTOBER 7, 2003



S.T.H 50 (75th street)

118th AVE

LANDSCAPE ISLAND TO BE CONSTRUCTED AND/OR AMENDED
AS PART OF THE LOT 3 DEVELOPMENT.

PARKING LOT LANDSCAPING				
LOT	PARKING LOT (sq. ft.)	LANDSCAPED ISLANDS (sq. ft.)	PLANTING ISLANDS % of parking lot	OPEN SPACE (sq. ft.)
2	39,172	1,764	4.5	22,273
3	34,150	1,300	3.8	23,087
4	75,000	2,990	4.0	17,424

MASTER PLANT DATA CHART

LOT 2	LOT 3	LOT 4	TOTAL QUANTITY	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	HEIGHT
SHADE AND ORNAMENTAL TREES									
6	3	0	9	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2"	BB	60'
3	4	3	10	CC	Cotoneaster crum-galli	Cocksour Hawthorn	1-1/2"	BB	25'
0	11	9	20	FP	Fraxinus pennsylvanica 'Palmore'	Palmore Green Ash	2"	BB	50'
0	4	3	7	PM	Prunus moackii	Amur Chokecherry	1-1/2"	BB	30'
4	0	3	7	PS	Prunus serotina	Sargent Cherry	1-1/2"	BB	30'
10	1	0	11	QR	Quercus rubra	Red Oak	2"	BB	60'
0	6	6	12	TA	Tilia americana	Basewood	2"	BB	60'
0	0	6	6	US	Ulmus 'Sapporo Autumn Gold'	Sapporo Autumn Gold Elm	2"	BB	60'
SHRUBS									
12	16	3	31	RB	Rubus thunbergii atropurpureo	Red Raspberry	24"	POT	4'
28	24	42	94	BB	Berberis thunbergii	Bush hollyhuckle	18"	POT	3'
18	0	3	18	ESR	Hybrid rose (cutbert gran)	Shrub rose	18"	POT	3'
5	11	9	25	GM	Philadelphus 'Golden'	Golden Mockorange	24"	POT	5'
36	37	76	149	PJ	Juniperus chinensis pfitzeri	Pfitzer Juniper	24"	POT	5'
10	9	4	23	MKL	Syringa velutina 'Miss Kim'	Miss Kim Lilac	24"	POT	5'
EVERGREEN TREES									
5	6	0	11	PN	Pinus nigra	Austrian Pine	5"	BB	40'
7	2	6	15	BHS	Picea glauca densata	Black Hills Spruce	7"	BB	40'

* PARKING LOT PLANTING ISLANDS TO BE 8"(WIDE) CURBED AREAS.

Master Maintenance Schedule

Activity	January	February	March	April	May	June	July	August	September	October	November	December
Leaf removal and debris												
Watering trees												
Tree pruning												
Tree fertilization												
Shrub pruning												
Planting bed weed control												
Planting bed fertilization												
Full clean up												
Prepare seed start material												

Every Other Year:
1. Test trees soil nutrient status
2. Condition annual bed soil

NOTE: ALL REQUIRED LANDSCAPING OR SCREENING SHALL BE INSTALLED ON LOTS 2 PRIOR TO OCCUPANCY OF THE WALKWAY BUILDING. A WRITTEN AFFIDAVIT AND/OR CERTIFICATION SHALL BE PROVIDED TO THE LANDSCAPE DESIGNER THAT THE LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED MASTER PLAN PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE/OCCUPANCY OF WALKWAY BUILDING. THE DEVELOPER, OWNER OR OCCUPANT SHALL ENTER INTO A WRITTEN AGREEMENT WITH THE VILLAGE THAT SPECIFIES THE DATE BY WHICH ALL APPROVED LANDSCAPING SHALL BE COMPLETED AND ADWANT'S THE VILLAGE A TEMPORARY EASEMENT TO COMPLETE THE LANDSCAPING IF THEY ARE NOT COMPLETED AND SHALL COOPERATE WITH THE VILLAGE TO OBTAIN A PERMISSIBLE LETTER OF CREDIT OR OTHER FINANCIAL ASSURANCE. THE AGREEMENT OF FINANCIAL ASSURANCE SHALL BE ISSUED TO THE VILLAGE BY THE CONTRACTOR HAVING TO COMPLETE THE LANDSCAPING IMPROVEMENTS IN ORDER TO REASONABLY COMPENSATE THE VILLAGE FOR THE COST OF COMPLETION OF ANY LANDSCAPING IMPROVEMENTS NOT COMPLETED WITHIN THE SPECIFIED TIME.

* SEE SHEET 2 FOR WETLAND INFORMATION



FINAL
'PUD' PLAN
PLEASANT PRAIRIE,
WISCONSIN

SHEET TITLE:
MASTER
LANDSCAPE PLAN

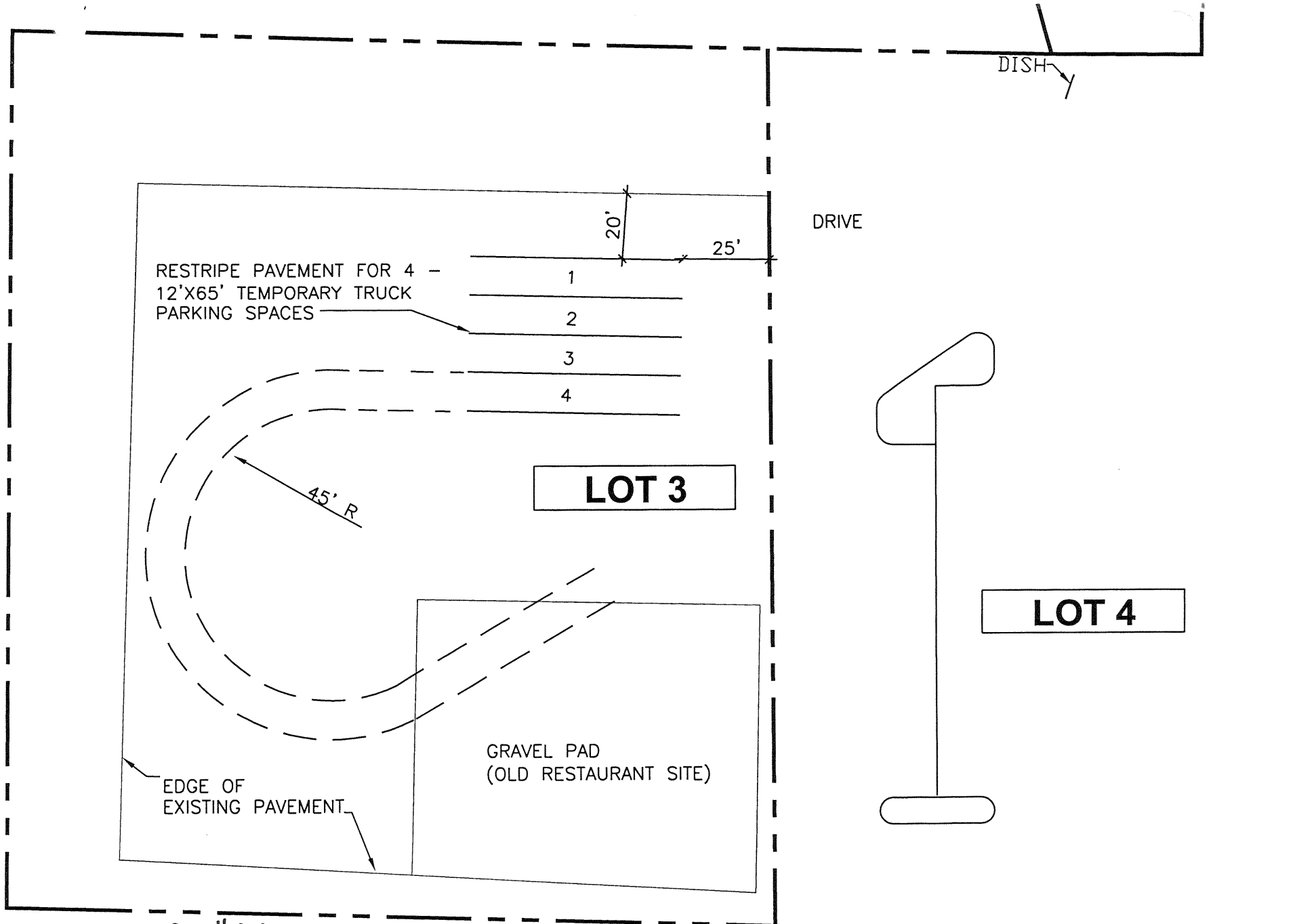
SCALE: 1"=40'
PROJECT NO. 37704
DATE: May 20, 2004
DESIGNED BY: TKK
DRAWN BY: JU
CHECKED BY: TKK
REVISIONS:

SHEET NO. 7 OF PUD

Ord# 04-27
Exhibit C

Curb and gutter
on Lot 4 to be
installed

All landscaping on
Lot 4 shall be
installed except for
area directly adjacent to Lot 3



Ord #04-27
FINAL PUD PLAN
EXHIBIT D

1"=40'-0"



ORDINANCE NO. 09-36

TO AMEND SPECIFIC DEVELOPMENT PLAN #11
ENTITLED "118TH AVENUE AND STH 50 PLANNED UNIT DEVELOPMENT"
IN CHAPTER 420 ATTACHMENT 3 APPENDIX C
OF THE VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE
KENOSHA COUNTY, WISCONSIN

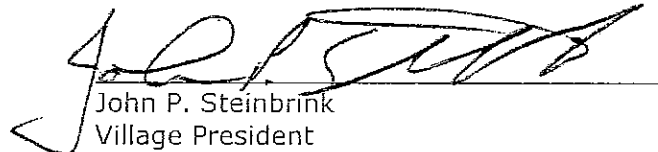
THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN, DO ORDAIN THAT:

Chapter 420 Attachment 3 Appendix C related to the 118th Avenue and STH 50 Planned Unit Development (PUD) Specific Development Plan, Section 11.c.v. of the PUD is amended as follows:

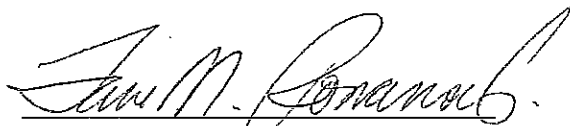
- (1) Hotel:
 - (a) Siding: T1-11 wood paneling; color: "Compatible Cream" Sherwin-Williams #SW6387 and "Torchlight" Sherwin-Williams #SW6374.
 - (b) Columns: Dryvit: "Compatible Cream" Sherwin-Williams #SW6387 and "Torchlight" Sherwin-Williams #SW6374.
 - (c) Awning: cloth, model: Sunbrella; color, "Compatible Cream" Sherwin-Williams #SW6387 and "Torchlight" Sherwin-Williams #SW6374; manufacturer: Glen Raven Mills.
 - (d) If a new hotel is constructed on Lot 4 then the materials used shall be same as the listed below for the freeway convenience store.

Adopted this 18th day of May, 2009.

VILLAGE OF PLEASANT PRAIRIE


John P. Steinbrink
Village President

ATTEST:


Jane M. Romanowski
Village Clerk

Posted: 5/19/09

ORDINANCE NO. 11-04

**TO AMEND SPECIFIC DEVELOPMENT PLAN #11
ENTITLED "118TH AVENUE AND STH 50 PLANNED UNIT DEVELOPMENT"
IN CHAPTER 420 ATTACHMENT 3 APPENDIX C
OF THE VILLAGE OF PLEASANT PRAIRIE ZONING ORDINANCE
KENOSHA COUNTY, WISCONSIN**

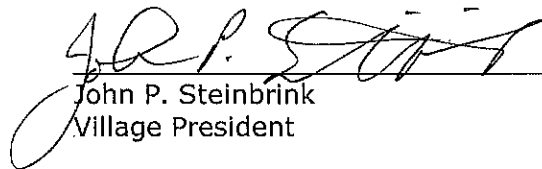
BE IT ORDAINED by the Village Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin, that Chapter 420 Attachment 3 Appendix C related to the 118th Avenue and STH 50 Planned Unit Development (PUD) Specific Development Plan is hereby amended as follows:

1. Subsection d. vi. (1) (a) of said PUD related to setbacks for parking spaces, driveways and maneuvering lanes for the freeway convenience store on Lot 2 are proposed to be amended to read as follows:

- (a) The paved parking area, **driveways** and maneuvering lanes on Lot 2 shall meet the following minimum setbacks:
- (i) Street setbacks: ~~20~~ 19 feet minimum;
 - (ii) Side setback (to west property line): ~~2~~ **0.5** feet minimum;
 - (iii) Rear setback (to south property line): ~~8~~ **7** feet minimum; and
 - (iv) Wetland setback: ~~2~~ **0.5** feet minimum.

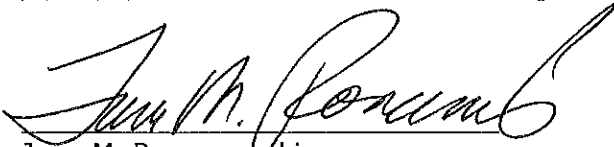
Adopted this 21st day of February, 2011.

VILLAGE OF PLEASANT PRAIRIE



John P. Steinbrink
Village President

ATTEST:



Jane M. Romanowski
Village Clerk

Posted: 2-22-11

- C. Consider the request of Karl Music on behalf of Nexus Pharmaceuticals for **Preliminary Site and Operational Plan** approval of the building shell for their new manufacturing building to be located at 10300 128th Avenue in the Prairie Highlands Corporate Park.

Recommendation: Village staff recommends that the Plan Commission approve the **Preliminary Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of November 11, 2019.

VILLAGE STAFF REPORT OF NOVEMBER 11, 2019, as corrected

Consider the request of Karl Music on behalf of Nexus Pharmaceuticals for **Preliminary Site and Operational Plan** approval of the building shell for their new manufacturing building to be located at 10300 128th Avenue in the Prairie Highlands Corporate Park.

Nexus Pharmaceuticals is proposing to construct a three-story, pharmaceutical manufacturing facility containing approximately 84,450 square feet on a 16-acre property located 10300 128th Avenue in the Prairie Highlands Corporate Park. On August 12, 2019 the Plan Commission conditionally approved Preliminary Site and Operational Plans for site grading, underground utilities and footing and foundation work for the proposed pharmaceutical manufacturing facility. At this time the petitioner is requesting Plan Commission approval of the Nexus Preliminary Site and Operational Plans in order to construct the building shell. [Note: Final Site and Operational Plan approvals are required for interior building plans and all previously approved Preliminary Site and Operational Plans.]

Nexus Pharmaceuticals, a privately held, U.S. based healthcare company, specializes in innovative processes to make difficult-to-manufacture specialty and generic drugs that are easier to use, less labor intensive, and more streamlined in practice. Nexus ensures that its high-quality FDA-approved drugs fulfill a critical unmet medical need and delivers dependable life-saving treatment options when and where they are needed most.

Nexus was founded in 2003 and initially operated as a virtual company. As the company grew more functionality was subsequently brought in-house and in 2018 the company relocated its headquarters and laboratories to a newly renovated facility in Lincolnshire, IL. At this time all product development, quality control, quality assurance, regulatory functions and some business functions are carried out at the Lincolnshire location.

This facility in Pleasant Prairie will be used for the manufacturing of aseptic liquid and lyophilized products as well as terminally sterilized liquid products. Specifically, Nexus will manufacture sterile injectable, pharmaceutical products which will be used in various medical applications (e.g. cardiology, oncology, etc.). The products will be produced (i.e. formulated) and filled in a liquid state with some products undergoing lyophilization to provide a long-term stable application as a freeze dried product. Overall annual production volumes are projected to be in the range of 10 million vials per year for the first phase facility depending on business needs however plant capacity can be increased with adjustments to the operating plan.

All direct product contact equipment will be compatible with the products and non-reactive so-as-to not impact product quality. Inspection, labeling and packaging equipment will also be located within the facility.

The first floor will be allocated to warehousing, inspection, labeling, packaging, utilities, maintenance areas, office space, locker areas and lunch room. The second floor will be designated to the manufacturing process with formulation, equipment and component preparation, filling and freeze drying, and capping activities. The second floor will also house the Microbiology lab as well as an In-Process Chemistry lab. The third floor of the building will be outfitted with HVAC and equipment control cabinets. This project represents the first of several planned future expansions on the site. Upon FDA approval of the facility and related processes Nexus will start commercial production operations which are anticipated to occur in 2022.

General plant-based utilities will include boilers, chillers, air compressors, etc. Process water (i.e. USP Water-for-Injection) will be generated via vapor compression distillation. USP grade nitrogen will be supplied by an outside vendor and stored on-site in qualified tanks to be subsequently used in the manufacturing process. The HVAC system will provide temperature

control and incorporate humidification as well as de-humidification to keep controlled and classified areas within defined specifications.

Raw materials for the formulation, including the active pharmaceutical ingredients and associated excipients, will be stored in secure, controlled locations as will the primary packaging (i.e. vials, stoppers, and seals) and secondary packaging components (i.e. labels, cartons, shippers) required for the manufacturing process. All material will be used on a first-in, first-out basis with inventory levels sufficient to maintain a minimum three-month supply of goods. Finished product will be stored on-site until released by the Quality Assurance Department at which point it will be sent to distribution centers for shipment to US based hospital sites. It is anticipated that finished product will not be held for more than 45 days on-site.

The bulk of the solid waste material will be cardboard from incoming shipments of components used in the manufacturing process. A compactor will be used to bale the cardboard. It is expected that Nexus will produce on average one bale of cardboard per day. Additional solid waste material related to the manufacturing process would include any unused glass vials and rubber stoppers. These quantities are typically minimal (i.e. < 1000 pieces per batch of each component). Other unused components from the filling process which would require disposal would include small amounts of disposable tubing, bags and filters associated with the manufacturing of each batch.

The building will be equipped with doors controlled by electronic badge readers to ensure only authorized employees enter. A receptionist/security station at the lobby will allow for visitor and delivery access control. Security officers will be contract personnel. Additional security measures will be employed to comply with DEA requirements necessary due to the handling of small quantities of Schedule drugs on site. Measures include locked storage vaults, security cameras, and access being restricted to a limited number of authorized employees.

Nexus, being regulated by the FDA, and subject to cGMP regulations, will employ maintenance strategies to assure our products are safe, effective, and pure. All buildings, structures, site improvements, and processes will be structurally sound, neat, well-cared for, and aesthetically attractive. Nexus will employ highly skilled maintenance personnel to maintain our internal processes, and use of mix of Nexus and contracted resources for things such as exterior building maintenance, landscaping, parking lots, etc.

It is anticipated that this first phase will employ 70 full-time and 5 part time employees working during three shifts. Initially they intend to operate a 5 day work week with 2 shifts and a skeleton crew on 3rd shift to oversee any equipment running overnight (i.e. freeze dryers). It is estimated that there will be an average of 100 daily automobile trips and an average of 3 day truck trips to and from the site.

There are small wetlands along the south property line and west property line that are currently zoned C-1, Lowland Resource Conservancy District. All of the wetlands on the property will remain unchanged.

As noted above, upon FDA approval of the facility and related processes, Nexus anticipates to start commercial production operations in 2022.

Village staff recommends conditional approval of the Preliminary Site and Operational Plans subject to the above comments and the following conditions:

1. The Preliminary Site and Operational Plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans

shall be prepared and reviewed. **The following changes shall be made to the plans and one (1) revised paper copy and one electronic copy of the Preliminary Site and Operational Plans shall be submitted for final staff review:**

- a. Staff met with the Nexus team for an initial review of building materials and building colors. Revised building materials are forthcoming for Village review. Prior to issuance of permits for the building shell to colors shall be reviewed and approved.
 - b. The masonry screen wall shall have a stone cap and shall provide more architectural detailing. The screen wall shall be tall enough to screen all transformers, mechanical units, piping, generators and other appurtenances from view as it is located in the front of the building.
 - c. Review access to water/pump room. It appears that the closest door access is behind utility pad enclosure and only door access to enclosure is at north or at building door access south. Contact Fire Chief directly to clarify and revised plans if required.
 - d. The sidewalk adjacent to the building shall be provided with curbing adjacent to parking lot.
 - e. Additional signage landscaping and parking lot lighting plans comments are forthcoming with the Final Site and Operational Plans submittal. See comments below.
 - f. The Prairie Highlands Owner's Association shall review and approve of the plans. Any of the PHCP Association changes shall be incorporated into the plans.
4. **Upon approval of the revised Preliminary Site and Operational Plans, and prior to the issuance of the required building/zoning permit for the building shell the following shall be submitted (1 paper copy and a pdf copy):**
- a. A copy of the Prairie Highlands Owners' Association approval letter.
 - b. The Commercial Building/Zoning Permit application (with the State approved plans and letter).
5. **Upon satisfaction of the above conditions and prior to work commencing on the site a preconstruction meeting shall be scheduled (coordinate date and time with Jean Werbie-Harris when the permit applications noted above are submitted). The purpose of the preconstruction meeting is to discuss the construction, site logistics, schedule, inspection process and requirements in detail with the owner, engineer, general contractor and the staff inspectors. The Design Engineer of Record shall coordinate, moderate and prepare minutes of the pre-construction meeting at the Village Hall (lower level auditorium). The Developer's Design Engineer of Record is responsible for the following for the Pre-Con Meeting:**
- a. Attendance required at Preconstruction meeting - Developer/Design Engineer shall invite and attendance is required for the following people at the pre-con meeting – Owner, Design Engineer of Record, Project Superintendent for this project, Building and Utility Contractors, and other trades as applicable.
 - b. Pre-construction agenda - A sample agenda in word format will be provided by the Village staff to the Design Engineer for editing for the meeting. The Design Engineer shall tailor the agenda to the project and provide copies for all

attendees. (Pre-con minutes shall be emailed by Design Engineer back to all attendees within 7 days of meeting).

- c. Updated Project construction schedule – 11” by 17” must be of readable size. Provide copy for all attendees.
 - d. Provide the revised trailer location/logistics plan as recently approved by Village staff for all attendees.
 - e. Final set of approved plans – bring 1 full size set and 16 reduced size sets for attendees for discussion purposes.
 - f. Attendee sign in sheet – circulate at meeting.
 - g. List of emergency contact information and business cards – Owner, Design Engineer of Record, Project Superintendent for this project, Site Excavator, Underground Utilities Contractor, and General Contractor.
 - h. Bring enough copies of all materials for all attendees.
6. **Following the pre-construction meeting all necessary permits and fees shall be paid for and permits obtained from Village Building Inspection Department and construction may commence.**
7. Prior to issuance of the interior build out Final Site and Operational Plans shall be submitted to the Village for Plan Commission review and approval. This plan shall include full civils, building shell and final signage, landscaping and lighting plans
- a. The following comments relate to the signage plan:
 - i. A detailed sign plan shall be submitted that indicates locations and dimensioned drawings of all proposed exterior signs. All signs shall comply with the requirements of Article X of the Village Zoning Ordinance.
 - ii. Verify direction placement of monument sign. It may provide greater visibility if placement perpendicular to 104th Street or at a diagonal to the adjacent intersection.
 - iii. All on site-directional and informational signage (including handicapped signage, no parking, fire lane, stop signs and other such signage) shall have bronze/black poles with caps. (Note on the plans sheets).
 - iv. All bollards shall be painted or sleeved to compliment the building. They are not required to be painted yellow. (Note on the plans sheets).
 - v. Each handicapped accessible parking space shall be appropriately signed (locations to be reviewed by Village) and painted on the pavement pursuant to ADA requirements prior to occupancy of the site.
 - b. The following comments relate to the lighting plan:
 - i. A detailed lighting plan with specifications and a photometric plan is required. Details including pictures of all exterior lighting is required on the plans.
 - ii. The concrete bases of the light standards shall not exceed 12 inches above grade in the passenger vehicle parking area and shall not exceed 36 inches above grade in the truck court area. All concrete, unpainted light pole bases shall be placed within landscaped areas or parking lot islands.

- iii. Exterior lights shall not be turned up/facing or glare onto adjacent roadways or properties to cause a nuisance.
- iv. All exterior lights shall be installed with the same color and temperature.

8. **Other Comments:**

- a. Impact fees shall be paid prior to issuance of the building permit pursuant to Chapter 181 of the Village Code (Based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
- b. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be allowed from Monday through Friday from 7:00 a.m. to 10:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m.
- c. There shall be no construction vehicle parking or equipment storage permitted on 128th Avenue or 104th Street. On-site (off-street) parking areas shall be designated to accommodate all construction related workers and site visitors.
- d. Each business is required to obtain an annual Village Business License. The application has been filed with the Village. This business license certificate shall be issued at time of occupancy and shall be renewed annually by the tenant.
- e. Prior to verbal occupancy, all required landscaping, fencing and screening for the development shall be installed. A written letter of verification and certification shall be provided to the Village by the landscape installer that all landscaping has been installed in accordance with the approved landscape plan. However, if cold weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village a cash deposit, a letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
- f. Prior to verbal occupancy, all monument and building signage shall be installed and inspected. All signs shall comply with Article X of Chapter 420 of the Village Zoning Ordinance. Note based on the size of the building, 600 square feet of advertising wall signage is allowed. A written letter of verification and certification shall be provided to the Village by the signage installer that all monument sign, directional and building signage has been installed in accordance with the approved signage plan.
- g. Prior to verbal occupancy all entrances and exits shall be numbered on the exterior and interior beginning at the main entrance and moving clockwise around the building. Numbers should be of a reflective material and must be visible from the farthest point of the adjacent parking lot. The numbers shall be placed in the same location of each door.

- h. Prior to verbal occupancy, each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements prior to occupancy of any development site.
- i. Prior to verbal occupancy, one (1) electronic copy of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- j. Prior to occupancy, one (1) electronic copy of the as-built record drawings of all graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village in order for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
- k. This development shall be in compliance with the Village Land Division and Development Control Ordinance, Village Municipal and Zoning Codes, Village Construction Site Maintenance and Erosion Control Ordinance, Kenosha County Ordinances and the State of Wisconsin Statutes.
- l. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
- m. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- n. Outdoor storage of raw materials, finished goods or racking (pallet storage) is prohibited. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited.
- o. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles.
- p. No trucks, trailers or cars shall be parked on the premises in a manner that would constitute commercial advertising for the tenant or any other business on the property.
- q. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
- r. No truck or automobile parking is permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
- s. All Village fees incurred by the Village Community Development, Public Works and Engineering Departments and/or expert assistant required by the Village throughout the development process (until written occupancy on every building) will be billed directly to the Developer. Such fees shall be paid in a timely manner.



SITE AND OPERATIONAL PLAN APPLICATION/ZONING PERMIT

For all applications that require Village Plan Commission Approval

APPROVAL REQUESTED	TYPE OF WORK
<input type="checkbox"/> Final Site and Operational Plan <input type="checkbox"/> Final Site and Operational Plan/Conditional Use Permit <input type="checkbox"/> Preliminary Site and Operational Plan <input checked="" type="checkbox"/> Preliminary Site and Operational Plan/ Building Shell <input type="checkbox"/> Digital Security Imaging System (DSIS Agreement and Easement)	<input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Building Alteration <input type="checkbox"/> New Tenant

Name of Business: Nexus Pharmaceuticals, Inc.

Site Address: 10300 28th Avenue, Pleasant Prairie, WI 53158 Suite #: NA

Tax Parcel Number: Part of 9141212440603

Zoning District(s): M-5

Name of Development: Prairie Highlands Corporate Park

Estimated Date of Occupancy: 12/31/2020

Detailed Description of the Proposed Project and Use:

This is the second Site and Operational Plan Application/ Zoning Permit for the new Nexus Pharmaceuticals facility. The initial Preliminary Site and Operational Plan Application/ Zoning Permit was focused around grading, underground utilities and footers and foundations and was dated July 3, 2019. This application is for the building shell. It comprises of the civil site drawings, landscaping drawings, architectural design of the building exterior, architectural interior floor layouts, structural design including steel and cement.

Detailed Description of Company:

Nexus Pharmaceuticals, a privately held, U.S.- based healthcare company, specializes in innovative processes to make difficult- to- manufacture speciality and generic drugs. Nexus ensure that its high- quality FDA- approved pharmaceutical drugs fulfill a critical unmet medical need and delivers dependable life- saving treatment options when and where they are needed most.

Nexus was founded in 2003 and initially operated as a virtual company. As the company grew more functionality was subsequently brought in- house and in 2018 the company relocated its headquarters and laboratories to a newly- renovated facility in Lincolnshire, IL. At this time all Product Development, Quality Control, Quality Assurance, Regulatory Compliance and some business functions are carried out at the Lincolnshire location.

Select One Option

- Relocation of Business from _____
- New Location for Business in Pleasant Prairie
- Expansion/Change to Existing Business in Pleasant Prairie
- New Start Up Business

SITE AND BUILDING INFORMATION

Lot Area: 696,960 sq. ft. Lot Area: 16 ac.
Building Area: 84,540 sq. ft. Building Height: 56 ft.
Tenant Area: 84,540 sq.ft.
Addition Area: NA sq. ft. Addition Height: NA ft.
Total Impervious Surface Area: 148,055 sq. ft.
Total Landscape Area: 548,905 sq.ft. Site % of Open Space 78.70 %

ON-SITE PARKING/TRAFFIC INFORMATION

Total # of parking spaces (on-site): 100
Total # of regular parking spaces (on-site): 95
Total # of handicapped accessible spaces (on-site): 5
Total # of truck parking spaces (on-site): 4
Total # of dock doors: 3
Anticipated automobile trips to and from the site (excluding trucks):
Number of daily average trips: 100 Maximum number of daily trips: 140
Anticipated truck trips to and from the site:
Number of daily average trips: 3 Maximum number of daily trips: 5

OPERATIONAL INFORMATION

Hours (Open to the public): Not open to the public
Delivery hours: 8:00 am through 4:00 pm

EMPLOYMENT INFORMATION

Proposed total number of full-time employees: 70 for first phase operations
Proposed total number of part-time employees: 5 for first phase operations
Number of shifts: 3
Total of number of employees per shift: 1st 50, 2nd 20, 3rd 5
Largest number of employees on site at any one time: 75

PUBLIC FACILITIES INFORMATION

Check all that apply:

- The property is serviced by Public Sanitary Sewer
- The property is serviced by Public Water
- The building is serviced by fire sprinklers

Maximum number of gallons/minute of water expected to be used per day is: NMT 100 gpm peak demand

If property is zoned M-1, M-2 or M-5 then the following shall be completed:

Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associate square footage for each classification:

- | | | | |
|-------------------------------------|-------------------------------------|--------|---------|
| <input checked="" type="checkbox"/> | Factory Group F-1 (Moderate-hazard) | 56,588 | sq. ft. |
| <input type="checkbox"/> | Factory Group F-2 (Low-hazard) | | sq. ft. |
| <input checked="" type="checkbox"/> | Storage Group S-1 (Moderate-hazard) | 12,547 | sq. ft. |
| <input type="checkbox"/> | Storage Group S-2 (Low-hazard) | | sq. ft. |
| <input checked="" type="checkbox"/> | Business Group B | 15,402 | sq. ft. |
| <input type="checkbox"/> | High-Hazard Group H | | sq. ft. |
| <input type="checkbox"/> | Other _____ | | sq. ft. |

Types and quantities of goods and materials to be made, used or stored on site:

Nexus Pharmaceuticals will manufacture sterile injectable, pharmaceutical products which will be used in various medical applications (e.g. cardiology, oncology, etc.). The products will be produced (i.e. formulated) and filled in a liquid state with some products undergoing lyophilization to provide a long-term stable application as a freeze-dried product. Overall annual production volumes are projected to be in the range of 10 million vials per year for the first phase facility depending on business needs, however, plant capacity can be increased with adjustments to the operating plan.

Types of equipment or machinery to be used on site:

Nexus will use pharmaceutical grade equipment in the formulation, filling, lyophilization and capping processes. The core equipment associated with the manufacturing process includes vial washers, hot air tunnels, vial filling lines with isolators technology, lyophilizers (i.e. freeze dryers) and cappers. Steam autoclaves will be used to sterilize equipment and components as well as certain liquid finished products. All equipment and utilities required to produce the finished product will meet regulatory requirements relative to standards and quality.

Types and quantities of solid or liquid waste material which require disposal:

The bulk of the solid waste material will be cardboard from incoming shipments of components used in the manufacturing process. A compactor will be used to bale the cardboard. It is expected that Nexus will produce on average one bale of cardboard per day. Additional solid waste material related to the manufacturing process would include any unused glass vials and rubber stoppers. These quantities are typically minimal (i.e. <1000 pieces per batch of each component). Other unused components from the filling process which would require disposal would include small amounts of disposable tubing, bags and filters associated with the manufacturing of each batch.

Method of handling, storing and disposing of solid or liquid waste materials:

Janitorial staff is intended to be a mix of Nexus and contracted personnel. Normal trash will be disposed of by contracting with a waste services company. Recycling of appropriate materials will be employed to minimize the trash volume going to landfill. Many of the processing steps involve the use of clean water which if not recycled in another process, will be discharged to the sanitary sewer. Some process steps may generate small liquid streams that will require pH adjustment prior to discharge. Small quantities of laboratory chemical wastes or certain product waste (liquid or solid) will be disposed of through a vendor licensed to handle these wastes.

Methods of providing site and building security other than the Village Police Department:

The building will be equipped with doors controlled by electronic badge readers to ensure only authorized employees enter. A receptionist/ security station at the lobby will allow for visitor and delivery access control. Security officers will be contract personnel. Additional security measures will be employed to comply with DEA requirements necessary due to the handling of small quantities of schedule drugs on site. Measures include locked storage vaults, security cameras and access being restricted to a limited number of authorized employees.

Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well-cared-for and attractive condition:

Nexus, being regulated by the FDA, and subject to cGMP regulations, will employ maintenance strategies to assure our products are safe, effective and pure. All buildings, structures, site improvements and processes will be structurally sound, neat, well-cared for and aesthetically attractive. Nexus will employ highly skilled maintenance personnel to maintain our internal processes, and use of mix of Nexus and contracted resources for things such as exterior building maintenance, landscaping, parking lots, etc.

Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts:

Nexus does not anticipate any potential adverse impacts to neighboring properties or public facilities. Nexus intends to be a valued and respected business in the Prairie Highlands Park.

A list of all local, Kenosha County (highway access, health department), State and Federal permits or approvals required for the project: (Provide copies of such permits and approvals).

Kenosha County - Temporary Access and Permanent Access Permit
WNDR- WRAPP/NOI
DSPS- Underground Plumbing Permit
DSPS- Early Footings and Foundation Permit

PLANS AND OTHER ATTACHMENTS

Attached to this application include three (3) full size plans and a PDF pursuant to Section 420-57 of the Village Zoning Ordinance entitled "Plan Components and Related Standards":

- Title Sheet
- Survey
- Site Plan
- Grading and Drainage Plan
- Building and Fire Protection Plans
- Lighting Plan (including photometric plan)
- Landscape and Open Space Plan
- Signage Plan
- Industrial Waste Survey
- Required Application Fee and Pre-Development Agreement


The Village may require additional information be submitted to ensure that all Village requirements and ordinances are being met.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan, unless such information is waived or deferred pursuant to the Section 420-57 of the Village Zoning Ordinance.

I (We), hereby certify that all the above statements and all attachments submitted with this application are true and correct to the best of my knowledge, and I (We) further understand that the following shall apply:

1. No use shall be conducted in such a way as to constitute a public or private nuisance.
2. No use shall be conducted in such a way as to violate any of the performance standards set out in §420-38 of the Village Zoning Ordinance.
3. No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.
4. All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well-cared-for and attractive condition.
5. No use shall create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

PROPERTY OWNER:

Print Name: John Cook
Signature: 
Address: 400 Knightsbridge Parkway
Lincolnshire IL 60069
(City) (State) (Zip)
Phone: 847-996-3790
Fax: _____
Email: jcook@nexuspharma.net
Date: 09/30/2019

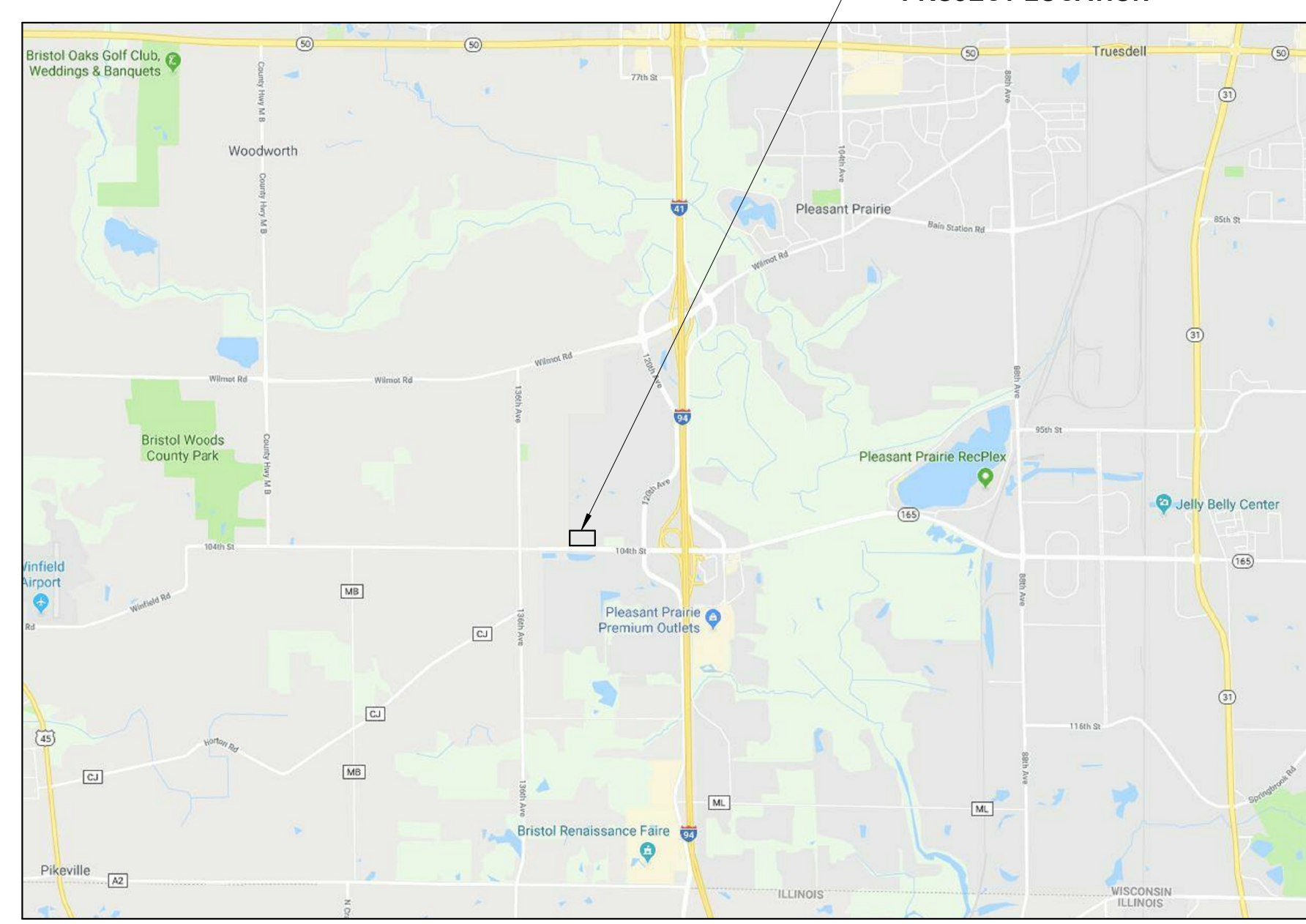
APPLICANT/AGENT:

Print Name: Karl Music
Signature: 
Address: 13200 Metcalf Avenue
Kansas City MO 64105
(City) (State) (Zip)
Phone: 913-345-9084; ext. 5222
Fax: _____
Email: kmusic@ipsdb.com
Date: 09/30/2019

TENANT CONTACT:

Print Name: See above.
Signature: _____
Address: _____
(City) (State) (Zip)
Phone: _____
Fax: _____
Email: _____
Date: _____

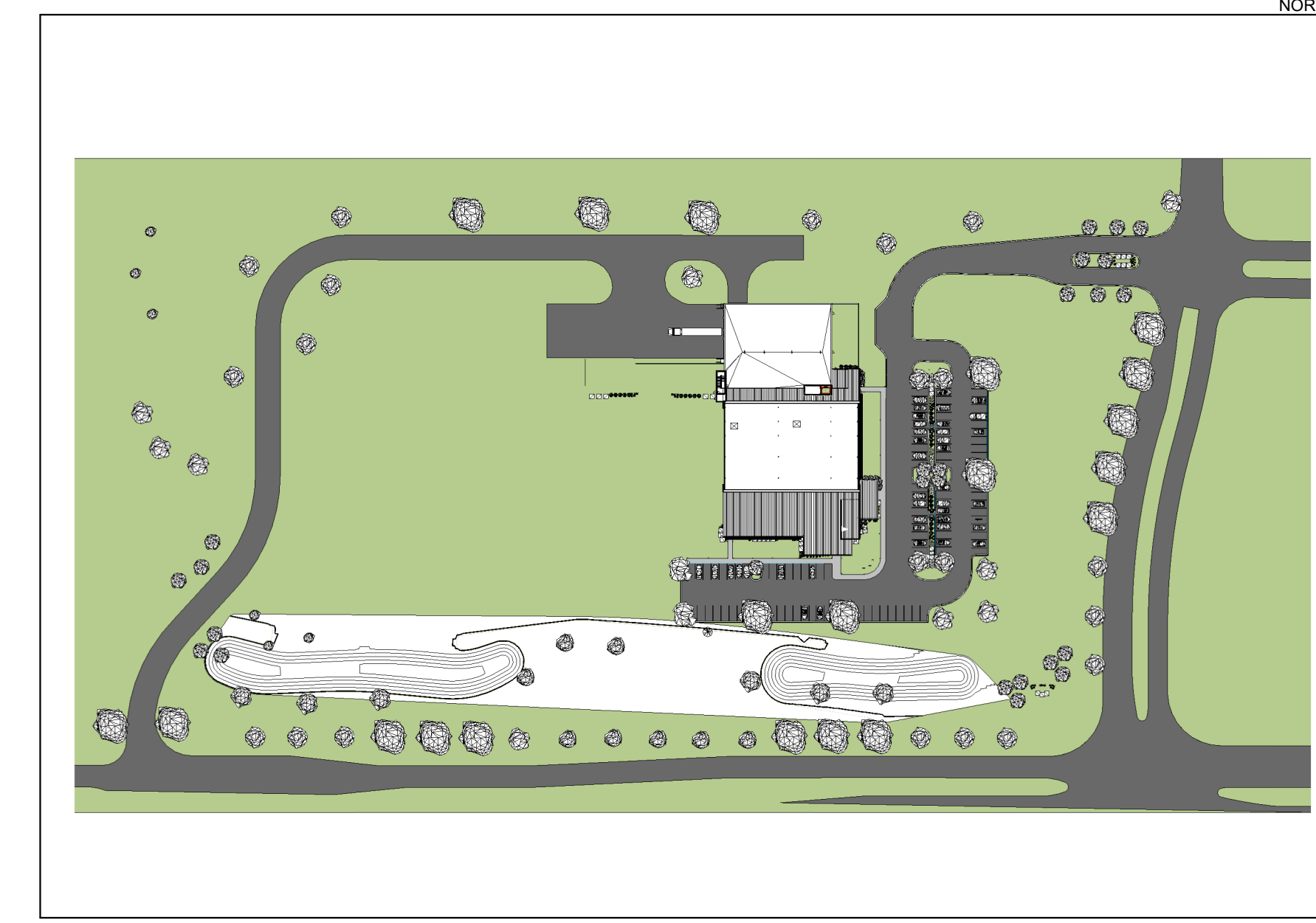
VICINITY MAP



NEW ASEPTIC FACILITY

PLEASANT PRAIRIE, WI

SITE DIAGRAM



ips
Integrated Project Services
 Engineering Design/Build Compliance Consulting
 13200 Metcalf Ave, Suite 400
 Overland Park, KS 66213
 PHONE: (913) 345-9084
 www.ipsdb.com
 IPS Professional Engineers and Architects, P.C.

REVISION	DATE	DESCRIPTION	BY
A	03-JUL-2019	OPERATIONS PLAN ISSUE	GAH
B	12-JUL-2019	BOB DRAFT ISSUE	GAH
C	26-JUL-2019	FOOTING / FOUNDATION PERMIT ISSUE	TA
D	30-AUG-2019	60% OWNER REVIEW ISSUE	NAD
E	27-SEP-2019	REVISED 60% OWNER REVIEW ISSUE	NAD

Pinnacle Engineering Group
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 PLAN | DESIGN | DELIVER
WISCONSIN OFFICE:
 15850 W. BLUEMOUND ROAD
 BROOKFIELD, WI 53005
 (262) 754-8888
 CHICAGO | MILWAUKEE : NATIONWIDE

PE
PIERCE ENGINEERS, INC.
 CONSULTING STRUCTURAL ENGINEERS
 181 N BROADWAY, MILWAUKEE, WI 53202
 PHONE: 414.278.6000 | FAX: 414.278.6001



KEY PLAN

SCALE

1" = 1'-0" 3/8" = 1'-0" 3" = 1'-0"
 3/16" = 1'-0" 1/2" = 1'-0" 1/8" = 1'-0"
 1 1/2" = 1'-0" 3/32" = 1'-0" 1/4" = 1'-0"
 3/4" = 1'-0" 3" = 1'-0"

CONFIDENTIAL
 THE INFORMATION CONTAINED HEREIN MAY NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT WRITTEN PERMISSION OF INTEGRATED PROJECT SERVICES.

CLIENT

NEXUS PHARMACEUTICALS
 PLEASANT PRAIRIE, WI
NEW ASEPTIC FACILITY

DRAWING TITLE

COVER SHEET

ENGINEER	ARCHITECT	DESIGNER	IPS PROJECT #
-	SRF	NAD	KSD19036.01
DRAWN BY	REVIEWED BY	SCALE	CADD FILE NAME
FO	TA	NONE	

XREF FILE(S)	DRAWING NUMBER
	A0.00

SEAL

DATE: _____

PRELIMINARY NOT FOR CONSTRUCTION



Integrated Project Services
Engineering
Design/Build
Compliance
Consulting

13200 Metcalf Ave., Suite 400
Overland Park, KS 66213
PHONE: (913) 345-9084

www.ipsdb.com

IPS Professional Engineers and Architects, P.C.

REVISION	DATE	DESCRIPTION	BY
A	03-JUL-2019	OPERATIONS PLAN ISSUE	GAH
B	12-JUL-2019	BOD DRAFT ISSUE	GAH
C	30-AUG-2019	80% OWNER REVIEW ISSUE	NAD
D	27-SEP-2019	REVISED 80% OWNER REVIEW ISSUE	NAD

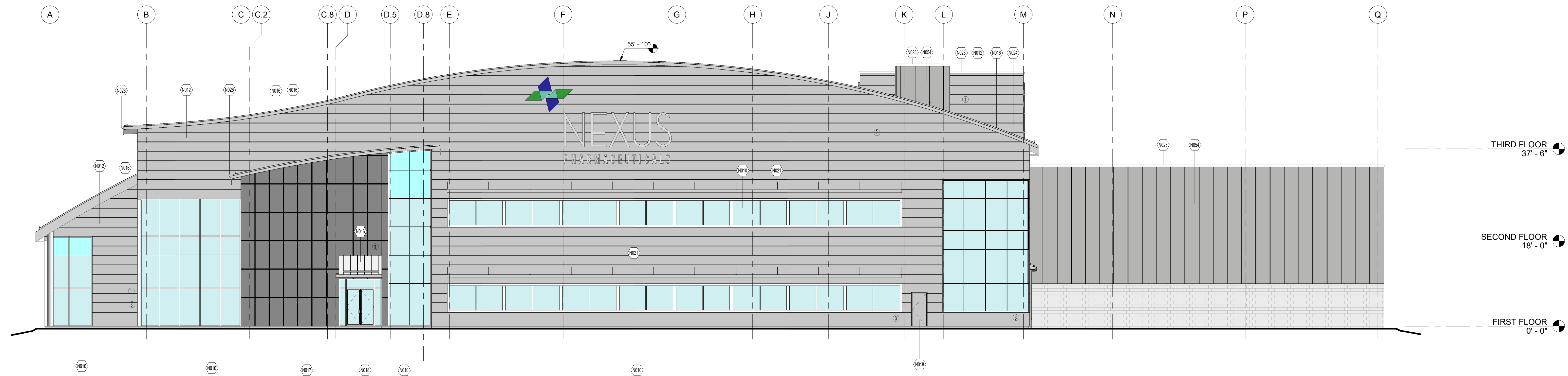


WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888

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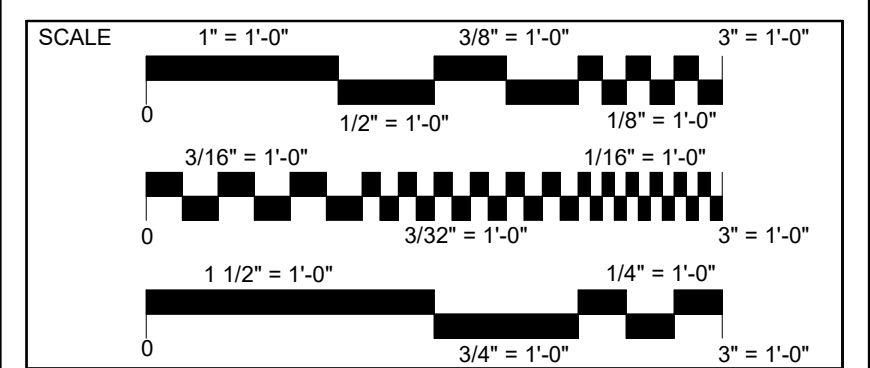
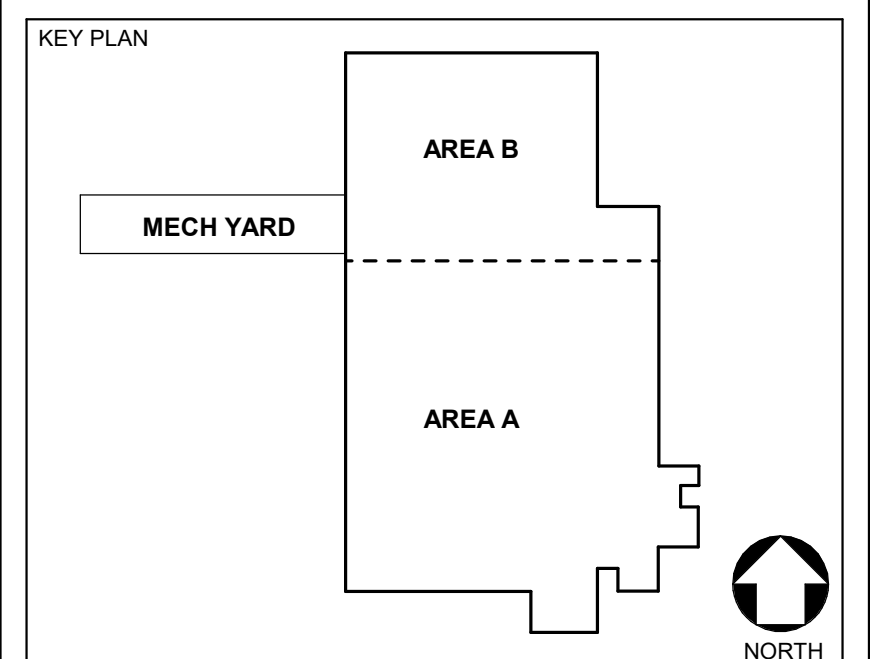
PIERCE ENGINEERS, INC.
CONSULTING STRUCTURAL ENGINEERS
181 N. BROADWAY, MILWAUKEE, WI 53202
PHONE: 414.278.6000 FAX: 414.278.6001



1 BUILDING ELEVATION - EAST
A5.01 1" = 10'-0"

NEW WORK SHEET NOTES

- N10 SILICONE GLAZED CURTAIN WALL SYSTEM
- N12 HORIZONTAL INSULATED METAL PANEL
- N13 METAL KNOCK-OUT PANEL
- N14 METAL PERFORATED EQUIPMENT SCREEN
- N16 STANDING SEAM METAL ROOF
- N17 PRECAST CONCRETE VENEER PANEL
- N18 ALUMINUM DOOR
- N21 METAL SUN SCREEN
- N23 PREFINISHED METAL COPING
- N24 PREFINISHED METAL FASCIA
- N26 GUTTER
- N28 LOUVER
- N35 NITROGEN TANK
- N48 ROLL-UP DOOR
- N49 GALVANIZED STRUCTURE MEMBERS AT INTERIOR SIDE OF LOUVERS
- N54 VERTICAL INSULATED METAL PANEL



METAL PANEL COLOR LEGEND

- ① COLOR MP-1
 - ② COLOR MP-2
 - ③ COLOR MP-3
- NOTE: REFER TO SPECIFICATIONS FOR ACTUAL COLORS.

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CLIENT

NEW ASEPTIC FACILITY

DRAWING TITLE

EXTERIOR ELEVATIONS

ENGINEER	ARCHITECT	DESIGNER	IPS PROJECT #
-	SRF	ALJ	KSD19036.01
DRAWN BY	REVIEWED BY	SCALE	CADD FILE NAME
MZ	TA	AS NOTED	

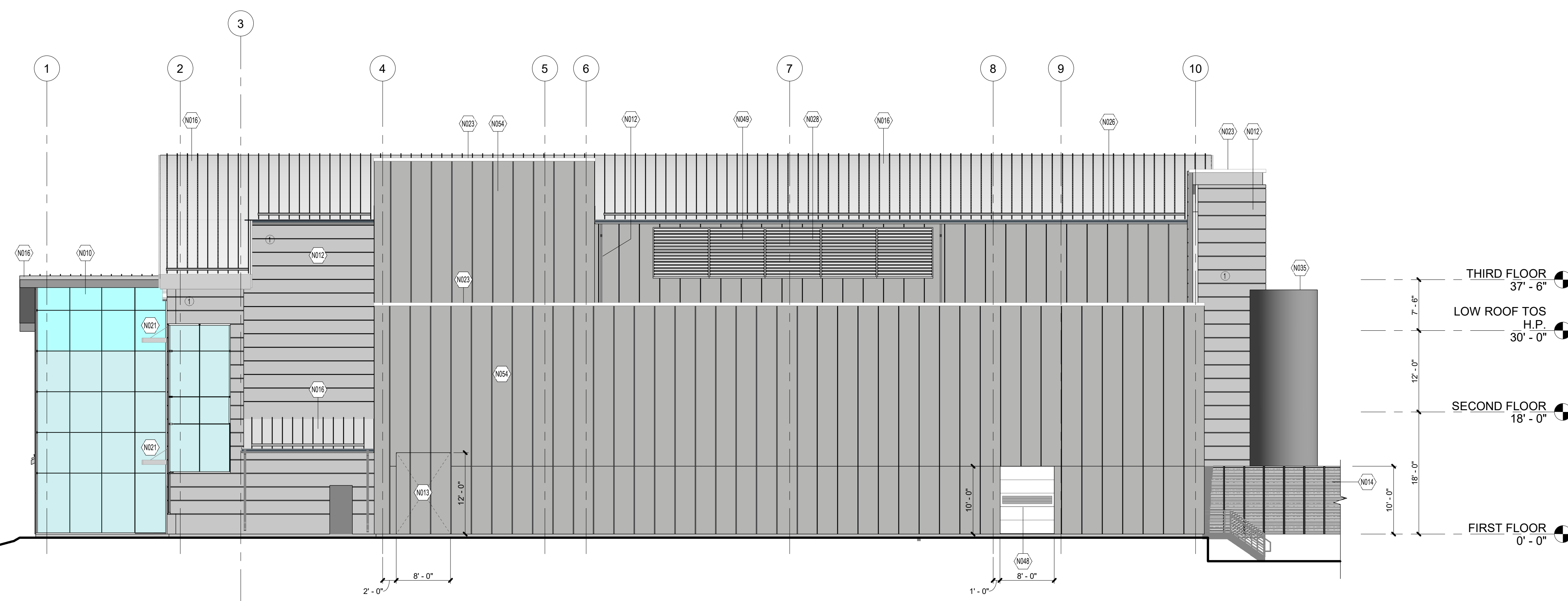
XREF FILE(S) DRAWING NUMBER

A5.01

PRELIMINARY NOT FOR CONSTRUCTION

SEAL

DATE: _____



2 BUILDING ELEVATION - NORTH
A5.01 1" = 10'-0"

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Integrated Project Services
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Design/Build
Compliance
Consulting

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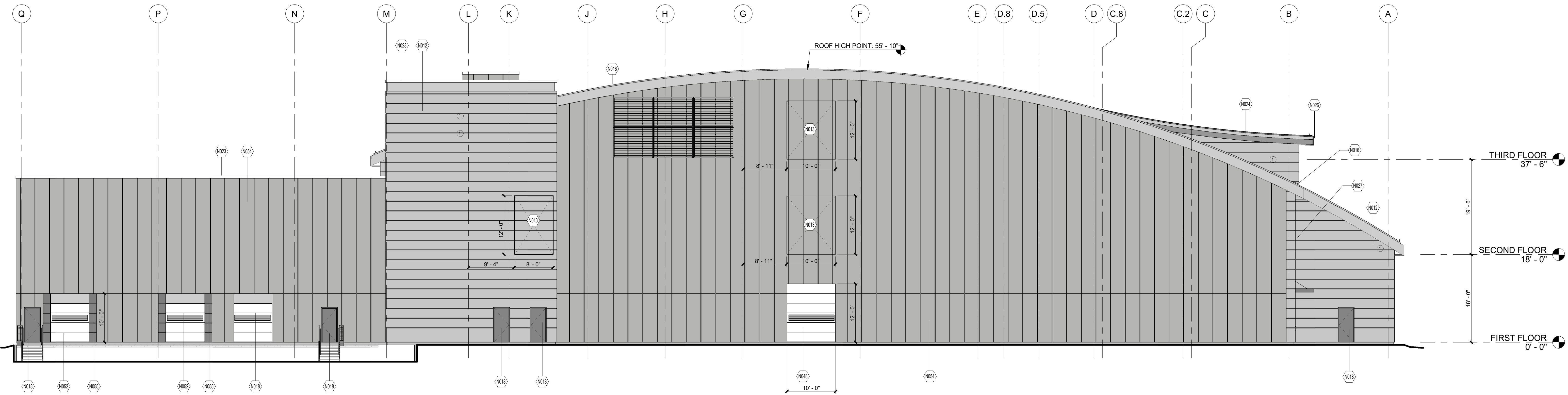
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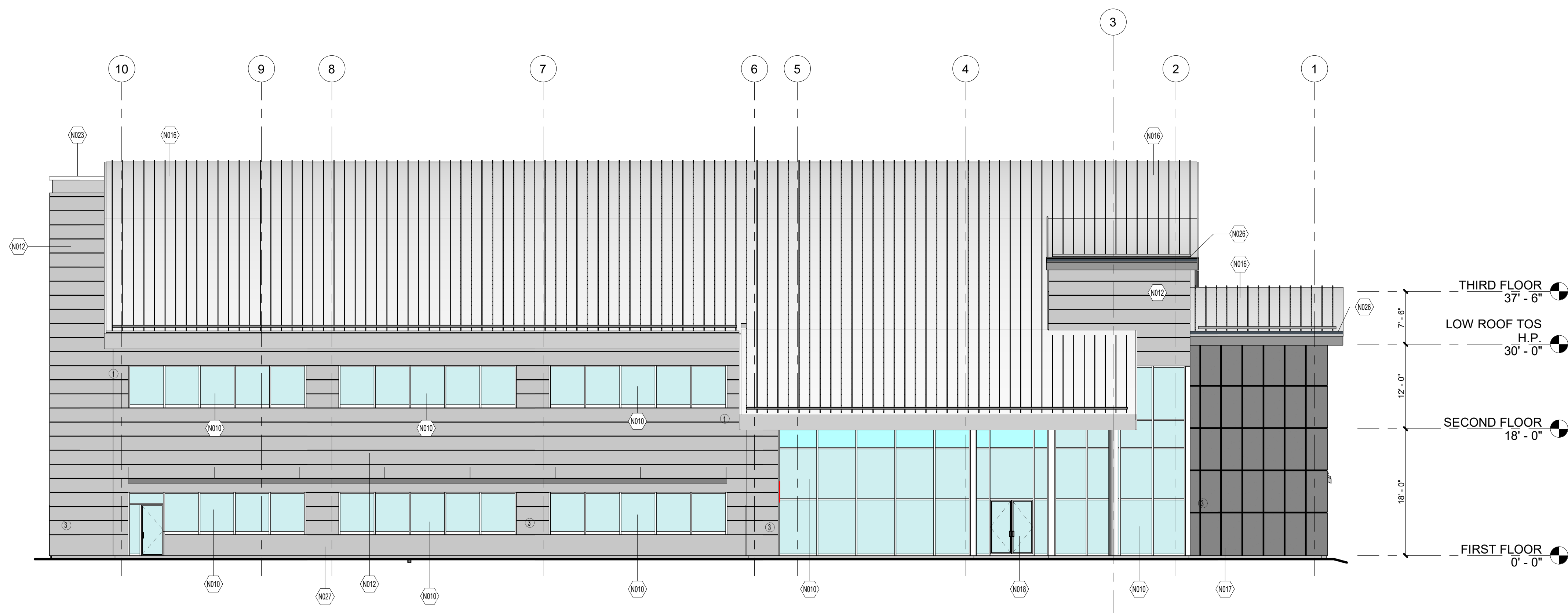
WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE



PIERCE ENGINEERS, INC.
CONSULTING STRUCTURAL ENGINEERS
181 N BROADWAY, MILWAUKEE, WI 53202
PHONE: 414.278.6000 FAX: 414.278.6001



1 BUILDING ELEVATION - WEST
A5.02 1" = 10'-0"



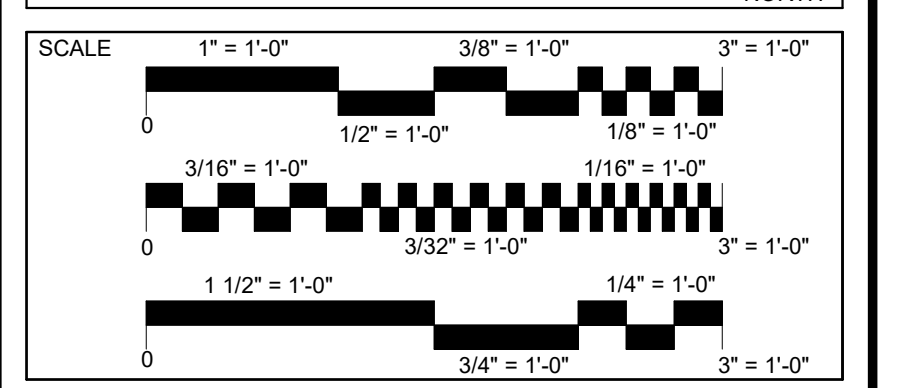
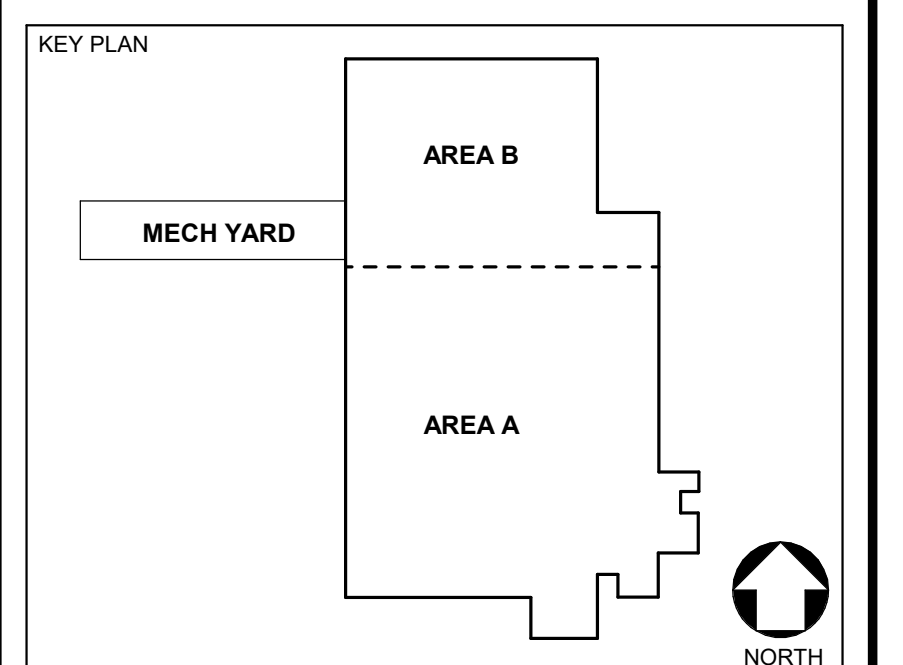
2 BUILDING ELEVATION - SOUTH
A5.02 1" = 10'-0"

NEW WORK SHEET NOTES

- N010 SILICONE GLAZED CURTAIN WALL SYSTEM
- N012 HORIZONTAL INSULATED METAL PANEL
- N013 METAL KNOCK-OUT PANEL
- N016 STANDING SEAM METAL ROOF
- N017 PRECAST CONCRETE VENEER PANEL
- N018 ALUMINUM DOOR
- N023 PREFINISHED METAL COPING
- N024 PREFINISHED METAL FASCIA
- N026 GUTTER
- N027 DOWNSPOUT
- N048 ROLL-UP DOOR
- N052 VERTICAL RISE DOCK DOOR
- N054 VERTICAL INSULATED METAL PANEL
- N055 DOCK SEAL

METAL PANEL COLOR LEGEND

- (1) COLOR MP-1
 - (2) COLOR MP-2
 - (3) COLOR MP-3
- NOTE: REFER TO SPECIFICATIONS FOR ACTUAL COLORS.



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CLIENT

NEW ASEPTIC FACILITY

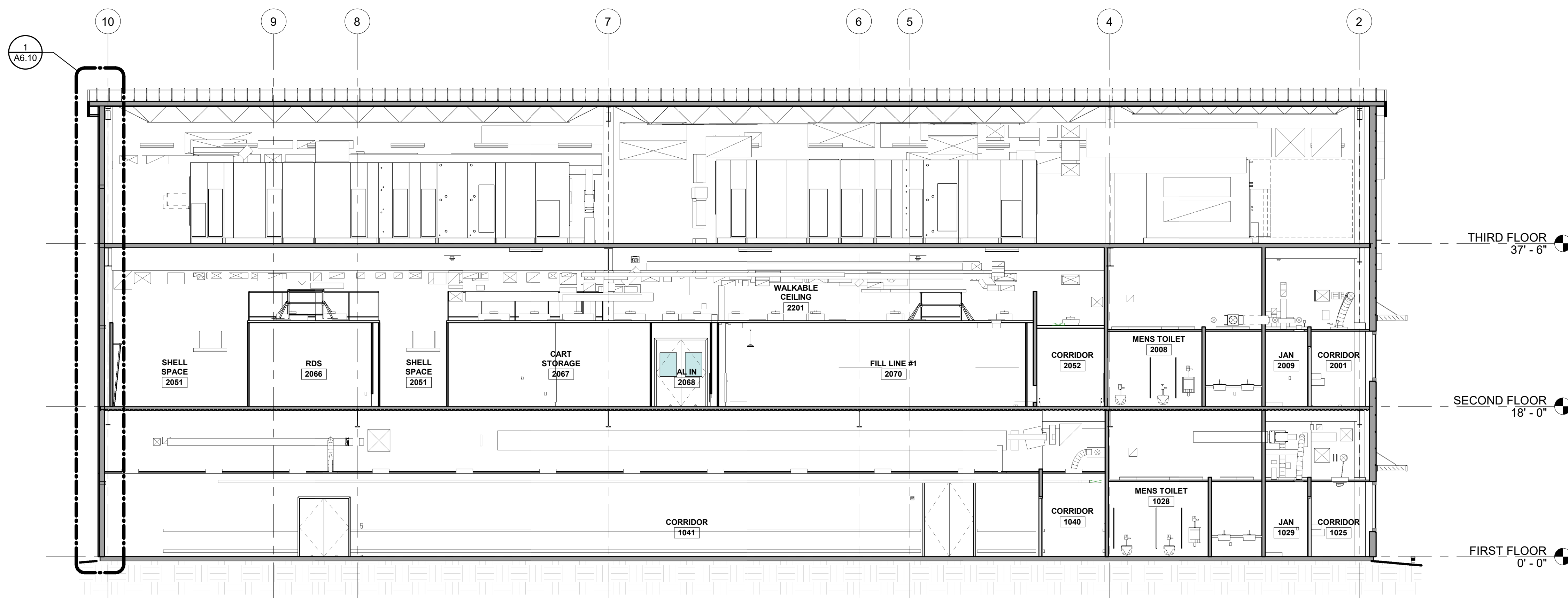
DRAWING TITLE
EXTERIOR ELEVATIONS

ENGINEER	ARCHITECT	DESIGNER	IPS PROJECT #
-	SRF	ALJ	KSD19036.01
DRAWN BY	REVIEWED BY	SCALE	CADD FILE NAME
MZ	TA	AS NOTED	

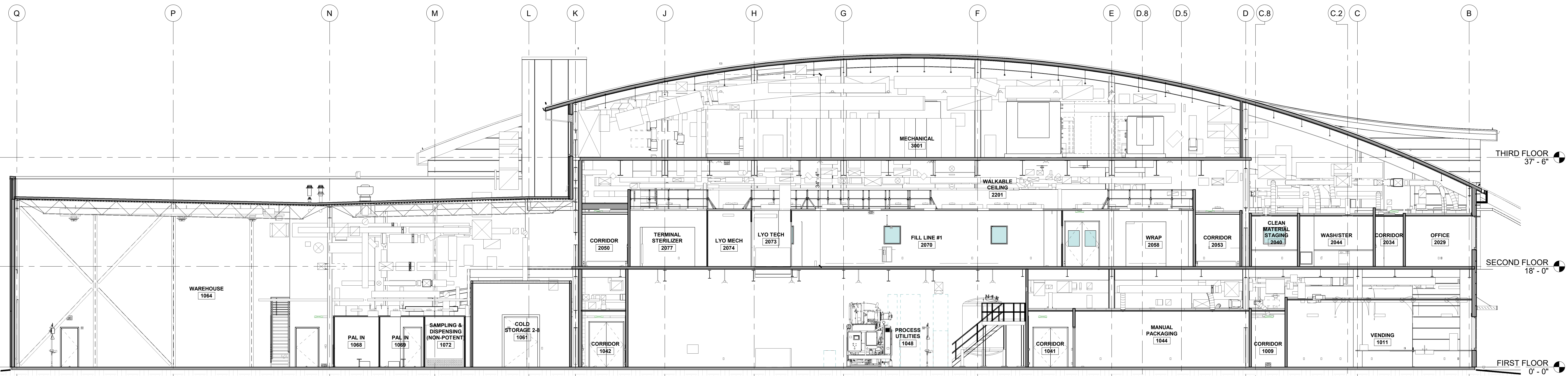
XREF FILE(S)	DRAWING NUMBER
	A5.02

SEAL
DATE: _____

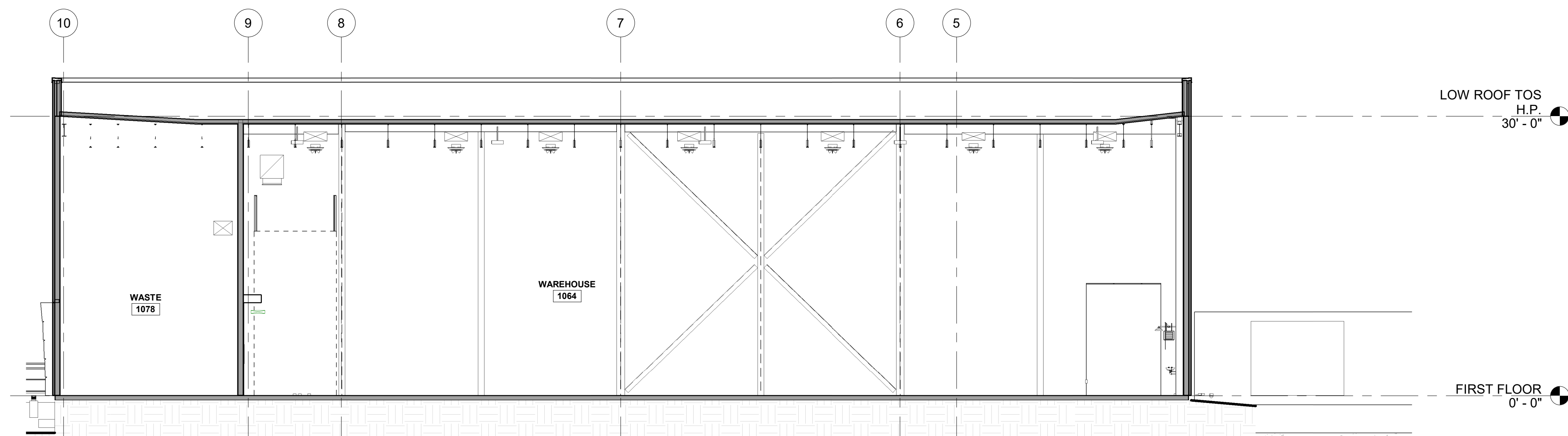
PRELIMINARY NOT FOR CONSTRUCTION



1 BUILDING SECTION
A6.01 1/8" = 1'-0"



2 BUILDING SECTION
A6.01 1/8" = 1'-0"



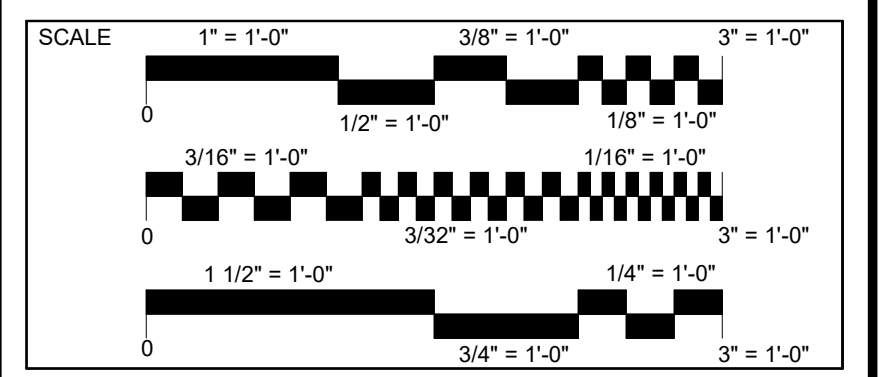
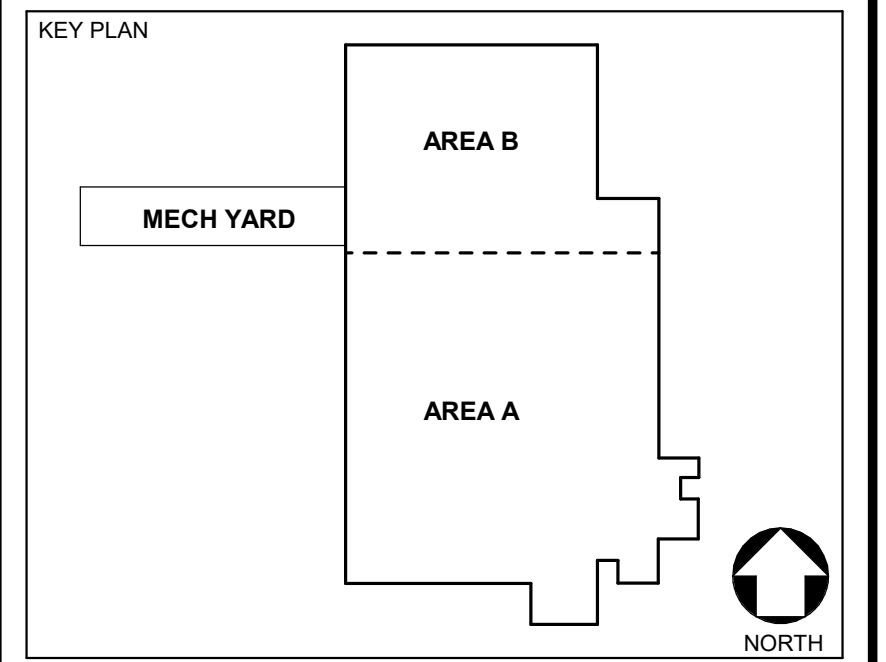
3 BUILDING SECTION
A6.01 1/8" = 1'-0"

ips
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IPS Professional Engineers and Architects, P.C.

REVISION	DATE	BY	DESCRIPTION
A	12-JUL-2019	BOO	DRAFT ISSUE
B	30-AUG-2019	NAD	60% OWNER REVIEW ISSUE
C	27-SEP-2019	NAD	REVISED 60% OWNER REVIEW ISSUE

Pinnacle Engineering Group
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PLAN | DESIGN | DELIVER
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CLIENT
NEXUS
PHARMACEUTICALS
PLEASANT PRAIRIE, WI
NEW ASEPTIC FACILITY

DRAWING TITLE
BUILDING SECTION

ENGINEER	ARCHITECT	DESIGNER	IPS PROJECT #
-	SRF	NAD	KSD19036.01
DRAWN BY	REVIEWED BY	SCALE	CADD FILE NAME
FO	TA	AS NOTED	

XREF FILE(S)	DRAWING NUMBER
	A6.01

PRELIMINARY NOT FOR CONSTRUCTION

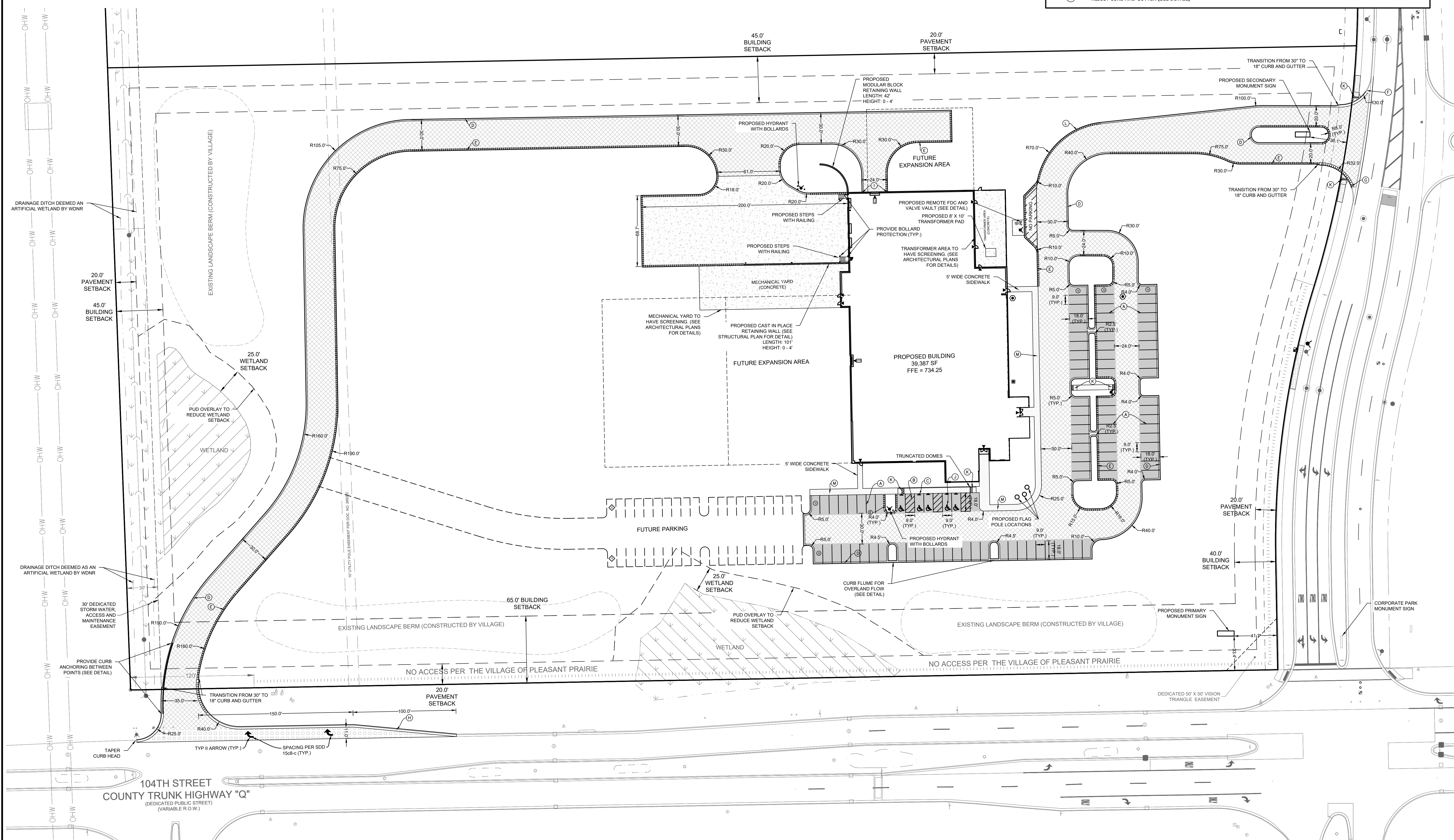
SEAL
DATE:

C:\Users\llorenz\Documents\Revit\1918036_ARCH_Nexus_F02em.rvt 9/27/2019 4:11:33 PM

SITE DATA	
SITE AREA:	16 AC
BUILDING AREA:	0.90 AC
PROPOSED CAR PARKING SPACES:	100 SPACES (5 A.D.A.)
GRASS AREA:	12.67 AC
TOTAL IMPERVIOUS AREA:	3.33 AC
GREEN SPACE (%):	79.19%

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

LEGEND	
	LIGHT DUTY PAVEMENT - 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 4" ASPHALTIC CONG. (2 LIFTS) - 2" LOWER LAYER (3 LT 58-28.5) - 2" UPPER LAYER (3 LT 58-28.5)
	HEAVY DUTY PAVEMENT - 10" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 4" ASPHALTIC CONG. (2 LIFTS) - 2" LOWER LAYER (3 LT 58-28.5) - 2" UPPER LAYER (3 LT 58-28.5)
	CONCRETE PAVEMENT (TRUCK DOCK AREA) - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 6" PCC (4000 PSI AIR ENTRAINED CONCRETE WITH #4@48 GAUGE STEEL MESH)
	ON SITE CONCRETE SIDEWALK (SEE FURTHER DETAILS ON C-9) - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) - 5" PCC (5400 WELDED WIRE FABRIC PER RMC3 315-R2)
	HEAVY DUTY ASPHALT PAVEMENT (CNTY "Q") - 80% 100% DESIGN ON SUBGRADE - 2" 1" 6" CRUSHED AGGREGATE TB - 4" HMA PAVEMENT (2 LIFTS) - 4" LOWER LAYER - 3" 4" 58-28.5 - 2" UPPER LAYER - 4" 58-28.5
	PUBLIC CONCRETE SIDEWALK (SEE FURTHER DETAILS ON C-9) - 6" CRUSHED AGGREGATE BASE COURSE (1-1/4" DENSE GRADED LIMESTONE) AT DRIVEWAYS, 5" ELSEWHERE - 6" PCC AT DRIVEWAYS, 5" PCC ELSEWHERE
	4" SOLID YELLOW STRIPE
	4" DIAGONAL AT 45° SPACED 2" O.C.
	ADA PARKING STALL SIGNAGE WITH BOLLARD
	18" CURB & GUTTER (SEE DETAIL)
	18" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
	30" CURB & GUTTER (SEE DETAIL)
	30" REVERSE PITCH CURB & GUTTER (SEE DETAIL)
	30" MOUNTABLE CURB & GUTTER, WISDOT TYPE 3 (MATCH EXISTING)(WITHIN COUNTY HWY Q R.O.W. ONLY)
	TAPER CURB HEAD (SEE DETAIL)
	ADA STALL INSIGNIA
	ADA COMPLIANT RAMP, DEPRESS AND TAPER CURB HEAD, INSTALL TRUNCATED DOMES AT SIDEWALK.
	REJECT CURB AND GUTTER (SEE DETAIL)
	THICKENED EDGE WALK (SEE DETAIL)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)
	MAN DOOR
	OVERHEAD DOOR
	REVERSE PITCH CURB & GUTTER
	STANDARD CURB & GUTTER



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REVISION	DATE	DESCRIPTION	BY
1	08/21/19	REV PER VILLAGE COMMENTS	ACT
2	08/30/19	60% Owner Review Issue	ACT
3	09/18/19	REV PER VILLAGE COMMENTS	ACT

PINNACLE ENGINEERING GROUP
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BROOKFIELD, WI 53005
(262) 754-8888
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KEY PLAN
SCALE
GRAPHICAL SCALE (FEET)
0 1" = 40' 80'

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CLIENT
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PHARMACEUTICALS
PLEASANT PRAIRIE, WI
NEW ASEPTIC FACILITY

DRAWING TITLE
SITE DIMENSIONAL AND PAVING PLAN

ENGINEER	ARCHITECT	DESIGNER	IPS PROJECT #
MTS			KSD19036.01
DRAWN BY	REVIEWED BY	SCALE	CADD FILE NAME
ACT	MTS	1" = 40'	

XREF FILE(S)	DRAWING NUMBER
	C-4

FOR CONSTRUCTION

Z:\Proj\c15\2017\897\08-MT\CADD\SHEETS\C-4 SITE DIMENSIONAL AND PAVING PLAN.dwg 9/18/19 10:51:16 PM dstrupok

**VILLAGE OF PLEASANT PRAIRIE
PLAN COMMISSION
RESOLUTION #19-15
TO INITIATE ZONING TEXT AMENDMENTS**

WHEREAS, the Plan Commission may initiate a petition for amendments of the Zoning Ordinance, which may include rezoning of property, change in Zoning District boundaries, or changes in the text of said Ordinance.

WHEREAS, the zoning fees imposed by the Village for zoning permits and applications are proposed to be amended.

NOW THEREFORE, BE IT RESOLVED, by the Village Plan Commission, as follows:

1. That the Village Plan Commission hereby initiates and petitions to amend the Village Zoning Ordinance as it relates to the zoning permit and application fees; and
2. That the proposed changes in the Zoning Text are hereby referred to the Village staff for further study and recommendation; and
3. That the Village Plan Commission is not, by this Resolution, making any determination regarding the merits of the proposed changes in the Zoning Text, but rather, is only initiating the process by which the proposed changes in the Zoning Ordinance Text can be promptly evaluated.

Adopted this 11th day of November 2019.

ATTEST:

VILLAGE OF PLEASANT PRAIRIE

Debra Skarda
Secretary

Michael J. Serpe
Plan Commission Chairman

Date Posted:

15-Zoning Fee amend