

AGENDA
VILLAGE OF PLEASANT PRAIRIE
PLEASANT PRAIRIE VILLAGE BOARD
PLEASANT PRAIRIE WATER UTILITY
PLEASANT PRAIRIE SEWER UTILITY
Village Hall Auditorium
9915 – 39th Avenue
Pleasant Prairie, WI
January 15, 2018
6:00 p.m.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Presentation
 - A. Consider and present Resolution #18-01 of Appreciation and Recognition to Jane Romanowski for Her Years of Service to the Village of Pleasant Prairie.
5. Minutes of Meetings – December 18, 2017
6. Public Hearing
 - A. Consider a variance from Section 395-72(A) of the Village Land Division and Development Control Ordinance to allow for a 5-acre lot to be subdivided relating to property located at 9109 River Road for the construction of a single family home without extending municipal sanitary sewer.
7. Citizen Comments (Please be advised per State Statute Section 19.84(2), information will be received from the public on items not on the agenda; however, no discussion is allowed and no action will be taken under citizen comments.)
8. Administrator's Report
9. New Business
 - A. Receive Plan Commission recommendation and consider a Master Conceptual Plan for the proposed 50,000 square foot Froedtert South Pleasant Prairie Medical Office Building within the Main Street Market development located at the northeast corner of STH 31 and STH 165.
 - B. Receive Plan Commission recommendation and consider Ordinance #18-02 for several Comprehensive Plan Amendments for property located at 10700 88th Avenue.

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- C. Receive Plan Commission recommendation and consider Ordinance #18-03 for a Zoning Map Amendment to rezone property located at 10700 88th Avenue into the C-1, Lowland Resource Conservancy District.
- D. Receive Plan Commission recommendation and consider Ordinance #18-04 to amend Section 420-29 related to Business License Fees.
- E. Consider Ordinance #18-01 to amend Chapter 18 of the Municipal Code to create the Sex Offender Residence Board.
- F. Consider appointment of members to the Sex Offender Residence Board.
- G. Consider the Design Service Agreement between the Village of Pleasant Prairie and Strand Associates relating to the design of the STH 165 lift station project.
- H. Consider the Cooperative Service Agreement between Village of Pleasant Prairie and the United States Department of Agriculture (USDA) Animal and Plant Health Inspection Service (APHIS) Wildlife Services (WS) relating to the removal of beavers and beaver dams within the Village of Pleasant Prairie.
- I. Consider appointment of Village Clerk.

10. Village Board Comments

11. Adjournment

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk's Office, 9915 – 39th Avenue, Pleasant Prairie, WI (262) 694-1400

Resolution No. 18-01

**Resolution of Appreciation and Recognition
to Jane M. Romanowski
for Her Years of Service to the Village of Pleasant Prairie**

WHEREAS, Jane M. Romanowski will retire on January 31, 2018, after twenty-six years of outstanding service and commitment to the Village of Pleasant Prairie; and

WHEREAS, Jane began her career with the Village of Pleasant Prairie on November 25, 1991 in the Community Development Department and had been promoted multiple times during her tenure; and

WHEREAS, throughout her years of service, Jane served the community with integrity in her various roles as Clerical and Executive Secretary, Village Clerk, and Assistant to the Administrator; and

WHEREAS, Jane graduated from the Wisconsin Municipal Clerks and Treasurers Institute in 1997 and from the Master Municipal Clerk Academy in 2002; and

WHEREAS, Jane honorably represented the Village of Pleasant Prairie by being designated as a Certified Municipal Clerk in 1998 and was awarded the prestigious Master Municipal Clerk designation by the International Institute of Municipal Clerks in 2007; and

WHEREAS, Jane continued to proudly represent the Village as a member of the Wisconsin Municipal Clerks Association and served as Secretary, District Director, and chaired and served on many committees; and

WHEREAS, Jane demonstrated expertise and devotion to her work and provided superior and professional service to the residents of Pleasant Prairie through her duties as the Village Clerk by maintaining records, conducting municipal elections, facilitating Village Board meetings, issuing licenses and permits; and

WHEREAS, the Village would like to acknowledge and sincerely thank Jane for her dedication and commend her for the vast amount of knowledge she bestowed upon the community; and

NOW, THEREFORE BE IT RESOLVED, that the Village of Pleasant Prairie hereby extends to Jane our sincere respect and appreciation for her service to the Village, our congratulations on her well-earned retirement, and best wishes to her for continued success, happiness, and good health in the years to come.

Considered and adopted this 15th day of January, 2018

John P. Steinbrink, President

Attest:

Jane Snell, Chief Deputy Clerk



**VILLAGE OF PLEASANT PRAIRIE
PLEASANT PRAIRIE VILLAGE BOARD
PLEASANT PRAIRIE WATER UTILITY
PLEASANT PRAIRIE SEWER UTILITY
9915 - 39th Avenue
Pleasant Prairie, WI
December 18, 2017
6:00 p.m.**

A regular meeting of the Pleasant Prairie Village Board was held on Monday, December 18, 2017. Meeting called to order at 6:00 p.m. Present were Village Board members John Steinbrink, Kris Keckler, Steve Kumorkiewicz, Dave Klimisch and Mike Serpe. Also present were Tom Shircel, Interim Village Administrator; Jean Werbie-Harris, Community Development Director; Kathy Goessl, Finance Director; Dave Smetana, Police Chief; Craig Roepke, Fire & Rescue Chief; Rocco Vita, Village Assessor; Matt Fineour, Village Engineer; John Steinbrink Jr., Public Works Director; Carol Willke, Human Resources Director; Dan Honore', IT Director; Sandro Perez, Inspection Superintendent; Mary Jo Jiter, Communications Director; Craig Anderson, Recreation Director and Jane M. Romanowski, Village Clerk. One (1) citizen attended the meeting.

1. CALL TO ORDER

2. ROLL CALL

3. CONSIDER ENTERING INTO EXECUTIVE SESSION PURSUANT TO SECTION 19.85(1)(E) TO DELIBERATE OR NEGOTIATE THE PURCHASE OF PUBLIC PROPERTY, THE INVESTING OF PUBLIC FUNDS, OR CONDUCTING OTHER SPECIFIED PUBLIC BUSINESS, WHENEVER COMPETITIVE OR BARGAINING REASONS REQUIRE A CLOSED SESSION.

**SERPE MOVED TO ENTER INTO EXECUTIVE SESSION AS REQUESTED;
SECONDED BY KECKLER; ROLL CALL VOTE – KECKLER – YES; KUMORKIEWICZ – YES; KLIMISCH – YES; STEINBRINK – YES; SERPE – YES; MOTION CARRIED 5-0.**

4. RETURN TO OPEN SESSION

**KECKLER MOVED TO RETURN TO OPEN SESSION AS REQUESTED;
SECONDED BY KUMORKIEWICZ; ROLL CALL VOTE – SERPE – YES; KLIMISCH – YES;
KECKLER – YES; STEINBRINK – YES; KUMORKIEWICZ – YES; MOTION CARRIED 5-0.**

5. MINUTES OF MEETINGS - NOVEMBER 20, 2017, DECEMBER 4, 2017 AND DECEMBER 13, 2017 SPECIAL MEETING

KLIMISH MOVED TO APPROVE THE MINUTES OF THE VILLAGE BOARD REGULAR AND SPECIAL MEETINGS OF NOVEMBER 20, 2017, DECEMBER 4, 2017 AND DECEMBER 13, 2017 AS PRESENTED IN THEIR WRITTEN FORM; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.

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6. CITIZEN COMMENTS

Jane Romanowski:

One signup, Rabbi Tzali.

Tzali Wilschanski:

I'm here about the synagogue on the agenda. Thank you for all the work you put in. If there's any questions?

John Steinbrink:

Name and address.

Tzali Wilschanski:

Tzali Wilschanski, 6522 87th Avenue. I'm here about the synagogue item on the agenda, I think its Item 8H. I'm here to answer any questions you might have about it.

John Steinbrink:

Thank you.

Jane Romanowski:

There are no more signups, Mr. President.

John Steinbrink:

Anyone else wishing to speak under citizens' comments? Hearing none I'll close citizens' comments.

7. ADMINISTRATOR'S REPORT

Thomas Shircel:

No Administrator's report.

8. NEW BUSINESS

- A. Receive Plan Commission recommendation and consider a Certified Survey Map to subdivide property in Prairie Highlands Corporate Park generally located west of I-94 between CTH C and CTH Q.**

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John Steinbrink:

You want more than one of these?

Jean Werbie-Harris:

No, just this item right now, and then we can go to the next item unless you'd like to take them both up at the same time. This first item is to consider the request of Pleasant Prairie for a Certified Survey Map for the Prairie Highlands Corporate Park. This is to subdivide property generally located between Wilmot Road or County Trunk Highway C on the north and County Trunk Highway Q on the southwest a kind of east of the West Frontage Road and then within the Village of Pleasant Prairie corporate boundaries.

This was a matter before the Village Plan Commission earlier this evening. And at that time they recommended approval of the Certified Survey Map. The Certified Survey Map creates two lots, the first lot which is 136.8 acres approximately, and Lot 2 which is 245.8 acres. In addition two outlots, an Outlot 1 and an Outlot 2 are also proposed to be created. Outlot 1 is proposed to be about 12.6 acres and Outlot 2 about 1.9 acres.

As looking at the Certified Survey Map, the way it's shown on the slide it's kind of turned sideways so north is to the right, the northern part of the development, Lot 1, is proposed to be subdivided and transferred to Haribo as part of our discussion right after this this evening through our purchase and sale agreement. But we are looking to create a buildable parcel for them to purchase. And then the balance of the Prairie Highlands Corporate Park is identified as Lot 2. Outlot 1 are the stormwater retention basins for this particular area of the corporate park. And Outlot 2 is the location for a future water tower facility to be created and developed on the site by the Village.

The Certified Survey Map also does identify the topographic information from the property which the Village had field verified, as well as some lot owner responsibilities and some restrictive easements and covenants on the properties. In addition, the wetlands have been field delineated on the property, and they are reflected also on the Certified Survey Map.

The staff recommended approval of the Certified Survey Map at the Plan Commission and also does recommend approval of the Certified Survey Map for the Village Board this evening subject to the comments and conditions and any minor tweaks or modifications that we do need to make. This document has been reviewed by their counsel as well as their counsel, and there still might be a few minor tweaks to the CSM. But for all intents and purposes it's in its final form.

**SERPE MOVED TO CONCUR WITH THE PLAN COMMISSION
RECOMMENDATION AND APPROVE A CERTIFIED SURVEY MAP TO SUBDIVIDE
PROPERTY IN PRAIRIE HIGHLANDS CORPORATE PARK GENERALLY LOCATED WEST
OF I-94 BETWEEN CTH C AND CTH Q; SECONDED BY KUMORKIEWICZ; MOTION
CARRIED 5-0.**

Item B Previously Certified as Partial Transcript Only

B. Consider the Purchase and Sale Agreement between Haribo of America Manufacturing, LLC and the Village of Pleasant Prairie for property generally located west of I-94 between CTH C and CTH Q.

Tom Shircel:

Thank you, Mr. President. I want to preface this if I can saying this purchase and sale agreement before you tonight is one of several documents that will come before the Village Board and the Plan Commission over the next few months. They'll need to go through a Development Agreement with the Plan Commission and the Village Board, declarations and restrictions, some zoning approvals and so on and so forth. So I'm hoping this is the beginning of a fruitful relationship between the Village, the Village Board and Haribo Manufacturing of America.

So before you tonight is this purchase and sale agreement for, as Jean mentioned in the previous item, between Haribo of America Manufacturing, LLC and the Village of Pleasant Prairie. And it's for approximately 136.8 acres in the Prairie Highlands Corporate Park. This agreement is sort of set up differently than others we've seen in the past. It's a two tiered closing system. So in other words the entire price of the land that we're going to sell to Haribo of America Manufacturing is going to be about \$21 million. It's going to be in two separate closings. The first closing is going to be \$13 million, and the second closing is going to be about \$7.6 million.

So when this agreement is signed, if it's signed by December 27th like the Development Agreement says of this year, then Haribo of America Manufacturing, LLC will take title to the land when they sign us and pay us the \$13 million for the first closing. The second closing of \$7.6 million will happen at the second closing, and that will occur after the Village work is done pursuant to the Development Agreement. And the Village work will be defined after the Village puts in the public infrastructure, that being the roads, stormwater retention ponds, sewer, water and so on and so forth. So you have this two tier system which will total -- which will be \$13 million plus about \$7.6 million which will total just over \$21 million in total cost for the sale price of this land. I know Kevin Long and Scott Langlois are here, our Village counsel from Quarles & Brady. If the Board has any questions I or our attorneys will be happy to answer them.

Dave Klimisch:

I know you guys have been working with Haribo's seven hour time difference, some language barriers, and you've crafted this contract that we have in front of us. So I appreciate all of the efforts and revisions and time that it's taken. It seems like we've got a good deal with a good company, and I'm looking forward to moving it forward.

Kevin Long:

Thanks. Yes, to sort of follow up on that particularly here, the reason we were in Executive Session is this is a bargaining that is continuing on it. And particularly here we are making great progress with Haribo and have come to what we believe is an agreement here on the purchase and sale agreement. And we believe that that will -- we believe that the form that's in front of you is

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a form that is agreeable to them. Because of the time differences and language differences there's a possibility that there may be one or two things where they say, well, we want to phrase something differently. And the motion that's before the Board is not just to approve this but also to give the Village Administrator discretion with respect to those non-substantive matters that may be negotiated in the future.

With that said, and particular noted that there's a Development Agreement that will come after this as well as declarations, and those continue to be discussed between the parties and we feel will be successfully concluded. Scott Langlois is the principal architect of those discussions and the agreement and can take any questions that anyone may have.

Kris Keckler:

I'd like to move that the Village Board approve the purchase and sale agreement with Haribo of America Manufacturing, LLC in the form presented to this Board with further revisions as may be negotiated by Village staff and authorize the execution of a deed and other closing documents at the closing there under.

Steve Kumorkiewicz:

Second.

Kris Keckler:

And I'd like to reiterate that not only our wonderful counsel but the Village staff have worked tirelessly over several months to develop this opportunity. And I think the general public needs to understand that this is not working with the company just down the road and that could make ample visits to and from this site and over the coming time frame. So if you don't mind just give it a general what might potentially be the time line that the public might be aware of related to this development. I don't know if, Jean, you want to mention any of it?

Jean Werbie-Harris:

Do you want to do that?

Scott Langlois:

Yeah, as this agreement is drafted we're very hopeful that basically it has the first closing occur before the end of the year. And then obviously the Development Agreement has not been inked yet. And we'll have 120 days after the first closing in order to work through the details on the declaration, the Development Agreement and get all the zoning in place. So we think within 120 days that should happen. If it doesn't happen basically they can take their ball and go home. We can either choose to buy the land back from them, or they can put the land back to us. We think we're very, very close on all these documents. We've gone through significant amounts of negotiation and discussion. So we think that the 120 day time period to get all that done is going to be sufficient.

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Assuming we get all those documents in place then the hope is to get going on the grading of the site in the spring, get that grading done. And the hope is that then they're going to start their construction the following spring of 2019. And basically at that point the Village will be working constructing all of the improvements, the public infrastructure, the water, the sewer, the stormwater, the roadways. And while they're constructing their building it all gets done together. And hopefully all of that work gets done and that second purchase price is paid, and their facility is fully constructed at that point. And they have committed to basically invest \$40 million of construction costs building that facility. And if they fail to do that the Village -- they've agreed to pay the shortfall. So we've got some -- we've got some protections going forward for the Village, and we think the time frame is workable.

Kevin Long:

Correct. And the main reason for the delay in the Development Agreement is really just construction schedules, understanding exactly what they need, what we need to do to make sure that -- and there's going to be productive meetings between engineering firms working for Haribo as well as the Village staff that will put the fine points on that. And then I think the parties will be ready to work cooperatively going forward.

Kris Keckler:

Thank you.

Steve Kumorkiewicz:

It will be one of the most complicated agreements that we've got.

John Steinbrink:

We have a motion by Kris, second by Steve. Any further discussion?

KECKLER MOVED THAT THE VILLAGE BOARD APPROVE THE PURCHASE AND SALE AGREEMENT WITH HARIBO OF AMERICA MANUFACTURING, LLC IN THE FORM PRESENTED TO THIS BOARD WITH FURTHER REVISIONS AS MAY BE NEGOTIATED BY VILLAGE STAFF AND AUTHORIZE THE EXECUTION OF A DEED AND OTHER CLOSING DOCUMENTS AT THE CLOSING THERE UNDER; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.

John Steinbrink:

Thank you, gentlemen.

Kevin Long:

Thank you.

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Scott Langlois:

Thank you.

End of Item B Previously Certified as Partial Transcript Only

John Steinbrink:

Can we have a motion to take Items C, D and E together?

KUMORKIEWICZ MOVED TO CONSIDER NEW BUSINESS ITEMS C, D AND E TOGETHER AT THIS TIME; SECONDED BY KECKLER; MOTION CARRIED 5-0.

- C. Receive Plan Commission recommendation and consider Ordinance #17-64 for several Comprehensive Plan Amendments for the proposed commercial development on the vacant properties generally located north of STH 165 along 120th Avenue (East Frontage Road) to be known as The Gateway at LakeView Corporate Park.**
- D. Receive Plan Commission recommendation and consider a Master Conceptual Plan for the proposed commercial development on the vacant properties generally located north of STH 165 along 120th Avenue (East Frontage Road) to be known as The Gateway at LakeView Corporate Park.**
- E. Receive Plan Commission recommendation and consider Ordinance #17-65 for a Zoning Map Amendment for the proposed commercial development on the vacant properties generally located north of STH 165 along 120th Avenue (East Frontage Road) to be known as The Gateway at LakeView Corporate Park.**

Jean Werbie-Harris:

Mr. President and members of the Board. First, I have to begin by apologizing. I see the slides we used for the Plan Commission are the same ones we used for the Village Board so the lettering sequence is different because this reflects the Plan Commission. So you will be taking up Items C, D and E, and these are all at the request of Mark Eberle with Nielsen, Madsen & Barber, and this is for the proposed commercial development at that northeast corner of Highway 165 and 120th Avenue, the East Frontage Road. This is for the Gateway at LakeView Corporate Park. The three items that we'll be looking at tonight will be the Comprehensive Plan Amendments, Ordinance 17-64, the Master Conceptual Plan and the Zoning Map Amendment which is 17-65.

The petitioner is proposing to develop their vacant properties then totaling about 34.11 acres identified as Tax Parcel Numbers: 92-4-122-193-0161 and 92-4-122-193-0166. And the purpose for this development is to create a commercial area for future restaurants, a gas station c-store, car wash, hotel, multi-tenant retail buildings and corporate campus to be known as The Gateway at Lakeview Corporate Park.

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The development of the properties are proposed to be further subdivided for the development as those specific developments are advanced forward to the Village. The Gateway Master Conceptual Plan is shown on the slides. It does identify that there are five total properties, four properties on the east side of the frontage road, and then one property at this time at the south/southwest corner of this development. Obviously there will be some additional areas for outlots relating to stormwater management.

Specifically the petitioner is requesting and has been through the process of putting together a TIA for this particular property which has been vetted through and gone through by the State of Wisconsin Department of Transportation along with the Village staff. We recently, at the end of November, had meetings with the DOT and follow-up meetings with respect to identifying the precise locations of access as well as entrances and medians for this particular property on the East Frontage Road, and they have agreed to those locations. So this revised alignment reflects the approval from the DOT with respect to the driveway placements and the spacing separations.

In addition on this property, there have been a number of wetlands that have been delineated. The larger wetland, the 1.327 acre wetland which looks like a very large pond has been identified as being exempt from the State Wetland Regulations, as well as a couple of other smaller ones have been exempt. The larger ones, the ones that are stringing along the eastern property line will remain as wetlands on the property.

As part of their request this evening, they are requesting a Comprehensive Plan change identified as a Neighborhood Plan amendment. We have asked and they have identified potential building footprints as to where future retail, service, commercial uses could be located, as well as the interconnection of parking lots and access and cross-access as well as the separation spacing so that we could make sure that at least the proposed uses could all work on the property as identified.

So the area that is identified as red is really identified as commercial land use. And the areas that are identified as blue would now be the new stormwater retention facilities. The areas identified as purple are the institutional land uses. And in particular on this particular site there is an existing Village lift station which is the smaller square rectangle shape that's adjacent to 165. And the next to that is a proposed new lift station that the Village will be constructing to service the lands kind of south of C down to about 122nd and then the areas that are west of I-94. So it's a much large lift station that will be created at that location.

The 2035 Land Use Plan Map then would also need to be amended as part of Ordinance #17-64. Again, this would be to change the land use designation from the Commercial Freeway Office Center and Commercial Freeway Oriented Service Center on the tax parcel numbers identified. And this land use would change to the Commercial Freeway Oriented Business Center land use designation. At this time no other land use designations such as the environmental features, nothing else is being modified at this time. But we are changing this land use designation.

Also as part of this request is the modification of the zoning, Ordinance #17-65. They are requesting to modify for Parcel 12 of CSM 1628 which is on the southwest side of this

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development to rezone it from the B-4, Freeway Service Business District, and they're looking to modify that to the B-6, UHO, Freeway Oriented Business Center District with an Urban Landholding Overlay District. There has not been a very detailed plan that has been put together yet for that particular triangle of land. It's on the east side of the frontage road, Parcel 13 of 1628 that is proposed to be rezoned from the B-4, Freeway Service Business District to the B-6, Freeway Oriented Business Center District.

The developer/landowner is starting to work with some potential uses on that side. And as those uses are ready to be brought forward we will have public hearings before the Plan Commission, and they will be brought back before the Village Board. At this time as I indicated the 100-year floodplain as the wetlands will remain unchanged on the property at this time.

These three items were presented to the Village Plan Commission at their last meeting. We had public hearings on all three items. The staff is recommending approval on all three, the Neighborhood Plan amendment, which is the Comprehensive Plan Change, the 2035 Land Use Plan amendment to Map 9.9, as well as the Zoning Map Amendment. And, again, obviously their conceptual plan for the entire development. And this would be subject to the comments and conditions as set forth in the staff comments.

I'm looking to see if there was a reference to another development, and I think that we modified and changed that. The developer had asked me a question. What paragraph is that, Jerry? We have a lot of very general comments that we put into this as it pertains to any type of unified business development in the Village. It does need to have unified landscaping and lighting and building design and character and so on and so forth. And so we just wanted to make sure that it is consistent because this would, in effect, be developed as a unified business development.

So what we wanted to comment on Item #18 in the staff comments, attractive commercial light poles, standards and fixtures. We referenced another development, the Fairfield very similar. We would like this development to have attractive pole light parking lot lighting that is similar. And if not we just want to make sure that the character is the same for this entire development. So if they choose a certain character of lighting style it needs to be continuous for all of the developments because this is a unified development. So the reference to Fairfield was just an example. It's not intended to be identical to the Fairfield development.

With that the staff recommends approval of all three of the items subject to the comments and conditions with that clarification on the Fairfield for this project. And we will need a roll call vote for the Comprehensive Plan change.

KECKLER MOVED TO CONCUR WITH THE PLAN COMMISSION RECOMMENDATION AND APPROVE ORDINANCE 17-64 FOR SEVERAL COMPREHENSIVE PLAN AMENDMENTS FOR THE PROPOSED COMMERCIAL DEVELOPMENT ON THE VACANT PROPERTIES GENERALLY LOCATED NORTH OF STH 165 ALONG 120TH AVENUE (EAST FRONTAGE ROAD) TO BE KNOWN AS THE GATEWAY AT LAKEVIEW CORPORATE PARK; SECONDED BY KUMORKIEWICZ; ROLL CALL VOTE – STEINBRINK – YES; KUMORKIEWICZ – YES; KLIMISCH – YES; SERPE – YES; KECKLER – YES; MOTION CARRIED 5-0.

KLIMISCH MOVED TO CONCUR WITH THE PLAN COMMISSION RECOMMENDATION AND ADOPT A MASTER CONCEPTUAL PLAN FOR THE PROPOSED COMMERCIAL DEVELOPMENT ON THE VACANT PROPERTIES GENERALLY LOCATED NORTH OF STH 165 ALONG 120TH AVENUE (EAST FRONTAGE ROAD) TO BE KNOWN AS THE GATEWAY AT LAKEVIEW CORPORATE PARK; SECONDED BY SERPE; MOTION CARRIED 5-0.

SERPE MOVED TO CONCUR WITH THE PLAN COMMISSION RECOMMENDATION AND APPROVE ORDINANCE 17-65 FOR A ZONING MAP AMENDMENT FOR THE PROPOSED COMMERCIAL DEVELOPMENT ON THE VACANT PROPERTIES GENERALLY LOCATED NORTH OF STH 165 ALONG 120TH AVENUE (EAST FRONTAGE ROAD) TO BE KNOWN AS THE GATEWAY AT LAKEVIEW CORPORATE PARK; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.

- F. Receive Plan Commission recommendation and consider Ordinance #17-66 for Zoning Text Amendment related to wall sign modifications for the proposed Chick-fil-A restaurant to be located south of STH 50 (75th Street) and west of 91st Avenue.**

Jean Werbie-Harris:

Mr. President and members of the Board, this is Ordinance #17-66 a Zoning Text Amendment. And this is on behalf of the Chick-fil-A, Inc., restaurant owner in the Prairie Edge planned unit development area which is at the northwest corner of 91st Avenue and 76th Street. Specifically, they are requesting a PUD modification for the property. They currently do have a PUD as it relates to overall signage for the Prairie Edge development, but this is specifically for the development on their particular property.

At the Plan Commission meeting because this was a conditional use and Site and Operational Plan I did go into a significant amount of detail with respect to the background information of Chick-fil-A, and I know that most of you if not all of you were at that meeting. So the background information related to the history of Chick-fil-A; I'm not going to read that entire story although it is a very good story to read, and it talks about this Chick-fil-A story from the very beginning. And so if you don't have time right now if you want to read that story if you didn't hear it it's a good story.

The two lot development at that northwest corner, Lot 1 was developed for a three tenant building that is being developed by Dimitri for Prairie Edge. The Lot 2 is the property that the Chick-fil-A restaurant is looking to located on. And just as a point of clarification Lot 2 is currently under construction, and that developer is actually getting a pad ready for Chick-fil-A. So Chick-fil-A is actually not going to be able to start construction until sometime late spring when all of the other work for the other project is completed.

Chick-fil-A is going to be an approximately 5,000 square foot restaurant with outdoor seating and a drive through. They are proposing that their hours Monday through Saturday be from 6 a.m. to

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10:30 p.m. I think those hours were wrong on the slide. Closed on Sundays. They are looking to have 75 employees of which 30 to 40 will be part time. Construction, again, at this time they've identified August of '18 to start. If they can start sooner than that and close sooner than that they intend to do that.

Again, some of the information that we discussed at Plan Commission as part of their Conditional Use Permit is that they will have a drive through facility. They will have some peak hours where they have teams of their employees or their team members to be outside taking orders in the drive through. So that by the time you get to the window you've ordered, you've paid and you're ready to pick up your meal. And we've got this set up as part of the Site and Operational Plan. And we've vetted through all of the details with respect to these aspects.

Site and access for the development they have 66 parking spaces. They have another 19 spaces in the drive through lanes. The site meets the minimum parking spaces requirements for the Village. The access to the site as you know is cross-access shared with the adjacent land uses. Remember, with all of those sites that are north of 76th Street between 91st Avenue and 94th Avenue there are two points of connection directly north of Costco. And then they can either go east or west to any one of these outbuildings.

The PUD amendments there are canopies. Again, they've got two canopies as I had shown you previously and is kind of depicted right here. There are two canopies. One is on the south side as you're coming up to the drive through, and then another on the east side as you're ready and waiting to pick up your food. Those canopy setbacks will be a minimum of 18 feet from the south property line and 25 feet from the east property line.

In addition, modifications with respect to wall sign requirements, they are requesting a little bit larger wall signs based on the arrangement and size of their building. They're looking for a 60 square feet maximum on the north, south and east building facades. Typically 50 would only be allowed. And 35 square feet on the west building facade. So otherwise they would be in compliance with the wall sign requirements in Section 420-76 DD entitled wall signs.

So this is a project that went before the Village Plan Commission for final Site and Operational Plan approval, as well as Conditional Use approval. And they are requesting a modification to the existing Prairie Edge Planned Unit Development in order to accommodate specifically their development. Again, there were some other modifications that were granted when Prairie Edge first came into effect with respect to the parking lot setback and the drive lane setback and so on and so forth. But those were approved originally with the first building that was placed in this property area. But now we've got a few other just minor modifications that we're seeking in order to have this project move forward. Staff recommends approval of their request subject to the comments and conditions as set forth in the staff memorandum and in the PUD as presented.

KUMORKIEWICZ MOVED TO CONCUR WITH THE PLAN COMMISSION RECOMMENDATION AND APPROVE ORDINANCE #17-66 FOR ZONING TEXT AMENDMENT RELATED TO WALL SIGN MODIFICATIONS FOR THE PROPOSED CHICK-FIL-A RESTAURANT TO BE LOCATED SOUTH OF STH 50 (75TH STREET) AND WEST OF 91ST AVENUE; SECONDED BY KLIMISCH; MOTION CARRIED 5-0.

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John Steinbrink:

Further discussion on Item F?

Kris Keckler:

I did read their historical story and also am aware that for their openings they're known for people to camp out for the first 100. So if we're expecting a winter time frame opening are we prepared to potentially have maybe 50 tents?

Jean Werbie-Harris:

I think it's a four month build out. But if you want to come up, Joe. I think it's a four month build out. And if they get started before July then they would probably have a fall opening.

Joe Vavrina:

That would be correct. It is a four month build out. But if we can get going in June or July then we certainly would probably be somewhere October, November. If it ends up being later it would probably be more of a January or February start.

Jane Romanowski:

Can I have your name and address for the record please?

Joe Vavrina:

Oh, sure. Joe Vavrina. Last name is V is in Victor, A, V as in Victor, R-I-N-A. Address is 4020 North Front Street, McHenry, Illinois.

Jane Romanowski:

Thank you.

Kris Keckler:

I think it was noted that people do camp out for these slots. What would be typical?

Joe Vavrina:

So typically Chick-fil-A will open up the restaurant for use of the restaurant facilities. They won't be serving food just yet, but it will be served for the next day. I know I've been a part of a few of those. We opened one a few years in Rockford, Illinois in January when it was minus 20 outside.

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Kris Keckler:

Are we talking 20 people, 80 people? I know it's the first 100.

Joe Vavrina:

There will be 100 people there. I've never seen them not have 100, let's put it that way. It's very popular. I mean they've actually had to remand it to the local zip code because they have people that would travel from out of state just to attend.

Kris Keckler:

And our public support facilities have been made aware that this is most likely going to occur or going to occur?

Jean Werbie-Harris:

We have received the information. We have not planned for it yet. I would assume as we get closer to the opening we will plan for it.

John Steinbrink:

Any further questions? Thank you.

G. Receive Plan Commission recommendation and consider Ordinance #17-67 and Ordinance #17-68 for Zoning Text and Map Amendments to rezone the property located at 7800 95th Street in LakeView Corporate Park and to create the specific Planned Unit Development.

Jean Werbie-Harris:

Mr. President and members of the Board, on December 11, 2017, the Plan Commission conditionally approved the site and operational plans for the petitioner to construct an 18,000 square foot addition to the existing Central Storage and Warehouse Company located at 7800 95th Street in the LakeView Corporate Park. The Plan Commission also recommended approval of Ordinance 17-67 and -68 at the request of Jack Williams on behalf of Central Storage. What they are proposing to do is to modify the overlay zoning district on the property in that they're requesting to go from M-2, General Manufacturing District, to M-2, General Manufacturing District with a Planned Unit Development Overlay.

Specifically, that 18,000 square foot addition is proposed on the west side of their building. In addition, it would create four new loading docks for them facing the south, a total of 26 after the addition, nine additional parking spaces. Their employment will go to 36 full-time and two part-time upon completion of the addition. And they will be putting some addition onsite parking spaces on the site.

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If you remember, CSW is one of those uses that came to the Village back in the early 1990s, and at that time they had staged this that they were going to do either three or four additions, three additions to their original construction. And over the years they had struck up a relationship with Fair Oaks Farms just to the east. And at that time there was some discussion about putting one fire lane in that could serve both CSW as well as Fair Oaks Farms. And they did install that one fire lane. They did some expansion on the north end to wrap the fire lane around the building.

And as they continued each subsequent expansion they came to the last expansion area. And they realized that some of that land that they had conveyed to Fair Oaks Farms to take advantage of a shared fire lane it started to reduce their open space requirement. So their open space which is proposed at 20.32 percent and the ordinance requires 25 percent would require a PUD and a special approval by the Village Board in order to reduce that percentage of open space. The Plan Commission evaluated their request along with the information received from their company president and from Jack Williams who has been with CSW for years and years, and we've evaluated the site, and the staff feels that we could support this PUD modification as presented.

Michael Serpe:

This is pretty much as far as they can go, right?

Jean Werbie-Harris:

They're done unless they would acquire now land from We Energies that lies to the west.

SERPE MOVED TO CONCUR WITH THE PLAN COMMISSION RECOMMENDATION AND APPROVE ORDINANCE #17-67 AND ORDINANCE #17-68 FOR ZONING TEXT AND MAP AMENDMENTS TO REZONE THE PROPERTY LOCATED AT 7800 95TH STREET IN LAKEVIEW CORPORATE PARK AND TO CREATE THE SPECIFIC PLANNED UNIT DEVELOPMENT; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.

John Steinbrink:

Any further discussion?

Dave Klimisch:

Do we know what kind of traffic or what kind of overflow the semis have on to 95th Street? Has that been a problem?

Jean Werbie-Harris:

I think it has been recently just because they have a lot of trucks coming in and trying to stage. And Jack had mentioned at the Plan Commission meeting that they were trying to work with their truckers so that they could park someplace else and then just not come to the site until they're ready to deliver because they can't stage on 95th Street and they're aware of that now. And he's

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trying to re-educate the truckers on the circulation on the site. It's been a process, and we actually have had to go through it a couple of times with a couple of users out in the corporate park. But this addition will help them and help to reorient things on the site as well. So he will continue to work with his truckers to make sure that they flow correctly.

Dave Klimisch:

I don't see anyone from the company, but with more loading bays, more trucks, do we know what kind of on time appointment keeping they have. When a trucker has an appointment for a certain time are they unloading the trucks -- if a truck has an appointment and they come in from the truck lot over just across the border and they come on time for their appointment, if the warehouse, especially cold storage that takes a long time, do we have any idea what kind of on time percentage they have?

Jean Werbie-Harris:

I don't know. But I know that the problem they were having is that truckers were coming well in advance of their delivery time, a half hour, an hour, and that's what was causing the problems. And I can honestly say we did have that in a few other locations in the corporation park. And they are all trying to coordinate so that they can make calls or they can coordinate it so that their delivery times are closer to their timed deliveries. So that's what Jack was mentioning at the Plan Commission meeting that they are working very hard at coordinating that.

Dave Klimisch:

Very good.

H. Receive Plan Commission recommendation and consider Ordinance #17-69 for a Comprehensive Plan Amendment related to property located at 6939 88th Avenue for the proposed Chabad of Kenosha Synagogue/Learning Center development.

Jean Werbie-Harris:

Mr. President and members of the Board, this is a request for a Comprehensive Plan Amendment, Ordinance 17-69, at the request of Rabbi Tzali for an amendment to the Village Comprehensive Plan. This is a matter that was before the Village Plan Commission at their last meeting. And a public hearing was held, and there was quite a bit of discussion about the project at that time. Specifically, as shown on the overhead, they are looking to locate a synagogue at the property at 6939 88th Avenue actually just north and surrounding that property. They are also as part of this requesting to amend a portion of the Prairie Lake Neighborhood Plan, again, to include this proposed layout of this facility.

Chabad of Kenosha's mission is to serve Jewish people living in Kenosha and its surrounding communities, regardless of their affiliation, level of observance, or background. They're also looking to be a partner in the broader community by sponsoring community-wide public

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programs. Their programs provide education to promote Jewish knowledge and awareness to and a means to practice and experience their Jewish heritage.

The site that they are proposing at this location is a main synagogue building that would include a 1,610 square foot gathering space, 259 square foot library, 333 square foot library and classroom, 259 square foot classroom childcare, a 495 square foot two guest stay room, 240 square foot kitchen and public restrooms and other storage. So as you can see it's just over 5,000 square feet that they are proposing for the main synagogue. In addition, they are proposing a hospitality home which would be approximately 3,000 square feet. It's intended that this would look identical to a single family home. And it would serve as a place for members to spend a weekend due to religious driving restrictions as well as a retreat site for religious families that need a kosher facility.

This synagogue will typically be open to the public from 8 a.m. to 5 p.m., the main activities and worship being on Saturday mornings between 10 a.m. and 1:30 p.m., any evening classes that would be held on the property would end before 9:00 p.m. And I just went through some of the parts of the synagogue that would function for their community. Their employees, not many, there would be one full-time and four part-time, regular seating would be about 50 persons or less. Holidays or other special events could accommodate up to 100 people.

They do intend to develop this in phases. Phase 1 would be to purchase the land and renovate the existing home; Phase 2 to install a municipal water main; Phase 3 to construct the synagogue and associated parking and stormwater retention; Phase 4 construct the hospitality house. At this time they've identified that Phase 3 could likely happen within the next five years.

Access to 88th Avenue that covered a lot of discussion at our Plan Commission meeting. The existing home and the synagogue according to Kenosha County, since it's abutting a County highway, would be required to share one access point so that we'd need to close the existing access to the home site. It would need to be interconnected and a cross-access easement to the main driveway coming into the synagogue. And, in addition, 68th Street is in the Village of Pleasant Prairie. So 68th Street could also provide for an access from there to their site.

The two properties that you can see a small rectangular property and then the longer property, those are owned by the Village of Pleasant Prairie. We actually have a lift station on that smaller property, so they would need to cross over or get some type of easements that's not a right of way, it's just property owned by us, and so they'd have to get some type of easement to cross through that property. They'd have to make sure that stormwater management evaluates exactly how the water flow through that area so we don't create any stormwater problems for anyone in this particular area.

Some of the other questions that had come up at the Plan Commission in detail had to do with the City of Kenosha and Kenosha County agreement that they're working on with respect to putting a signal at the intersection of 65th Street and 88th Avenue or the County highway. The City and the County with the Village's participation are working out an agreement whereby that signal can be placed at that location. My understanding is it's back to where the engineers are starting to work some things out with respect to that location.

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But a lot of the discussion came about because the adjacent neighborhoods were very concerned about the traffic on 88th Avenue and being able to get out on 88th Avenue. And even with a small synagogue at this location that it would just create a greater problem due to additional traffic coming out on that highway. So I just wanted to let you know that that was part of the discussion. The Plan Commission discussed this, and they heard the concerns. Tom and I think President Steinbrink you were involved in some of those discussions. I think that that will help alleviate some of their concerns with respect to the traffic. Again, I don't believe this particular use will be a detriment to the traffic on H. It's really a lot more traffic is generated from single family home developments. And they have two large developments on either side of H.

Another question that had come up at the meeting had to do with the vacant land to the north of this project area. Lot 2 of CSM 2211, which is owned by Norm Clausen, this is land that could be further subdivided, probably likely for single family purposes. The other thing I wanted to mention, again, is that there is storm sewer, and we did discuss that there's wetlands in this area and the need to protect that stormwater that crosses through that area.

So just to mention real briefly again, there was a neighborhood sketch plan that was done in 1988 on the Clausen property. And at that time this was long before any of Leona's Rolling Meadows in the City was looked at to be developed or anything on the other side in the City was looked at to be developed because it was all in Pleasant Prairie. This was the neighborhood sketch plan that was put together. At that time, we had just identified that 68th Street would come in and a cul-de-sac would go north. I have no immediate plans still for that development. But, again, the neighbors were concerned as to what type of land use that might be located at this location. And so we pulled out the old sketch plan that was done in '88, and this is still what we have on the books for this particular area.

The other thing that we wanted to point out is that 68th Street was dedicated and constructed in the City of Kenosha as part of the Leona's Rolling Meadow Subdivision. And so it was always envisioned that maybe 68th could connect to 68th and then outlet onto H. We've not had any further discussions. There was the Alderman for this district in the City as well as some of the residents came and were very, very concerned and seemed to think that this would never happen. And so we certainly can take a look at it.

And when and if this is a development that would go forward in Pleasant Prairie obviously they don't align exactly. And I'm not sure if that was done on purpose or not. But as you can see we would have to come in and shift downward and then go out to H if, in fact, that ever was connected. So, again, we're not making any decisions regarding the extension of 68th. Again, it was planned to happen in the future, but at this point there are no plans for this. And, again, it was just because a number of emails and other things had come in at the staff level that we wanted to talk about this. It really does not have too much bearing on the synagogue project as it's presented.

So the neighborhood plan changes would then involve some modification to our Comprehensive Plan because we would need to identify this property as an institutional land use as opposed to a residential land use. These are just some of the tweaks also that we would need to identify with

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respect to right of way and the separate property and things like that for the property. They have identified on the very east end of the site that there would be a wet retention basin for their particular development. As you can see there's a lot of wetlands on the north/northeast corner of this development. And those wetlands will need to be field verified. But it is not their intention to petition for or to fill any of those wetlands. And so all those wetlands and the trees would still remain and still allow for a good buffer between this development and the single family that lies to the east in the City of Kenosha.

As I mentioned, municipal water would need to be extended to this development. It would need to be extended down 70th Street and north -- actually from 89th down 70th Street and north on 88th Avenue. And this would be at a cost of the developer. Possibly after petitioning for a right of recovery he may be entitled to a right of recovery, but we'd have to hold a hearing with respect to that.

There was quite a bit of discussion prior to the meeting as to why does the zoning change have to take place and why can't we just put this in the residential district. In our zoning ordinance we do not allow for the pyramiding of zoning ordinances. And so institutional land uses are not allowed in a residential district. So it would need to be transferred into an institutional zoning in order for this land use to be approved.

Again, there was a lot of discussion at the Plan Commission meeting about the different colors of the land use prior to the meeting and what each of those designations meant. And because institutional uses, churches, are not typically planned for by location, a lot of times we have criteria that they need to be on a major highway and so on and so forth, but we don't say they have to be here and here because that's really up to each individual parish or facility or synagogue. Wherever they want to locate then we evaluate in on a case-by-case basis when that information comes to us.

So they are requesting then to develop a synagogue, again, and a hospitality house as well detention basin, sell off the house. All of this over time. They'll need to extend municipal water. They'll need to put in the access points. They'll have to field delineate the wetlands. This was all discussed and is part of the staff comments. I'm not sure if I missed anything. I think I covered everything we talked about in the hour and a half at the Plan Commission meeting. There was a lot of good discussion. And I think that we addressed I think most if not all of the concerns and questions as raised at the Plan Commission meeting.

Michael Serpe:

When this came to the Plan Commission the representatives in favor of this came well prepared, gave us great information. The biggest complaint by those not speaking against it but were for the traffic problems on 88th Avenue which were created by the people that really live there right now. This is certainly not going to be a distraction to the neighborhood. I think it's going to be good. And I would move approval of 17-69.

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John Steinbrink:

Any further discussion?

Dave Klimisch:

Jean, a couple detailed questions. The water that would be extended I'm guessing laterals would be installed for the current homeowners to access if they want to? And then how would that be paid for the water main extensions?

Jean Werbie-Harris:

I'm going to defer to the Village Engineer.

Matt Fineour:

Typically when we do extend the water main we do go ahead and put in laterals. There is a right of recovery on those things. If by chance there's a situation depending on where the homes are we don't put in the laterals, then essentially the homeowners will be required to put in the laterals at the time of connection. In a case of a right of recovery I'm going to step back for a minute. It's not quite like an assessment where we would go ahead and install the laterals and they'd pay for it. During the design we look at it, if it's not installed they would be required to install it at the time of connection. So if it's a short lateral so if we're installing a water main, it's on the side of the road of an existing house, and they can just connect into that main. If it's on the opposite side of the road they would have to bore under the road and make a connection that way.

Dave Klimisch:

And when we put the water mains in is that tearing up the road or laying down new asphalt?

Matt Fineour:

In a situation like this where it's a rural road we'd probably put it outside the road if there's room within the right of way so we don't have to tear up the road.

Steve Kumorkiewicz:

What size of pipe do you put in there?

Matt Fineour:

That water main will most likely be an eight inch.

Steve Kumorkiewicz:

And it can be extended if we need it?

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Matt Fineour:

Yup, it would be extended at an eight inch because I don't think it's going further.

Steve Kumorkiewicz:

Okay, thank you.

Dave Klimisch:

And at the Planning Commission I think I counted 23 comments that were made. And like Jean had said it was 90 minutes. And there was people that were in favor of it and people that didn't like the traffic and other comments. So I appreciated you guys were well prepared and it was a long meeting and you were open to everything. So welcome to the Village.

John Steinbrink:

As Mike stated traffic was the big concern. As stated there wasn't that much traffic before all those people came. So they're complaining about their own created problem. And what they should do is talk to their alderman or the City about the next time they plan large developments maybe put in a controlled intersection right away. Because that always seems to be the problem. On Highway 50 White Caps had a problem. People called us left and right we can't get out onto Highway 50, it's a hazard. Well, guess who paid for it? Pleasant Prairie and VK Development put the light in on Highway 50 to make it work for them. And at this point now they're asking the County to put the light in to make it work for these subdivisions. Without the proper planning or making the developer pay for it instead we're all paying for it. So I think it's a great location and welcome to the Village. Further comment or question? Hearing none a roll call vote is requested.

**SERPE MOVED TO CONCUR WITH THE PLAN COMMISSION
RECOMMENDATION AND ADOPT ORDINANCE #17-69 FOR A COMPREHENSIVE PLAN
AMENDMENT RELATED TO PROPERTY LOCATED AT 6939 88TH AVENUE FOR THE
PROPOSED CHABAD OF KENOSHA SYNAGOGUE/LEARNING CENTER DEVELOPMENT;
SECONDED BY KECKLER; ROLL CALL VOTE – KECKLER – YES; KLIMISCH – YES;
KUMORKIEWICZ – YES; STEINBIRNK – YES; SERPE – YES; MOTION CARRIED 5-0.**

- I. Consider an Amendment to the Development Agreement related to the Kings Cove Subdivision generally located north of 116th Street and 18th Avenue.**

John Steinbrink:

Kings Cove has been going on for a long time, Jean, right?

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Jean Werbie-Harris:

It has, Mr. President. So this is a request for an amendment to the development agreement. Basically what we are doing is we are doing an assignment of the development agreement. Thomas Interests, Inc., has decided that they wanted to reassign the interest of their development as the developer of the public-related improvements with Witici Development Corporation. So the purpose of this amendment is actually to assign all obligations for public improvements from Thomas Interests to Witici.

And so this amendment goes through just the history, and I just wanted to make sure that we have a continuing history. It talks about the original owner who is Kings Cove LLC, and then the next owner was the Bank of Kenosha, and then the next owner was Thomas Interests. And now the next owner for the private improvements is Dustin Harpe through Harpe Development or Harpe Holdings, and they're doing private development. But still Gary Thomas is finalizing his obligation with respect to the public improvements, and that's set forth in here. We have a new letter of credit with his new entity, so that's already in possession of the Village. So this was just kind of to keep things in order with respect to tracking who owns the development until it's completed. The staff recommends approval of this amendment to assign it, again, from the previous Thomas Interests to the Witici Development Corporation as presented.

KUMORKIEWICZ MOVED TO APPROVE AN AMENDMENT TO THE DEVELOPMENT AGREEMENT RELATED TO THE KINGS COVE SUBDIVISION GENERALLY LOCATED NORTH OF 116TH STREET AND 18TH AVENUE; SECONDED BY KLIMISCH; MOTION CARRIED 5-0.

J. Consider the 2018 Sewer Utility Budget and Resolution #17-46 adopting the budget.

John Steinbrink:

Is this a formal presentation?

Kathy Goessl:

Yes.

John Steinbrink:

Okay.

Kathy Goessl:

Mr. President and Village Board, this is our presentation of our last two budgets for the 2018 budget calendar year. The two budgets we're doing is our sewer utility budget and the water utility budget. The first one I'll start with is the sewer. And this is a summary format of the sewer budget. It shows the four different categories, the 2017 budget versus the 2018 budget, and the proposed dollar change and percent change in each of those categories. Detailed line-by-line

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information is available in the department submitted budget reports that are included in your agenda packet.

Operating revenue is up for 2018 by \$301,000. The majority of this increase is in commercial revenue up \$117,000, and industrial revenue up \$173,000. Industrial revenue actually includes a reduction of \$28,000 for We Energies. As you know, We Energies is looking at closing down in the second quarter of 2018. So they have a small impact on the sewer utility, but a lot larger one in the water utility which we'll discuss when we get to that budget.

Operating expense-wise there's an increase of \$155,000 when compared to the 2017 budget. Treatment expenses is up \$40,000. Depreciation which is a non-cash item is up \$30,000, and the maintenance of the collection system is up \$42,000 which includes labor and fleet. Maintenance of the pumping is down \$30,000. And we added a contingency this year in both the sewer and water budget of \$50,000. The contingency was put in there because we increased the capitalization limit to \$10,000 for equipment and up to \$50,000 for infrastructure. So if we have something that comes up that's unplanned, we put this \$50,000 contingency in there to help offset that cost in the budget.

On net operating its interest expense netted against interest income in investments and a capital contribution budgeted at a level of \$100,000. Interest expense is down \$30,000 on the debt we have in the utility. And interest expense is up \$14,000 for a net increase in revenue \$44,000. Decision packets of \$65,753 will be discussed in a couple slides. So you can see the net gain in this utility has gone up about \$124,000 from 2017 budget to what we're proposing for 2018.

This gives you a graphical view of the operating revenue. Operating revenue these are the main categories. We have residential being the largest revenue source for the sewer at \$2.6 million for 2018 or 42 percent of our sewer revenue. Our second highest is industrial at \$2.4 million or 39 percent of revenue. Industrial includes a surcharge of \$1 million. Each month the utility tests different commercial and industrial customers to see what type of discharge is being generated from their operations. And included in their monthly utility bill is a surcharge if they exceed domestic strength for BODs, suspended solids, those types of measurements. The third biggest customer is commercial at a little over \$1 million or 18 percent of our revenue. And that's going up this year slightly. And then public authority is the smallest customer base at one percent or \$62,000.

Then we switch to the operating side or spent side. This is a breakdown of the expenses to operate the sewer utility. The biggest expense is treatment, and we're budgeting \$1.9 million. It's 40 percent of our budget. It's Kenosha Water Utility charging the Village for treating the sewage that we send to the City. This also includes any rain water that may get in our sewer so we're always looking, and you can see in some of our capital projects to reduce that so we can reduce our charges from the City.

Depreciation is the second largest which is a little over \$1.4 million or 30 percent. This recognizes the cost of infrastructure over its useful life. It's a non-cash expense when recognized. Infrastructure was either donated by a developer, or we installed it and it was paid by special assessments. Third biggest expense is personnel. Personnel is at \$.8 million or 16 percent of our

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budget. It includes both our operational labor and clerical and administration labor and their benefits.

Other expenses come in fourth at 11 percent or a little over \$560,000. It includes electric, the biggest expense at \$72,000, includes contractual services, supplies, phone, etc. And ISF is fleet internal service charge of three percent or \$149,000. It's the use of the vehicles and equipment operated and maintained by the fleet internal service fund.

These are the decision packets that were brought forth. We the administration, Village Administrator and myself recommend approval of all the decisions packets that are brought forth by the public works director that total \$65,753. The first one is replace pigging port at LakeView lift station force main. The pigging port on the force main at LakeView is leaking and cannot be repaired. We are unable to use the force main. A new one will need to be fabricated and installed to prevent flooding in the lift station.

John Steinbrink:

Kathy, what is a pigging port?

Kathy Goessl:

John, what's a pigging port?

John Steinbrink, Jr.:

I kind of figured some people wouldn't know. I guess I have to go with a little bit of history here. A force main is a long pipe underground that starts at the lift station and pumps everything through for us through the pumps all the way upstream. The solids are only moving, the fluid is only moving when the pumps are pumping. And so when it's not pumping the solids will settle out in the pipe. And so once in a while it kind of sticks in the pipe. And so you need to get that cleaned out every so often. And so it's really cleaning the line.

The pig port, thing of it as a big -- it's not really a pig. No animals are harmed in the pigging out of the sewer main. But it starts off if you have a 30 inch line you put a 15 inch device in there that's about half the diameter. You run it all the way through. And so you insert into the T, it's like a T or a Y, you turn the pumps on, and it forces it all the way out the end. It cleans the diameter 15 inches. Then you put an 18 inch one, a 21 inch, 24 all the way up to a 30 and then it cleans it. Something you probably only have to do every 10 to 20 years or depending on how many solids that you have building up at the line. But it's really important to keep the maintenance up on it because it's a lot of extra friction, and it's a lot of extra energy with the pumps when you have to do it. And so a piggy is a device that cleans along the sewer line in the semi short story that I told you.

John Steinbrink:

Thank you.

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Kathy Goessl:

Okay, the second thing is to replace lights at the LakeView lift station for \$10,000. The lighting at the lift station needs to be replaced. The crews cannot work safely in the wet well with the lights the way they are. The portable sewer flow meters for \$13,000, that's four portable sewer flow meters that the Village uses to monitor sewer flow in subdivisions to help eliminate I&I and to plan for future improvements like lining our sewer mains.

Sewer samplers for \$11,000, this is the Village samples commercial and industrial sites on a monthly basis. That's the million dollars that was in the revenue source. And we need to purchase three additional samplers in order to keep up with the growing number of sites that need to be sampled each month.

And then the next one is air monitors for confined space entry for \$6,000. Village employees are required to monitor the air before entering confined spaces. Public works needs to replace our air monitoring equipment on a four year cycle. Locate equipment for a little over \$3,000. We're in need of three additional metal detectors and a ground fault locator to find buried manholes in our collection system. This locating equipment is being shared with the water utility also.

And then the last one is DPW, Department of Public Works technical support assistant to public works analyst for a little over \$4,000. This is a promotion of a person that we currently have on staff to complete the necessary tasks on a daily basis. We'd like to change this from a clerical position to an analyst position so the job can fit the description of the work that's actually being performed by that person. So we're recommending \$65,753 of decision packets. And then I'll turn this over to John to talk about the capital being recommended for the sewer utility which this is what we recommended. We pretty much approved everything that was recommended by the public works director.

John Steinbrink, Jr.:

The first item that I have this evening for the capital is the Westwood sewer meter upgrade. There's two sewer meters that measure the amount of sewage that comes out of the Westwood trailer park. It's located around that 7800 block of 88th Avenue. And that's the way that the trailer park gets billed for all of their usage. So whether they have sewage flow or water flow we bill them for every drop or every gallon of water that runs through that sewer meter. Right now we don't have any SCADA connection with that. SCADA is our computerized control that monitors everything within our sewer and water infrastructure.

And so we read the meter once a month, but we have no idea what's going on from the last 30 days if we don't go back there. So if it's a large rain event, if there's something happening, we'll be able to be proactive and really assist Westwood in keeping their costs minimum and preventing any backups downstream within the Village infrastructure.

The next is an inclinometer for the video camera. That's a device that mounts on top of our existing camera. It measures the angle of slope in a sewer line. When new development comes

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in we go through and we video all the sewer lines. But when it's dry you really can't tell is the pipe pitched correctly? Does it have a downward slope, does it have a belly in it or an upward slope? You really can't tell until you get some water or some flow in it. There's a lot of times when we'll go through and then we'll video, and now we're really seeing is there a crack in the pipe, is it broken, are there roots or something like that or it is plugged. But you really can't see the slope of the pipe. This device would allow us to do this. And with the amount of development that we're expecting to have in the near future it will definitely be money well spent.

The next couple ones are ones that are very proactive to keep our I&I down. The first one is a sewer smoke tester, \$12,000. It's a device that you put within a manhole, and then you introduce some smoke into the sanitary sewer. And then if you have any illegal connections, let's say a roof drain or a downspout or a gutter that's hooked up to it, if you have a pipe that leaks or is cracked somewhere, it will actually shoot smoke up and you'll see it coming out of the rain gutters in the house. It does not introduce any smoke into the homes because the homes all have what's called a trap. It's kind of a little S device. I'm sure a lot of you have seen it. And so the water actually traps the smoke or the sewer gas smell from entering in the homes.

The next one we have is sewer rehab to reduce I&I. This is something we've been doing for probably six or seven years now. We just finished the Cooper Road drainage basin. Now we've kind of shifted onto the River Oaks and Chateau area. And we plan on going through an lining all of our clay lines we have within our infrastructure for the sewer utility.

Rebuilding a lift station is just -- the \$50,000 is just the labor to do it. We bought the pumps and the pits and the valves and all the equipment a couple years ago. We just haven't had a chance labor-wise to get to it. We've been doing some other projects. And so it's been deferred. So this \$50,000 is just the labor and the fleet costs to rebuild the lift station around the 8500 block of Green Bay Road.

Pave sewer sites, once that lift station is rebuilt we're going to go ahead and repave the site as has been our common practice. The paving program sewer adjustments for just over \$80,000, any time we go and we do any sort of work within a subdivision part of a paving program we make sure that we adjust the rings, we seal the manholes, we make sure everything is adjusted to the right height. We're very proactive with that. And the time to do it is the time that we're doing the paving program. And so we go and estimate how many manholes, how much work, how much effort that it is for in-house staff and to contract out we came up with just over \$80,000 this year.

Security fencing around lift station for just over \$15,000. That's putting a security fence around the 192 lift station located just at that corner which we just discussed at the last agenda item at 68th and 88th Avenue. And then the sanitary sewer master plan is one of the Village Engineer's requests to put together a plan so as development happens we know where the sewers are going to go, what size that they have to be. So I would recommend the Board consider all these capital items for just over \$550,000.

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Michael Serpe:

The rebuild on the lift station – do you contract out or is that done in-house?

John Steinbrink, Jr.:

We do it all in-house. And one of the reasons why we do it in-house, well, actually a couple reasons, Mr. Serpe, why we do it in-house. One, we do save a lot of money by doing it in-house. But, two, it trains our staff on how to put a pump together, how to build the rails, put the floats. And so if something breaks, the guys have a better understanding on how to repair it because they did the installation on it. So it's something we've been doing for probably five or six lift stations. And we've really created a good educational core by doing this with our field staff.

Dave Klimisch:

How long have we been using the smoke tester?

John Steinbrink, Jr.:

We have not used one ever before so this will be our first one.

Kris Keckler:

I had a brief question about it. I understand the concept, but one of the potential outcomes could be identification of tie ins by residents, is that correct?

John Steinbrink, Jr.:

Yeah, we can tell any sort of inflow or infiltration. So if there's a cross-connection with a storm sewer you would notice because then it would come out the storm sewer grate. If you have a roof gutter that's tied in it would come out the roof gutter.

Kris Keckler:

But some of these might not be legitimate or approved connections or tie ins, or would they all be expected to be --

John Steinbrink, Jr.:

There is no cross-connection that would be legitimate or approved.

Kris Keckler:

Okay. And conceptually, though, how does that look? So if you put the smoke tester in, identify on property X, is the next step then for you guys right then and there to address --

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John Steinbrink, Jr.:

We would notify the property owner, we would give them X amount of days to correct the situation. It really depends on the severity of it of how much potential for flooding downstream it could cause.

Kris Keckler:

And aside from other methods where you've discovered some of those connections are you dealing with amicable homeowners that, hey, you got me, okay I'll correct it. I'm fully supportive of this and I think it's proactive and it will get us some of the information. It's not putting any of you guys in harm's way or arguments with homeowners?

John Steinbrink, Jr.:

No, most of the people that we come up to they've either recently moved into the house or they really had no idea it was there. Or at least that's what they're telling us. And I do believe that they're all being honest with us. And so everyone that we came across -- we actually came across one on Cooper Road drainage basin. A resident called and he said that the lateral was plugged up. We went out there, we shot a video -- we found out that the rain gutters and sump pump were tied into the sanitary sewer illegally. He had just moved there recently. We had a conversation with him. He had the disconnection done within a couple weeks and we moved forward.

Kris Keckler:

Thank you.

Michael Serpe:

Will this identify a sump pump problem as well?

John Steinbrink, Jr.:

It will not identify a sump pump problem because a sump pump has that check valve within there, and so it won't be able to blow smoke through a check valve.

The next one I'll go over is the sewer and water utility joint capital recommended. A lot of this is with our SCADA. That's our supervisory control and data acquisition. Like I said before it's the computerized system that runs and monitors and reports the activity within our sewer and water utility. Historian is the reporting software that we use. It takes all these thousands and thousands of points of data, puts it in a graph, puts it in some sort of medium that we can make useful decisions off of it. And the price for the SCADA storing upgrade is \$15,000.

The upgrading the SCADA alarm and the actual SCADA software, our SCADA is like a Microsoft Office Suite. It's something that you use, it has a bunch of different components. We're looking to upgrade that. Right now the version that we have is from when we first started

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SCADA in the Village when the Prange expansion happened back in the early 2000s, and it's just out of date. We're not able to update it anymore, so we need to move forward with that, \$65,000.

And then the final one that we're recommending is SCADA radio upgrades. So we have about 30 sites remote within the Village. There's water towers, booster station, lift stations, these meters like at Westwood we had talked about. Each of those sites has a whole control panel that has a radio and some other technical devices inside that takes all this data, sends it back to the Prange, runs it through Historian so we can use it and monitor it.

And so when we know when there's something wrong we're actually knowing as soon as there's something wrong an alarm goes off to dispatch, it goes off on my phone, it goes off on some other key staff within public works so we can make corrective measures on it immediately. And so updating all that software and radios and hardware and reporting comes up to just under \$200,000. It seems like a lot of money, but if you have a couple of situations where you run out of water in the Village, where a lift station stops working, it's really a small drop in the bucket to what could happen if you don't keep up with it at the end of the day. And those are the capital items that we are recommending, and I'll turn it back over to Kathy.

Kathy Goessl:

The sewer utility is the only utility that has debt. It currently has -- at the end of 2018 will have a little over \$2.4 million in debt. As you can see from the graph, all the other utilities that we have, water, clean water, fleet and [inaudible] do not have any outstanding debt. The sewer utility will be debt free by 2020 when they pay off \$2,175,000 balloon payment. We'll be making principal payments in 2018 of \$670,000, 2019 \$300,000, and then the final payment of a little over \$2,175,000 in 2020 to be debt free in all of our utilities.

This is a summary of our cash balance estimates. Basically this is how we gear our budgets just to make sure we have a positive cash flow happening and keep our cash balances actually accumulating to help with future infrastructure replacement. For both 2017 and '18 the net operating gains of a little over \$1.2 million for both years have helped contributed to the increasing cash. For 2018 capital purchases increased \$257,000 over 2017, therefore reducing or slowing the accumulation of cash for 2018. So you can see we're starting 2017 with a little over \$4.8 million, ending the year with \$6.4 for 2017 estimate. And we're proposing a budget that will end with cash of \$7.7 million.

Even with the cash reserves at these levels it's still not enough to replace future infrastructure. And plus, as I mentioned, we have a balloon payment of \$2.1 million in 2020, so we'll use a chunk of that cash reserve, a little over a couple million at that year to pay everything off instead of refinancing. Is there any questions on the sewer utility budget?

Michael Serpe:

Is there any notice from the City that increases would be coming?

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Kathy Goessl:

I haven't heard of anything.

John Steinbrink, Jr.:

I haven't either.

KLIMISCH MOVED TO ADOPT RESOLUTION #17-46 RELATING TO THE ADOPTION OF THE 2018 SEWER UTILITY BUDGET; SECONDED BY KECKLER; MOTION CARRIED 5-0.

K. Consider the 2018 Water Utility Budget and Resolution #17-47 adopting the budget.

Kathy Goessl:

Mr. President and Village Board, now I will present the water utility budget. The water utility budget is being impacted greatly by the We Energy plant closing. And I will identify those areas as we go through this budget. Currently we're not proposing a rate increase for the water utility. We need to go to the Public Service Commission in order for them to analyze our rates. We are looking at that probably more toward the end of 2018. We have We Energies leaving, we added in Niagra a couple years ago with the Public Service Commission giving us a rate for them without going through a full blown rate study. And their rate is actually set at a rate that is probably a little bit low compared to what the actual volume compared to what they were forecasting.

Also, we don't know yet what Haribo's water demands are. And we also have land that we're selling in Bristol, and we're looking at a water agreement with Bristol to provide water to them. So we have all these things going on. In the next hopefully six to nine months we'll have everything kind of figured out of where things are going to be landing. And so then we can submit a case to the Public Service Commission to re-evaluate our rates once all these major things have happened. But for now based on this budget we're able to sustain the budget and maintain our cash for the next year even with the loss of We Energies.

So this is the same comparison we did with the sewer utility looking at the 2017 budget, what we're proposing and the dollar change in each area. Detailed again, line-by-line is in the department budget that was submitted in your packets. Operating revenue is going to be down \$452,000 mainly because of We Energy water loss of revenue of \$600,000. This is a partial year. We're looking at them closing in the second quarter. And we're looking at first quarter being light. So their impact then going into '19 will be even a little bit greater. But because we did a conservative estimate for first quarter it's not going to be that much lighter. By that time we should have a water study done and see -- we might not be looking at a water rate increase for people, but just more or a normalization across our board.

To offset this decrease by We Energies we have an increase in residential of \$40,000, commercial \$33,000 and public fire protection of \$29,000. Our operating expenses we're looking at a

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decrease of \$31,000 when compared to the 2017 budget. That's the second line there. The majority of the decrease is in purchased water from the City of Kenosha which will be down approximately \$111,000 due to We Energies. And a decrease in fleet and wages of \$25,000 offset by the increase in depreciation of \$50,000 and, again, adding a contingency of \$50,000 that I talked about in the sewer utility to compensate for any unplanned infrastructure improvements because we raised the limit to \$50,000. Other expenses are up \$5,000. So the major impact here is due to We Energies.

Net operating revenue is interest income on investments which is up \$17,000. The transfers is utility tax transfer to the general government of \$930,000. And cell phone revenue tower revenue transferred to RecPlex TR program \$120,000. Utility tax transfer is up \$80,000 over last year's budget due to increase in the assets of the water utility. Decision packets we'll talk about in a couple slides from now, but total \$21,651.

Here's a graphical representation of our water utility's operating revenue. Industrial is still even without the reduction in We Energies one of our top revenue producers at \$1.6 million or 33 percent of our revenue. Our second revenue source is residential which is at \$1.5 million or 31 percent of our water utility revenue. Third is public fire protection which is a little over a million dollars or 21 percent. Public fire protection is based on assessed value of taxable property and an estimate of the non-taxable property. And then a rate is taken against those values. So in the future once the plant comes down for We Energies that will reduce some in there, but that won't be something for next year. That's for future years. And then we have commercial, multifamily and public authority making up the rest of the revenue sources for the water utility.

Water operating expenses the biggest expense is purchased water, a little over \$2 million we're looking at or 47 percent of our expenses. So that's a big deal of how much we have here. The Kenosha Water Utility charges to the Village for all the water we purchase. We're reducing the purchased water by \$147,000 for We Energies. When the Kenosha Water Utility goes in for a rate increase to increase our wholesale rates we have done a couple things over the last number of years since the last rate increase. We extended the water main from their treatment plant to our booster station not going through the subdivision along the lakefront there. That will help reduce rates there.

And then also we are just doing this now is disconnecting our standby locations along the City of Kenosha border. Therefore, we will not have to pay for part of their cost of their distribution mains that run through the City. So we have a couple things we've done since the last rate increase that will help us as they prepare -- which we haven't heard them going in for a rate increase yet, but when they do go into a rate increase to help us with our biggest purchase water expense here from the City.

Our second biggest expense is depreciation as, again, it's recognizing the cost of infrastructure that we have over its useful life, and it's a non-cash expense. And then we have personnel and other neck-to-neck pretty much. Personnel at \$6 million at 14 percent includes both operational labor and clerical and administration and benefits. And the other category a little over a half a million dollars or 13 percent includes our electric charge of \$131,000. We budgeted that similar to the 2017 budget. There could be a reduction there based on purchasing less water. But we just

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left that to be conservative at the amount we're paying this year. This also other includes contractual services, supplied, training, etc. The fleet internal service charge is the smallest expense at two percent or \$88,000. It's the charge to use the vehicle in the fleet internal service fund.

We have three decision packets that we're recommending, and there's two that we're not recommending. As we have a big reduction in revenue we needed to do something to help us through this next year to still maintain our cash. So in the decision packets we're not recommending some stuff, and for the water capital we're also pushing some stuff off to help us get through this next year until we get a rate study done.

The first thing we're recommending is a hydrant meter replacement. We have four new hydrant meters with built in backflow preventers needed to replace four existing meters which are obsolete. So it's a replacement of hydrant meters. Locate equipment this is connected with the sewer utility. I talked about it earlier. They're looking at three additional metal detectors. And then the last one was also shared with the sewer utility, it's the department of public works technical support assistant to be promoted to the analyst for a total of \$21,651 of new decision packets being recommended.

There are two decision packets that we're not recommending, the pressure wash the water tower and booster station for \$25,000, and the reservoir pump inspections for \$14,000. They were asking to clean the elevated water towers. The decision packet would allow to hire a contractor to pressure wash one water tower and one booster reservoir every year. This would enable us to have each water tower cleaned every four years and booster reservoirs cleaned every two years. And we're recommending we need to push it off one year, and the department of public works is fine with us pushing this off one more year.

Reservoir pump inspections, the pump booster at the reservoirs need to be inspected to reduce the possibility of water system failure to comply with DNR regulations. And that was also recommended not to be approved and was okayed by the public works director that we could push it off one year and still be in compliance.

John Steinbrink, Jr.:

I'll go over the capital recommended for the water utility. The first couple ones or a majority of these are water meters, new water meters within a residential. Replacement water meters the Public Service Commission mandates that we replace them every 20 years. The industrial meters have a different schedule change out anywhere from one year to six years depending on the size of the meter. The water meter radio upgrades are the transmitters that connect to the water meters that allow our people to read the meters. Not to have to inside the house or up to the house but just do a drive by and collect that data.

The Travis City hydrant replacement, the Travis City hydrants are some older hydrants within our system. We still have a couple hundred of them within the system, but they're old and they don't make parts for them, and it's not a hydrant style that we use anymore. So we don't actively go

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out and look to replace them. They break on their own. And historically we'll replace three or four of them a year. So we just budget some money for that.

The commercial meter upgrades are upgrading some of our larger meters that we have in the newer part of the industrial park to the newer compound meters that really do a better job capturing lower flow. And so we've noticed in a lot of these developments or a lot of these commercial buildings we'll go through and change their meters, then a month later we'll get a call saying, hey, I think there's something wrong with that new meter, it's reading really high. It's not really reading high, it's just capturing some of the water that wasn't captured before.

Paving program water adjustments is any time we need to go through in a paving program and adjust the valve, rebuild the valve top, do anything like that at the time it's being paved. The water meter MXU repairs are just standard things within our water system as far as the meters go that break, and then we have some money budgeted for it. The engineer recommended the water system planning model for \$10,000 to go ahead and plan for development so we know where towered, boosters, main, looping sizes like that have to go. So it's definitely an important thing. Paving sites is something that we had some money in and we dropped it and so we will not be looking for any money for paving any sites this year.

And then the one-time capital that we're looking to do is to continue to improve and rebuild the pressure reducing pits. There's different elevations within our system. There are some pressure reducing pits that keep the pressure within an allowable pressure so you're not having problems within the houses. The assessable project for the 29th Avenue water main extension. Replacing flow meters are our reservoirs to ensure that we are getting accurate reads.

And water lab equipment. We're doing some water lab sampling at the Prange again. We used to do all this at Sewer D, then we started contracting it out. We feel that it's something that we can do at the Prange and save some money and have a little bit faster turnaround at some of our samples that we do. We're not looking to do any sanitary sewer sampling, the BODs, the solids, anything like that. Just the standard water sampling that we are required to do.

And the last one is a generator at the Lakeview Tower. That's around the 5700 block of 165. It's actually a really important site, probably the most important site within our water infrastructure because our SCADA repeater is located on top of that tower. So every one of those 30 sites as it polls and collects data transmits data from that lift station or water facility to the top of the 165 tower, and then transmits it from there back to the Prange Center where it captures in there. When the power goes out we lose all of our SCADA, and then you're really running blind. So if a valve was open, a valve was closed, if a pump is running the SCADA system doesn't know to close a valve, to open a valve, to turn on a pump or turn off a pump. So it really is a critical piece of infrastructure. So we are looking to put a transfer switch and a generator at that site for the cost of just over \$11,000 with a total one-time capital of just over \$258,000.

Michael Serpe:

John, where's the 29th Avenue water main going, from where to where?

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John Steinbrink, Jr.:

It's going on 29th Avenue, and I believe it's going just to the -- that's just off of 116th. Matt, do you remember where that is? Off of 165, just off of 165.

Michael Serpe:

Going north? How far is that going down?

Matt Fineour:

[Inaudible]

Michael Serpe:

Okay, all right.

John Steinbrink, Jr.:

Thank you, Matt. And then there was some capital that was not recommended. We originally had this, and it balanced with the positive cash. But like Kathy's been talking about with the closing of We Energies there was some stuff that we had to cut. And we had to make some pretty significant cuts. And it's not really cuts, it's just some capital that we're looking just to hold off a year until we can really get a better understanding of how things are going to impact us. And so the first one is painting the Ladish water tower. We had \$325,000 to do it. It's nothing that has to be painted in 2018. It's something that it could be in '19, it could be in '20. We just try to keep on a proactive schedule to keep ahead of it per our requirements.

And then the next one was an installation of an antenna for the remote water reads. Over the last probably I'd say ten years we've been working on -- back in the day when the water meter guy was going to read the water meter he'd have to go up to the house, take the unit, touch it up on the house and go. It would take about two weeks to read all the meters. Some of the newer technologies, those MXUs that you've seen within the budget, allow a guy just to do a drive by in front of the house. This other technology for the antennas would make it where you wouldn't even have to go out to read water meters every again once it happened.

So all this data just transmits from the meter to the transmitter to this tower and then back to the Prange. And so we would not only even have monthly reads, we could eventually have hourly reads. And so we could tell is someone has a leak, if someone is having a problem, if there's an issue with the commercial site. We would know instantaneously while it's happening and then get some alarms. And so we are looking at deferring that \$55,000 for another year.

And then the water tower upgrades is making some improvements to the interior of the elevated storage tanks. Right now inside the base of those towers it's open, it's cold. But there is a lot of control and devices in there that really needs to be kept warm. And so we've been doing that with heat blankets and lamps and electrical tape. But when that stuff fails it really becomes a

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problem. So we're looking at actually creating a little room that kind of houses all that important water infrastructure to increase the longevity of those systems in place. So the capital not recommended just \$450,000. And it's something that we would like to have, but we can definitely do without it at this time especially to keep the water utility at a cash positive.

Kathy Goessl:

So here's the cash balances that we're looking at for the estimate for 2017 and the proposed 2018. We're looking at increasing cash slightly this year to come from \$3.7 million to \$4.1 million. The 2018 budget even with all the different reductions and cushion of capital the following year we're looking still to only gain a slight amount of \$62,000. It's basically just a cushion there to bring our cash reserves to \$4.2 or pretty much maintain our cash in the water utility.

Here is the capital assets that we own by each utility that we have. The total value of all the assets in all the utilities is \$124 million which is up from \$119 million for 2015. So this is the actual 2016. We're a little bit behind, this is historical information. So we're looking at closing '17 next quarter. So you can see the sewer utility has the most assets, and right behind it is the water utility. And our newest utility, clean water, already has \$23 million. And then the fleet and the solid waste follow with smaller asset values.

The sewer utility on this one is compared to -- this graph compares the actual cash at the end of each of the two years, '17 estimate and 2018 budget. Sewer is the only utility that has a little bit larger increase in cash. And as I mentioned we do have a balloon payment in a couple years for that utility. All the other enterprise funds only have a slight increase in cash or actually decrease in cash. And overall expecting to end 2017 with \$14 million across the five enterprise funds. And for 2018 \$15.4 million. You can see sewer has the most cash followed by water, clean water and then followed by the smaller enterprise funds.

So what we look for is to maintain our cash balance or increase our cash balance to be able to replace our infrastructure in the future without having to borrow. And this compares across all enterprise funds for 2016 actual values in millions of dollars. Cash of \$11.2 million across these three major enterprise funds, the average is 9.3 percent of our assets which are valued at \$120 million. So the blue bars are our assets, and the little orange colored ones are cash. So you can see we have a lot more infrastructure than we have cash. So we want to push these up some as we go across the years to help in the future to replace our infrastructure without having to borrow.

As I mentioned earlier we're not looking at any rate increases for either of the two utilities for the 2018 budget. So any questions on the water utility budget? Otherwise I'm looking for approval of Resolution 17-47.

KUMORKIEWICZ MOVED TO ADOPT RESOLUTION #17-47 RELATING TO THE ADOPTION OF THE 2018 WATER UTILITY BUDGET; SECONDED BY KECKLER; MOTION CARRIED 5-0.

- L. Consider the request of Redtail Enterprises Inc., d/b/a Milwaukee Burger, to appoint a new corporate agent for the current liquor licenses.**

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Jane Romanowski:

This is your standard liquor license agent change. The former agent is no longer an employee at the Milwaukee Burger Restaurant located out in Prairie Ridge at 9901 77th Street, Suite 810. So Redtail Enterprises submitted a request to change the agent to Matthew Nedweski. He's met all the requirements including a police check by Chief Smetana. So I would recommend that Matthew Nedweski be appointed successor agent for the Milwaukee Burger liquor license.

SERPE MOVED TO ACCEPT THE REQUEST OF REDTAIL ENTERPRISES INC., D/B/A MILWAUKEE BURGER TO APPOINT A NEW CORPORATE AGENT FOR THE CURRENT LIQUOR LICENSES; SECONDED BY KUMORKIEWICZ; MOTION CARRIED 5-0.

M. Consider Ordinance #17-70 to amend Chapter 18 of the Municipal Code to create the Pleasant Prairie Convention and Tourism Commission.

Tom Shircel:

Mr. President and Board members, before you is Ordinance 17-70 to create Article VIII for the Convention and Tourism Commission creation. If the Board recalls, a few weeks ago you set into motion the wheels to set up the Pleasant Prairie Convention and Visitors Bureau. This Convention and Tourism Commission is sort of a placeholder or a bridge until we can create the actual bureau. Because according to our Village Attorney it takes a few months to create that nonprofit entity of the Convention and Visitors Bureau. So, again, a placeholder to create this Tourism Commission which will allow come January 1st for this Commission to act in place of the Bureau until it's created and to collect the room tax and so on and so forth.

So there's certain subsections to this ordinance called the creation. It talks about membership and compensation for services. It talks about the terms of office for the Tourism Commission, regular meetings. And then finally in 18.74, again, it talks about converting from this Tourism Commission to the PPCVB sometime during the calendar year of 2018 before the end of 2018. If the Board has any questions I'll be glad to answer them.

KLIMISCH MOVED TO ADOPT ORDINANCE #17-70 TO AMEND CHAPTER 18 OF THE MUNICIPAL CODE TO CREATE THE PLEASANT PRAIRIE CONVENTION AND TOURISM COMMISSION; SECONDED BY SERPE; MOTION CARRIED 5-0.

John Steinbrink:

Further discussion on the motion?

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Michael Serpe:

I think we have a lot to offer as far as showcasing the Prairie. And nothing against the City. They have their tourism going very well for them on the lakefront, and I wish them well. And I think we'll do as well there ourselves. Looking forward to it.

N. Consider Letter of Credit Reduction Request No. 2 for the Cottages at Village Green Development.

John Steinbrink, Jr.:

Mr. President and members of the Board, the Cottages at Village Green is requesting a letter of credit reduction for public improvements. The Cottages is located just west of Village Hall here just in the top right corner of the Village Green Subdivision. There's a lot of work that has been done. The sewer, water, storm is all complete as the next slide shows. And also they have all of the stone in also. So it's been a very good fall for them. So they were able to get all the stone in within the Phase 1. So they can probably go vertical soon with some of these lots if everything continues to go well.

The public improvements that we're looking for reimbursement for is the sewer and water and storm within that Phase 1 component of there. And they're looking for a reduction of their letter of credit of \$401,079.08. There was a 15 percent contingency that was held or retainage that was held out of it already just to make sure that if anything fails in the warranty period the Village has some money to make those repairs. So staff does recommend a reduction in the LOC of just over \$401,079.08 to the Cottages of Village Green.

KUMORKIEWICZ MOVED TO APPROVE LETTER OF CREDIT REDUCTION REQUEST NO. 2 FOR THE COTTAGES AT VILLAGE GREEN DEVELOPMENT; SECONDED BY KLIMISCH; MOTION CARRIED 5-0.

9. VILLAGE BOARD COMMENTS

Michael Serpe:

I have one. The Village has an extremely lot of things going right now. Our staff is busy, busier now than I've ever remembered them. Tom, I want to thank you for filling in as you have since Mike retired. There's a lot of excitement happening, and a lot of nice things are coming out of what's in the pipeline. With that our fire department, police department, all department heads and all the employees thank you for your help in 2017. And I wish you a very merry Christmas.

Tom Shircel:

Mr. President, just to piggyback on what Mike said, I appreciate the Board's support. And just so you know we are very busy. And I couldn't do what I'm doing without all the assistance from all the department heads. You see them all out in the audience here. I could not keep my head above water without all their expertise and assistance. So I just want to give them kudos as well.

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10. ADJOURNMENT

**SERPE MOVED TO ADJOURN THE MEETING; SECONDED BY KUMORKIEWICZ;
MOTION CARRIED AND MEETING ADJOURNED AT 8:20 P.M.**

Consider the request of Craig Miller for a **variance** from Section 395-72 (A) of the Village Land Division and Development Control Ordinance to allow for 5-acre lot to be subdivided from the property located at 9109 River Road for the construction of a single family home without extending municipal sanitary sewer.

Recommendations:

Village staff recommends that the Village Board approve the **Variance** subject to the Village Staff Report of January 15, 2018.

VILLAGE STAFF REPORT OF JANUARY 15, 2018

Consider the request of Craig Miller for a **variance** from Section 395-72 (A) of the Village Land Division and Development Control Ordinance to allow for 5-acre lot to be subdivided from the property located at 9109 River Road for the construction of a single family home without extending municipal sanitary sewer.

The petitioner is requesting a Variance from the Village Land Division and Development Control Ordinance to allow for a 5-acre lot to be subdivided from the property located at 9109 River Road owned by Oliver and Patricia Christiansen Trustees of the Christiansen Trust for the construction of a single family home without the extension of, or the connection to municipal sanitary sewer.

The property is currently zoned A-3, Limited Agricultural District and portions of the property are zoned C-1, Lowland Resource Conservancy District and FPO, Floodplain Overlay District. The A-3 District requires lots to be a minimum of 5 acres and 300 feet of frontage. At least 50% of the lot shall be located outside of the wetlands and the 100-year floodplain. A detailed wetland staking shall be completed (See attached wetland delineation alternatives) and the location of the 100-year floodplain shall be field verified. In addition, a floodplain boundary adjustment will be required to provide dry land access to the new 5 acre property.

Section 395-72 (A) of the Village Land Division and Development Control Ordinance requires that all new lots created by land division be serviced by municipal sanitary sewer. Municipal sanitary sewer is currently located on CTH C (Wilmot Road) east of the Des Plaines River. Although sanitary sewer is expected to be extended within CTH C west of the Des Plaines River and possibly south on 114th Avenue in the future, where sanitary sewer could serve urban development on both sides of 114th Avenue; as the road continues south and becomes River Road further urban development is not likely due to the large amount of wetlands and 100-year floodplains. Furthermore, the extension of municipal sanitary sewer within River Road would be very costly and would service very few homes. If municipal sanitary sewer is required to be extended due to failing on-site systems, the property owners will likely install holding tanks or if that was not possible, they would be required to pay the costs for the extension of municipal sanitary sewer and connecting to the sewer. The petitioner had a soil test completed and Kenosha County has indicated that an on-site sewerage system could be installed on the proposed property. A new home will also need to install a well since municipal water is not located within River Road.

RECOMMENDATION: Both the Village's planning and engineering staff's support this request and recommends that due to the circumstances noted above, the Village Board approve the Variance from 395-72 (A) of the Land Division and Development Control Ordinance to allow a lot to be created without the extension of or connect to municipal sanitary sewer subject to the above comments and the following conditions:

1. The lot shall meet the minimum requirements of the A-3 District (5 acres and 300 feet of frontage on a public street). Furthermore, at least 50% of the lot shall be located outside of the wetlands and the 100-year floodplain. A detailed wetland staking shall be completed (See **attached** wetland delineation alternatives) and the location of the 100-year floodplain shall be field verified. In addition, a floodplain boundary adjustment will be required to provide dry land access to the new 5 acre property.

2. Upon completion of the above noted delineations and floodplain boundary adjustment, a Certified Survey Map shall be required to create the 5 acre property.
3. Kenosha County shall issue a permit for on on-site sanitary sewerage system prior to the Village issuing a permit for the construction of a new single family home.
4. All other conditions and requirements of the Village Land Division and Development Control Ordinance, Zoning Ordinance, Municipal Ordinance or any other ordinance enforced by the Village shall be met.
5. If approved, the Village staff will draft the required Variance Grant document to allow a lot to be created. The Variance Grant document will be required to be executed by the parties and recorded at the Kenosha County Register of Deeds Office at the cost of the petitioner, prior to recording the required Certified Survey Map.

VAR1711-001



ALTERNATIVE WAYS FOR COMPLETING A WETLAND STAKING IN THE VILLAGE OF PLEASANT PRAIRIE

ALTERNATIVE 1

Wisconsin Department of Natural Resources (WI DNR) Assured Biologist.

The WI DNR offers a program for wetland consultants to have WI DNR assess their accuracy in determining wetland boundaries. Individuals are assured for purposes of State of Wisconsin permits and State-mandated local programs. By using an Assured Biologist concurrence from WI DNR is not needed and wetland delineation issues are unlikely to cause delays in State permit decisions for sites at which these individuals are the lead field delineator and report author. Using this method allows for early planning and the permit application process to proceed more quickly. This approval however, may not satisfy wetland requirements for the US Army Corp of Engineers (ACOE) for any required permits necessary from the ACOE. A list of WI DNR Assured Biologists can be found on the WI DNR Website.

The property owner or his/her agent contracts with a WI DNR Assured Biologist to complete a site investigation, wetland report and stake the location of the wetlands on the property, referred to as a wetland staking. Upon completion of the wetland staking the following shall be submitted to the Village:

- ✓ Letter from WI DNR verifying the biologist is a WI DNR Assured Biologist.
- ✓ Wetland Report prepared by the Biologist.
- ✓ A Plat of Survey prepared by a Wisconsin Registered Surveyor that includes at a minimum: the property boundaries and location of any structures on the property; location and legal description of the field delineated wetlands; a note indicating the name of the biologist that completed the wetland staking and the date(s) the wetlands were staked; clear notations as to which areas are wetlands and which areas are uplands; and the square footage or acreage of each.
- ✓ A complete application and application fee to amend the Village Comprehensive Land Use Map and the Village Zoning Map pursuant to Village requirements for said amendments.

ALTERNATIVE 2

Non-WI DNR Assured Biologist

The property owner or his/her agent contracts with a qualified biologist to complete a site investigation, wetland report and stake the location of the wetlands on the property, referred to as a wetland staking. Upon completion of the wetland staking and written approval from the WI DNR, the following shall be submitted to the Village:

- ✓ Letter from WI DNR approving the wetland staking.
- ✓ Wetland Report prepared by the Biologist.
- ✓ A Plat of Survey prepared by a Wisconsin Registered Surveyor that includes at a minimum: the property boundaries and location of any structures on the property; location and legal description of the field delineated wetlands; a note indicating the name of the biologist that completed the wetland staking and the date(s) the wetlands were staked; clear notations as to which areas are wetlands and which areas are uplands; and the square footage or acreage of each.
- ✓ A complete application and application fee to amend the Village Comprehensive Land Use Map and the Village Zoning Map pursuant to Village requirements for said amendments.

ALTERNATIVE 3

Southeastern Wisconsin Regional Plan Commission (SEWRPC) Staff Biologist

The Village will, upon receipt a complete application (including the required application fee and Pre-development Agreement), coordinate with the staff biologist from the SEWRPC, based on their availability, a site investigation, wetland report and stake the location of the wetlands on the property, referred to as a wetland staking. The following procedure will be used:

- ✓ The property owner or his/her agent shall have the property boundaries clearly delineated and staked on the site by a Wisconsin registered land surveyor so that the field biologist can clearly identify the site boundaries.
- ✓ Upon receipt of the completed application, the Community Development Department staff shall forward a written request letter to SEWRPC to schedule the services of its field biologist.
- ✓ A representative from SEWRPC will contact the Village staff with the date and time of the field staking appointment. The staking appointment may be scheduled more than 90 days after the receipt of a completed application by the Village. The Community Development Department or SEWRPC will notify the owner or his/her agent of the appointment date and approximate time so that the owner/agent can notify the Wisconsin registered land surveyor.
- ✓ The SEWRPC field biologist will field stake the wetlands by flagging the limits of the wetlands on the subject property.
- ✓ The property owner/agent shall contact his/her Wisconsin registered land surveyor to prepare a plat of survey of the wetlands within five days from the date of the biologist's field staking. The owner/agent shall submit the plat of survey to the Community Development Department within 30 days from the date of the biologist's staking.
- ✓ The plat of survey, as certified by a Wisconsin registered land surveyor, shall include, at a minimum, the following information: the property boundaries and all structures on the property; the location of the wetlands as staked in the field by the biologist, including a legal description of the wetland area(s); a notation of the date when the wetlands were field staked and which agency, i.e. "Wetland boundary as marked by (agency) SEWRPC on (date) August 5, 1996"; clear notations as to which areas are wetlands and which areas are uplands; and the square footage or acreage of each.
- ✓ If the plat of survey is not completed and received by the Community Development Department within the required 30 days from the date of the field staking, the Village will, after providing notice, have the plat of survey completed and all associated costs will be invoiced to the property owner pursuant application requirements (pre-development agreement).
- ✓ Upon receipt of the plat of survey, the Village will forward a copy of the plat of survey to the SEWRPC for final review and approval.
- ✓ Within 30 days of receipt of the final written approval from SEWRPC, the Village will initiate an application to amend the Village Comprehensive Land Use Map and the Village Zoning Map pursuant to Village requirements for said amendments. All associated costs will be invoiced to the property owner pursuant application requirements (pre-development agreement).

Glenn & Rita Christiansen
9108 River Road,
Pleasant Prairie, WI
Cell: 262-945-0657
Racktown2011@gmail.com

5 January 2018

RECEIVED

JAN 08 2018

PLEASANT PRAIRIE

Jean M. Werbie-Harris
Community Development Director,
Village Zoning Administrator, and Village Planner

✓ **Peggy Herrick**
Assistant Planner and Assistant Zoning Administrator

Kristina Tranel
Deputy Planner and Deputy Zoning Administrator

Honorable Zoning Board of Appeals Members

We are writing in regards to the request for a change in Zoning by our son/step-son and daughter in-law, Craig & Christine Miller, from Agricultural to Residential on River Road in Pleasant Prairie.

Craig grew up on River Road and spent many hours enjoying the outdoors. His greatest adventures were on his Grandparents property, Oliver & Patricia Christiansen, where he hopes to build a home with his wife, Christine and young son, Vincent. As Grandparents, we hope that we can watch Vincent explore and discover why we believe Pleasant Prairie is the perfect place to raise a family.

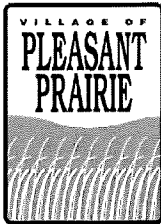
It is our hope that you will approve this request for zoning, allowing Craig & Christine Miller to build their forever home on River Road.

Sincerely,



Glenn & Rita Christiansen





VARIANCE APPLICATION-LAND DIVISION AND DEVELOPMENT CONTROL ORDINANCE

I (We) hereby request a variance from Section(s) 395-72(A)

Village Land Division and Development Control Ordinance to:

Sanitary Sewerage System Facilities
(specifically describe the variance requested)

for the property located at 9109 River Road, Pleasant Prairie, WI 53158

and legally described as: Please See Attached

Tax Parcel Number(s): 92-4-122-184-0101

I (We) have attached a written statement that explains why the proposed variance(s) will not be contrary to the public interest, and the special conditions that exists where a literal enforcement of the provisions of the Land Division and Development Control Ordinance will result in practical difficulty or unnecessary hardship, so that the spirit of this Ordinance shall be observed, public safety and welfare secured and substantial justice done. The requirement of "special conditions" and "practical difficulty or unnecessary hardship" shall be interpreted to take into account all of the relevant facts relating to the variance request. Such facts shall include, among others, the nature and scope of the variance being sought, the reasons for requesting the variance, and the reasonableness of requiring strict compliance in light of the resulting difficulty or hardship and the purposes of this Ordinance and of the particular provisions(s) of this Ordinance from which the variance is sought.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Christiansen Trust/

Print Name: Oliver & Patricia Christiansen

Signature: Oliver Christiansen

Address: 9109 River Road

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: 262-694-3497

Fax: _____

Email: _____

APPLICANT/AGENT:

Print Name: Craig Miller

Signature: C Miller

Address: 2880. 11th Place Unit 605

Kenosha WI 53140
(City) (State) (Zip)

Phone: 262-705-5187

Fax: _____

Email: CraigMiller1@live.com

Community Development Department, 9915 39th Avenue, Pleasant Prairie WI 53158

262-925-6717

Southwest 1/4 of the Southeast 1/4 of Section 18 Town 1 North Range 22 East EXCEPTING THEREFROM Certified Survey Map No. 1803 also EXCEPTING THEREFROM Commence at the Northwest corner of Lot 1 Certified Survey Map No. 1803 thence North 61 Degrees East 256.82 feet, thence South 26 Degrees East 25.42 feet, thence South 66 Degrees West 257.01 feet along said Certified Survey Map to the point of beginning.

Information Only:

Address: 9109 River Road, Pleasant Prairie, WI 53158

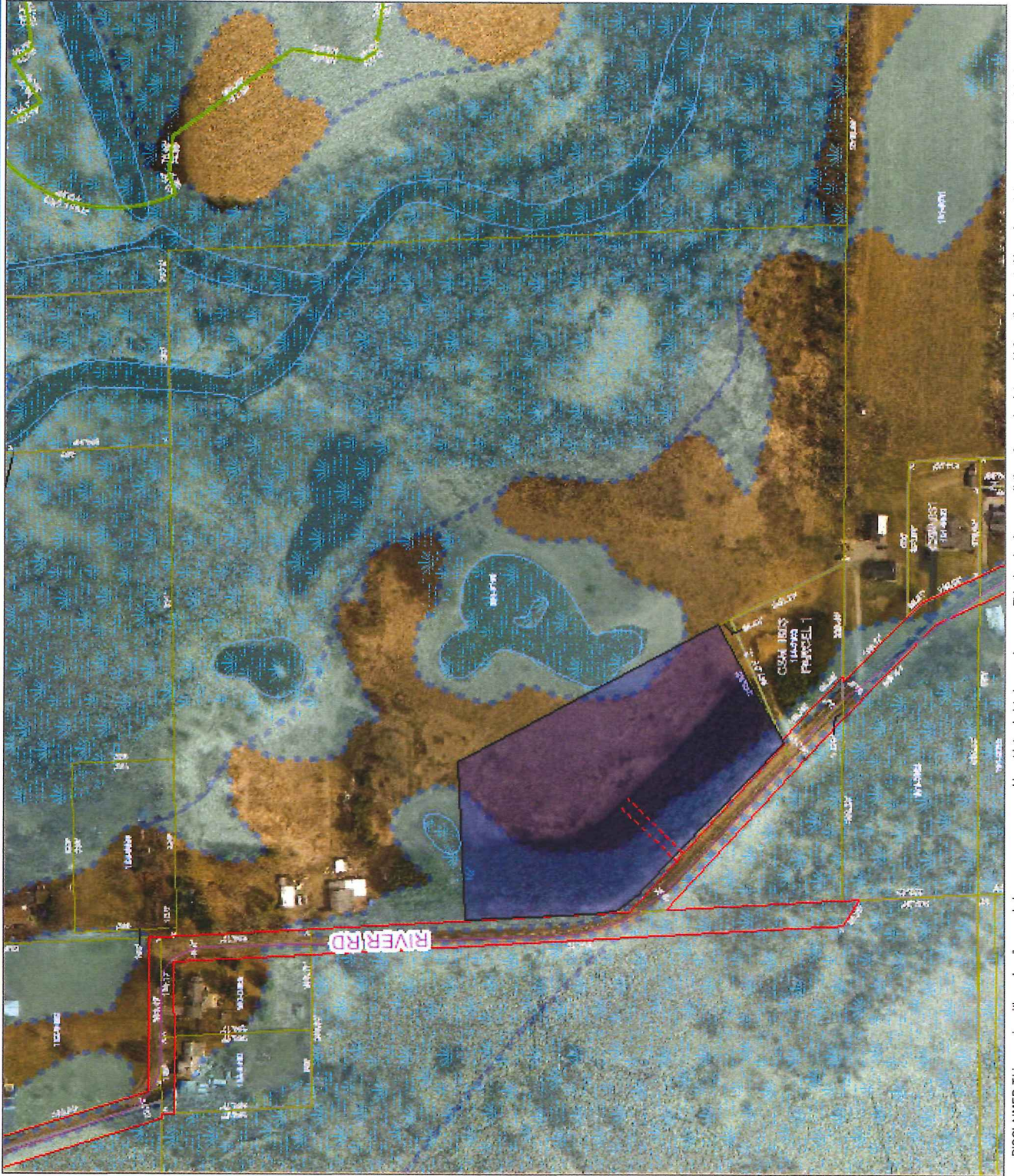
Parcel No.: 92-4-122-184-0101

38.80 AC M/L (1996 PT 92-4-122-184-0100) DOC#985424 DOC #1045122
DEED IN ERROR (DOC #1773136 DEED IN ERROR - 2017 LOT LINE ADJ)
(DOC #1791204 CORRECTION 2017 LOT LINE ADJ)

To Whom It May Concern,

I am writing this in regards to the attached variance application for 9109 River Road, Pleasant Prairie, WI 53158; Parcel No.: 92-4-122-184-0101. This variance would allow for the proposed 5 acre parcel to be separated into a lot. The soil test has passed, and has been submitted to Kenosha County for an on-site sanitary sewer system. Due to the location of the proposed parcel, the extension of municipal sanitary sewer down River Road would not be cost effective as most of the land on the West side of the road is in the 100-year floodplain and cannot be developed. The property is zoned A-3 Limited Agricultural District, which requires a minimum 5 acre lot with 300 feet of frontage. The proposed lot will meet these requirements. This property is special to my family and I as it is currently part of my Grandparents land. I personally grew up next to the property at 9108 River Road and have always dreamed of returning to this area. This variance would allow for that dream to come true and grant my wife and I the opportunity to raise our son in the beautiful community that Pleasant Prairie provides. Thank you for your time and consideration with this matter.

Sincerely,
The Miller Family



1 inch = 288 feet

DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Consider approval of a **Master Conceptual Plan** for the request of Peter Molter, agent for Froedtert South for the proposed 50,000 square foot Froedtert South Pleasant Prairie Medical Office Building to be constructed within the Main Street Market development to be located at the northeast corner of STH 31 (Green Bay Road) and STH 165 (104th Street).

Recommendation: On January 8, 2018 the Plan Commission held a public hearing and recommended that the Village Board conditionally approve the **Master Conceptual Plan** subject to the comments and conditions of the January 15, 2018 Village Staff Report.

VILLAGE STAFF REPORT OF JANUARY 15, 2018

Consider approval of a **Master Conceptual Plan** for the request of Peter Molter, agent for Froedtert South for the proposed 50,000 square foot Froedtert South Pleasant Prairie Medical Office Building to be constructed within the Main Street Market development to be located at the northeast corner of STH 31 (Green Bay Road) and STH 165 (104th Street).

On December 4, 2017, the Village Board conditionally approved a Master Conceptual Plan for the development of the vacant land at the at the northeast corner of STH 31 (Green Bay Road) and STH 165 (104th Street) for commercial development to be known as Main Street Market. The Main Street Market Master Conceptual Plan provided a refinement to the Neighborhood Plan conditionally approved by the Village Board on October 2, 2017 (Ord. #17-48) and proposes the following other commercial buildings:

- Building A: Grocery Store (60,000 square feet)
- Building B: Retail Building (8,000 square feet)
- Building C: Multi-tenant Building (26,000 square feet)
- Building D: Retail Building (6,000 square feet)
- Building E: Commercial Building (13,800 square feet)
- Building F: Medical Office Building (12,300 square feet foot print with 50,000 square foot total building area)
- Building G: Commercial Building (2,350 square feet)
- Building K: Gasoline Station and C-Store (5,000 square feet)
- Building L: Retail Building (6,000 square feet).

As shown in the Neighborhood Plan and the Master Conceptual Plan, Main Street is intended to connect to STH 31, continue east through the entire Highpoint Neighborhood and connect to Main Street in the Village Green Heights Subdivision that will ultimately connect to Springbrook Road through the Village Green Center (downtown) just north of the Pleasant Prairie Post Office. Access to Main Street between STH 31 and Old Green Bay Road is proposed to be a boulevard with access to the north and south as right-in/right out only, if approved by the WI Department of Transportation (WI DOT).

United Hospital System Inc., who recently merged with Froedtert Hospital and the Medical College of Wisconsin to be known as Froedtert South, Inc., is requesting approval of a Master Conceptual Plan for the first commercial building within Main Street Market—a four-story medical office building/medical clinic.

The building is proposed to consist of four floors, at 12,500 square feet each, totaling approximately 50,000 square feet of buildable space. The building will have multiple entrances on two different levels. On the west side of building (facing STH 31) it will be a four-story and entry with the topography rising to the east (facing Old Green Bay Rd) the building will have a three-story face and entry. The building's exterior materials will consist of unit masonry (brick) in an architectural, prairie style to match the St. Catherine's Medical Center Campus on STH 50 in the Prairie Ridge Development.

The lowest level and entry point is intended to support comprehensive rehabilitation therapy services including:

- General Physical Therapy
- Aquatic Therapy in a warm water therapy pool;
- Manual Therapy;
- Orthopedic and Musculoskeletal Rehabilitation;
- Sports Medicine;
- Post-Operative Therapy for shoulder, elbow, hands, hips, knees and foot;
- Spine Therapy;
- Vestibular and Balance Therapy;

- Occupational Therapy;
- Lymphedema Therapy;
- Cancer Rehab Therapy;
- Hand Therapy; and
- Direct access for patient self-referral.

Entry into this lower level would include an at-grade covered pick-up and drop-off door to protect patients from the weather. The floor would have individual private treatment areas for patients as well as a centralized gym area for those patients and related support areas.

The second level will also include an at-grade covered pick-up and drop-off door to protect patients from the weather. The second through fourth floors will be used for physician offices that provide primary and specialty care. Those practices include but are not limited to family practice, internal medicine, cardiology, neurology, orthopedics, gastroenterology and others. At full build out, each floor will house approximately five to eight providers and support staff. Supporting these services will be a clinical laboratory services, radiology and imaging services, and other diagnostic services. In addition, the clinic site will offer walk-in services without an appointment during routine business hours.

The hours of operation for the various services will be Monday-Friday from approximately 6:00 am to 8:00 pm and Saturdays from approximately 7:00 am to 5:00 pm. Sunday operations may occur based on patient demand, but would be for limited hours.

It is intended that the first two floors will be built initially and the remaining two floors of the building be shelled in. At full build-out it is anticipated that there would be 80 full-time equivalent jobs created.

Parking and sidewalk/pedestrian interconnections will be shared throughout the development and cross access easements shall be provided. There are 247 parking spaces (including 12 handicapped accessible spaces) within 400 feet the building.

As discussed with the Master Conceptual Plan for the entire Main Street Market development, the developer of Main Street Market is preparing an update to the initial Traffic Impact Analysis (TIA) originally prepared in 2007, to evaluate all required Old Green Bay Road, STH 165 and STH 31 roadway and intersection improvements required as a result of this development as well as the timing for the construction of the transportation improvements. The TIA will be prepared for the Village's and the WI DOT reviews and approvals. In 2007, the previous developer was exploring roundabouts at several intersection locations; however due to costs and land availability, the current developer is exploring more typical 4-way intersections. Ultimately the TIA will determine the intersection type, the location of driveway access locations, restricted access points and timing or phasing of the roadway and intersection improvements.

Old Green Bay Road will be required to be re-constructed with an urban cross section with curb and gutter and public sidewalks. Section requirements have been defined which include bicycle and pedestrian accommodations.

Public water main along Old Green Bay Road shall be extended to the north property line of this project. The retention basins are not allowed to be located over the existing sanitary sewer or water mains and all utilities need to be accessible with a paved surface. All plans for the private and public improvements shall comply with the Village's Design and Construction standards.

The goal is for the Medical Office Building to be completed and operational next winter in 2018-2019.

Next Steps for Main Street Market/Froedtert South Medical Office Building:

1. **Traffic Impact Analysis (TIA):** WI DOT has approved a scope of work for the TIA to be completed. Once the TIA is completed, WI DOT and the Village will review and approve. As noted above, the WI DOT's review of the TIA, which is anticipated in the next 4 weeks, will determine/confirm the intersection type, the location of driveway access locations, restricted access points and timing or phasing of the roadway and intersection improvements.
2. **CSM with Development Agreement** related to required public improvements and all associated plans and exhibits. The TIA needs to be approved by WI DOT and detailed engineering plans related to required public improvements need to be completed and submitted for review. Multiple Certified Survey Maps will likely be presented as the entire project developments. (This needs to be completed for the entire development and prior to issuance of any permits for the Medical Office Building).
3. **Comprehensive Land Use Map Amendment** to remove the Urban Reserve land use designation and correctly show the location of any wetlands that are not approved by the WI DNR and ACOE to be filled (This needs to be completed for the entire development and prior to issuance of any permits for the Medical Office Building).
4. **Zoning Map and Text Amendments** to create the Planned Unit Development (PUD) ordinance and to rezone any wetlands that are not approved by the WI DNR and ACOE to be filled. The PUD Ordinance may be amended from time to time as development with Main Street Market is proposed. The Main Street Market shall develop as a uniform business development site. Community benefit shall be reflected on site architectural design, building material, landscaping, signage parking lot light poles and other features. (This needs to be completed for the entire development and prior to issuance of any permits for the Medical Office Building).
5. **Site and Operational Plans** will be required for each individual building as uses are proposed including the proposed Medical Office Building Preliminary Site and Operational Plans may be submitted for beginning on-site grading, underground utilities and footing and foundation.

Recommendation:

Plan Commission recommends that the Village Board approve the Master Conceptual Plan subject to the above comments and the following conditions:.

1. **The Master Conceptual Plan approval will be valid for a period of one (1) year (until January 15, 2019).** Prior to the expiration of the required Site and Operational Plans, Certified Survey Map, detailed Public Improvement Plans and related documents which satisfy the conditions of the Master Conceptual Plan approval shall be submitted and considered by the Plan Commission and Village Board.
2. The required Certified Survey Map shall be submitted for review and approval. The CSM shall show at a minimum:
 - Dedicated General Utility Easements
 - Dedicated Public Sanitary Sewer, Access and Maintenance Easement
 - Dedicated Storm Water Drainage, Access and Maintenance Easement
 - Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easements

- Dedicated Signage, Access and Maintenance Easements
 - Dedicated Ingress-Egress, Cross Access and Maintenance Easements
 - Label No Direct Vehicular Access
 - Dedicated Wetland Preservation and Protection, Access and Maintenance Easement (if applicable)
 - Dedicated Vision Triangle, Access and Maintenance Easements
 - Show additional right-of-way to be dedicated
 - Label streets as Dedicated Public Streets
 - Include Dedication and Easement Provisions and Restrictive Covenant Language
3. Public improvements are required and a Development Agreement will be required to be entered into that sets forth the requirement improvements and provides the financial security to ensure that the work is completed.
 4. Cross-Access, Maintenance Easements shall be dedicated and recorded for the shared access between lots/parcels on the CSM or separate document. All easements shall be reviewed and approved by the Village.
 5. Declaration of Commercial Covenants for Main Street Market shall be submitted for staff review and approval prior to the development of this site and any other site within Main Street Market.
 6. Detailed Site and Operational Plans that include site plans, drainage and grading plans, building plans, landscape plans, signage plans and all other required plans and documents pursuant to the Site and Operational Plan requirement of the Village Zoning Ordinance (Article IX of Chapter 420 of the Village Municipal Code) shall be submitted for each individual site improvements.
 7. As sites are developed the Master Conceptual Plan shall be updated to incorporate the detailed plans and shown as part of the Site and Operational Plan set.
 8. As development plans continue to progress the following comments and conditions shall be addressed and the Site and Operational Plans.
 - a. Subject to the **attached** comments from the Village Engineering Department dated January 2, 2018.
 - b. Subject to the **attached** comments from the Fire & Rescue Department dated December 21, 2018.
 - c. Subject to the **attached** comments from the Building Inspection Department dated December 20, 2017.
 - d. The developer will be required to install a sanitary sewer sampling manhole per the Village specifications. The sampling manhole shall be in a paved and maintained area outside of parking stalls or heavy traffic. The location shall allow for sampling vehicle and personnel to access for a period of time. Location and detail shall be shown on the plans.
 - e. Easily moveable gates which match the color of the trash enclosure materials shall be provided. The entire are shall be screened. Provide greater detail on the plans.
 - f. Site details shall be further discussed with the Developer to ensure that the same materials will be used throughout the Main Street Market development. A meeting shall be scheduled as soon as possible to discuss lighting fixture, site furniture, and signage (on-site directional signs and monument signs for the Main Street Market and individual businesses/buildings, pedestrian walk ways).

- g. Parking lot striping for all properties within Main Street Market shall be the same.
- h. Attractive and ornamental commercial light pole standards/LED fixtures shall the same type and style (pole and head) within the entire Main Street Market development (bronze or black-not terra cotta) shall be provided in the parking lot at a maximum height of 20 feet from grade with the fixtures style and color to compliment the building (No shoe box fixtures). The concrete bases of the light standards shall not exceed 12 inches above grade. All concrete, unpainted light pole bases shall be placed within landscaped areas or islands. As a unified development all of the parking lot lights shall be the same style, height, color and size for the entire unified business development area.
- i. All exterior lighting shall be of the same LED color and brightness. Parking lot lighting shall be illuminated to provide sufficient lighting for the public's safety and the effective operation of the security cameras - per the Village's satisfaction.
- j. All on site-directional signage (including handicapped signage, no parking, fire lane, stop signs and other such signage) shall have ornamental bronze/black poles with caps and bronze painted bollards. (Note on the plans sheets).
- k. Each handicapped parking space shall be appropriately signed (locations to be reviewed with planning staff) and painted on the pavement pursuant to ADA requirements prior to occupancy of any development site.
- l. Sidewalk areas within the Main Street Market development shall be redefined in certain areas so that they do not cover more than 50% of the landscape islands. Further discussion is warranted related to the location of these pedestrian areas.
- m. Shift parking lot island to allow for sidewalks to be extended outside of the island.
- n. All storm sewer collection systems and downspouts for the building and porte-cochere's shall be internal to the building/building columns and interconnected underground to the private storm sewer system and cut off at grade and shown on the required Site and Operational Plans.
- o. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view. All air conditioning units/gas meters shall be mounted at grade and screened, not mounted on the side of the building.
- p. Water usage and interior meter plumbing plans will need to be submitted.
- q. All entrances and exits should be numbered on the exterior and interior beginning at the main entrance and moving clockwise around the structure. Numbers should be of a reflective material and must be visible from the farthest point of the adjacent parking lot (minimum size of 3 inch attractive numbers placed on the same location of each door).
- r. Landscape Plans shall provide all details including a chart with size (planting and mature sizes), type and quantities of plants.
- s. Landscaping (minimum of 24 to 30 inches at planting) shall be required on all sides, especially along west property line.

- t. All water/sewer on-site shall be private with easements granted to the Village.
 - u. Identify all PUD modifications requested for this site. A PUD will be required for the entire development that will addresses setbacks, share parking, common areas, signage and other items to ensure a unified commercial development within Main Street Market.
 - v. All comments in the conditional approval of the Master Conceptual Plan for Main Street Market as conditionally approved by the Village Board on December 4, 2017 shall be updated and shown on the plans. See **attached** conditional approval letter for Main Street Market's Master Conceptual Plan dated December 13, 2017. (For example garbage dumpsters shall be integral to or attached to buildings-off site buildings E and G shall be dumpsters attached, landscaped islands and pedestrian connections shall be coordinated. Base map for Main Street Market shall be updated and be provided and used for this development.)
8. A Digital Security Imaging System (DSIS) shall be installed for each use throughout this commercial development with exterior cameras in accordance with the security requirements of Chapter 410 of the Village Municipal Code. A DSIS Agreement and recorded DSIS Access Easement will be required.
 9. The development shall comply with the ordinances in effect at the time of construction. In addition, detailed Site and Operational Plans are required to be submitted for review and approval prior to any development pursuant to the requirements for the Village Zoning Ordinance. Also, depending on the use proposed, the occupants may be required to obtain a Conditional Use Permit along with Site and Operational Plan approval from the Plan Commission and may require special licenses by the Village.
 10. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit pursuant to the requirements of Article X of Chapter 420.
 11. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
 12. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
 13. Development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
 14. Impact fees pursuant to Chapter 181 of the Village Code are required to be paid at time of building permit for each development site.



MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Main Street Market – Froedert South Concept Plan

DATE: January 2, 2018

Peggy,

The Engineering Department has reviewed the concept plans for the Froedert South building. We have the following comments listed below.

1. The primary monument sign must be relocated and placed outside existing easements and not encroach into the existing utility locations.
2. The site plan must be coordinated in conjunction with overall main street market engineering plans. See previous engineering comments for the Main Street Market concept plan.
3. On-site water, sewer, and storm utilities shall be privately owned and maintained. Utilities that service more than one property or building will require easements and recorded maintenance agreements. The easement and maintenance agreements shall include:
 - a. Legal description of the easement(s).
 - b. Identification of the private utilities.
 - c. Identification of the owner(s) of the private utilities.
 - d. Provisions for inspections, operations, and maintenance along with reporting requirements for the private utilities
 - e. Provisions allowing the Village access to the property to perform inspections or maintenance that are not being properly performed by the owner.
 - f. Agreement that the owner shall be responsible for all costs associated with the construction and maintenance of the private utilities.
4. A sanitary sewer sampling manhole will be required.

5. Complete civil engineering plans for all private and public improvements will need to be submitted and reviewed. Refer to the Village's Design Standards and Construction Specifications -current edition for this development. The design standards may be found on the Village's website:

<http://www.pleasantprairieonline.com/services/engineering/index.asp>



MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Main Street Market – Conceptual Plan

DATE: October 27, 2017

Peggy,

The Engineering Department has reviewed the conceptual plans for the proposed Main Street Market development. We have the following comments listed below and noted on the attached mark-up plan. Refer to both this memo and mark-up plan sheets for all engineering comments.

1. See comments on the attached plan mark-up sheets.
 - a. Only plan sheets with comments are included.
 - b. Comments that apply to multiple locations are not repeated for every occurrence.
 - c. Revised submittals shall include a cover letter addressing each comment not addressed or requiring explanation, item by item, to help facilitate Village review of plans.
2. A traffic impact analysis shall be completed to evaluate the following intersections. The TIA will need to be approved by the Village and WDOT.
 - a. STH 165 and Green Bay Road.
 - b. STH 165 and Old Green Bay Road.
 - c. STH 165 and Main Street / Jelly Belly.
 - d. Old Green Bay Road and south private drive entrance.
 - e. Old Green Bay Road and private drive entrance / 102nd Street.
 - f. Old Green Bay Road and the private drive entrance north of building "C".
 - g. Old Green Bay Road and Main Street intersection.
 - h. Old Green Bay Road and 95th Street.
 - i. Old Green Bay Road and building "K" private entrance.
 - j. Any other impacted intersections as may be determined by the WDOT or the Village in consultation with the traffic engineer.

3. The project will require improvements to Old Green Bay Road along the entire property frontage to an urban section with curb and gutter. Section requirements shall be further evaluated with a TIA and include bicycle and pedestrian accommodations. Also, the evaluation of Old Green Bay Road and project site intersections shall anticipate the future Main Street connection/traffic per the Village Neighborhood plans. Main Street is anticipated to be a collector road from Village Green Center at Springbrook Road to STH 165.
4. A sidewalk shall be provided along the west side of Old Green Bay Road along the development. The sidewalk shall plan to cross Old Green Bay Road at Main Street to be extended along Main Street, east of Old Green Bay Road, in the future.
5. The public water main along Old Green Bay Road shall be extended to the north property line as part of this project.
6. Complete civil engineering plans for all private and public improvements will eventually need to be submitted and reviewed. Refer to the Village's Design Standards and Construction Specifications -current edition for this development. The design standards may be found on the Village's website:

<http://www.pleasantprairieonline.com/services/engineering/index.asp>

Attachments: Plan Mark-Up
Highpoint Neighborhood Plan

CONCEPT PLAN - SITE, GRADING, & UTILITY PLANS

FOR

MAIN STREET MARKET

VILLAGE OF PLEASANT PRAIRIE, WI

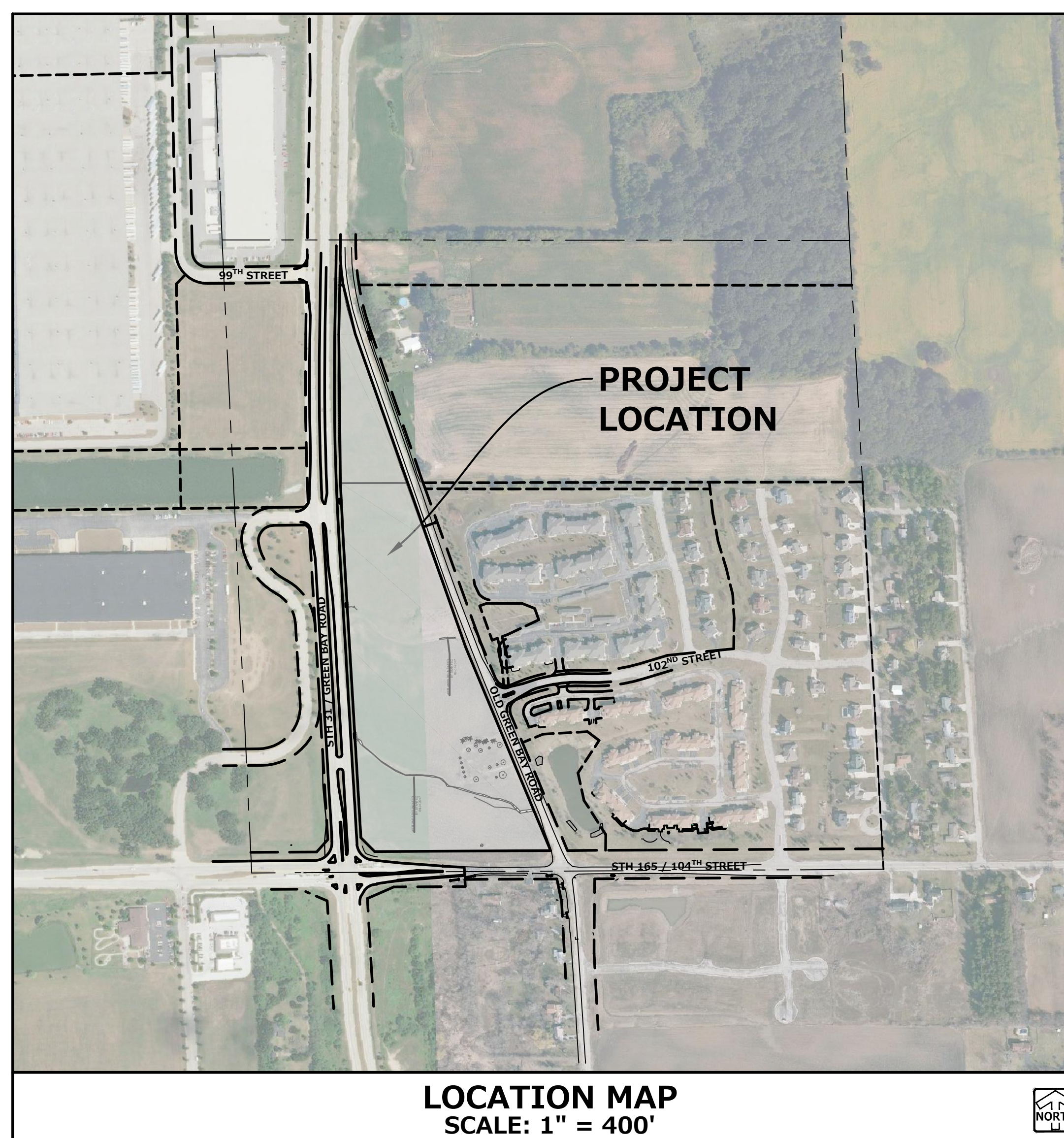
PLANS PREPARED FOR



ENGINEERING
REVIEW 10-27-2017
PLAN MARK UP

SITE DATA TABLE

TOTAL SITE AREA:	21.7 AC (944,980 S.F.)
PAVEMENT AREA:	9.5 AC (414,366 S.F.)
BUILDING AREA:	3.2 AC (139,450 S.F.)
LANDSCAPE AREA:	6.8 AC (296,208 S.F.)
GREEN SPACE:	31.3%
POND AREA:	2.2 AC (97,000 S.F.)
PARKING STALLS:	841 STALLS
EXISTING ZONING:	COMMUNITY COMMERCIAL
PROPOSED ZONING:	P.U.D. (PLANNED UNIT DEVELOPMENT)



PROJECT TEAM CONTACTS

CIVIL ENGINEER: MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888	APPLICANT: DANIEL SZCZAP BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142
---	---

BENCHMARKS

VERTICAL DATUM:	NGVD 29
HORIZONTAL DATUM:	NAD 1927
BM 1: FOUND SE CORNER, NE 1/4 SEC. 27, T1N, R20E (CONC. MON. W/ BRASS CAP) N: 194,392.12; E: 2,509,964.98 (WISCONSIN STATE PLANE CO-ORDINATE SYSTEM, SOUTH ZONE) REFERENCE BENCHMARK EL.=809.40	

INDEX OF SHEETS

C-1	CONCEPT PLAN COVER SHEET
C-2	EXISTING CONDITIONS PLAN
C-3 - C-5	CONCEPT SITE PLAN
C-6 - C-8	CONCEPT GRADING PLAN
C-9 - C-11	CONCEPT UTILITY PLAN



Toll Free (800) 242-8511
Milwaukee Area (414) 239-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2018

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FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

NO.	DATE	DESCRIPTION

REG. NO. 1114.00-WI	MAC	START DATE: 09-18-17	SHEET
		SCALE: N.T.S.	C-1
			of
			C-11

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN	—	—
STORM SEWER INLET (ROUND CASTING)	○	●
STORM SEWER INLET (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	—	—
AIR RELEASE ASSEMBLY	⊕	⊕
VALVE BOX	⊕	⊕
FIRE HYDRANT	⊕	⊕
BUFFALO BOX	⊕	⊕
CLEANOUT	⊕	⊕
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
POWER POLE	—	—
POWER POLE WITH LIGHT	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	—	—
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
IW	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

PROVIDE THE FOLLOWING ON THIS SHEET:
FINAL PLANS MUST BE STAMPED AND SIGNED

ADD NOTE "PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD."

ADD NOTE "EACH CONTRACTOR SHALL HAVE A COPY OF THE VILLAGE APPROVED PLANS, PROJECT MANUAL, AND VILLAGE CONSTRUCTION SPECIFICATIONS ON-SITE DURING TIMES OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS."

PROVIDE AN ESTIMATE OF THE AMOUNT OF CUT AND FILL MATERIAL FOR THE SITE.

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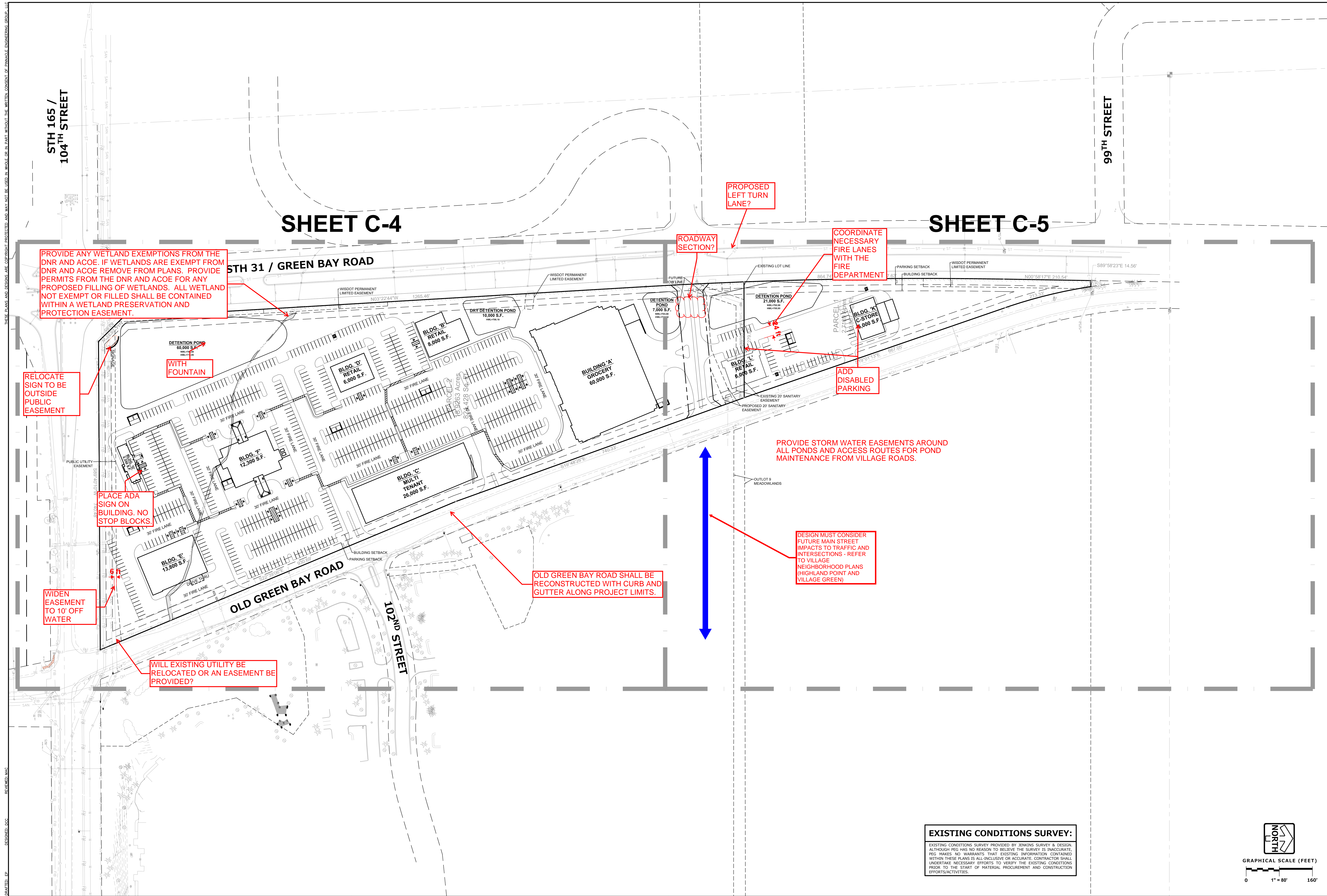
MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI

CONCEPT PLAN COVER SHEET

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DESIGNED: EP
DRAWN: JAC
REVIEWED: MAC

2:\PROJECTS\2017\1114.00-WI\CAD\SHEETS\CONCEPT PLAN\1114.00-WI SITE PLAN_CONCEPT.DWG



STH 165 /
104TH STREET

99TH STREET

SHEET C-4

SHEET C-5

STH 31 / GREEN BAY ROAD

OLD GREEN BAY ROAD

102ND STREET

PROVIDE ANY WETLAND EXEMPTIONS FROM THE DNR AND ACOE. IF WETLANDS ARE EXEMPT FROM DNR AND ACOE REMOVE FROM PLANS. PROVIDE PERMITS FROM THE DNR AND ACOE FOR ANY PROPOSED FILLING OF WETLANDS. ALL WETLAND NOT EXEMPT OR FILLED SHALL BE CONTAINED WITHIN A WETLAND PRESERVATION AND PROTECTION EASEMENT.

RELOCATE SIGN TO BE OUTSIDE PUBLIC EASEMENT

WITH FOUNTAIN

PLACE ADA SIGN ON BUILDING. NO STOP BLOCKS.

WIDEN EASEMENT TO 10' OFF WATER

WILL EXISTING UTILITY BE RELOCATED OR AN EASEMENT BE PROVIDED?

ROADWAY SECTION?

PROPOSED LEFT TURN LANE?

COORDINATE NECESSARY FIRE LANES WITH THE FIRE DEPARTMENT

ADD DISABLED PARKING

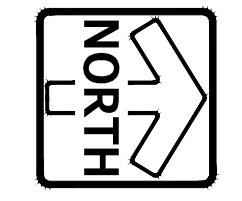
PROVIDE STORM WATER EASEMENTS AROUND ALL PONDS AND ACCESS ROUTES FOR POND MAINTENANCE FROM VILLAGE ROADS.

OLD GREEN BAY ROAD SHALL BE RECONSTRUCTED WITH CURB AND GUTTER ALONG PROJECT LIMITS.

DESIGN MUST CONSIDER FUTURE MAIN STREET IMPACTS TO TRAFFIC AND INTERSECTIONS - REFER TO VILLAGE NEIGHBORHOOD PLANS (HIGHLAND POINT AND VILLAGE GREEN)

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY JENKINS SURVEY & DESIGN. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.



GRAPHICAL SCALE (FEET)
0 1" = 80' 160'

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MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI

CONCEPT SITE PLAN OVERVIEW

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO. 1114.00-WI
MAC
START DATE: 09-18-17
SCALE: 1" = 80'
SHEET
C-3
C-11

CONCEPT PLAN
CONCEPT SITE PLAN OVERVIEW
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CONCEPT PLAN
CONCEPT GRADING PLAN OVERVIEW

STH 165 /
104TH STREET

99TH STREET

SHEET C-7

SHEET C-8

SIZE PONDS FOR RECONSTRUCTION OF OLD GREEN BAY ROAD

STH 31 / GREEN BAY ROAD

USE TRM ON
SPILLWAYS

ROUTE
OVERLAND
FLOW ROUTE
TO THE
PONDS

SLOPE TO
OUTLET

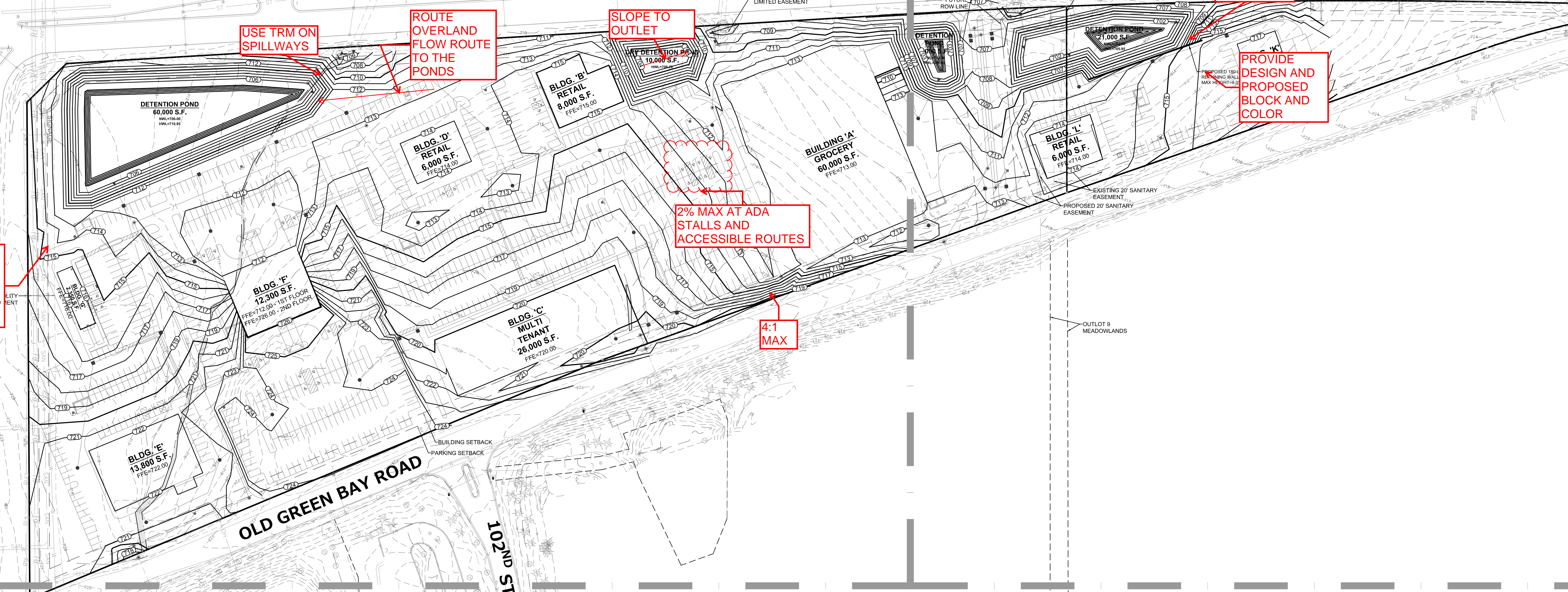
REVISE
GRADING
FOR 4:1

PROVIDE
DESIGN AND
PROPOSED
BLOCK AND
COLOR

REVIEW
COVER OVER
WATER MAIN.
KEEP
MINIMUM OF 6'
OF COVER.

2% MAX AT ADA
STALLS AND
ACCESSIBLE ROUTES

4:1
MAX

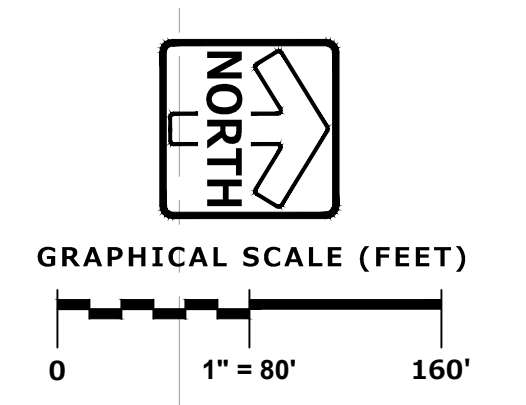


LEGEND

●	STORM SEWER MANHOLE
■	STORM SEWER CATCH BASIN- ROUND CASTING
■	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
▲	PROPOSED CONCRETE FLARED END SECTION
—	PROPOSED CONTOUR

STORMWATER MANAGEMENT:
STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS.

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**MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI**

CONCEPT GRADING PLAN OVERVIEW

REVISIONS	
NO.	DESCRIPTION

REG. NO. 1114.00-WI-MAC
SCALE: 1" = 80'
START DATE: 09-18-17
SHEET C-6 of C-11

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 CHECKED: JAC
 REVIEWED: MAC
 DATE: 09-18-17

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 CONCEPT PLAN
 MATCH
 CONCEPT GRADING PLAN

STH 31 / GREEN BAY ROAD

WISDOT PERMANENT LIMITED EASEMENT

WISDOT PERMANENT LIMITED EASEMENT

DETENTION POND
7,000 S.F.
HWL=708.46

DRY DETENTION POND
10,000 S.F.
HWL=708.46

BLDG. 'B'
RETAIL
8,000 S.F.
FFE=715.00

BLDG. 'D'
RETAIL
6,000 S.F.
FFE=714.00

BUILDING 'A'
GROCERY
60,000 S.F.
FFE=713.00

DETENTION POND
60,000 S.F.
NWL=706.00
HWL=710.95

BLDG. 'F'
12,300 S.F.
FFE=712.00 - 1ST FLOOR
FFE=726.00 - 2ND FLOOR

BLDG. 'C'
MULTI
TENANT
26,000 S.F.
FFE=720.00

BLDG. 'G'
2,350 S.F.
FFE=716.00

BLDG. 'E'
13,800 S.F.
FFE=722.00

OLD GREEN BAY ROAD

102ND STREET

STH 165 / 104TH ET

ALL EXISTING MH'S WILL NEED TO BE ADJUSTED OR RECONSTRUCTED TO GRADE IN ACCORDANCE WITH THE VILLAGE SPECS. MANHOLES MAY ONLY HAVE BETWEEN 3'-8" OF ADJUSTING RINGS

PUBLIC UTILITY EASEMENT

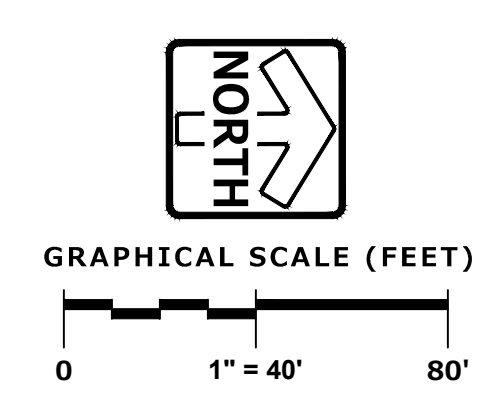
SIGNAGE

BUILDING SETBACK
PARKING SETBACK

LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED CONTOUR

STORMWATER MANAGEMENT:
STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS.

EXISTING CONDITIONS SURVEY:
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MAIN STREET MARKET VILLAGE OF PLEASANT PRAIRIE, WI

CONCEPT GRADING PLAN

REVISIONS		SHEET C-7 C-11
NO.	DESCRIPTION	

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COORDINATE PUMPER PAD AND HYDRANT LOCATIONS WITH THE FIRE DEPARTMENT. SHOW LOCATIONS ON PLANS.
BYPASS STORM SEWERS MAY BE ROUTED THROUGH PONDS IF DESIRED.

STH 165 / 104TH STREET

99TH STREET

STH 31 / GREEN BAY ROAD

OLD GREEN BAY ROAD

REVISE TO CONNECT TO EXISTING MANHOLE

PLACE CHECK VALVE OUT OF PUBLIC EASEMENT

PLACE BYPASS STORM SEWER IN 20' WIDE EASEMENT

REPLACE HYDRANTS ALONG OLD GREEN BAY

OLD GREEN BAY ROAD SHALL BE RECONSTRUCTED. ADD INLETS AND INCLUDE IN STORM WATER MANAGEMENT.

IF HYD IS DESIRED HERE INSTALL NEW LEAD OFF EX MAIN

REPLACE STORM CROSSINGS UNDER OGB AND CONNECT TO EX STM ON EAST SIDE OF OGB WITH MANHOLE

IS EXISTING MAIN CORRECTLY SHOWN OUTSIDE OF RIGHT OF WAY?

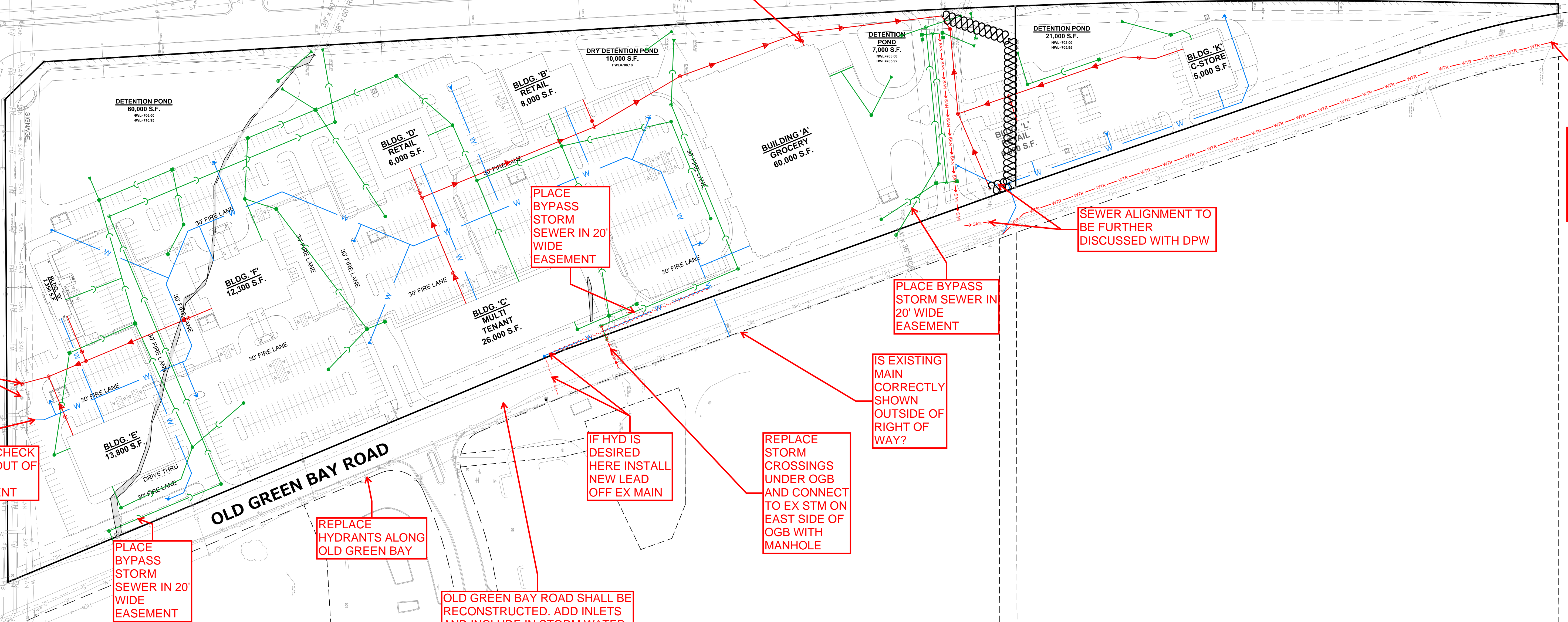
PLACE BYPASS STORM SEWER IN 20' WIDE EASEMENT

SEWER ALIGNMENT TO BE FURTHER DISCUSSED WITH DPW

EXTEND WATER MAIN TO THE NORTH PROPERTY LINE WITHIN THE ROADWAY

SAMPLING MANHOLES MUST BE LOCATED WITHIN PAVEMENT, OUTSIDE OF PARKING STALLS

PLACE BYPASS STORM SEWER IN 20' WIDE EASEMENT



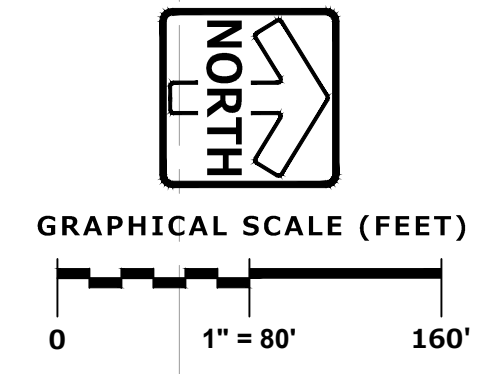
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LEGEND																																																		
	SANITARY SEWER MANHOLE		STORM SEWER MANHOLE		STORM SEWER CATCH BASIN (ROUND CASTING)		STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		PRECAST CONCRETE FLARED END SECTION		CLEANOUT		VALVE BOX		FIRE HYDRANT		SANITARY SEWER		FORCE MAIN		STORM SEWER		DRAIN TILE		WATER MAIN		FIRE PROTECTION		UTILITY CROSSING		ELECTRICAL CABLE		GAS MAIN		TELEPHONE LINE		OVERHEAD WIRES		LIGHTING		ELECTRICAL TRANSFORMER OR PEDESTAL		POWER POLE		POWER POLE WITH LIGHTS		STREET SIGN		UTILITY TO BE REMOVED	



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**MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI**

CONCEPT UTILITY PLAN OVERVIEW

REVISIONS	

REG. JOB NO. 1114.00-WI-MAC
SCALE: 1" = 80'
SHEET C-9 of C-11

CONCEPT UTILITY PLAN OVERVIEW

REVISIONS

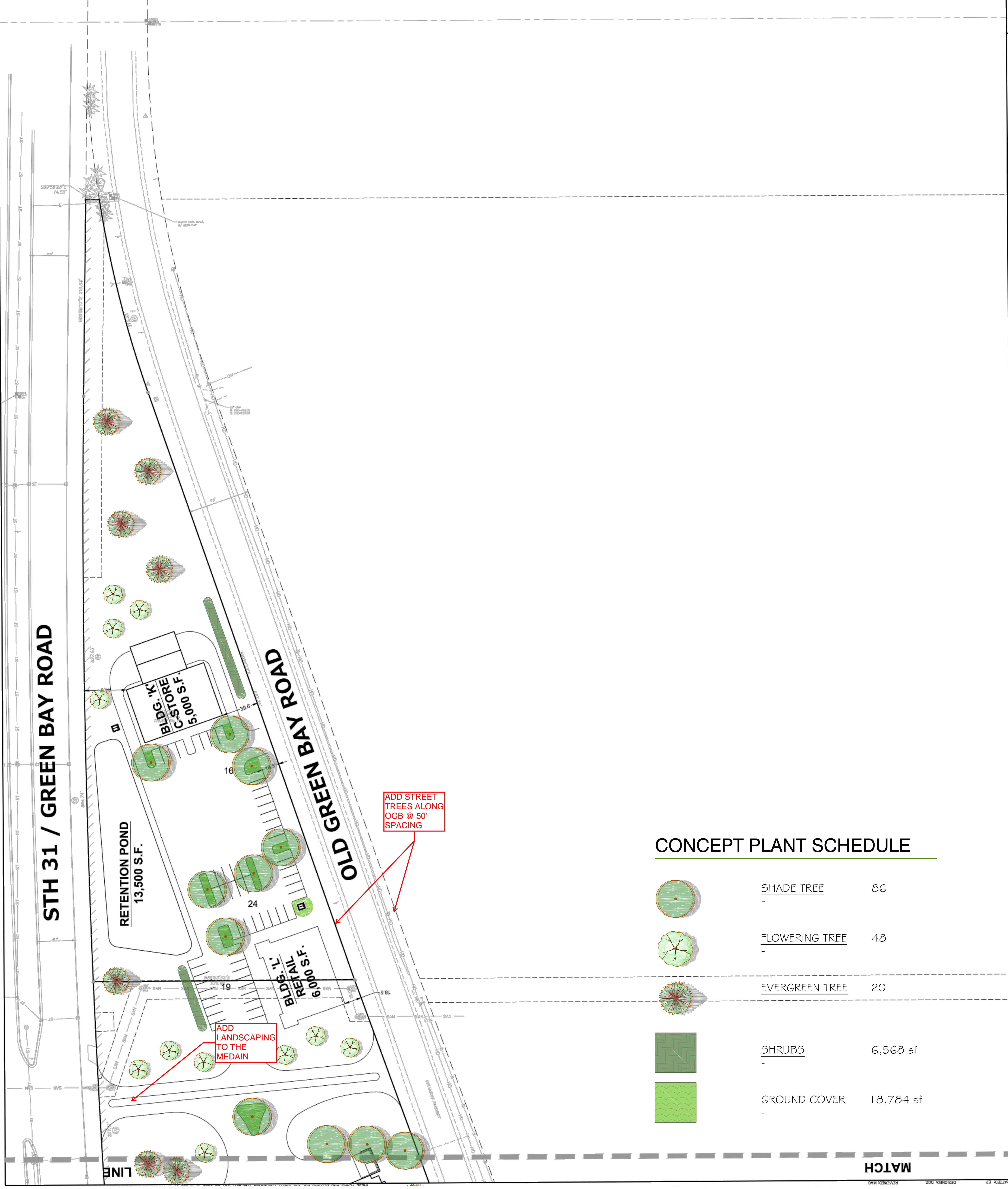
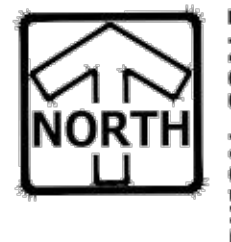
CONCEPT SITE PLAN

MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI

PLANNING DESIGN | DELIVER
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ENGINEERING | NATURAL RESOURCES | SURVEYING

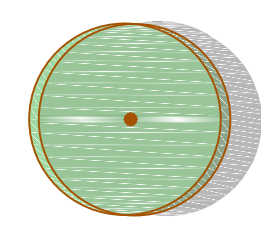
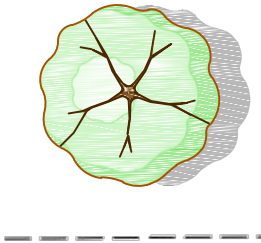
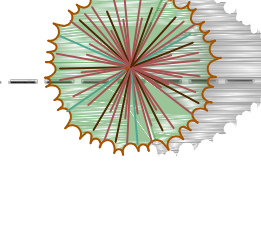
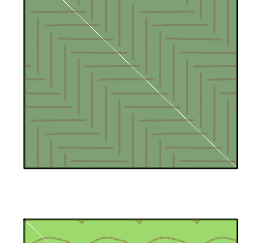
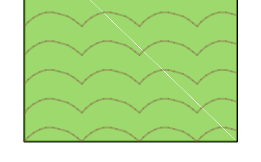
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1500 WISCONSIN STREET
MILWAUKEE, WI 53204
CHICAGO OFFICE
100 N. LAKE STREET, SUITE 2000
CHICAGO, IL 60601



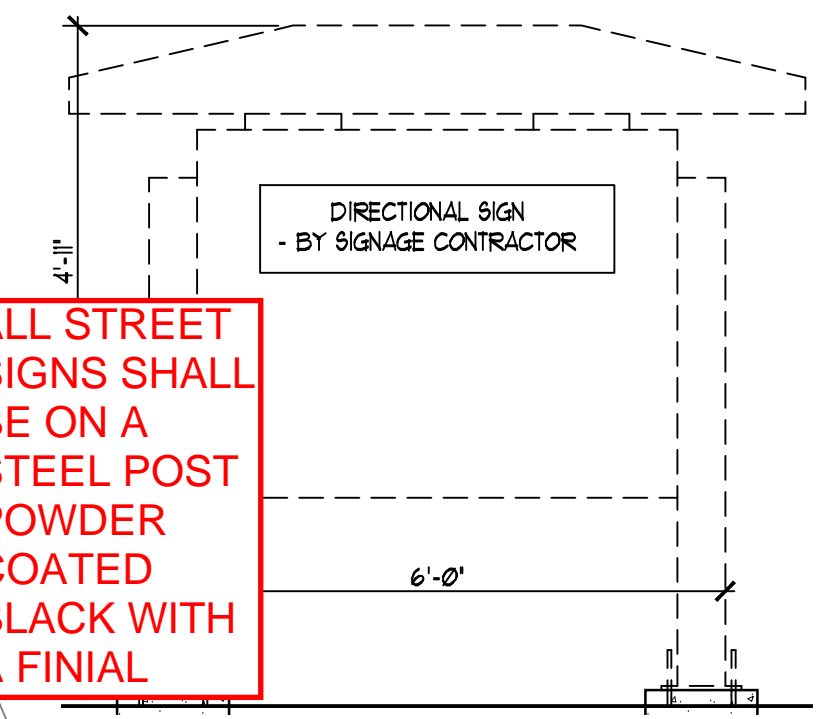
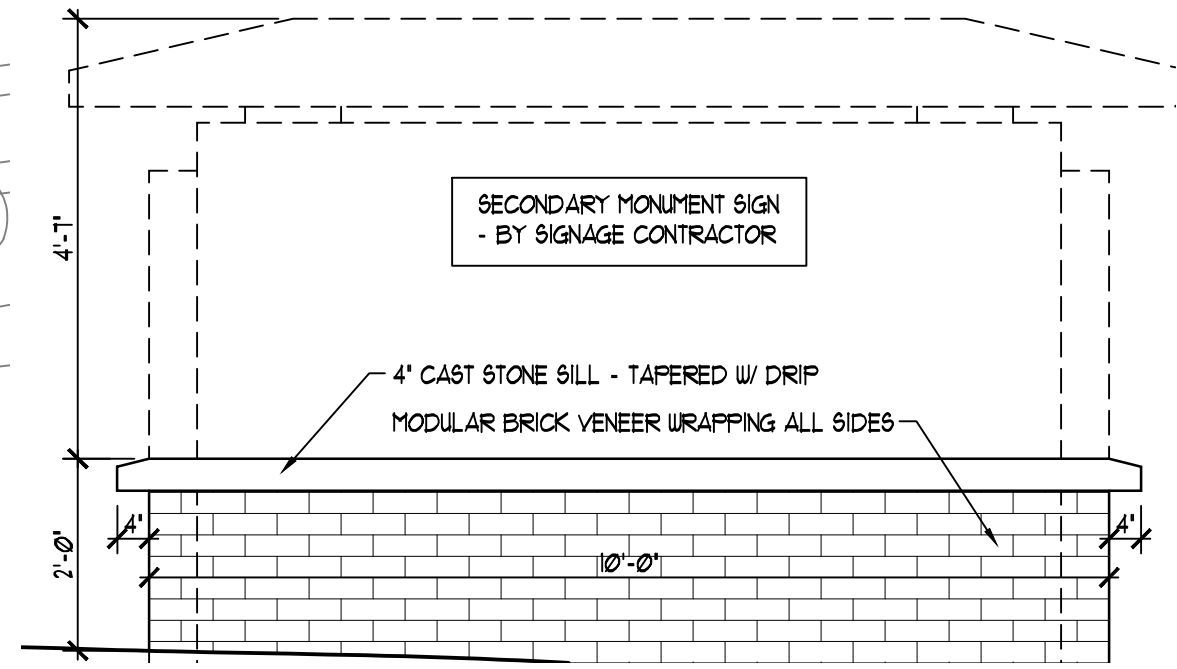
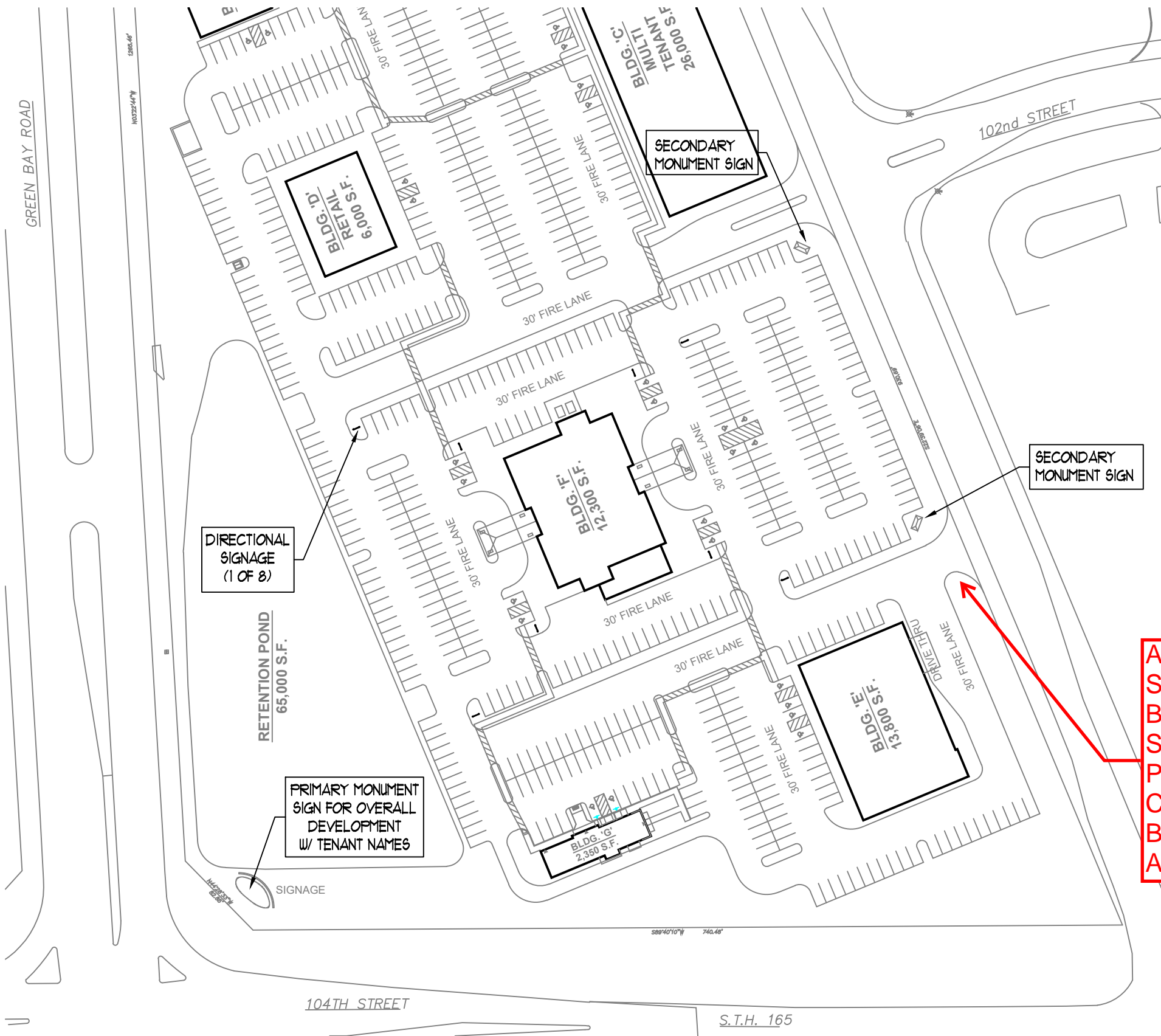
ADD STREET TREES ALONG OGB @ 50' SPACING

ADD LANDSCAPING TO THE MEDIAN

CONCEPT PLANT SCHEDULE

	SHADE TREE	86
	FLOWERING TREE	48
	EVERGREEN TREE	20
	SHRUBS	6,568 sf
	GROUND COVER	18,784 sf

MATCH LINE



ALL STREET SIGNS SHALL BE ON A STEEL POST POWDER COATED BLACK WITH A FINIAL

UHS Southwest MOB - Site Signage Plan

Scale: 1" = 100'

HIGHPOINT NEIGHBORHOOD PLAN

LEGEND

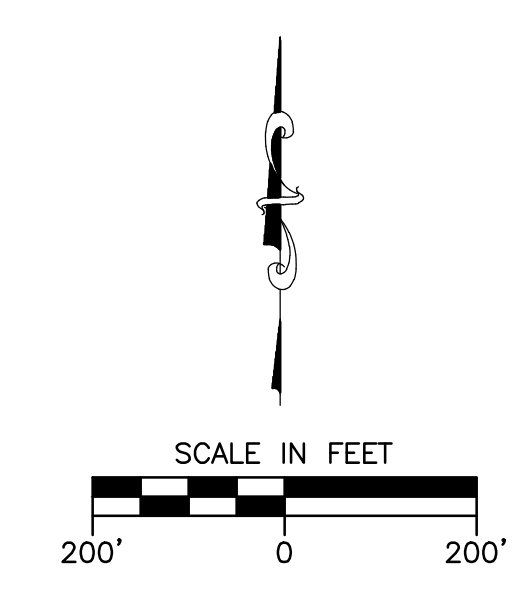
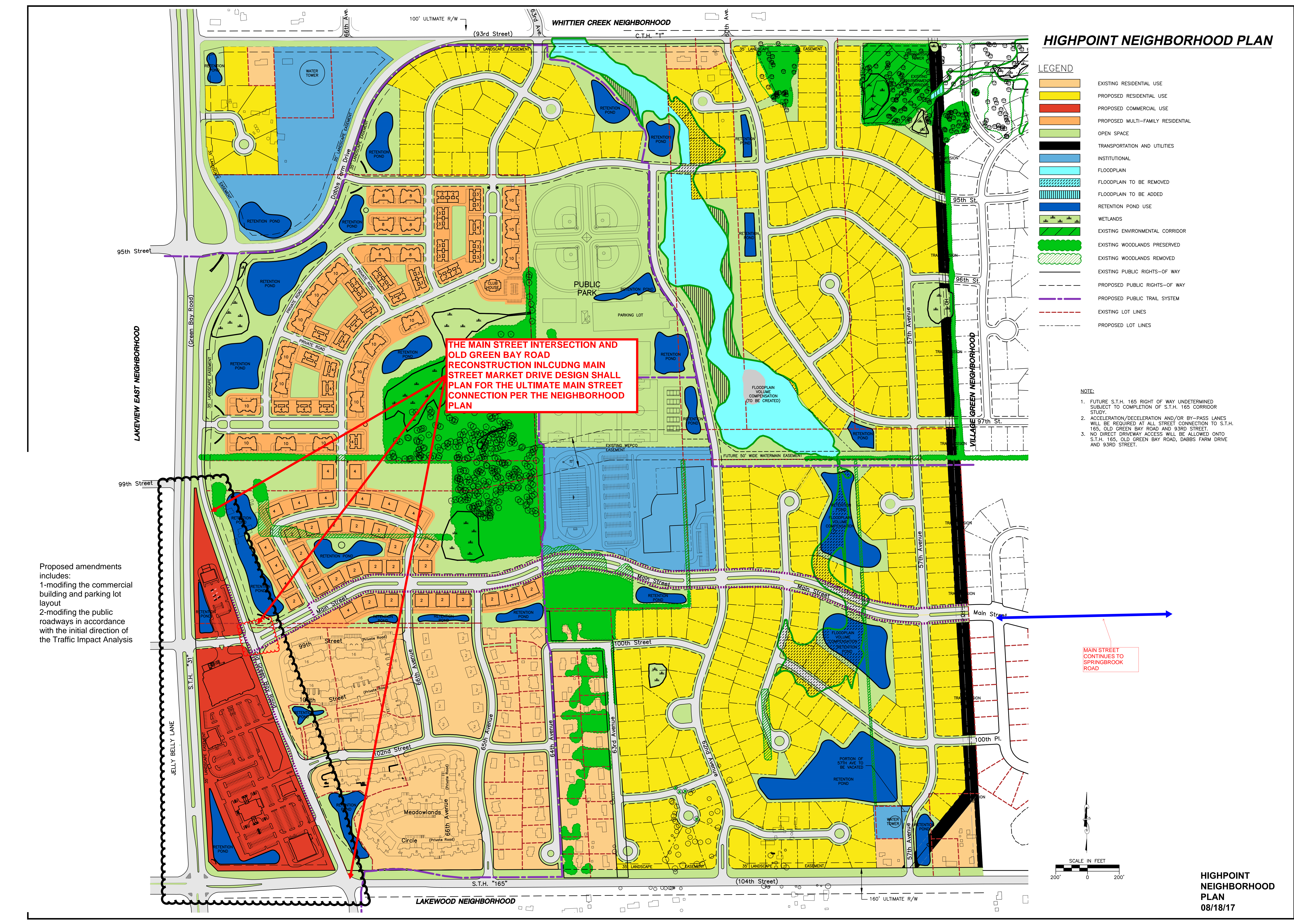
	EXISTING RESIDENTIAL USE
	PROPOSED RESIDENTIAL USE
	PROPOSED COMMERCIAL USE
	PROPOSED MULTI-FAMILY RESIDENTIAL
	OPEN SPACE
	TRANSPORTATION AND UTILITIES
	INSTITUTIONAL
	FLOODPLAIN
	FLOODPLAIN TO BE REMOVED
	FLOODPLAIN TO BE ADDED
	RETENTION POND USE
	WETLANDS
	EXISTING ENVIRONMENTAL CORRIDOR
	EXISTING WOODLANDS PRESERVED
	EXISTING WOODLANDS REMOVED
	EXISTING PUBLIC RIGHTS-OF WAY
	PROPOSED PUBLIC RIGHTS-OF WAY
	PROPOSED PUBLIC TRAIL SYSTEM
	EXISTING LOT LINES
	PROPOSED LOT LINES

- NOTE:**
1. FUTURE S.T.H. 165 RIGHT OF WAY UNDETERMINED SUBJECT TO COMPLETION OF S.T.H. 165 CORRIDOR STUDY.
 2. ACCELERATION/DECELERATION AND/OR BY-PASS LANES WILL BE REQUIRED AT ALL STREET CONNECTION TO S.T.H. 165, OLD GREEN BAY ROAD AND 93RD STREET.
 3. NO DIRECT DRIVEWAY ACCESS WILL BE ALLOWED ONTO S.T.H. 165, OLD GREEN BAY ROAD, DABBS FARM DRIVE AND 93RD STREET.

THE MAIN STREET INTERSECTION AND OLD GREEN BAY ROAD RECONSTRUCTION INCLUDING MAIN STREET MARKET DRIVE DESIGN SHALL PLAN FOR THE ULTIMATE MAIN STREET CONNECTION PER THE NEIGHBORHOOD PLAN

Proposed amendments includes:
 1-modifying the commercial building and parking lot layout
 2-modifying the public roadways in accordance with the initial direction of the Traffic Impact Analysis

MAIN STREET CONTINUES TO SPRINGBROOK ROAD





Office of the
Chief of Fire & Rescue
Craig Roepke

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Craig Roepke, Chief Fire & Rescue
CC: Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Fire Department review of Conceptual Plans for Froedtert South Medical Office Building
Permit/Trakit#: DEV1711-007
DATE: December 21, 2017

These are initial comments for the Conceptual Plans received for Froedtert South Medical Office Building.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. Based on the limited information and conceptual plans submitted, the Fire & Rescue Department have the following comments regarding the site:

1. As no fire protection plans have yet been submitted, the location of the remote FDC needs to be discussed and finalized.
2. Review of interior sizing of elevator car(s) to ensure appropriate size.
3. Discuss/define access to future pump or riser room from the exterior.
4. Plan on implementing Public Radio Coverage system repeater within the building.
5. Please confirm if floors three & four are intended to be for future build-out.
6. Entrance canopies appear to be 11'0" clearance, please confirm.
7. Discuss the placement of a dedicated 911 phone to be utilized at the walk-in clinic door entrance when the facility is closed.
8. Provide for a camera position that covers the above phone location that is viewable via the Village's DSIS system.
9. Verify that stairwell exits provide for hard surface egress pathway. (e.g., exits 201B, 203)
10. A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
11. Other comments may be forthcoming based on new or subsequent information provided for the project.
12. Please review the requirements listed within this document. Requirements may require modifications or additions based on discussion

Distribution of Comments: the person who obtains the building permit to all contractors and subcontractors affected by this document shall distribute copies of these comments. This document outlines critical times and deadlines. All recipients of this document must become familiar with the contents.

IT IS CRITICAL THAT ALL CONTRACTORS SPECIFICALLY FIRE SPRINKLER & ALARM DESIGNERS AND INSTALLERS RECEIVE AND UNDERSTAND THE CONTENT OF THIS DOCUMENT.

Compliance: A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.

Conflicts: In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the

more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State of Wisconsin and/or the Village of Pleasant Prairie where applicable.

Fire Safety System Plans: such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.

FIRE ALARM AND SPRINKLER PLANS ARE A SEPARATE SUBMITTAL TO THE FIRE DEPARTMENT.

DUE TO CONSTRUCTION AND TIME CONSTRAINTS FIRE PROTECTION SUBMITTALS MAY AND ARE TYPICALLY BROKEN INTO AN UNDERGROUND SUBMITTAL AND AN ABOVE GROUND SUBMITTAL.

INFORMATION REGARDING PLAN SUBMITTAL CAN BE FOUND AT

<http://www.pleasantprairieonline.com/services/fireandrescue/ForContractors.asp>

Pre-Construction Meeting: A pre-construction meeting may take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection.

1. **Site Access:** Access shall be provided around the perimeter of the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
 - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide. All roadways and fire lanes must be unobstructed and not used any part as a parking area for automobiles or trucks/trailers.
 - b. All exterior exit pathways as well as access to the Fire Pump room shall have a hard surface, leading to a hard surface. This includes all exit doors from the facility.
 - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
 - d. There shall be Knox padlocks or Knox key switches on all gates on site. The Fire & Rescue Department will review the proper placement and operation of the Knox system locks.
2. **Combination Water Sizing Confirmation:** The owner shall provide a letter from the sprinkler designer affirming that the combination water main is sized appropriately for both domestic use and fire sprinkler demand. This will typically include the designer's license stamp on the document.
3. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
4. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
5. **Review and Comments:** At such time more information is provided for this project, the Fire Department will review and comment on the following areas outlined below.
 - A. Site and Operational Permits
 1. Site accessibility (Plans provided do not specific clearances or distances)
 2. Fire Pump Location
 3. Pumper Pad
 4. Fire hydrant spacing
 - B. Conditional Use and Operational
 1. Standpipe outlet locations
 2. Fire alarm pull stations
 3. Emergency and Exit Lighting
 4. Fire extinguishers
6. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm

system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.

7. **Permit fees:** must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks

The following fees and permits are generated directly from the Fire & Rescue Department.

- a. Bulk water Usage
- b. Fire Protection Plans for Underground and Aboveground
- c. Fire Alarm System Plans
- d. Kitchen Hood Systems Plans

NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.

8. **Occupancy:**

- a. All fire and life safety requirements must be in place and operational prior to any building being occupied.
- b. No occupancy inspections shall be scheduled until all life-safety systems are complete.
- c. Key life safety systems include: Fire sprinkler system, Fire alarm system, Fire extinguishers, Emergency Lighting, and any additional requirements determined by the Village Building inspection department.

9. **Hazardous Occupancies:** Should there be identified hazard occupancies with this project, the Fire & Rescue Department will need more than the typical four week time period to review potential Hazardous Occupancies. The owner must contact the Fire & Rescue Department as soon as possible to begin the review process.

10. **Exterior Doors:** All outside doors must have access to the interior. Such as a lock and handle provided at each door.

11. **AED:**

- a. The owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and public use in the event of a sudden cardiac arrest.
- b. Consider early in the construction process as to placement as built-in cabinets are typically are better suited for both space and finished look.

12. **Storage:** Maximum height, width and aisle ways and egress pathways must be maintained and will be enforced. The same concerns apply to the storage of quantities of combustibles (plastics and cardboard) and other storage of flammable liquids or chemicals must also be properly identified, placarded and stored.

13. **Elevators:**

- a. If applicable, must comply with Village of Pleasant Prairie Ordinance 180-20, including acceptable minimum size and emergency notification.
- b. Review the proper sizing requirements with the fire department early in the planning process.

14. **Severe Weather Shelter:** The architect shall identify the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado. That area will be identified with signage.

15. **Door Numbering:** Each exterior door shall be sequentially numbered.

- a. Shall consist of a 4” reflective number in a color that is contrasting to the door color.
- b. Numbering shall be in an increasing sequence and located in the upper right-hand portion of the door.
- c. The starting numbering point shall be determined in the field and approved by the AHJ.

16. **On Premise Secure Key System:** Knox Company Rapid Entry System, “Knox Boxes” shall be provided for the building. The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.

17. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
18. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled.
19. **Sprinkler System:** The building is to be equipped with an “automatic fire sprinkler system”. The systems shall be designed and constructed to the current printed edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers. Confirm NFPA edition with the Fire Department prior to system design.
20. **The following information as applicable, must be submitted with the sprinkler plans for review:**
 - Building height:
 - Number of stories/floors:
 - Mezzanines:
 - Elevators:
 - Hazard class:
 - Commodity Class:
 - Exterior storage:
 - Fire protection:
21. **Fire Hydrants:** Fire hydrants shall meet the Village of Pleasant Prairie hydrant specification. Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches.
22. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA) code standard 24 and witnessed by the Fire Chief or designee.
23. **Fire hydrant / water main flushing:** can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a ‘clean water sample’ on this site.
24. **Pumper Pad:**
 - a. A municipally fed fire hydrant and fire department connection (FDC) combination is defined to be a “pumper pad”.
 - b. The FDC shall comprise of a 30 degree angled 5” Storz connection unless otherwise approved by the fire department in writing.
 - c. Both the hydrant and FDC shall be between 18” and 23” above finished grade as a pair.
 - d. There shall be dedicated space for a fire engine to have unobstructed access to the pumper pad.
 - e. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall.
 - f. The pumper pad shall be free of vegetation, plant, shrubs, or other obstructions at least 5 feet on each side.
 - g. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire

Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant.

- h. The Fire Department connection shall be constructed along with an underground drain with access for inspection.
- i. The area around the pumper pad shall be comprised of a hard surface such as asphalt or concrete.
- j. The pumper pad area shall have some form of signage or painted designation indicating no parking or obstructions in that area.
- k. The pumper pad area shall have some form of signage or painted designation indicating no parking or obstructions in that area.
- l. Refer to the Village specification drawing for the pumper pad design.

25. Bollards:

- a. Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) that are subject to damage.
- b. Bollards shall be six (6) inches in diameter. Bollards shall not obstruct charged fire hoses.
- c. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.

26. Standpipes:

- a. The building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve.
- b. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob. Village Ordinance 180.16 G.
- c. No 1-1/2" cap reductions are required.

27. Pump Room / Riser Room Door:

- a. The exterior door that accesses either the fire pump or riser room shall be labeled in the following manner outlined below
- b. At the center upper 1/3 of the door, utilizing 4" reflective RED block lettering, the following title.
- c. "FIRE PUMP ROOM" or "FIRE RISER ROOM", respective for the type of existing room.
- d. This door shall have a Knox-Box installed adjacent to the door. The specific location heights and details are documented in the "Fire Department – Appendix A" attachment.

28. Strobe Light:

- a. All strobe lights required below shall meet Village specifications as found in section 180-16(m) of the Sprinkler Ordinance. The lens color shall be RED.
- b. A strobe light and 10" dome bell shall be provided, visible from the pumper pad to indicate a waterflow alarm condition.
- c. If the building has a fire pump, an additional strobe light shall be required and installed adjacent to the waterflow alarm and activated when the fire pump is running.
- d. Both notification devices above (b & c) shall be labeled appropriately as "WATERFLOW" and "PUMP RUN" below the respective devices.
- e. A strobe light shall be provided and installed vertically at each riser location on the exterior of the building. No bell or signage is required.
- f. A separate "Appendix A" document is available to provide visual detail supporting the above requirements.

- 29. Fire Alarm System:** There shall be a full function remote annunciator installed. Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the

internal fire alarm system. The systems shall be designed and constructed to the current printed edition of NFPA 72. Confirm NFPA edition with the Fire Department prior to system design

- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
- b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.
- e. **PIV & Exterior Valves:** shall be monitored by the Fire Alarm system.
- f. **Strobe & Bell:** shall be identified and documented on the submitted Fire Alarm plan submittal.
- g. **Duct Detectors:** Duct detectors shall be programmed as a Supervisory Alarm, not as a fire alarm.
- h. **Fire Alarm Plans Location:** There shall be a designated location for a set of as-built fire alarm plans near the FACP per NFPA 72.
- i. **FACP Nomenclature:** Confirmation of nomenclature shall be discussed between the Fire Department and the fire alarm program technician prior to any inspections.
- j. **Initiating Devices Labeling:** All initiating devices e.g.: pull stations, smoke detectors, tampers, etc shall be labeled with the FA device number that matches the system nomenclature programmed. The font/letters shall be at least 12pt and of such size that they are visible based on accessibility to the device. (e.g.: ceiling initiating devices may require a larger font size)
- k. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- l. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. (e.g. RF Radio, cellular, VOIP, or other approved technologies allowed by code.)
- m. **FACP Main Panel:** There will be one main fire alarm panel within a building. The system will not be split into two or multiple fire alarm panels interconnected together. (Example: West wing is one panel, East wing is a different panel)
- n. **Fire Alarm Map:** An “as-is” drawing of the fire alarm system shall be provided and posted in the riser or pump room of the building. The drawing shall have at minimum, the initiating device numbers, locations, and door numbering scheme on the posted drawing. Size of the drawing to be discussed with the fire department.
- o. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

Fire:	Pleasant Prairie Fire & Rescue
Medical:	Pleasant Prairie Fire & Rescue
<u>Phone numbers</u>	
Emergency:	(262) 694-1402
Non-emergency:	(262) 694-7105
Business:	(262) 694-8027

30. **All Hazards Notification System:** Should the owner or tenant plan on the installation of an in-building all hazards notification system (fire, weather, active threat, etc), the fire department must be made aware and the system must

meet all NFPA 72 requirements.

31. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:

- a) a minimum signal strength of -101 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
- b) A minimum signal strength of -101 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
- c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a “Telecommunications Systems Bulletin” published by the TIA, Telecommunications Industry Association. The performance level is rated using “Delivered Audio Quality”. Industry standard DAQ definitions are shown in Table 1.
- d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

Table 1 - Delivered Audio Quality Definitions

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

e) The frequency range which must be supported shall be 151.0000 to 160.0000 MHz

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

- 1. Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage: a radiating cable system or an internal multiple antenna system with or without FCC type accepted signal booster amplifiers as needed. The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio System.
- 2. In the event that a signal booster is employed it shall meet the following minimum requirements:
 - a. be fully encased within a dust resistant case;
 - b. be contained in a National Electrical Manufacturer’s Association (NEMA) 4-type waterproof cabinet;

- c. battery systems used for the emergency power source shall be contained in a NEMA 4-type waterproof cabinet;
- d. the signal booster system and battery system shall be electrically supervised and monitored by a supervisory service, or shall sound an audible signal at a constantly attended location;
- e. Have FCC certification prior to installation.

Secondary Power

Emergency responder radio coverage systems shall be provided with an approved secondary source of power conforming to NFPA 72. The secondary power supply shall be capable of operating the emergency responder radio coverage system for a period of at least twenty-four (24) hours. When primary power is lost, the power supply to the emergency responder radio coverage system shall automatically transfer to the secondary power supply.

Field Testing

Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present.

32. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N if modifications are made to the system.
 - b. The fire alarm contractor shall provide the owner with a letter (upon completion of the fire alarm work) stating the fire alarm system, or portion thereof, is “100% operational and built according to the design” if modifications are made to the system.
 - c. Copy of contract with fire alarm central monitoring station.
 - d. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - e. Copies of the fire protection underground flushing documents.
 - f. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - g. Copies of the fire sprinkler operational test certificates.
 - h. Copies of the fire alarm test documents.
 - i. Copies of other test documents such as, hood/duct, smoke, etc...
 - j. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - k. Provide in electronic format (USB, CD, etc) all Floor plans and fire protection plans for the building in an as-built condition.
 - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - m. AED is in place at such time a tenant takes occupancy.
 - n. A copy of the Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.

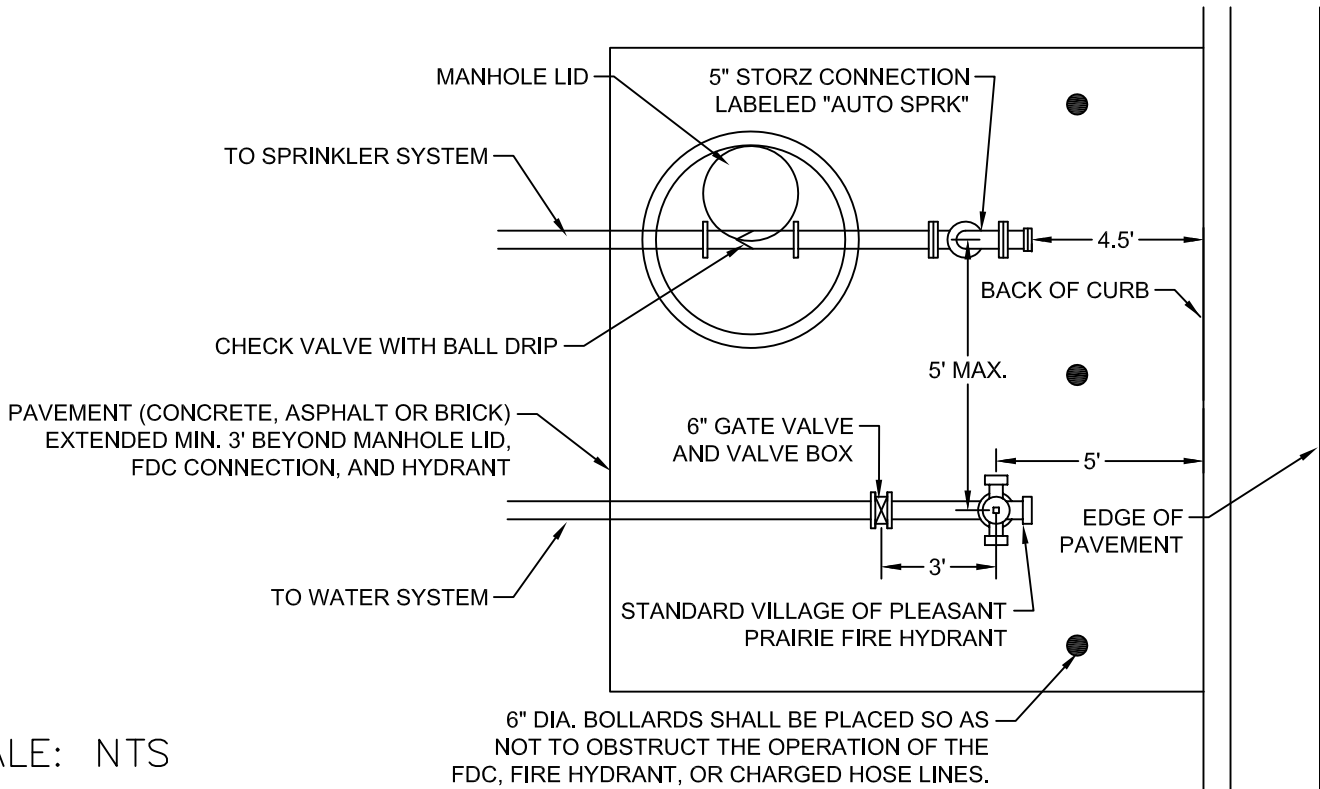
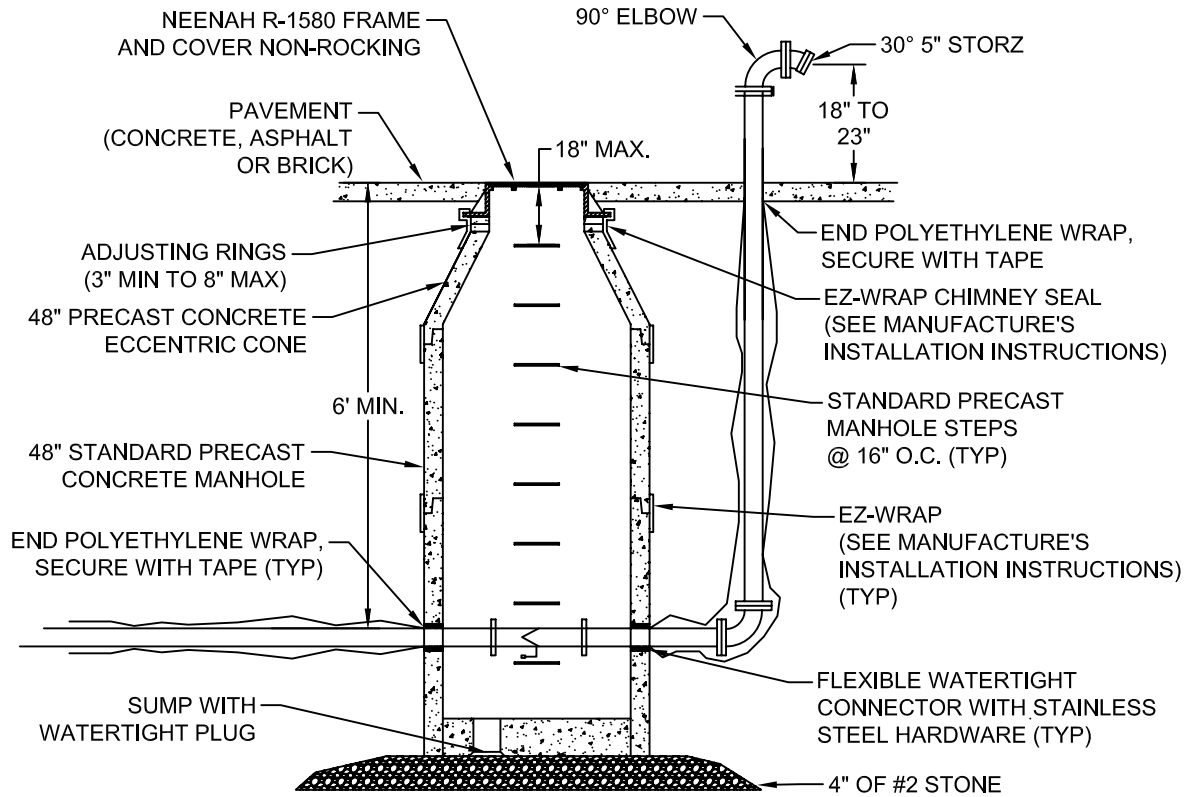
Appendix A

Contents

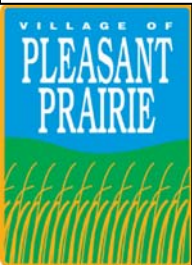
1. Standard pumper pad with hydrant & FDC connection
2. Standard Village Hydrant specifications
3. Standard Exterior Bell & Strobe for Pump/Riser room and/or additional riser locations
4. Knox box (4400) location installation Guide
5. Knox Company – Knox vault 4400 series
6. Strobe – Whelen ISB Series – ISB 120 RED
7. Strobe – Federal Model 131ST RED
8. Pre-Plan Information requirements
9. Emergency Plan components

NOTE:

- SYSTEM SIZING SHALL BE COMPLETED BY A FIRE SUPPRESSION ENGINEER AND APPROVED OF BY THE VILLAGE OF PLEASANT PRAIRIE FIRE DEPARTMENT.
- SYSTEM INSTALLATION MUST BE CONSTRUCTED UNDER THE ONSITE SUPERVISION OF A LICENSED SPRINKLER FITTER.



SCALE: NTS



PUMPER PAD FDC DETAIL

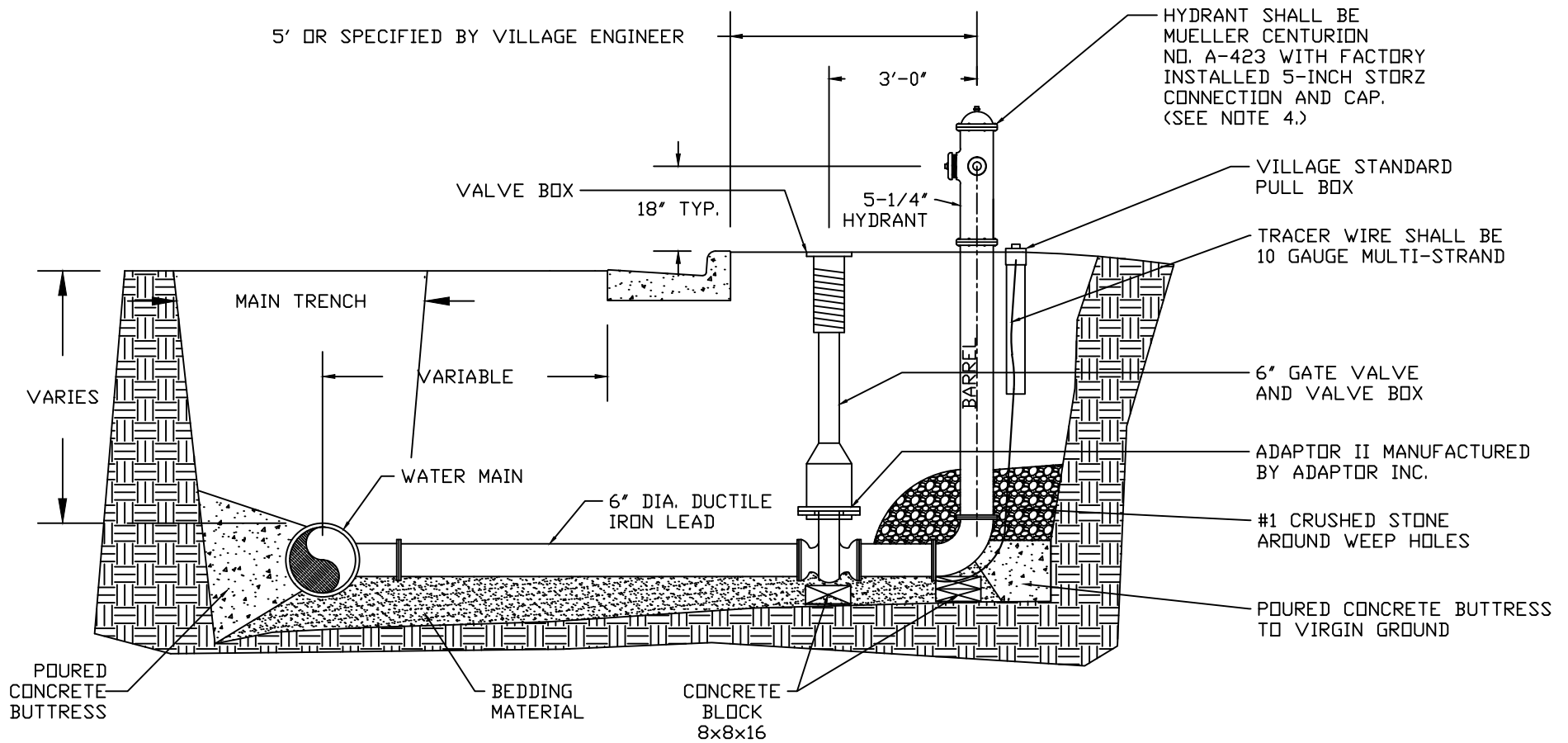
DETAIL: FD - 1

CREATED: 4-16-13

REVISED: 3-2-16

APPROVED BY: D. McELMURY





NOTES:

1. MECHANICAL JOINTS FROM TEE TO VALVE AND FROM VALVE TO HYDRANT SHALL BE RESTRAINED WITH MEGALUGS AND STAINLESS STEEL BOLTS.
2. ALL BOLTS SHALL BE STAINLESS STEEL BOLTS.
3. REFER TO VILLAGE STANDARD SPECIFICATIONS FOR WATER MAIN CONSTRUCTION
4. HYDRANT SPECIFICATIONS - 2 EACH 2-1/2 INCH NST NOZZLE, 1 FACTORY INSTALLED 5-INCH STORZ CONNECTION AND CAP MANUFACTURED BY MUELLER.
5. PAINT SPECIFICATION - PLEASE REFER TO VS-0400 OF THE VILLAGE CONSTRUCTION SPECIFICATIONS.

SCALE: NTS

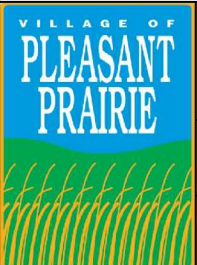
Standard Hydrant Assembly

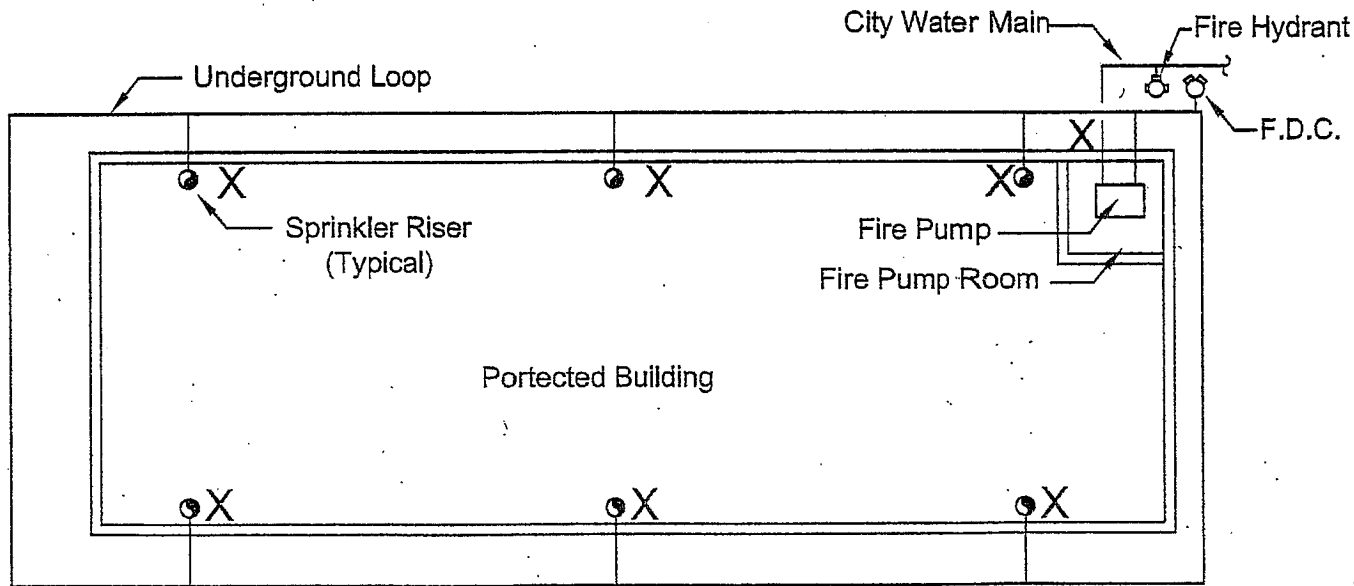
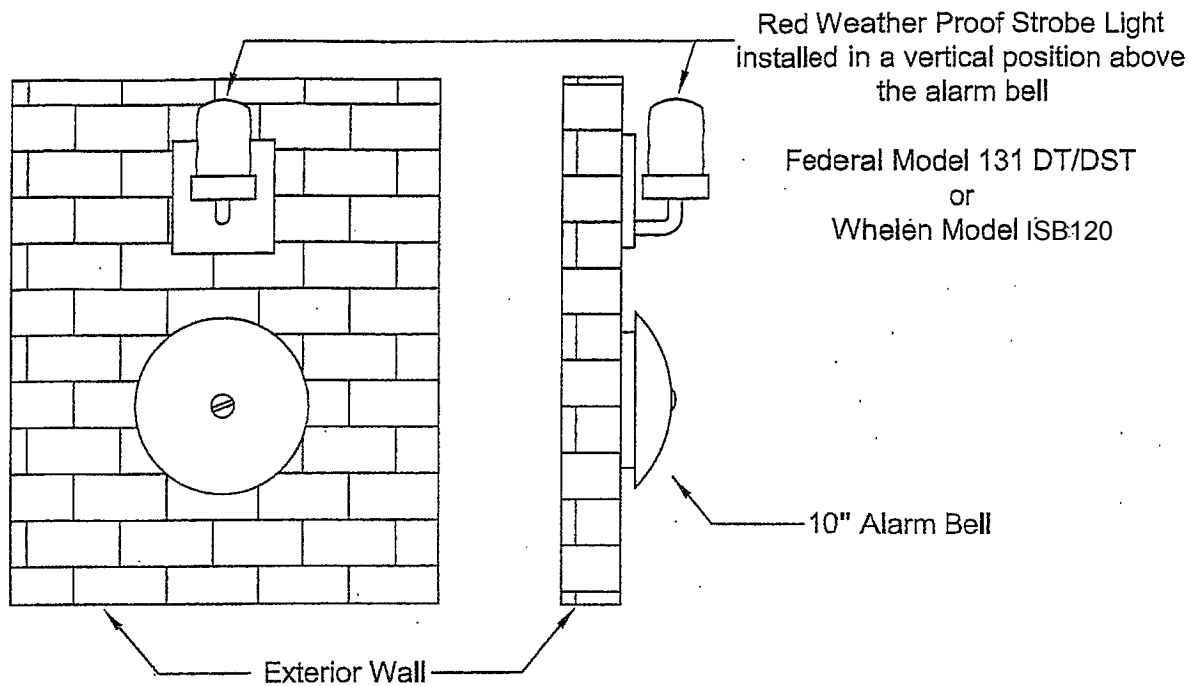
DETAIL: W - 1

CREATED: 11-26-12

REVISED: 1-26-15

APPROVED BY: MATT FINEOUR





X = Required Notification Device Location

Scale: Not to Scale	Notification Device Location Details Ordinance # 180-16 K	Approved By:
Date: 12 / 17 / 2007		Fire Chief Paul Guilbert
Drawn By: M.D.	Village of Pleasant Prairie Fire & Rescue Department 8044 88th Ave Pleasant Prairie Wi. 53158 262-694-8027	Drawing Number:
Revised:		FPSK-2
Revised:		Fire Safety Consultants, Inc. 2420 Alft Lane, B100 Elgin, Illinois. 60124 Ph: 847-697-1300 Fax: 847-697-1310

Pump / Riser Room Strobe Example



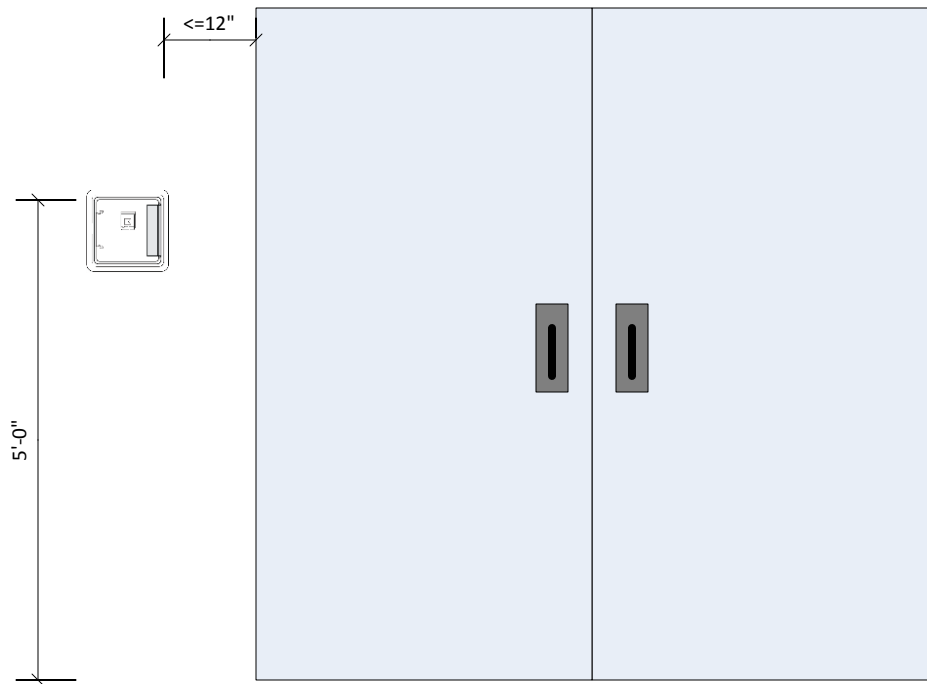
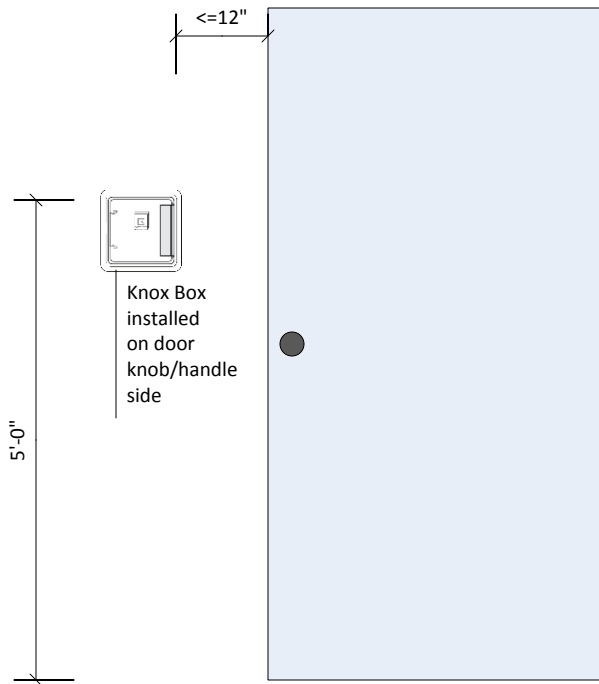
Knox Box Placement Guide

Pleasant Prairie Fire & Rescue
 8044-88th Avenue
 Pleasant Prairie, WI 53158

fireandrescue@plprairie.com
 262.694.8027
 Pleasantprairieonline.com

On Recessed boxes, measurements are taken from box base (inside of flange)

NOTE: To order Knox Boxes – contact the Fire Department. Knox Company will only accept orders from the Fire Department.



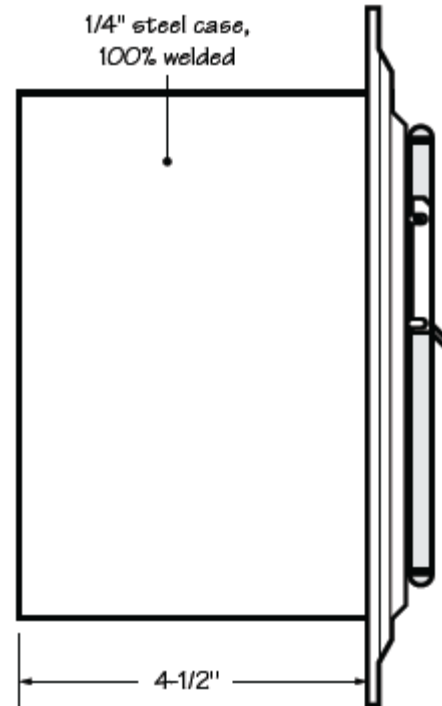
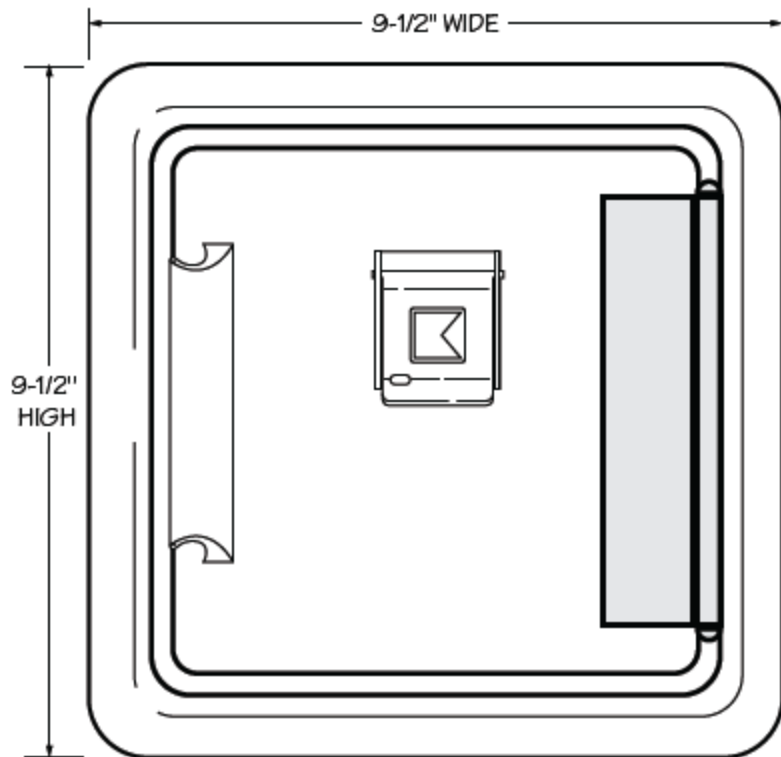
Typical installation locations for single and double doors. Exterior features such as lighting or stairways may alter standard installation locations.

Consult Fire Department prior to installations that may not fit typical locations and/or doorways.



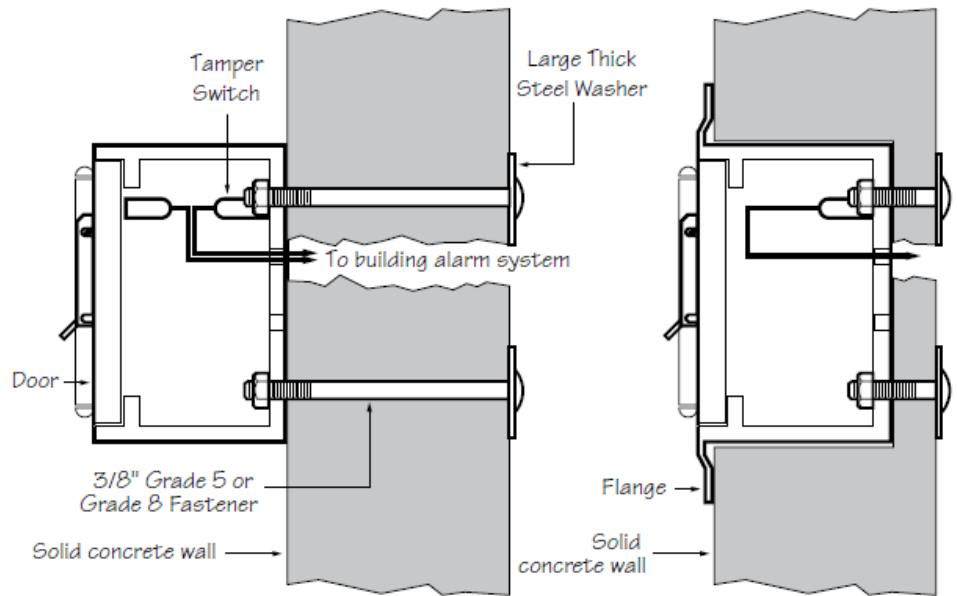
KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX DOOR PLACEMENT LOCATION	A
ISSUED	2/23/2016	SCALE	1/2" = 1'-0"	SHEET	1 OF 3





KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX 4400 FRONT/SIDE VIEWS	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	2 OF 3

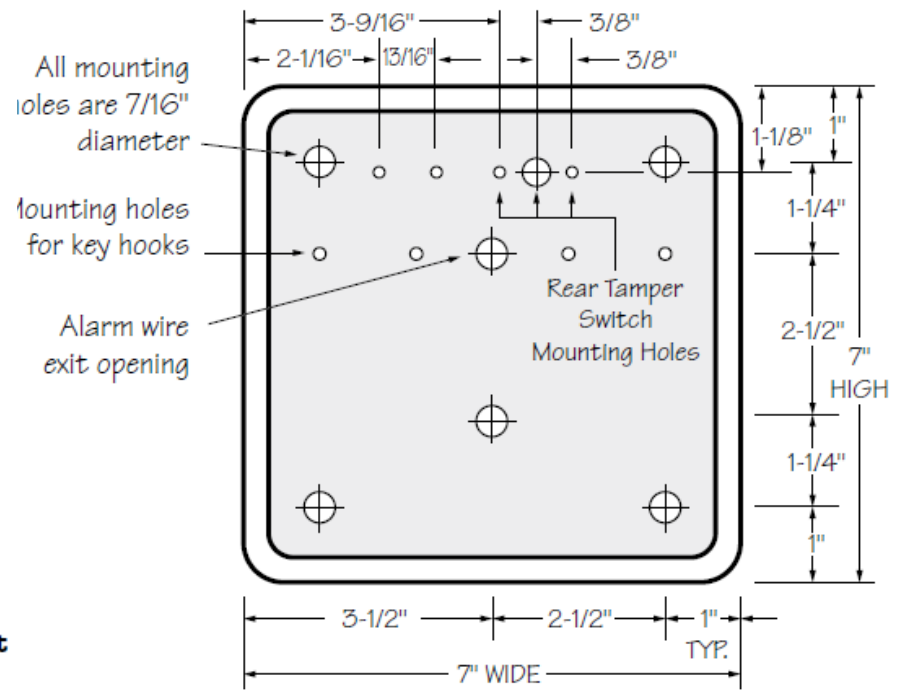




Series 4400 Surface Mount

Series 4400 Recessed Mount

INSIDE VIEW



KNOX BOX 4400 PLACEMENT GUIDE		SIZE	FSCM NO	DWG NO	REV
DRAWN	CRAIG ROEPKE			KNOX BOX MOUNTING & INSIDE VIEW	A
ISSUED	2/23/2016	SCALE	NO SCALE	SHEET	3 OF 3



High Security Industrial/Government Key Vault

Recessed Mount
with Face Flange



Surface Mount
with optional
Tamper Switch



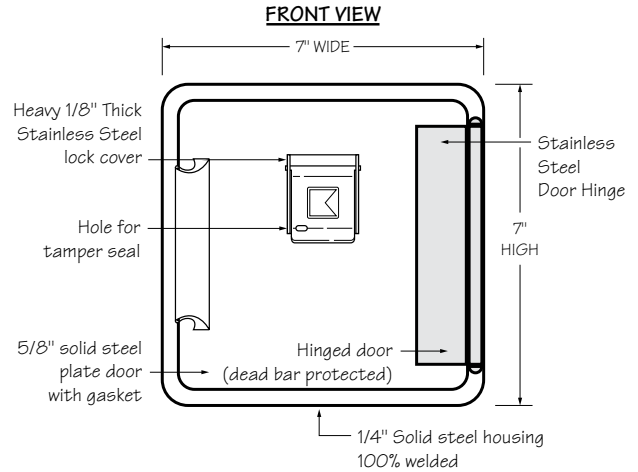
Knox-Vault™ key boxes are used in larger businesses, industrial properties, public buildings and universities. The heavy-duty, high security 4400 Series Knox-Vault protects and stores building keys, access cards and floor plans for emergency entry. The vault also provides secure storage for other internal and external applications.

Features and Benefits

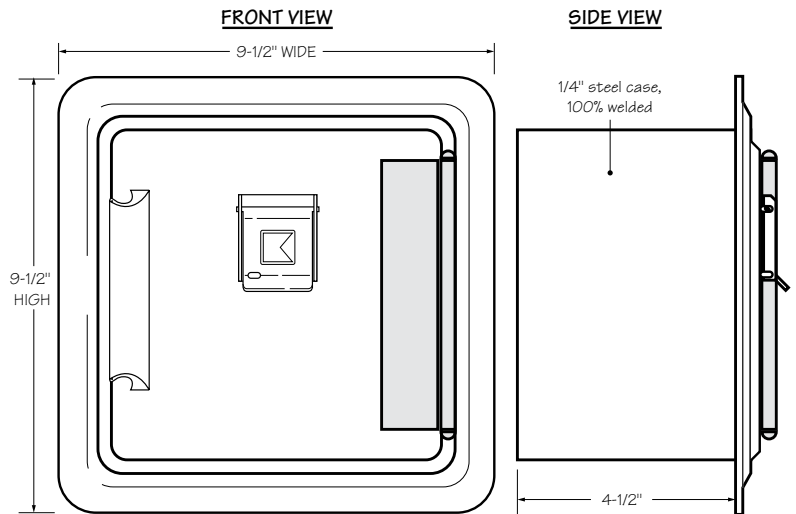
- Holds up to 50 keys in the large interior compartment
- Ensures high security with UL® Listed Medeco lock(s)
- Includes Knox-Coat® that is four times better than standard powder coat
- Resists moist conditions with a weather resistant door gasket
- Colors: Black, Dark Bronze or Aluminum
- Weight: Surface mount - 28 lbs.
Recessed mount - 29 lbs.

Options

- Alarm tamper switches (UL Listed)
- Additional rust and corrosion protection (Aluminization)
- Recessed Mounting Kit (RMK) for recessed models only
- Custom vault depth available
- Dual lock configuration
- Inside switch for use on electrical doors, gates and other electrical equipment



4400 Surface Mount



4400 Recessed Mount

Ordering Specifications

To insure procurement and delivery of the 4400 Series Knox-Vault, it is suggested that the following specification paragraph be used:

KNOX-VAULT surface/recessed mount, with/without UL Listed tamper switches. 1/4" plate steel housing, 5/8" thick steel door with interior gasket seal and stainless steel hinge. Vault and lock UL Listed. Lock has 1/8" thick stainless steel dust cover with tamper seal mounting capability. Vault has anti-theft re-locking mechanism with drill resistant hard-plate lock protector.

Exterior Dimensions: Surface mount - 7"H x 7"W x 5"D
Recessed mount flange - 9 1/2"H x 9 1/2"W

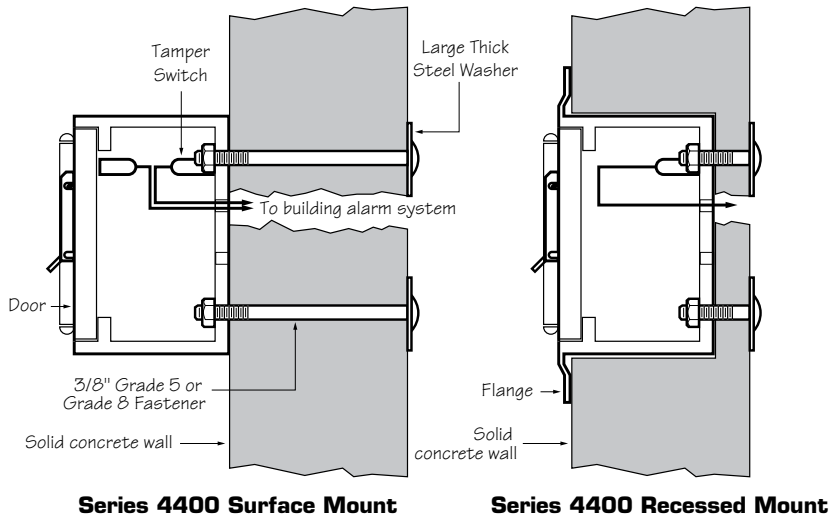
Lock: UL Listed. Double-action rotating tumblers and hardened steel pins accessed by a biased cut key.

Finish: Knox-Coat® proprietary finishing process
Finish Color - Black, Dark Bronze or Aluminum

P/N: 4400 Series Knox-Vault (mfr's cat. ID)

Mfr's Name: **KNOX COMPANY**

**Suggested minimum mounting height
6 feet above ground**



Recessed Mounting Kit

The 4400 Recessed Mounting Kit (RMK) is used for recessed models only. It contains a shell housing and mounting hardware to be cast-in-place in new concrete or masonry construction. After construction is completed, the Knox-Vault mounts inside the recessed shell housing. The RMK may only be used in new concrete or masonry construction.

Installation In Cast Concrete

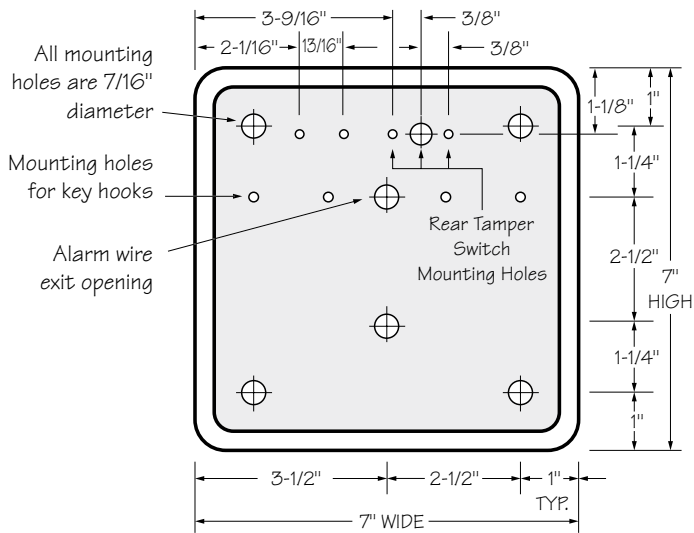
The optional Recessed Mounting Kit is for use in new concrete or masonry construction only. The kit includes a shell housing and mounting hardware to be cast-in-place. The KNOX-VAULT is mounted into the shell housing after construction is completed.

Rough-In Dimensions

8 1/2"H x 8 1/2"W x 7"D

IMPORTANT: Care should be taken to insure that the front of the RMK shell housing, including the cover plate and screw heads, is flush with the finish wall. The RMK must be plumbed to insure vertical alignment of the vault.

INSIDE VIEW

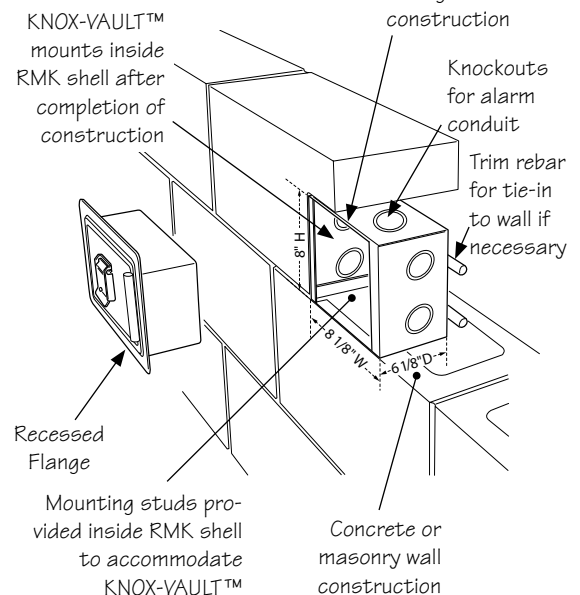


Attention: KNOX-VAULT™ is a very strong device that **MUST** be mounted properly to ensure maximum security and resist physical attack.

Knox® Rapid Entry System

The Knox Company manufactures a complete line of high security products including Knox-Box key boxes, key vaults, cabinets, key switches, padlocks, locking FDC caps, plugs and electronic master key security systems. For more information or technical assistance, please call Customer Service at 1-800-552-5669.

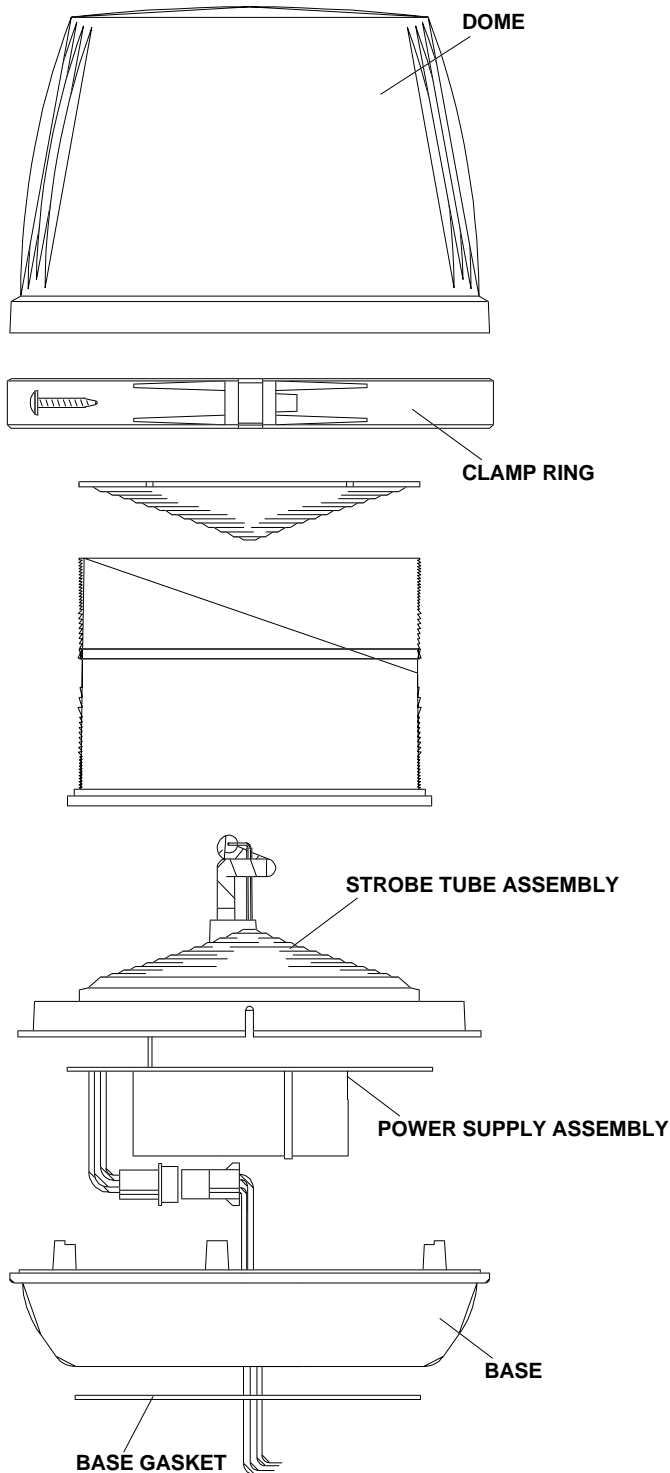
Recessed Mounting Using Recessed Mounting Kit (RMK)



Route 145, Winthrop Road
Chester, CT 06412-0684
TELEPHONE: (860) 526-9504
TOLL FREE: 1-800-637-4736
FACSIMILE: (860) 526-4784

ISB SERIES STROBE LIGHT BEACONS

ISB24, 12/24 VOLTS DC, COMET FLASH
ISB120, 120 VOLTS AC, COMET FLASH



SEE OTHER SIDE
OF PAGE FOR
REPLACEMENT
PARTS LISTING.

WARNING...
DISCONNECT THE
POWER SOURCE AND
WAIT 10 MINUTES
BEFORE INSTALLING
OR SERVICING THE
STROBE LIGHT.

**REPLACEMENT PARTS
LISTING FOR ISB
SERIES STROBES**

ITEM	DESCRIPTION	QTY.	PART NUMBER	ISB24	ISB120
1	OPTIC DOME, AMBER	1	68-2180347-10	■	■
	OPTIC DOME, BLUE	1	68-2180347-20	■	■
	OPTIC DOME, CLEAR	1	68-2180347-30	■	■
	OPTIC DOME, GREEN	1	68-2180347-40	■	■
	OPTIC DOME, RED	1	68-2180347-50	■	■
2	STROBE TUBE ASSEMBLY	1	01-0468256-00	■	■
3	STROBE POWER SUPPLY, 120 VAC	1	02-0167154-00		■
	STROBE POWER SUPPLY, 12/24 VDC	1	01-0267042-00	■	
4	FUSE, 10 AMP, AUTO	1	32-0632010012	■	

MOUNTING INSTRUCTIONS

PERMANENT MOUNT

The ISB Series must be disassembled to drill mounting holes for permanent mounting.

1. Remove the clamp ring, remove the optic dome and disassemble the strobe as shown in the drawing.
2. Locate the three dimples in the base casting and drill three mounting holes. Drill and deburr a hole for the power wires.
3. Place the base gasket between the base and mounting surface. Route the strobe power wires through the gasket and the mounting hole. Mount the base with three screws.
4. Connect the power wires to the power source.
5. Re-assemble the strobe. Make sure that the wires are not pinched.

WIRING INSTRUCTIONS

MODEL ISB24

1. Connect the RED wire to the positive DC voltage (+).
2. Connect the BLACK wire to DC ground (-).

MODEL ISB120

1. Connect the GREEN wire to the AC service green wire (ground).
2. Connect the BLACK wire to the AC service black wire (hot).
3. Connect the WHITE wire to the AC service white wire (neutral).

PIPE MOUNT

The ISB Series may be mounted to a 1" NPT pipe.

1. Feed the power source cable through the pipe and connect the cable to the ISB Series strobe.
2. Screw the strobe to the pipe threads. Make sure that the wires are not pinched or severely twisted.

WARNING - THE STROBE POWER SUPPLY IS A HIGH VOLTAGE DEVICE. DO NOT REMOVE TUBES OR DISMANTLE STROBE LIGHT ASSEMBLY WHILE IN OPERATION. WAIT 10 MINUTES AFTER TURNING OFF POWER BEFORE WORKING ON THE STROBE.

Starfire® Strobe Warning Lights

Models 131ST and 131DST



OUR BRIGHTEST MEDIUM DUTY STROBE LIGHT

- Available in 12-24VDC, 120VAC and 240VAC
- Five dome colors
- 10,000 hour strobe tube
- Single or double flash strobe
- 1/2-inch pipe mount or optional magnetic mount
- UL Listed, cUL Listed, CSA Approved for indoor/outdoor use
- NEMA 3R, IP45 enclosure

Federal Signal's Starfire® strobe warning lights are available in single-flash (131ST) and double-flash (131DST) models. Through precise timing of the strobe flash, the double flash unit produces 1,200 effective candlepower; the single flash unit produces 1,000 effective candlepower.

Starfire models are available in 12-24VDC, 120VAC (50/60Hz) and 240VAC (50/60Hz). All units are less than nine inches high and six inches in diameter, but powerfully effective.

Starfire strobe warning lights contain their own strobe power supply in the base of the light. The strobe flash tube is mounted in an eight-pin octal socket base. The fresnel dome stands up to impact and abuse and is available in amber, blue, clear, green and red. The base of the light is made of corrosion-resistant anodized aluminum. Each Starfire model comes with a standard 1/2-inch pipe mount. An optional magnetic mount or surface mount can be ordered.

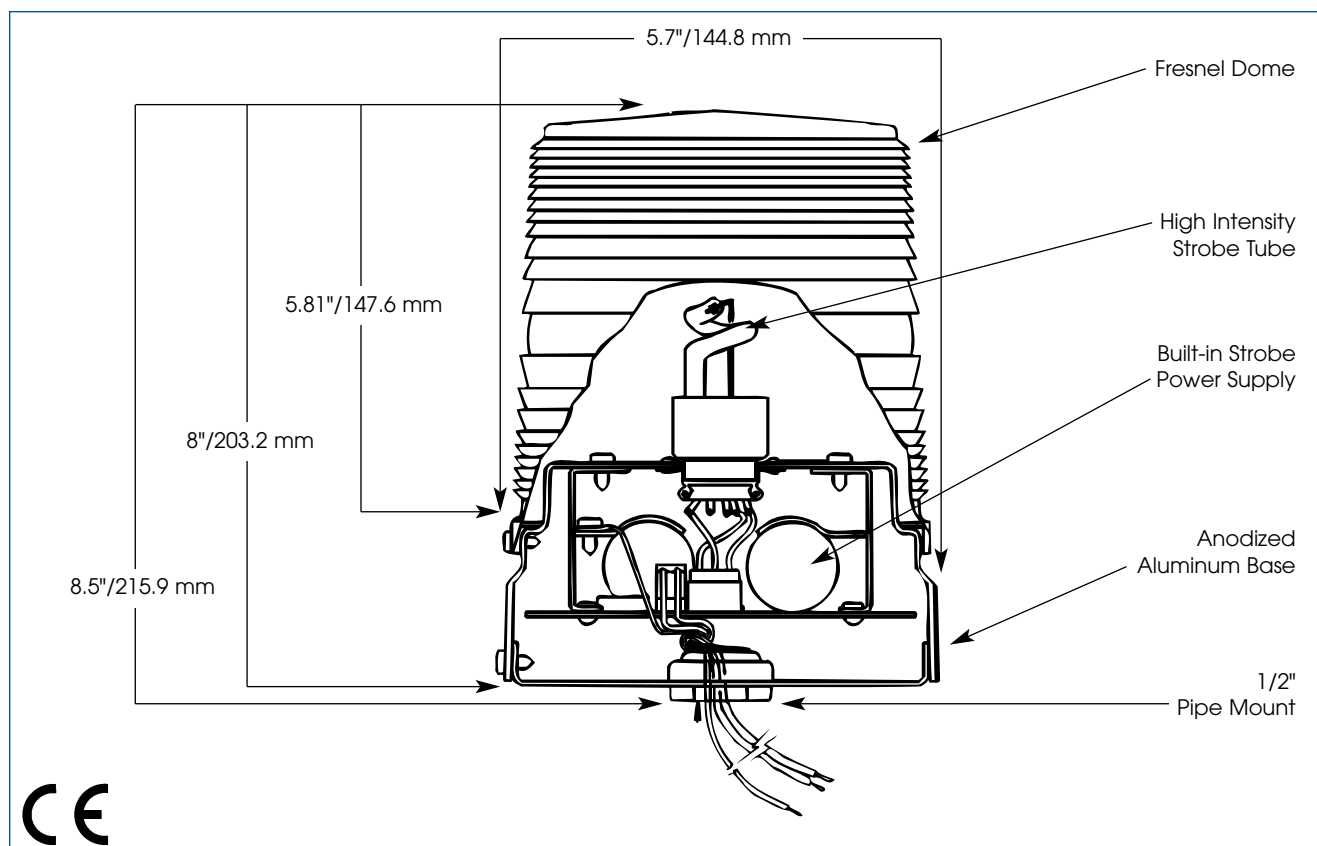
Because of its convenient size and intense light output, the Starfire strobes can be used for multiple applications. Excellent for in-plant use, the Models 131ST/DST warn of hazardous conditions, mark dangerous areas (either permanently or temporarily) and mounts on lift trucks, cranes and other moving devices. By using the magnetic mounting kit, these powerful strobes can be used on emergency, utility, maintenance or any other vehicle requiring temporary emergency warning.

Model	Voltage	Operating Current	Flash Rate/Minute	Candlepower Peak ¹	ECP ²	Mount ⁴
131DST	012-024VDC	4.50-2.10 amps	80 ³	1,000,000	1,200	1/2" Pipe
131DST	120VAC	0.60 amps	80 ³	1,000,000	1,200	1/2" Pipe
131DST	240VAC	0.30 amps	80 ³	1,000,000	1,200	1/2" Pipe
131ST	012-024VDC	2.75-1.25 amps	80	2,000,000	1,000	1/2" Pipe
131ST	120VAC	0.60 amps	80	2,000,000	1,000	1/2" Pipe
131ST	240VAC	0.30 amps	80	2,000,000	1,000	1/2" Pipe

¹ Peak candlepower is the maximum light intensity generated by a flashing light during its light pulse
² ECP (Effective Candlepower) is the intensity that would appear to an observer if the light were burning steadily
³ Double Flash
⁴ Magnet and surface mount kits available



STARFIRE® STROBE WARNING LIGHT (131ST/131DST)



SPECIFICATIONS

Lamp Life*:	10,000 Hours	10,000 Hours
Lamp Style:	Strobe	Strobe
Operating Temperature:	-31°F to 150°F	-35°C to 66°C
Net Weight:	2.0 lbs.	1.0 kg
Shipping Weight:	3.4 lbs.	1.5 kg
Height:	8.50"	215.9 mm
Width:	5.70"	144.8 mm

* Optimal hours under ideal conditions.

RATINGS

- UL Listed and CSA Approved for indoor/outdoor use
- CE Approved
- NEMA Type 3R; IP45 enclosure

HOW TO ORDER

- Specify model, voltage and color
- Specify options:
 Corner Bracket (LCMB2)
 Wall Bracket (LWMB2)
 Surface Mount (K844A211B)
 Magnetic Mount (131MMK)

REPLACEMENT PARTS

Description	Part Number	Description	Part Number
Dome, Amber	K8422B428A-01	PC Assembly, 12-24VDC (131ST)	K2001260C
Dome, Blue	K8422B428A-02	PC Assembly, 120VAC (131ST)	K2001188C
Dome, Clear	K8422B428A	PC Assembly, 240VAC (131ST)	K2001188C-01
Dome, Green	K8422B428A-03	PC Assembly, 12-24VDC (131DST)	K2001265C
Dome, Red	K8422B428A-04	PC Assembly, 120VAC (131DST)	K200865F
Strobe Tube	K8107178A	PC Assembly, 240VAC (131DST)	K200865F-01
Surface Mount Kit	K8444A211B	Dome Gasket	K8444A193A



Pleasant Prairie Fire & Rescue

Pre-Plan

Long Form

Building Name:		Building Address:	
Important locations			
Knox Boxes:		Strobe & Gong:	
MSDS Box:		Main Entrance:	
Electrical Shut Off:		Gas Shut Off:	
Sprinkler & Hydrant Information			
Pumper Pad Location:			
F.D. Connection:			
Hydrant #1(non-yard)		Hydrant #2 (non-yard)	
Fire Pump location:		Type and GPM:	
Riser Room Location:			
Standpipe Locations:			
Type of System:		# of Risers:	
Annunciator Panel:		# of Zones:	
Life Safety			
# of Employees 1St shift		Seating capacity:	
# of employees 2nd Shift		Special needs people:	
# of Employees 3rd . shift			
This Building Manufactures:			
Major Hazards:			
Drop off's:			

Building Information

Building length:			
Building width		Total square footage:	
Building height		High population area:	
Type of construction:		Confined spaces:	
Roof type and construction:	Steel/Masonry		
Roof access:			
Objects on the roof:			
Firewalls:			
Location of stairways			
Elevator location & type:			
Elevator mech. Rm. Location;			
Fire escape locations:			
Exterior exit door locations:			
Salvage priorities:			
Extra comments:			
Hazardous Materials			
Pressure vessel locations:	(UN numbers & amounts)		
Other Hazardous materials that may affect Fire & Rescue operations: (UN numbers and amounts)			
Your clean up or supply company:			

Exterior

Designated meeting location:	
Close water sources: (Dry hydrants, ponds. Location & depth)	
Exposure to the North:	
Exposure to the South:	
Exposure to the East:	
Exposure to the West: (exposure= building surrounding yours, list height & construction type.)	

Contacts

Keyholder #1:	
Keyholder #2:	
Keyholder #3: (Keyholders: after hour contacts List name & home phone numbers)	
Local Manager::	
District Manager:	
Maintenance Supervisor:	
Hazardous Materials (Local):	
Hazardous Materials (Corporate): (List name, office, & home phone)	
Business Owner: (Name, address, phones)	
Building Owner; (Name, address, phones)	
Central alarm station: (List company if any, and phone)	

Please Note: Along with this form we require a copy of the building plans on the software program Autocad 14. If no plans had been done in this format, please submit a plot, floor, and roof plan. The Plans should show all the above aforementioned items. If at any time you have a question, please contact us at 262-694-8027. Our fax number is 262-697-1901.

Emergency Plan

10.9.1 Where Required. Emergency plans shall be provided for high-rise, health care, ambulatory health care, residential board and care, assembly, day-care centers, special amusement buildings, hotels and dormitories, detention and correctional occupancies, educational, underground and windowless structures, facilities storing or handling materials covered by Chapter **60**, or where required by the AHJ.

10.9.2 Plan Requirements.

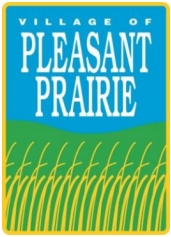
10.9.2.1* Emergency plans shall include the following:

- (1) Procedures for reporting of emergencies
- (2) Occupant and staff response to emergencies
- (3)* Evacuation procedures appropriate to the building, its occupancy, and emergencies (*see Section 4.3 of NFPA 101*)
- (4) Appropriateness of the use of elevators
- (5) Design and conduct of fire drills
- (6) Type and coverage of building fire protection systems
- (7) Other items required by the AHJ

10.9.2.2 Emergency plans shall be submitted to the AHJ for review when required by the AHJ.

A.10.9.2.1 Items to be considered in preparing an emergency plan should include the following:

- (1) Purpose of plan
- (2) Building description, including certificate of occupancy
- (3) Appointment, organization, and contact details of designated building staff to carry out the emergency duties
- (4) Identification of events (man-made and natural) considered life safety hazards impacting the building
- (5) Responsibilities matrix (role-driven assignments)
- (6) Policies and procedures for those left behind to operate critical equipment
- (7) Specific procedures to be used for each type of emergency
- (8) Requirements and responsibilities for assisting people with disabilities
- (9) Procedures for accounting for employees
- (10) Training of building staff, building emergency response teams, and other occupants in their responsibilities
- (11) Documents, including diagrams, showing the type, location, and operation of the building emergency features, components, and systems
- (12) Practices for controlling life safety hazards in the building
- (13) Inspection and maintenance of building facilities that provide for the safety of occupants
- (14) Conducting fire and evacuation drills
- (15) Interface between key building management and emergency responders
- (16) Names or job titles of persons who can be contacted for further information or explanation of duties
- (17) Post-event (including drill) critique/evaluation, as addressed in 5.14 of [NFPA 1600](#), *Standard on Disaster/Emergency Management and Business Continuity Programs*
- (18) Means to update the plan, as necessary [**101**: A.4.8.2.1]

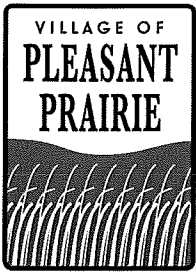


Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: Froedtert South
Date: December 20, 2017

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. Please submit all applicable plans (Building, HVAC, Fire Suppression, Fire Detection, Conveyance, Plumbing, etc.) to the state for review (DHS/DSPS). Please be aware state plumbing plan review has a long lead time, plan accordingly.
7. Building Inspection Department will not issue permits until we receive the applicable state approval letter and plans.
8. All state approved drawing must be available at job site for inspector review during inspections.
9. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
10. Fire alarm systems require two permits from both the Fire Department and Building Inspection Department.

11. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
12. Fire alarm systems and fire protection loops will require inspections by both the Fire Department and Building Inspection Department.
13. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant with a color temperature between 5000-6000K.
14. Any tradesmen requiring state license will be “carded” on the jobsite for compliance.
15. All equipment must be “LISTED” by a nationally recognized testing laboratory.
16. Documentation must be provided for available fault current at equipment, to verify short circuit current rating compliance per 2011 NEC 110.10
17. All equipment, materials, etc. must be rated for the environment in which they will be used.
18. All required DNR and FEMA permits must be approved, in addition plans must be state approved, prior to issuance of any VOPP building permits.
19. Provide sufficient parking and handicap accessible parking spaces per current addition of the IBC.
20. Please contact me with any questions on permitting and/or plan submittal.



Office of the
Community Development Director
Jean M. Werbie-Harris

December 13, 2017

Mr. Dan Szczap
Bear Development LLC
4011 80th Street
Kenosha, WI 53142

Dear Mr. Szczap:

The purpose of this letter is to inform you that on December 4, 2017 the Village Board conditionally approved a **Master Conceptual Plan** related to the proposed development of the vacant land at the northeast corner of STH 31 (Green Bay Road) and STH 165 (104th Street) for mixed-use commercial development to be known as Main Street Market. The Master Conceptual Plan was approved subject to the following comments and conditions:

Comments:

On October 2, 2017 the Village Board approved a Neighborhood Plan Amendment (Ord. #17-48) for a portion of the Highpoint Neighborhood Plan for the approximate 22-acre commercial area at the northeast corner of STH 31 (Green Bay Road) and STH 165 (104th Street) for a planned community commercial development known as Main Street Market.

As shown in the Neighborhood Plans, Main Street is intended to connect to STH 31, continue east through the entire neighborhood and connect to Main Street in the Village Green Heights Subdivision that will ultimately connect to Springbrook Road through the Village Green Center (downtown) just north of the Pleasant Prairie Post Office. Access to Main Street between STH 31 and Old Green Bay Road is proposed to be a boulevard with access to the north and south as right-in/right out only, if approved by the WI Department of Transportation (WI DOT).

As required by WI DOT, the petitioner is preparing an update to the initial Traffic Impact Analysis (TIA) originally prepared in 2007, to evaluate all required Old Green Bay Road, STH 165 and STH 31 roadway and intersection improvements required as a result of this development as well as the timing for the construction of the transportation improvements. The TIA will be prepared for the Village's and the WI DOT reviews and approvals. In 2007, the previous developer was exploring roundabouts at several intersection locations; however due to costs and land availability, the current developer is exploring more typical 4-way intersections. Ultimately the TIA will determine the intersection type, the location of driveway access locations, restricted access points and timing or phasing of the roadway and intersection improvements.

As presented with the aforementioned Neighborhood Plan amendment, the layout of the community commercial area is very similar to the existing Neighborhood Plan originally adopted by the Village in 2007; however, it was being updated to specifically include the footprint of the proposed first land use for the development. The petitioner is working with United Hospital System Inc., who recently merged with Froedtert Hospital and the Medical College of Wisconsin to be known as Froedtert South, Inc., to develop a four-story medical office building/medical clinic shown as Building F on the Plans.

The Master Conceptual Plan provides a refinement to the Neighborhood Plan and proposes the following other commercial buildings depicted on the Master Conceptual Plan including:

- Building A: Grocery Store (60,000 square feet)
- Building B: Retail Building (8,000 square feet)
- Building C: Multi-tenant Building (26,000 square feet)
- Building D: Retail Building (6,000 square feet)
- Building E: Commercial Building (13,800 square feet)
- Building F: Medical Office Building (12,300 square feet footprint with 50,000 square foot total building area)
- Building G: Commercial Building (2,350 square feet)
- Building K: Gasoline Station and C-Store (5,000 square feet)
- Building L: Retail Building (6,000 square feet).

Froedtert South is preparing a Master Conceptual Plan for the development of their site and medical office building (Building F) that will be presented to the Plan Commission at a public hearing in January of 2018.

As discussed with the Neighborhood Plan amendment earlier this fall, the building is proposed to consist of four floors, at 12,300 square feet each, totaling approximately 50,000 square feet of buildable space. The building will have multiple entrances on two different levels. On the west side of building (facing STH 31) it will be a four-story and entry with the topography rising to the east (facing Old Green Bay Rd) the building will have a three-story face and entry. The building's exterior materials will consist of unit masonry (brick) in an architectural, prairie style to match the St. Catherine's Medical Center Campus on STH 50 in the Prairie Ridge Development.

The lowest level and entry point is intended to support comprehensive rehabilitation therapy services including:

- General Physical Therapy
- Aquatic Therapy in a warm water therapy pool;
- Manual Therapy;
- Orthopedic and Musculoskeletal Rehabilitation;
- Sports Medicine;
- Post-operative therapy for shoulder, elbow, hands, hips, knees and foot;
- Spine therapy;
- Vestibular and Balance therapy;
- Occupational Therapy;
- Lymphedema Therapy;
- Cancer Rehab Therapy;
- Hand Therapy; and
- Direct Access for patient self-referral.

Entry into this lower level would include an at-grade covered pick-up and drop-off door to protect patients from the weather. The floor would have individual private treatment areas for patients as well as a centralized gym area for those patients and related support areas.

The second level will also include an at-grade covered pick-up and drop-off door to protect patients from the weather. The second through fourth floors will be used for physician offices that provide primary and specialty care. Those practices include but are not limited to family practice, internal medicine, cardiology, neurology, orthopedics, gastroenterology and others. At full build out, each floor will house approximately five to eight providers and support staff. Supporting these services will be a clinical laboratory services, radiology and imaging services, and other diagnostic services. In addition, the clinic site will offer

walk in services without an appointment during routine business hours. The goal is to be completed and operational next winter in 2018 -2019.

The petitioner will prepare Conceptual Plans, that will further refine this Neighborhood Plan and the entire development will require approval of a Planned Unit Development (PUD). As development plans progress the following minimum setbacks to public streets shall be a minimum setback of 30 feet from buildings and 15 feet for parking lots, maneuvering and fire lanes.

Old Green Bay Road will be required to be re-constructed with an urban cross section with curb and gutter and public sidewalks. Section requirements shall be further evaluated with the TIA and include bicycle and pedestrian accommodations. Further discussion related to off street pedestrian paths along STH 31 and STH 165 and within the development will need to be further discussed.

Public water main along Old Green Bay Road shall be extended to the north property line of this project. The retention basins are not allowed to be located over the existing sanitary sewer or water mains and all utilities need to be accessible with a paved surface. All plans for the private and public improvements shall comply with the Village's Design and Construction standards.

Next Steps:

1. **Traffic Impact Analysis (TIA):** WI DOT has approved a scope of work for the TIA to be completed. Once the TIA is completed, WI DOT and the Village will review and approve. As noted above, the TIA will determine the intersection type, the location of driveway access locations, restricted access points and timing or phasing of the roadway and intersection improvements.
2. **CSM with Development Agreement** related to required public improvements and all associated plans and exhibits. The TIA needs to be approved by WI DOT and detailed engineering plans related to required public improvements need to be completed and submitted for review. Multiple Certified Survey Maps will likely be presented as the entire project develops.
3. **Comprehensive Land Use Map Amendment** to remove the Urban Reserve land use designation and correctly show the location of any wetlands that are not approved by the WI DNR and ACOE to be filled.
4. **Zoning Map and Text Amendments** to create the Planned Unit Development (PUD) ordinance and to rezone any wetlands that are not approved by the WI DNR and ACOE to be filled. The PUD Ordinance may be amended from time to time as development with Main Street Market is proposed. The Main Street Market shall develop as a uniform business development site. Community benefit shall be reflected on site architectural design, building material, landscaping, signage parking lot light poles and other features.
5. **Detailed Site and Operational Plans** will be required for each individual building as uses are proposed. The Medical Office Building as described above is proposing to submit a Master Conceptual Plan for their site prior to submitting the detailed Site and Operational Plans.

Conditions:

1. **The Master Conceptual Plan approval will be valid for a period of one (1) year (until December 4, 2018).** Prior to the expiration of the required Site and Operational Plans, Certified Survey Map, detailed Public Improvement Plans and related documents which satisfy the conditions of the Master Conceptual Plan

approval shall be submitted and considered by the Plan Commission and Village Board.

2. The required Certified Survey Maps shall show any additional dedicated right-of-way, the proposed land division of the subject property and all easements, dedications and restrictive covenants. The CSM shall at a minimum show all of the following easements and other noted items:
 - Dedicated General Utility Easement
 - Dedicated Public Sanitary Sewer, Access and Maintenance Easement
 - Dedicated Storm Water Drainage, Access and Maintenance Easement
 - Dedicated Storm Water Drainage, Retention Basin, Access and Maintenance Easement
 - Dedicated Signage, Access and Maintenance Easement
 - Dedicated Ingress-Egress, Cross Access and Maintenance Easement
 - Label No Direct Vehicular Access
 - Dedicated Wetland Preservation and Protection, Access and Maintenance Easement (if applicable)
 - Dedicated Vision Triangle, Access and Maintenance Easement
 - Show additional right-of-way to be dedicated
 - Label streets as Dedicated Public Streets
 - Include Restrictive Covenant language
3. Public improvements are required and a Development Agreement will be required to be entered into that sets forth the requirement improvements and provides the financial security to ensure that the work is completed.
4. Declaration of Commercial Covenants for Main Street Market shall be submitted for staff review and approval.
5. Detailed Site and Operational Plans that include site plans, drainage and grading plans, building plans, landscape plans, signage plans and all other required plans and documents pursuant to the Site and Operational Plan requirement of the Village Zoning Ordinance (Article IX of Chapter 420 of the Village Municipal Code) shall be submitted for each individual site improvements.
6. **As sites are developed the Conceptual Master Plan shall be updated to incorporate the detailed plans and shown as part of the Site and Operational Plan set.**
7. As development plans continue to progress the following comments and conditions shall be addressed.
 - a. Based upon the uses proposed provide a table that illustrates that adequate parking is being provided. As each site is developed, the site will be evaluated for adequate on-site parking. As sites are developed the Conceptual Master Plan shall be updated to incorporate the detailed plans.
 - b. Revise parking lots so that they meet Village requirements for landscape islands.
 - c. The location of the garbage dumpsters shall be relocated and shown on the plans. They shall not be located in the middle of the parking lot areas.
 - d. Interconnecting sidewalks and pedestrian walkways shall be shown throughout the entire site, especially leading up to the proposed entrances of the buildings—see **attached** location of proposed connections.

- e. Multi-tenant sign locations shall be shown. Maximum height for monument signs shall be 8 feet and 120 square feet in area.
- f. The size of the grocery store is too large and shall be reduced to allow for landscape screening and berms along the sides and rear of the site.
- g. Subject to the **attached** comments from the Village Engineering Department dated October 27, 2017.
- h. Subject to the **attached** comments from the Fire & Rescue Department dated November 17, 2017.
- i. Water Utility: Replace and set new hydrants/aux. valves to grade along 104th Street frontage (2 each) and Old Green Bay Rd Frontage (4 each). Deliver old hydrants and valves to Public Works, 8600 Green Bay Road. For any questions please contact Rich Murphy, Construction Manager directly at 262-948-8956.
- j. Relocate the sanitary sewer main outside of retention basin near building A.
- k. All commercial buildings will be required to install a sanitary sewer sampling manhole per the Village specifications. All sampling manholes shall be in paved and maintained areas outside of parking stalls or heavy traffic. Location shall allow for sampling vehicle and personnel to access for a period of time. The Sampling Manhole for Building A: shall be relocated to a paved area--consider relocation to paved area at loading dock vicinity.
- l. All sides of the proposed future commercial buildings shall be designed and constructed in a manner that is architecturally and aesthetically pleasing.
- m. The buildings in the development shall be presented showing high quality architecture and brick, stone and other maintenance free building materials. Building architectural designs, elevations and sample materials will be required to be approved by the Plan Commission as part of the detailed Site and Operational Plans.
- n. Show location of any proposed outdoor seating areas.
- o. Attractive and ornamental commercial light pole standards/LED fixtures the same type and style (pole and head) within the entire development shall be provided in the parking lot at a maximum height of 20 feet from grade with the fixtures style and color to compliment the building (No shoe box fixtures). The concrete bases of the light standards shall not exceed 12 inches above grade. All concrete, unpainted light pole bases shall be placed within landscaped areas or islands. As a unified development all of the parking lot lights shall be the same style, height, color and size for the entire unified business development area.
- p. All exterior lighting shall be of the same LED color and brightness. Parking lot lighting shall be illuminated to provide sufficient lighting for the public's safety and the effective operation of the security cameras - per the Village's satisfaction.
- q. All downspouts for all proposed buildings within the development shall be internal to the building and interconnected to the private storm sewer system and cut off at grade and shown on the required Site and Operational Plans.

- r. Each handicapped parking space shall be appropriately signed (locations to be reviewed with planning staff) and painted on the pavement pursuant to ADA requirements prior to occupancy of any development site.
 - s. All exterior mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
8. The development shall comply with the ordinances in effect at the time of construction. In addition, detailed Site and Operational Plans are required to be submitted for review and approval prior to any development pursuant to the requirements of the Village Zoning Ordinance. Also, depending on the use proposed, the occupants may be required to obtain a Conditional Use Permit along with Site and Operational Plan approval from the Plan Commission and may require special licenses by the Village.
 9. A Digital Security Imaging System (DSIS) shall be installed for each use throughout this commercial development with exterior cameras in accordance with the security requirements of Chapter 410 of the Village Municipal Code. A DSIS Agreement and recorded DSIS Access Easement will be required.
 10. All grading and other work impacting the adjacent State jurisdictional roadway (STH 31 and STH 165) shall be approved with permits granted by the Wisconsin Department of Transportation. Copies of State permits shall be provided to the Village prior to issuance of Village permits.
 11. All grading impacting other work within Old Green Bay Road will require Work in the Right-of-way permits from the Village.
 12. Cross-Access, Maintenance Easements shall be dedicated and recorded for the shared access between lots/parcels on the CSM or separate document. All easements shall be reviewed and approved by the Village.
 13. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit pursuant to the requirements of Article X of Chapter 420.
 14. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
 15. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
 16. Development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
 17. Impact fees pursuant to Chapter 181 of the Village Code are required to be paid at time of building permit for each development site.

Approval Letter
Page 7

If you have any questions please contact Ms. Peggy Herrick, Assistant Planner and Assistant Zoning Administrator or me directly at 262-925-6717.

Sincerely,


Jean M. Werbie-Harris
Community Development Director

Enc.

main street market-concept plan

DEV1710-003

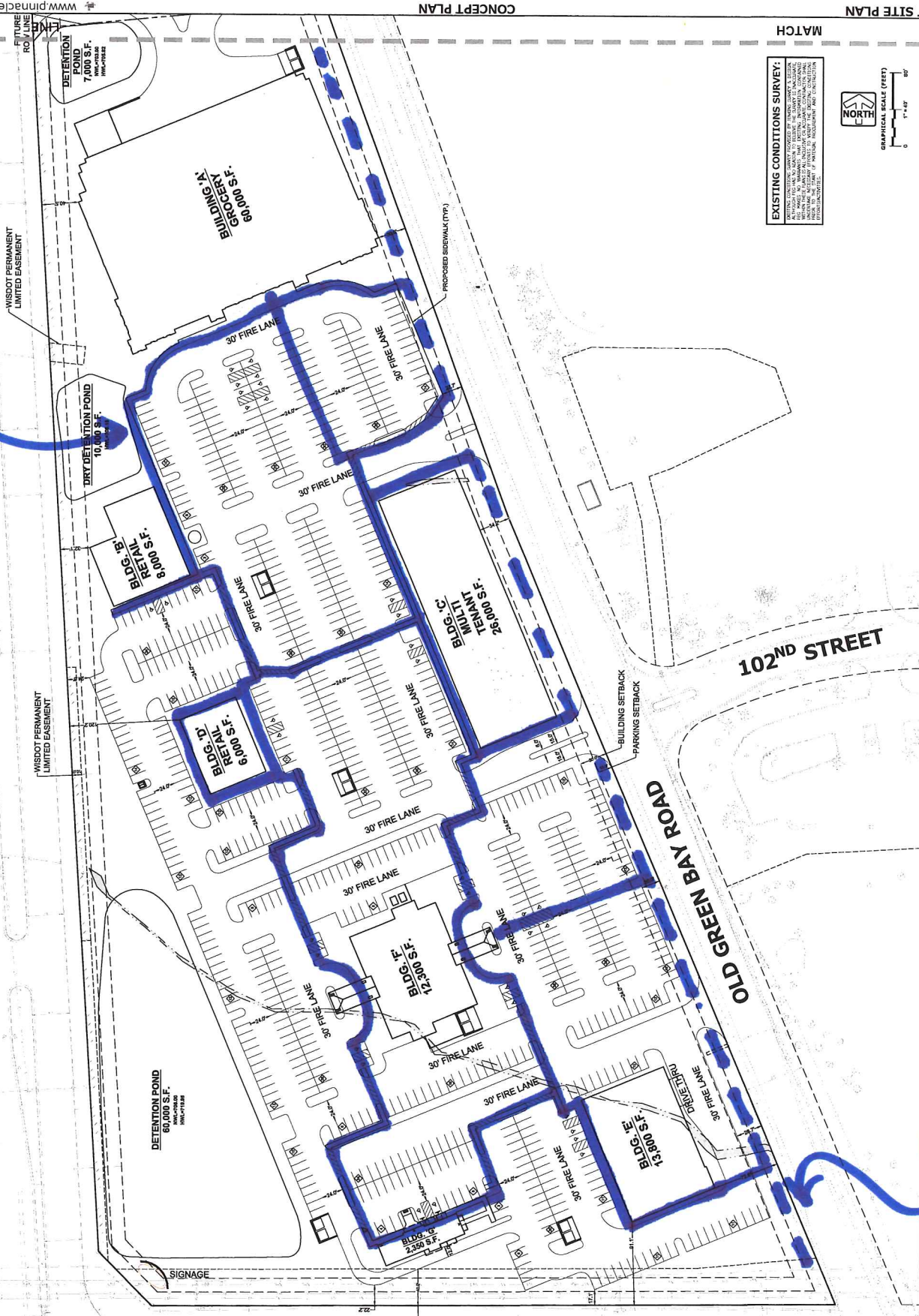
on-site pedestrian connections

STH 31 / GREEN BAY ROAD

STH 165 / 104TH STREET

102ND STREET

OLD GREEN BAY ROAD



EXISTING CONDITIONS SURVEY:
 THIS SURVEY IS A VISUAL RECORD OF THE EXISTING CONDITIONS AT THE TIME OF THE SURVEY. IT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION SHOWN HEREON. THE ENGINEER HAS CONDUCTED A VISUAL SURVEY OF THE SITE AND HAS FOUND NO EVIDENCE OF ANY UNLAWFUL OR UNRECORDED EASEMENTS, ENCUMBRANCES, OR INTERESTS. THE ENGINEER HAS ALSO CONDUCTED A VISUAL SURVEY OF THE ADJACENT PROPERTIES AND HAS FOUND NO EVIDENCE OF ANY UNLAWFUL OR UNRECORDED EASEMENTS, ENCUMBRANCES, OR INTERESTS.



CONCEPT SITE PLAN

SHEET C-4 C-11

REVISIONS

CONCEPT SITE PLAN

MAIN STREET MARKET VILLAGE OF PLEASANT PRAIRIE, WI

Pinnacle Engineering Group
 AN IDEAL PARTNER
 PLEASANT PRAIRIE, WI
 262.233.1111
 WWW.PINNACLE-ENG.COM

Robbi Sidewalk



MEMORANDUM

Office of the Village Engineer
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Assistant Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Main Street Market – Conceptual Plan

DATE: October 27, 2017

Peggy,

The Engineering Department has reviewed the conceptual plans for the proposed Main Street Market development. We have the following comments listed below and noted on the attached mark-up plan. Refer to both this memo and mark-up plan sheets for all engineering comments.

1. See comments on the attached plan mark-up sheets.
 - a. Only plan sheets with comments are included.
 - b. Comments that apply to multiple locations are not repeated for every occurrence.
 - c. Revised submittals shall include a cover letter addressing each comment not addressed or requiring explanation, item by item, to help facilitate Village review of plans.
2. A traffic impact analysis shall be completed to evaluate the following intersections. The TIA will need to be approved by the Village and WDOT.
 - a. STH 165 and Green Bay Road.
 - b. STH 165 and Old Green Bay Road.
 - c. STH 165 and Main Street / Jelly Belly.
 - d. Old Green Bay Road and south private drive entrance.
 - e. Old Green Bay Road and private drive entrance / 102nd Street.
 - f. Old Green Bay Road and the private drive entrance north of building "C".
 - g. Old Green Bay Road and Main Street intersection.
 - h. Old Green Bay Road and 95th Street.
 - i. Old Green Bay Road and building "K" private entrance.
 - j. Any other impacted intersections as may be determined by the WDOT or the Village in consultation with the traffic engineer.

3. The project will require improvements to Old Green Bay Road along the entire property frontage to an urban section with curb and gutter. Section requirements shall be further evaluated with a TIA and include bicycle and pedestrian accommodations. Also, the evaluation of Old Green Bay Road and project site intersections shall anticipate the future Main Street connection/traffic per the Village Neighborhood plans. Main Street is anticipated to be a collector road from Village Green Center at Springbrook Road to STH 165.
4. A sidewalk shall be provided along the west side of Old Green Bay Road along the development. The sidewalk shall plan to cross Old Green Bay Road at Main Street to be extended along Main Street, east of Old Green Bay Road, in the future.
5. The public water main along Old Green Bay Road shall be extended to the north property line as part of this project.
6. Complete civil engineering plans for all private and public improvements will eventually need to be submitted and reviewed. Refer to the Village's Design Standards and Construction Specifications -current edition for this development. The design standards may be found on the Village's website:

<http://www.pleasantprairieonline.com/services/engineering/index.asp>

Attachments: Plan Mark-Up
Highpoint Neighborhood Plan

CONCEPT PLAN - SITE, GRADING, & UTILITY PLANS

FOR

MAIN STREET MARKET

VILLAGE OF PLEASANT PRAIRIE, WI

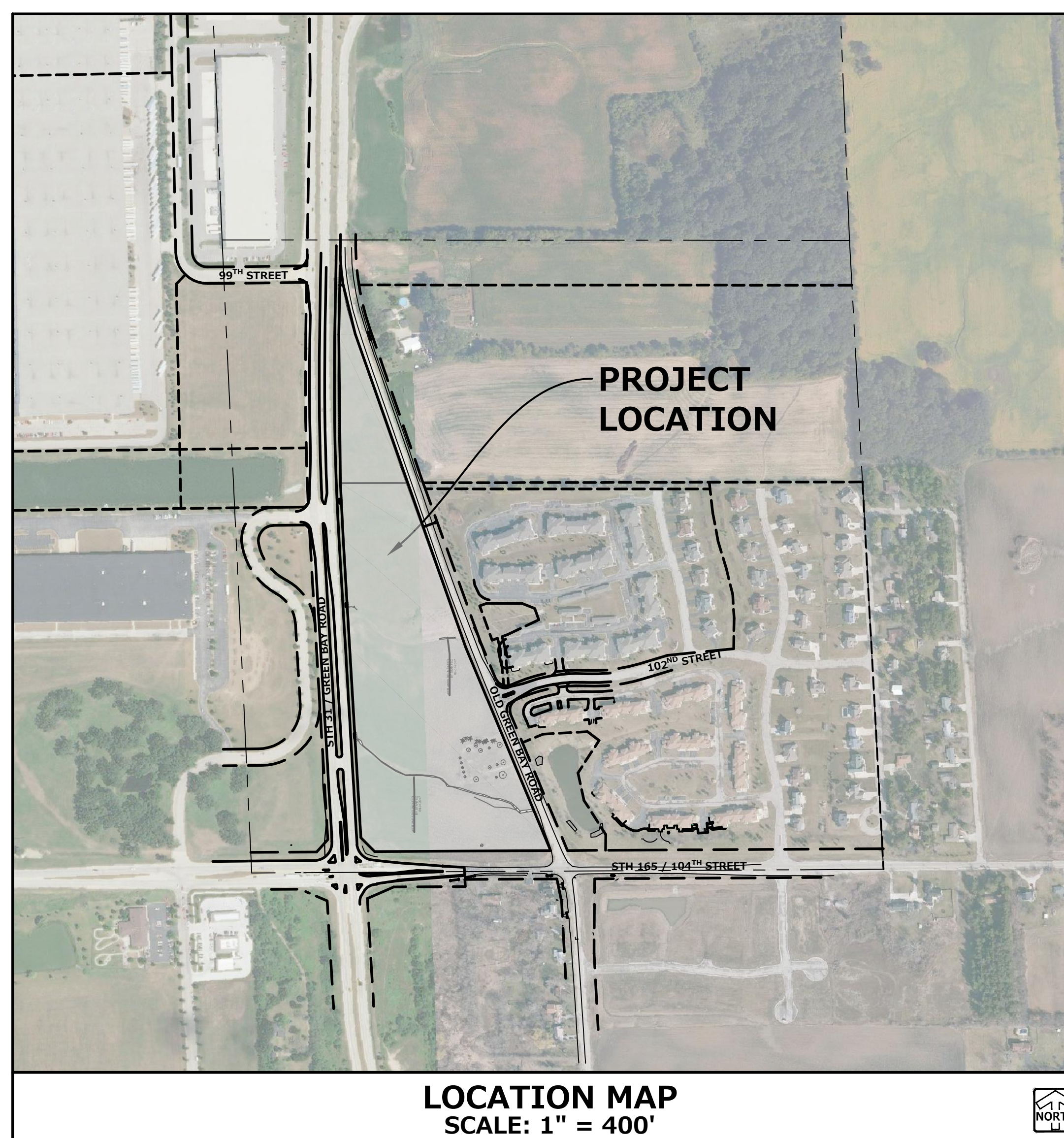
PLANS PREPARED FOR



ENGINEERING
REVIEW 10-27-2017
PLAN MARK UP

SITE DATA TABLE

TOTAL SITE AREA:	21.7 AC (944,980 S.F.)
PAVEMENT AREA:	9.5 AC (414,366 S.F.)
BUILDING AREA:	3.2 AC (139,450 S.F.)
LANDSCAPE AREA:	6.8 AC (296,208 S.F.)
GREEN SPACE:	31.3%
POND AREA:	2.2 AC (97,000 S.F.)
PARKING STALLS:	841 STALLS
EXISTING ZONING:	COMMUNITY COMMERCIAL
PROPOSED ZONING:	P.U.D. (PLANNED UNIT DEVELOPMENT)



PROJECT TEAM CONTACTS

CIVIL ENGINEER: MATT CAREY, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 210 BROOKFIELD, WI 53005 (262) 754-8888	APPLICANT: DANIEL SZCZAP BEAR DEVELOPMENT 4011 80TH STREET KENOSHA, WI 53142
---	---

BENCHMARKS

VERTICAL DATUM:	NGVD 29
HORIZONTAL DATUM:	NAD 1927
BM 1: FOUND SE CORNER, NE 1/4 SEC. 27, T1N, R20E (CONC. MON. W/ BRASS CAP) N: 194,392.12; E: 2,509,964.98 (WISCONSIN STATE PLANE CO-ORDINATE SYSTEM, SOUTH ZONE) REFERENCE BENCHMARK EL.=809.40	

INDEX OF SHEETS

C-1	CONCEPT PLAN COVER SHEET
C-2	EXISTING CONDITIONS PLAN
C-3 - C-5	CONCEPT SITE PLAN
C-6 - C-8	CONCEPT GRADING PLAN
C-9 - C-11	CONCEPT UTILITY PLAN



Toll Free (800) 242-8511
Milwaukee Area (414) 239-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2018

PINNACLE ENGINEERING GROUP, LLC - ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH FAILURE SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

REVISIONS

NO.	DATE	DESCRIPTION

REG. NO. 1114-00-WI MAC
START DATE: 09-18-17
SCALE: N.T.S.
SHEET C-1 of C-11

LEGEND

	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN	—	—
STORM SEWER INLET (ROUND CASTING)	○	●
STORM SEWER INLET (RECTANGULAR CASTING)	□	■
PRECAST FLARED END SECTION	△	▲
CONCRETE HEADWALL	—	—
AIR RELEASE ASSEMBLY	⊕	⊕
VALVE BOX	⊕	⊕
FIRE HYDRANT	⊕	⊕
BUFFALO BOX	⊕	⊕
CLEANOUT	⊕	⊕
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
LIGHTING	—	—
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
POWER POLE	—	—
POWER POLE WITH LIGHT	—	—
STREET SIGN	—	—
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	—	—
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
DITCH OR SWALE	—	—
DIVERSION SWALE	—	—
OVERFLOW RELIEF ROUTING	—	—
TREE WITH TRUNK SIZE	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—

ABBREVIATIONS

BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
IW	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

PROVIDE THE FOLLOWING ON THIS SHEET:
FINAL PLANS MUST BE STAMPED AND SIGNED

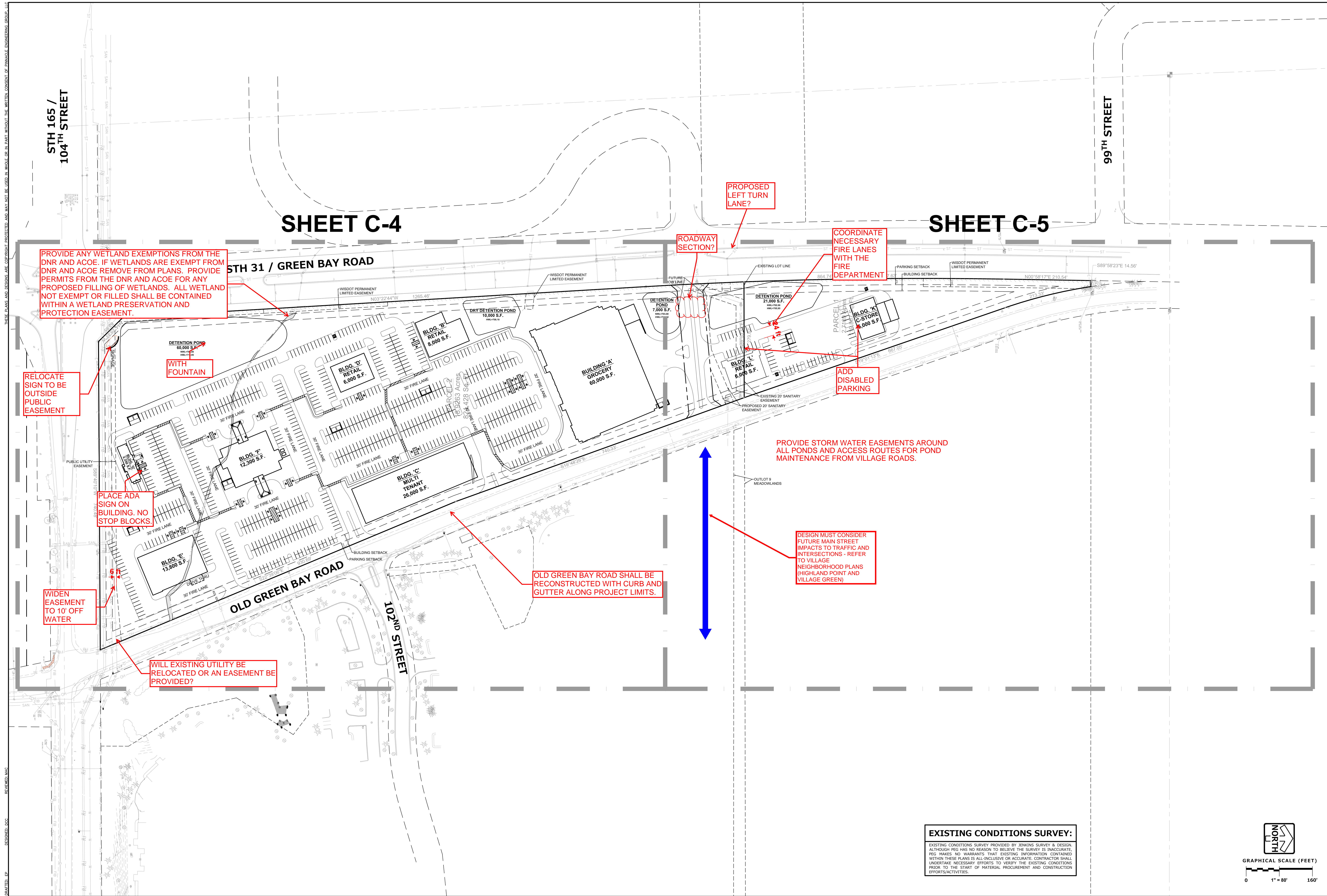
ADD NOTE "PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD AT THE VILLAGE OFFICES. THE PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AND MODERATED BY THE DESIGNING ENGINEER OF RECORD."

ADD NOTE "EACH CONTRACTOR SHALL HAVE A COPY OF THE VILLAGE APPROVED PLANS, PROJECT MANUAL, AND VILLAGE CONSTRUCTION SPECIFICATIONS ON-SITE DURING TIMES OF CONSTRUCTION. THE CONSTRUCTION SPECIFICATIONS ARE AN INTEGRAL PART OF THE CIVIL ENGINEERING PLANS."

PROVIDE AN ESTIMATE OF THE AMOUNT OF CUT AND FILL MATERIAL FOR THE SITE.

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

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SHEET C-4

SHEET C-5

PROVIDE ANY WETLAND EXEMPTIONS FROM THE DNR AND ACOE. IF WETLANDS ARE EXEMPT FROM DNR AND ACOE REMOVE FROM PLANS. PROVIDE PERMITS FROM THE DNR AND ACOE FOR ANY PROPOSED FILLING OF WETLANDS. ALL WETLAND NOT EXEMPT OR FILLED SHALL BE CONTAINED WITHIN A WETLAND PRESERVATION AND PROTECTION EASEMENT.

RELOCATE SIGN TO BE OUTSIDE PUBLIC EASEMENT

WITH FOUNTAIN

PLACE ADA SIGN ON BUILDING. NO STOP BLOCKS.

WIDEN EASEMENT TO 10' OFF WATER

WILL EXISTING UTILITY BE RELOCATED OR AN EASEMENT BE PROVIDED?

OLD GREEN BAY ROAD SHALL BE RECONSTRUCTED WITH CURB AND GUTTER ALONG PROJECT LIMITS.

PROPOSED LEFT TURN LANE?

ROADWAY SECTION?

COORDINATE NECESSARY FIRE LANES WITH THE FIRE DEPARTMENT

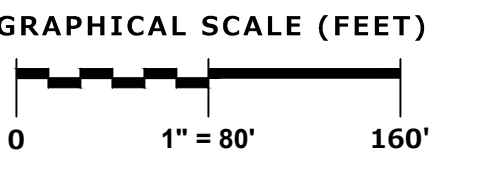
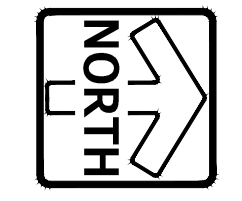
ADD DISABLED PARKING

PROVIDE STORM WATER EASEMENTS AROUND ALL PONDS AND ACCESS ROUTES FOR POND MAINTENANCE FROM VILLAGE ROADS.

DESIGN MUST CONSIDER FUTURE MAIN STREET IMPACTS TO TRAFFIC AND INTERSECTIONS - REFER TO VILLAGE NEIGHBORHOOD PLANS (HIGHLAND POINT AND VILLAGE GREEN)

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY JENKINS SURVEY & DESIGN. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.



PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI

CONCEPT SITE PLAN OVERVIEW

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO. 1114.00-WI
MAC
START DATE: 09-18-17
SCALE: 1" = 80'
SHEET
C-3
C-11

CONCEPT PLAN
CONCEPT SITE PLAN OVERVIEW

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CONCEPT PLAN
CONCEPT GRADING PLAN OVERVIEW

STH 165 /
104TH STREET

99TH STREET

SHEET C-7

SHEET C-8

SIZE PONDS FOR RECONSTRUCTION OF OLD GREEN BAY ROAD

STH 31 / GREEN BAY ROAD

USE TRM ON
SPILLWAYS

ROUTE
OVERLAND
FLOW ROUTE
TO THE
PONDS

SLOPE TO
OUTLET

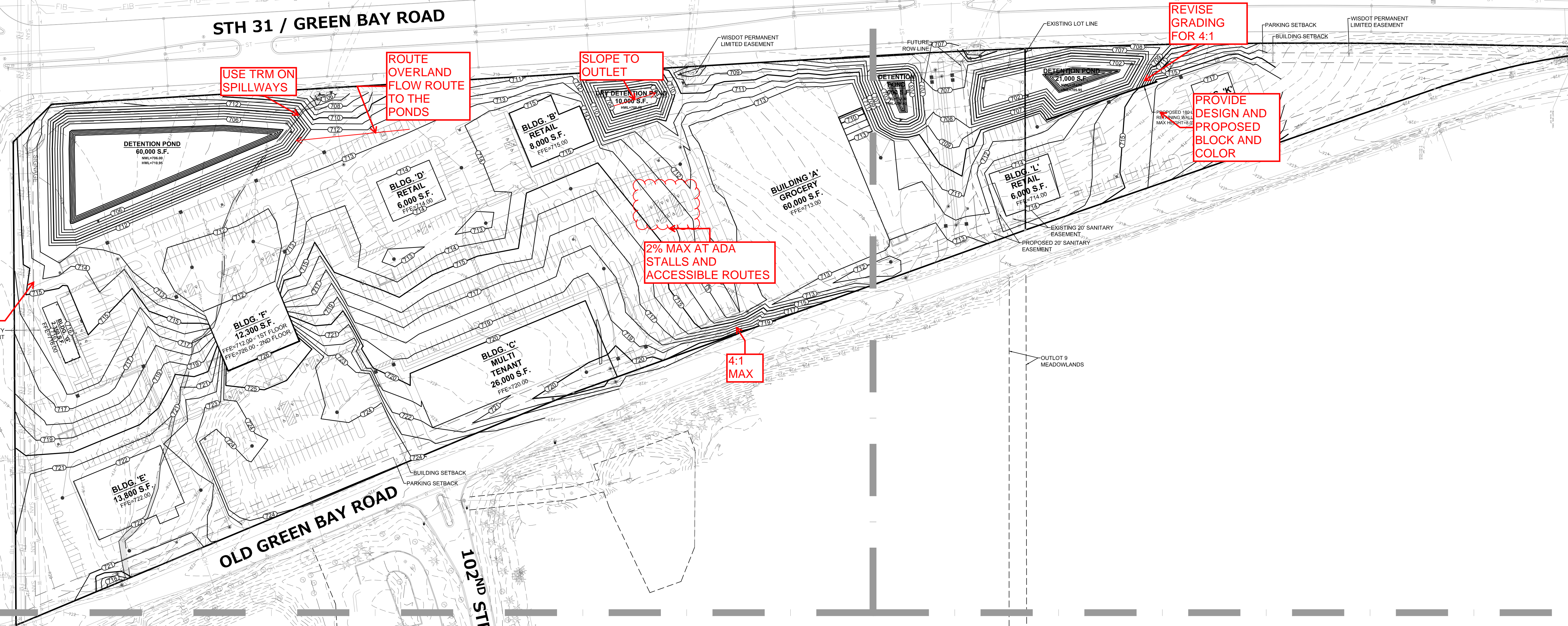
REVISE
GRADING
FOR 4:1

PROVIDE
DESIGN AND
PROPOSED
BLOCK AND
COLOR

REVIEW
COVER OVER
WATER MAIN.
KEEP
MINIMUM OF 6'
OF COVER.

2% MAX AT ADA
STALLS AND
ACCESSIBLE ROUTES

4:1
MAX

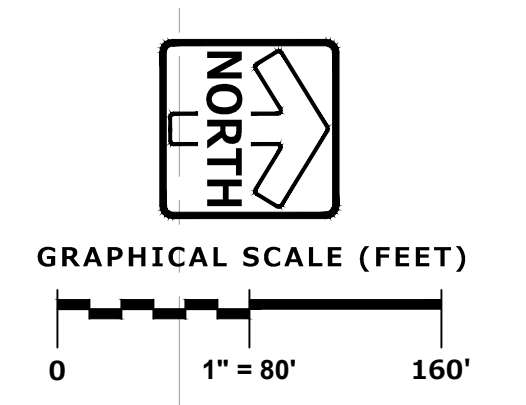


LEGEND

●	STORM SEWER MANHOLE
■	STORM SEWER CATCH BASIN- ROUND CASTING
■	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
▲	PROPOSED CONCRETE FLARED END SECTION
—	PROPOSED CONTOUR

STORMWATER MANAGEMENT:
STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS.

EXISTING CONDITIONS SURVEY:
EXISTING CONDITIONS SURVEY PROVIDED BY JENKINS SURVEY & DESIGN. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.



PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONWIDE

**MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI**

CONCEPT GRADING PLAN OVERVIEW

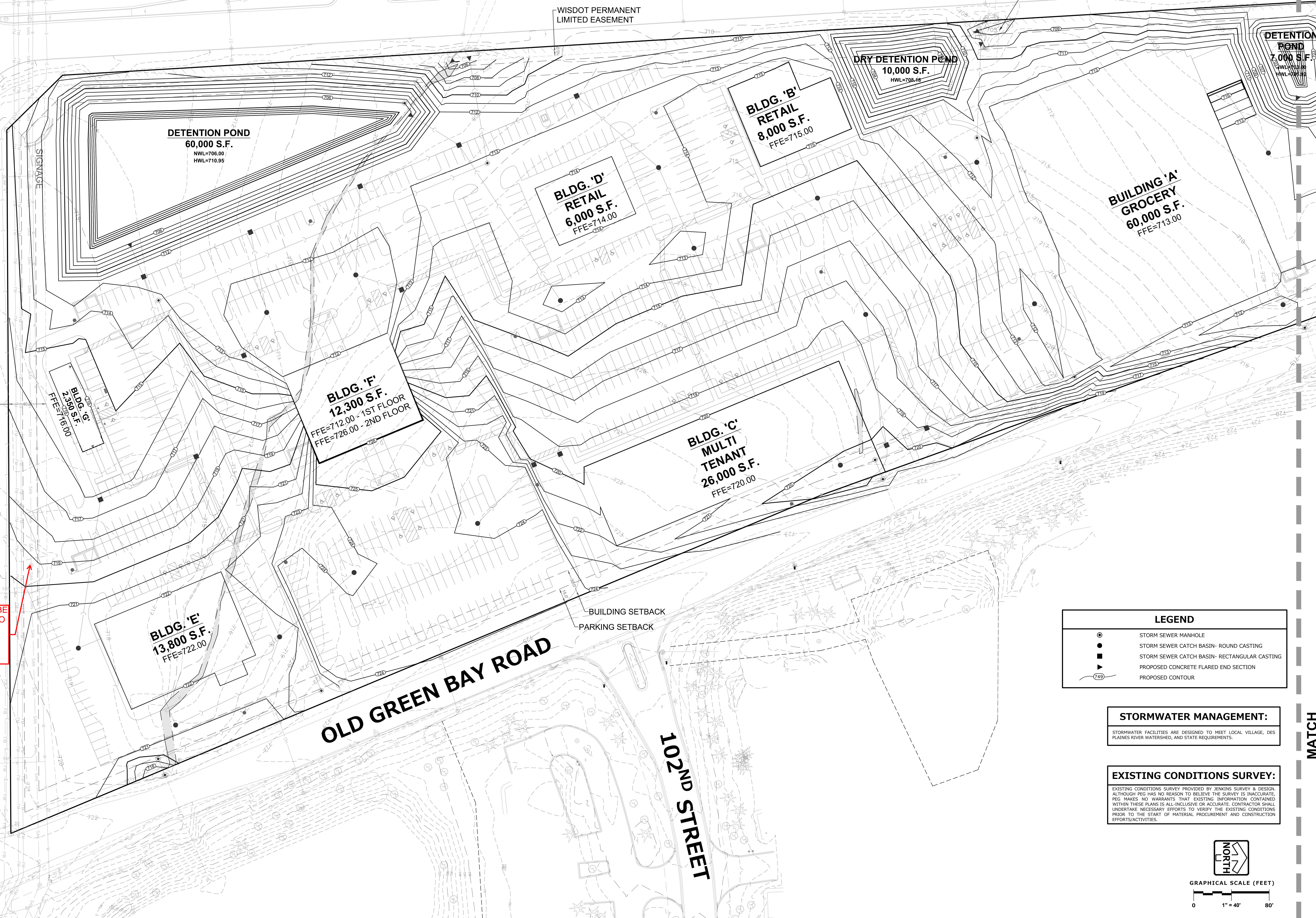
REVISIONS	
NO.	DESCRIPTION

REG. NO. 1114.00-WI-MAC
SCALE: 1" = 80'
START DATE: 09-18-17
SHEET C-6 of C-11

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

www.pinnacle-engr.com
CONCEPT PLAN
MATCH
CONCEPT GRADING PLAN

STH 31 / GREEN BAY ROAD

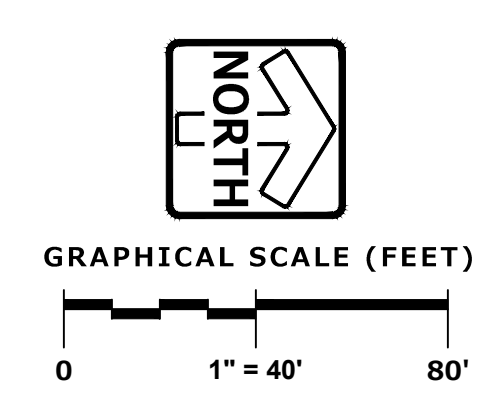


ALL EXISTING MH'S WILL NEED TO BE ADJUSTED OR RECONSTRUCTED TO GRADE IN ACCORDANCE WITH THE VILLAGE SPECS. MANHOLES MAY ONLY HAVE BETWEEN 3'-8" OF ADJUSTING RINGS

LEGEND	
●	STORM SEWER MANHOLE
○	STORM SEWER CATCH BASIN- ROUND CASTING
■	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
▼	PROPOSED CONCRETE FLARED END SECTION
—	PROPOSED CONTOUR

STORMWATER MANAGEMENT:
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STH 165 / 104TH ET

OLD GREEN BAY ROAD

102ND STREET

DESIGNED: EP
CHECKED: MAC
REVIEWED: MAC

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BROOKFIELD, WI 53005
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MAIN STREET MARKET VILLAGE OF PLEASANT PRAIRIE, WI

CONCEPT GRADING PLAN

REVISIONS		SHEET C-7 C-11
NO.	DESCRIPTION	

REG. NO. 1114.00-WI
MAC
START DATE: 09-18-17
SCALE: 1" = 40'

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COORDINATE PUMPER PAD AND HYDRANT LOCATIONS WITH THE FIRE DEPARTMENT. SHOW LOCATIONS ON PLANS.
BYPASS STORM SEWERS MAY BE ROUTED THROUGH PONDS IF DESIRED.

STH 165 / 104TH STREET

99TH STREET

STH 31 / GREEN BAY ROAD

OLD GREEN BAY ROAD

REVISE TO CONNECT TO EXISTING MANHOLE

PLACE CHECK VALVE OUT OF PUBLIC EASEMENT

PLACE BYPASS STORM SEWER IN 20' WIDE EASEMENT

REPLACE HYDRANTS ALONG OLD GREEN BAY

OLD GREEN BAY ROAD SHALL BE RECONSTRUCTED. ADD INLETS AND INCLUDE IN STORM WATER MANAGEMENT.

IF HYD IS DESIRED HERE INSTALL NEW LEAD OFF EX MAIN

REPLACE STORM CROSSINGS UNDER OGB AND CONNECT TO EX STM ON EAST SIDE OF OGB WITH MANHOLE

IS EXISTING MAIN CORRECTLY SHOWN OUTSIDE OF RIGHT OF WAY?

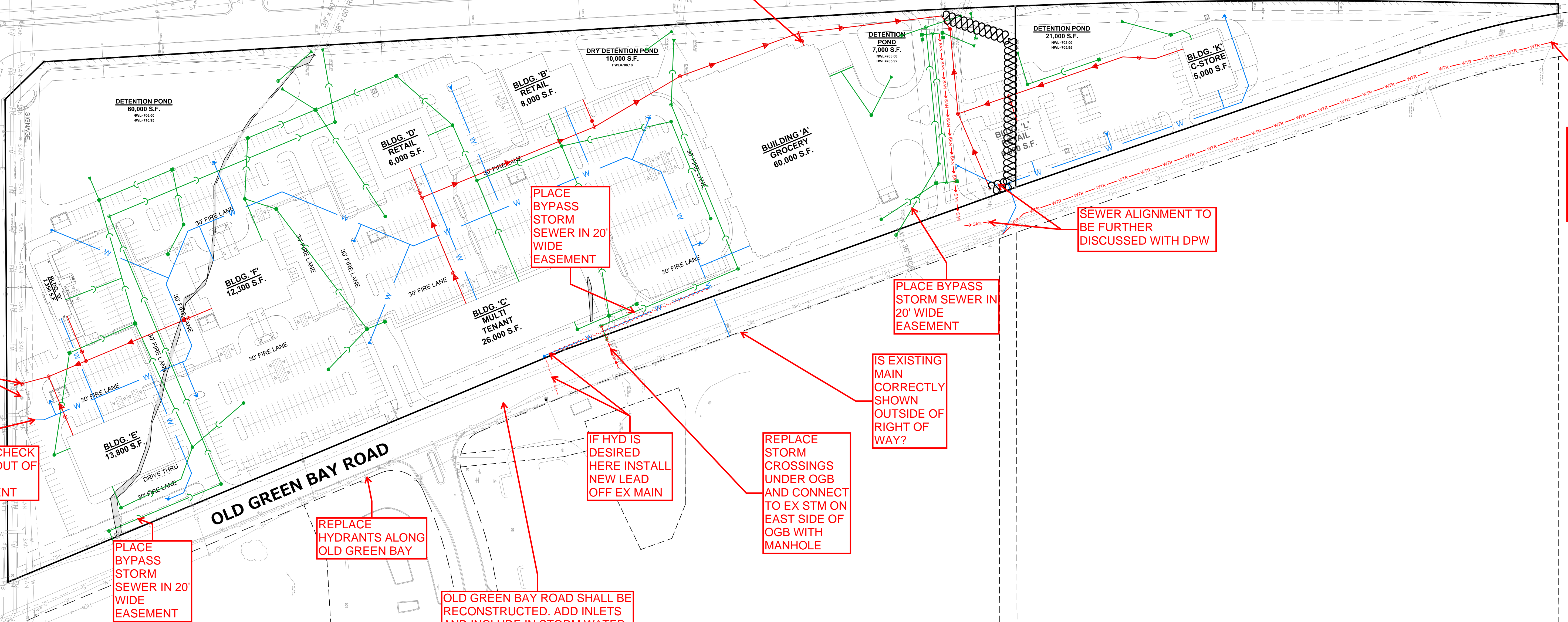
PLACE BYPASS STORM SEWER IN 20' WIDE EASEMENT

SEWER ALIGNMENT TO BE FURTHER DISCUSSED WITH DPW

EXTEND WATER MAIN TO THE NORTH PROPERTY LINE WITHIN THE ROADWAY

SAMPLING MANHOLES MUST BE LOCATED WITHIN PAVEMENT, OUTSIDE OF PARKING STALLS

PLACE BYPASS STORM SEWER IN 20' WIDE EASEMENT



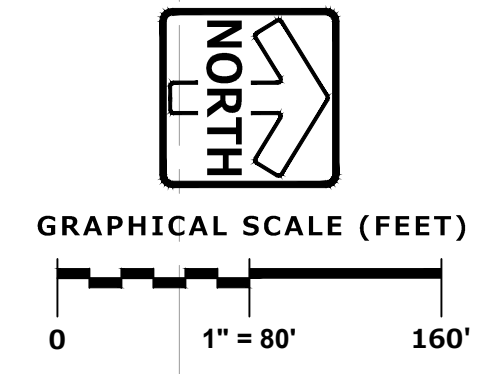
STORMWATER MANAGEMENT:

STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS.

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LEGEND			
	SANITARY SEWER MANHOLE		WATER MAIN
	STORM SEWER MANHOLE		FIRE PROTECTION
	STORM SEWER CATCH BASIN (ROUND CASTING)		ELECTRICAL CABLE
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		GAS MAIN
	PRECAST CONCRETE FLARED END SECTION		TELEPHONE LINE
	CLEANOUT		OVERHEAD WIRES
	VALVE BOX		LIGHTING
	FIRE HYDRANT		ELECTRICAL TRANSFORMER OR PEDESTAL
	SANITARY SEWER		POWER POLE
	FORCE MAIN		POWER POLE WITH LIGHTS
	STORM SEWER		STREET SIGN
	DRAIN TILE		UTILITY TO BE REMOVED



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**MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI**

CONCEPT UTILITY PLAN OVERVIEW

REVISIONS	

REG. JOB NO. 1114.00-WI-MAC
SCALE: 1" = 80'
SHEET C-9 of C-11

CONCEPT UTILITY PLAN OVERVIEW

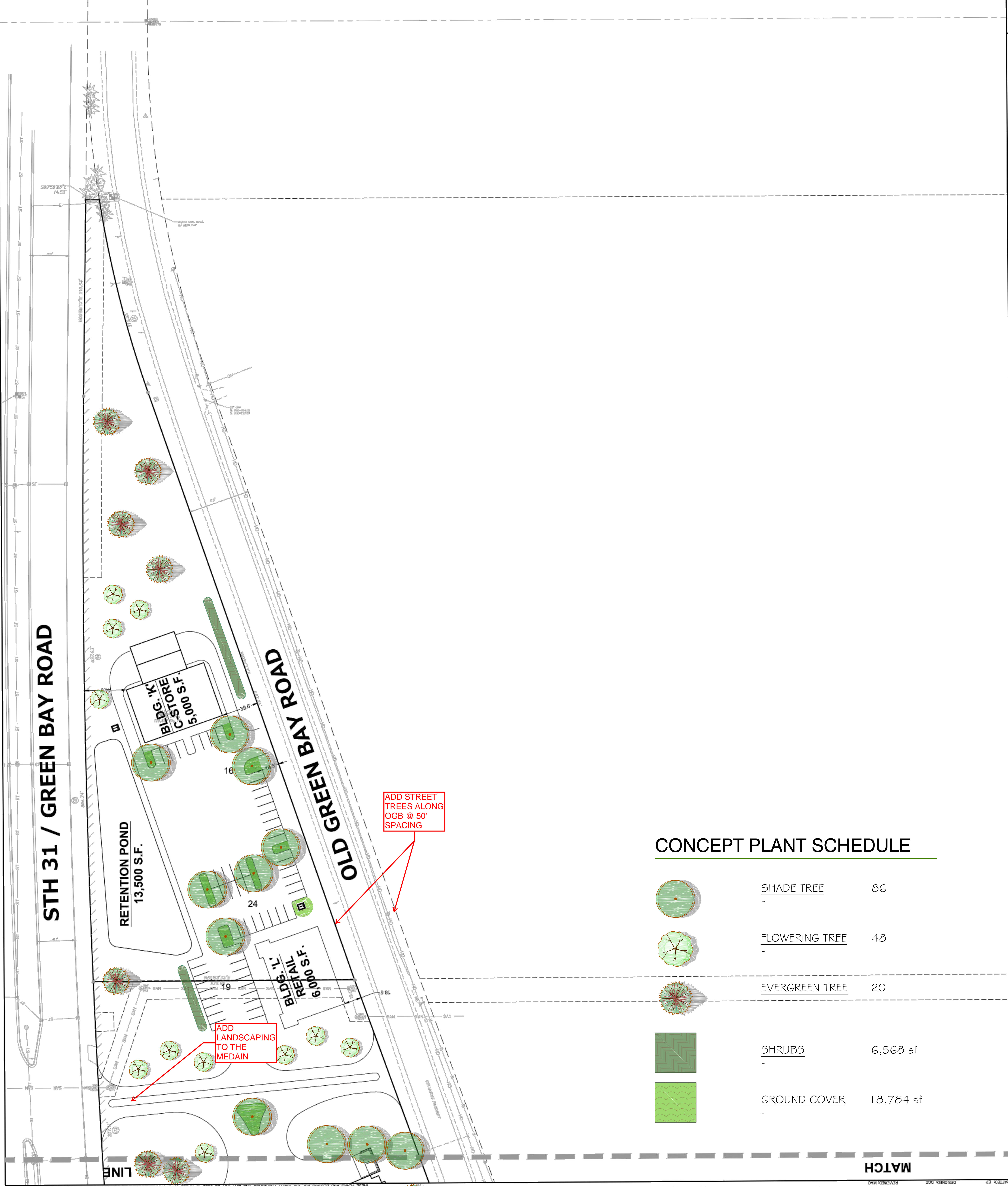
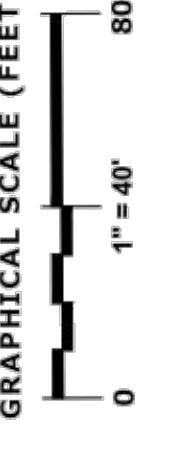
REVISIONS	

CONCEPT SITE PLAN

MAIN STREET MARKET
VILLAGE OF PLEASANT PRAIRIE, WI

PLAN | DESIGN | DELIVER
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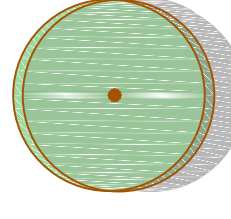
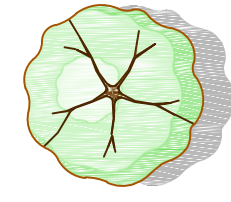
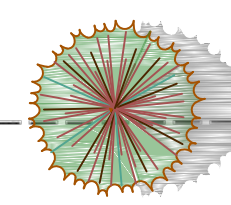
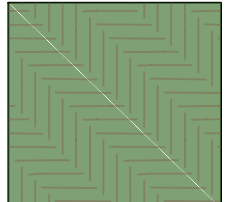

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15500 WISCONSIN ROAD
INDIAN CREEK, WI 53030
CHICAGO (NATURAL RESOURCES) SURVEYING



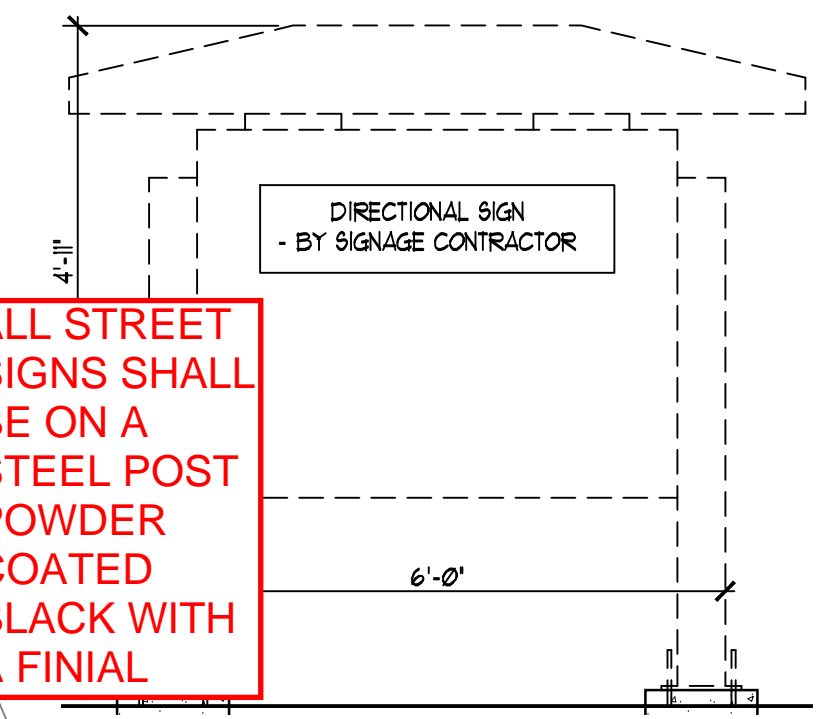
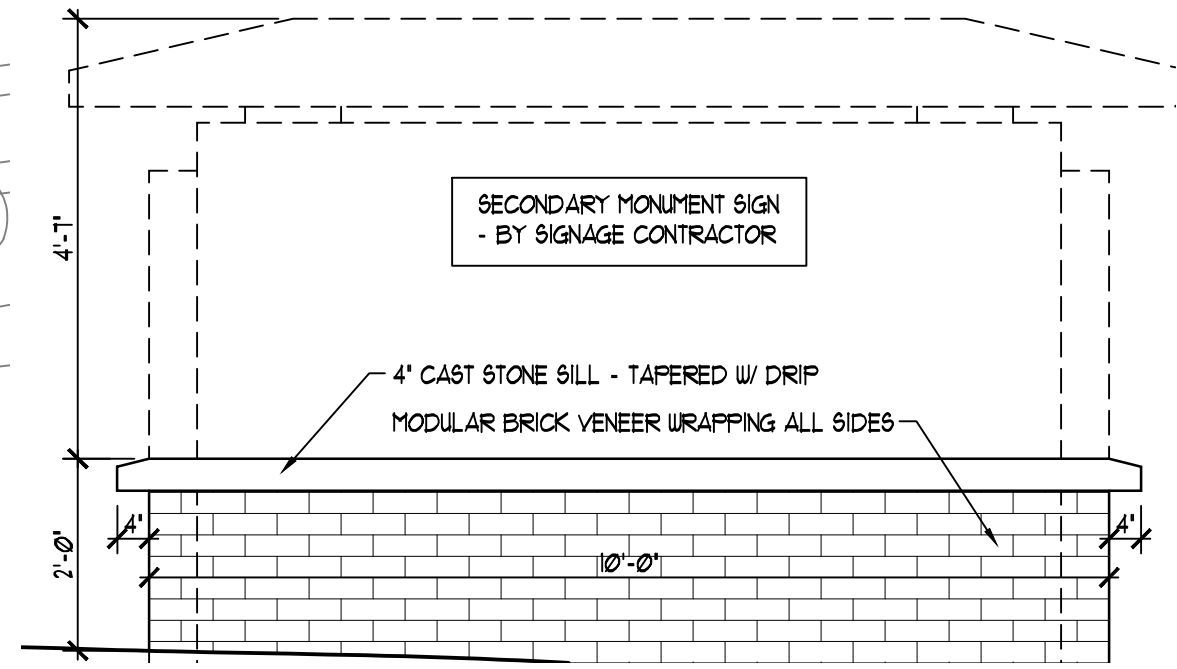
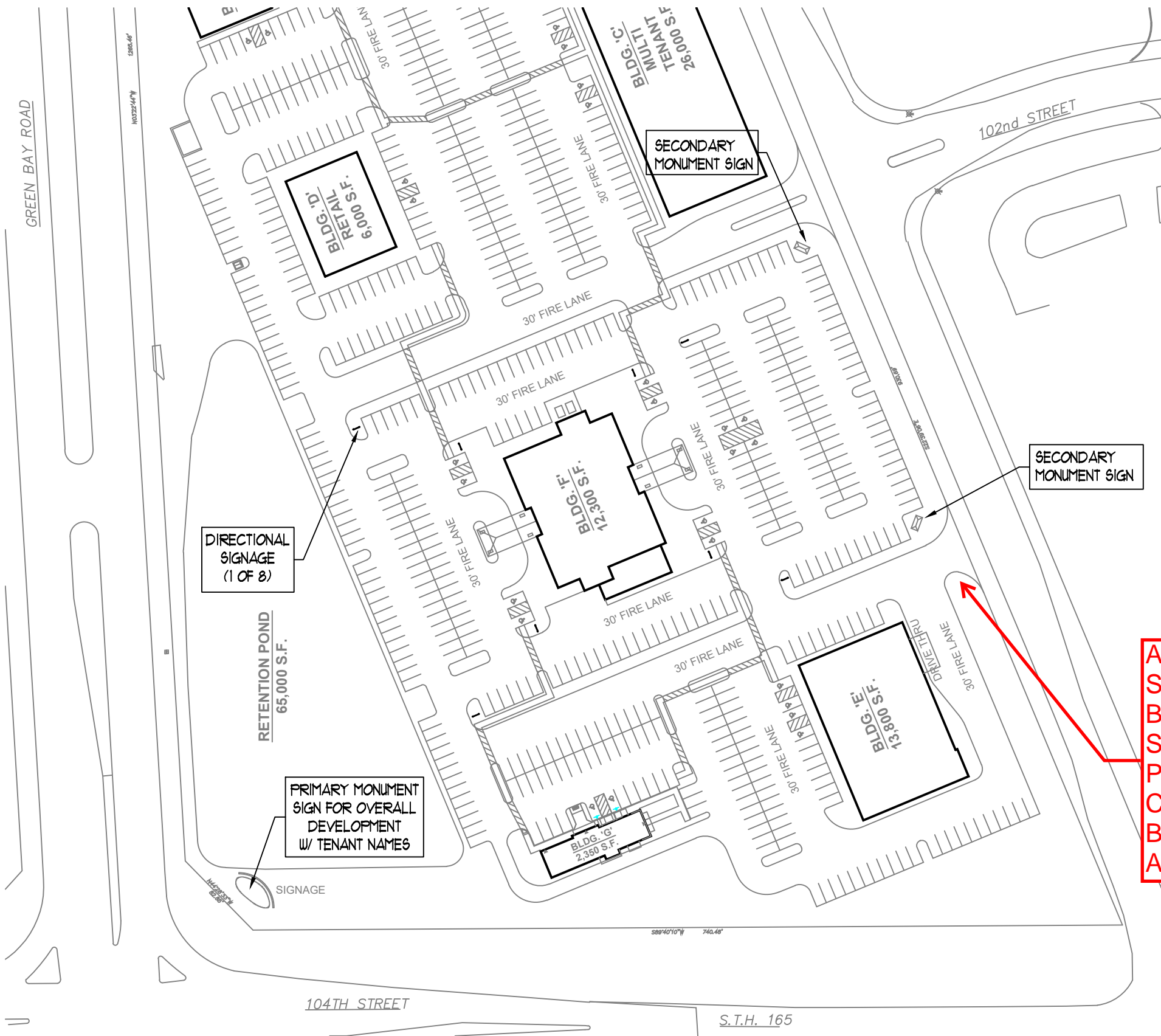
ADD STREET TREES ALONG OGB @ 50' SPACING

ADD LANDSCAPING TO THE MEDIAN

CONCEPT PLANT SCHEDULE

	SHADE TREE	86
	FLOWERING TREE	48
	EVERGREEN TREE	20
	SHRUBS	6,568 sf
	GROUND COVER	18,784 sf

MATCH



ALL STREET SIGNS SHALL BE ON A STEEL POST POWDER COATED BLACK WITH A FINIAL

UHS Southwest MOB - Site Signage Plan

Scale: 1" = 100'

HIGHPOINT NEIGHBORHOOD PLAN

LEGEND

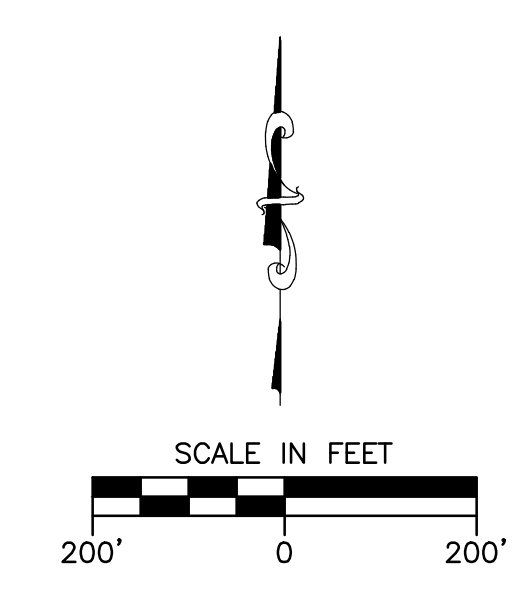
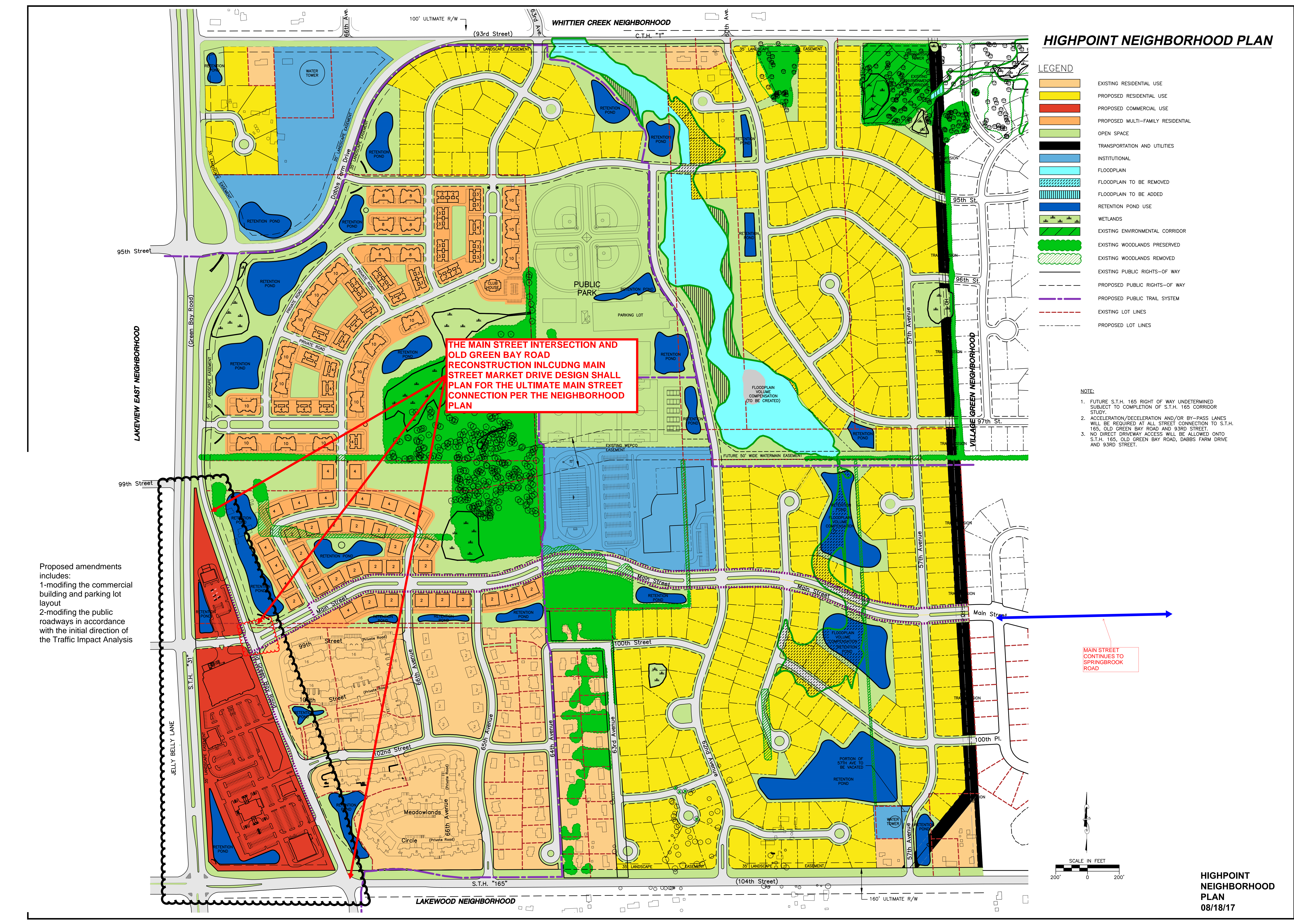
	EXISTING RESIDENTIAL USE
	PROPOSED RESIDENTIAL USE
	PROPOSED COMMERCIAL USE
	PROPOSED MULTI-FAMILY RESIDENTIAL
	OPEN SPACE
	TRANSPORTATION AND UTILITIES
	INSTITUTIONAL
	FLOODPLAIN
	FLOODPLAIN TO BE REMOVED
	FLOODPLAIN TO BE ADDED
	RETENTION POND USE
	WETLANDS
	EXISTING ENVIRONMENTAL CORRIDOR
	EXISTING WOODLANDS PRESERVED
	EXISTING WOODLANDS REMOVED
	EXISTING PUBLIC RIGHTS-OF WAY
	PROPOSED PUBLIC RIGHTS-OF WAY
	PROPOSED PUBLIC TRAIL SYSTEM
	EXISTING LOT LINES
	PROPOSED LOT LINES

- NOTE:**
1. FUTURE S.T.H. 165 RIGHT OF WAY UNDETERMINED SUBJECT TO COMPLETION OF S.T.H. 165 CORRIDOR STUDY.
 2. ACCELERATION/DECELERATION AND/OR BY-PASS LANES WILL BE REQUIRED AT ALL STREET CONNECTION TO S.T.H. 165, OLD GREEN BAY ROAD AND 93RD STREET.
 3. NO DIRECT DRIVEWAY ACCESS WILL BE ALLOWED ONTO S.T.H. 165, OLD GREEN BAY ROAD, DABBS FARM DRIVE AND 93RD STREET.

THE MAIN STREET INTERSECTION AND OLD GREEN BAY ROAD RECONSTRUCTION INCLUDING MAIN STREET MARKET DRIVE DESIGN SHALL PLAN FOR THE ULTIMATE MAIN STREET CONNECTION PER THE NEIGHBORHOOD PLAN

Proposed amendments includes:
 1-modifying the commercial building and parking lot layout
 2-modifying the public roadways in accordance with the initial direction of the Traffic Impact Analysis


MAIN STREET CONTINUES TO SPRINGBROOK ROAD





Office of the
Chief of Fire & Rescue
Craig Roepke

VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Craig Roepke, Chief Fire & Rescue 
CC: Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Fire Department review of Conceptual Plan for Main Street Market
Permit/Trakit#: DEV1710-003
DATE: November 17, 2017

These are initial comments for the Conceptual Plan received for the multi-building development located at the corner of Hwy 165 and Old Green Bay Road.

The Fire & Rescue department have the following comments regarding the above project.

1. Overall there are no concerns with the concept of the development. The parking and road layout within the proposed development is acceptable.
2. As further details become available for the project, the department will provide additional comments. It is expected that the standard department comments and requirements will be applied to proposed buildings. This will be addressed by the specific building projects as the overall development progresses.
3. Discussions are currently taking place with Pinnacle Engineering regarding hydrant locations for the South section of the property specifically to address the proposed Building "F". At the time of this document, no finalized decision has been made regarding the above.



CONCEPTUAL PLAN APPLICATION

Development Name: Froedtert South Pleasant Prairie Medical Office Building
 General Location of Development: Hwy 165 and Green Bay Road in main Street Market
 Tax Parcel Number(s): TBD when the CSM is submitted part of 92-4-122-223-0202
 Number of Lots: 1 Number of Outlots: N/A
 Size of Development: 3.67 acres

Select All that Apply:

- The Development will be constructed in 1 phase(s)
- The Development abuts or adjoins State Trunk Highway _____
- The Development abuts or adjoins County Trunk Highway _____
- The Development abuts the Kenosha County Bike Trail

The following number and types of plans shall be submitted with this application:

- Three (3) full size and a PDF copy of the Conceptual Plan, which shall include at a minimum:
 - Detailed and Dimensioned Site Plan
 - Conceptual Engineering Plans
 - Phasing Plan (if applicable)
 - Floor Plans and Elevations (for all uses except single family)
 - Proposed Zoning District Change(s)
- Application Fee
- Draft of Declarations, Covenants, Restrictions and any Easement Documents
- Any other information as specified by the Village

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

APPLICANT/AGENT:

Print Name: Peter J. Molter
 Signature:
 Address: 6308 8th Avenue
Kenosha Wisconsin 53143
 (City) (State) (Zip)
 Phone: 262-656-2011 ext 2420
 Fax: 262-653-5742
 Email: peter.molter@froedtertsouth.com
 Date: 11-7-2017

Print Name: _____
 Signature: _____
 Address: _____
 (City) (State) (Zip)
 Phone: _____
 Fax: _____
 Email: _____
 Date: _____

Community Development Department, 9915 39th Avenue, Pleasant Prairie WI 53158 262-925-6717

**Conceptual Plan
Froedtert South, Inc.
Pleasant Prairie
Medical Office Building
November 17, 2017**



Conceptual Plan for a Medical Office Building on Highway 165 and Green Bay Road

Introduction

In September 2017, a Master Campus Conceptual Plan was submitted by Bear Development for a 22-acre parcel of property located at the corner of Highway 165 and Green Bay Road in Pleasant Prairie, Wisconsin. This site is commonly known as Main Street Market.

The primary focus of the Main Street Market plan is a mixed-use site that includes medical office and retail operations. As part of that conceptual plan for Main Street Market, the medical office building for Froedtert South, Inc. (FS), is on the southern portion of the 22-acre parcel of property. Toward that end, FS is now seeking conceptual approval from the Village of Pleasant Prairie for the development of a free-standing medical office building on the southern portion of the 22-acre parcel of property, which, if approved by the Village of Pleasant Prairie, would include space designated for physician offices that could be used for either the Froedtert South Medical Group (employed) physicians or independent (non-employed) physicians under a landlord-tenant relationship, walk-in clinic, diagnostic services, and physical therapy.

This Conceptual Plan is intended to complement the Main Street Market plan for the development, which is generally described above and is currently under review by the Village of Pleasant Prairie. This plan is also intended to provide greater detail and to further define the concept of the original master plan that was envisioned as part of Main Street Market.

The proposed medical office building will be developed as a four-story building consisting of approximately 12,500 square feet per floor for a total of approximately 50,000 square feet. The first floor would contain rehab services that provide physical therapy, occupational therapy, imaging services, and the support functions for each service. The Froedtert South Medical Group (employed) physicians as well as independent (non-employed) physicians would treat patients on an outpatient basis in physician office space located on the second through fourth floors. The space will also be designed to facilitate the development of a walk-in clinic to service individuals that don't have scheduled appointments. All the services in the building would occur during normal business hours.

Process, Operations, or Functions of Buildings

The proposed free-standing medical office building in the Main Street Market will be built in the same architectural style as our St. Catherine's Medical Center Campus located in the Prairie Ridge development. The exterior of the proposed medical office building will use the same aesthetically pleasing natural materials of brick, stone, and window glazing used on the St. Catherine's Medical Center Campus. The proposed medical office building will have separate parking from the rest of the development, which will allow patients easy access and the ability to enter the building close to the respective service they may require on two different levels. Each of the entrances will be covered to protect patients that are being picked-up and dropped-off for appointments. Consistent with the mission, vision, and values of FS and consistent with what patients, guests, and employees have come to expect at FS, the atmosphere will provide a warm and

welcoming environment for patients seeking service provided in the medical office building as well as guests and employees.

Parking

Parking for the clinic will be based on the Village of Pleasant Prairie ordinance and blended with the adjacent portions of the development. On the perimeter, the site parking will most likely be shared and overlap with the adjoining uses. This will not pose any issues due to the time of day and varied hours of operations. There are 247 proposed parking spaces for the development of this medical office building. The distance from the parking areas to the medical office building shall not exceed 400 feet from any one parking space to either of the proposed entries to the medical office building. In addition, the number of parking spaces will include the required amount of handicap parking spaces as identified in the State Building Code.

Green Space

The calculation for green space, presuming approval by the Village of Pleasant Prairie of the proposed medical office building, is based upon the entire 22-acre parcel of property as submitted by Bear Development and includes the retention ponds, adjacent grass area, and parking lot islands.

Hours of Operation

The hours of operation for the various services that will be provided within the proposed medical office building and by the various tenants who may be located within the proposed medical office building will be Monday through Friday from approximately 6:00 A.M. to approximately 8:00 P.M. and Saturdays from approximately 7:00 A.M. to approximately 5:00 P.M. Sunday operations may occur based on patient demand but would be for limited hours.

Anticipated Number of Total Full-Time and Part-Time Employees

The proposed four-story medical office building will initially be built out on the first two floors and the remaining two floors of the building will be shelled in. At full build-out we anticipate 60 full-time equivalents (FTEs).

Estimated Daily Truck and Automobile Trips To and From the Medical Office Building

The estimated passenger and truck activity to the proposed medical office building will be approximately 300 trips per day, with peak traffic times being relatively even and stable throughout the course of the work day, Monday through Friday. Truck traffic is anticipated to be minimal with occasional traffic to deliver medical supplies and office supplies to the various offices located within the proposed medical office building.

Type of Materials and Equipment to be Stored On-site

At the present time, there is no external storage of materials planned for the proposed medical office building. Materials necessary to support the daily operation of the various providers and tenants who may be located within the proposed medical office building such as

medical supplies and office supplies shall be stored internally within the proposed medical office building. Such materials would be consistent with those required in any medical practice and may include, but are not limited to, minor instruments, bandages and patient care supplies, medications, and office supplies.

Equipment necessary to support the daily operation of the various providers and tenants who may be located within the proposed medical office building such as weight sets and other related rehabilitation equipment shall be stored internally within the proposed medical office building and used predominantly for providing direct patient care. Note that there is one exception to the above related to a free-standing emergency electrical generator for use by the facility for emergency lighting and elevator operations.

All grounds maintenance equipment will be stored within the building. This equipment includes snow removal equipment, lawn maintenance equipment, and other related equipment. This equipment will be rotated, depending on the season, from our central grounds facilities on the St. Catherine's Medical Center Campus.

Methods of Handling and Storing Solid and Liquid Waste Disposal Materials

Waste management for the proposed medical office building will be accomplished through various mechanisms, with general and recyclable wastes handled through third-party providers, on-site dumpsters, and recycling bins. These dumpsters and recycling bins will be located within an enclosed exterior holding area located near the lower level of the medical office building. This trash area will be screened from public view by a screen wall that will obscure the dumpster from traffic passing the proposed medical office building, as well as contain any potential spills and keep any possible debris from blowing into the neighboring areas. This trash area will only be used for general waste and recycling refuse. Medical waste generated within the proposed medical office building will be handled independently until pick-up has been arranged by an appropriate third-party provider.

Method of Site and Building Security (Other than the Village Police Department)

Consistent with System policies within FS security will be performed predominantly through the Guest Relations Department of FS. In addition, security measures that are planned such as, but not limited to, security cameras per Village of Pleasant Prairie ordinance, access control, and alarm systems are to be installed. The Village of Pleasant Prairie police officers have always been most helpful and supportive when they respond to our St. Catherine's Medical Center Campus and it is anticipated that such assistance will continue to be requested in the future at this site in the event of a violation of law or when such assistance or intervention will serve the best interests of those involved.

Method of Exterior Site and Structure Maintenance

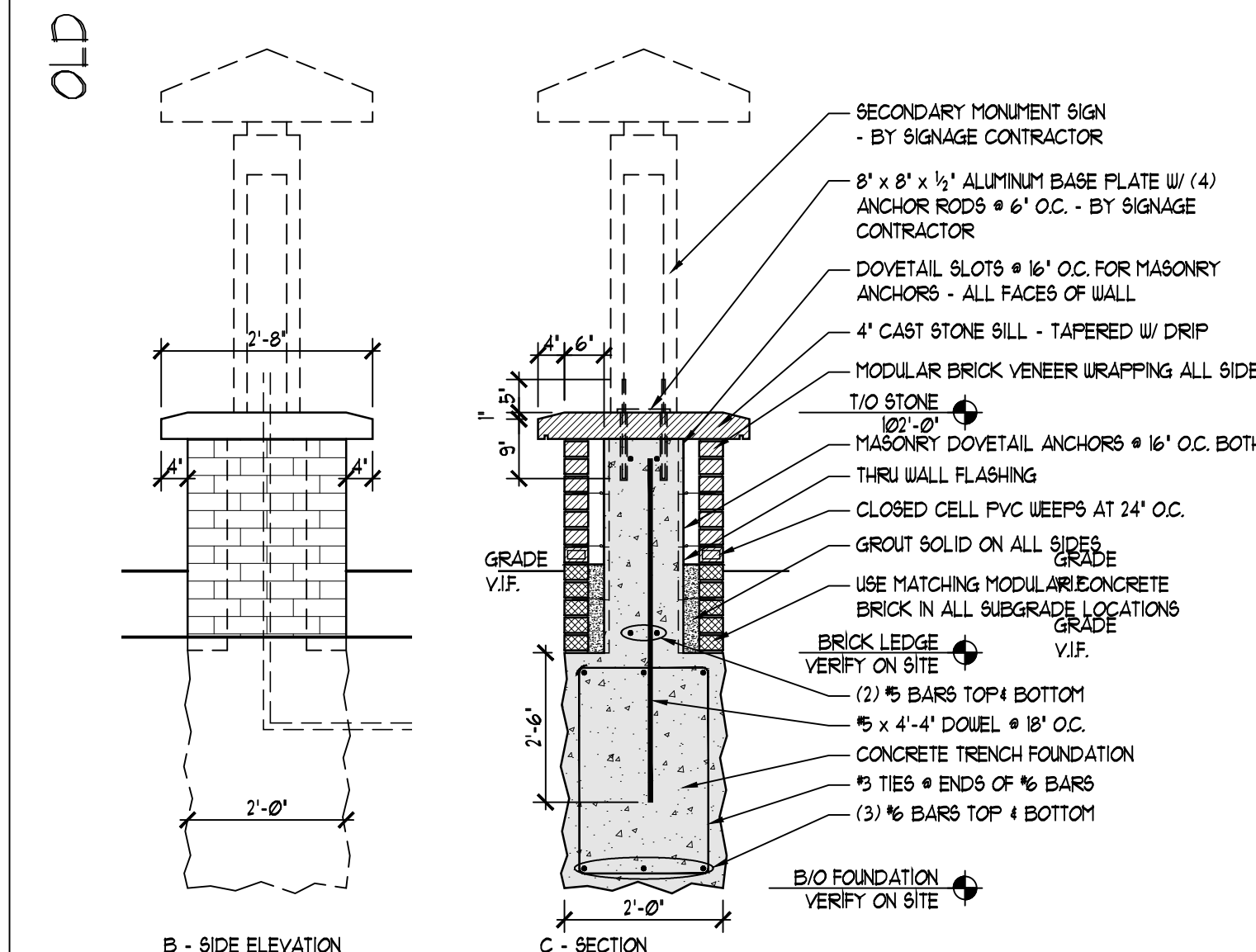
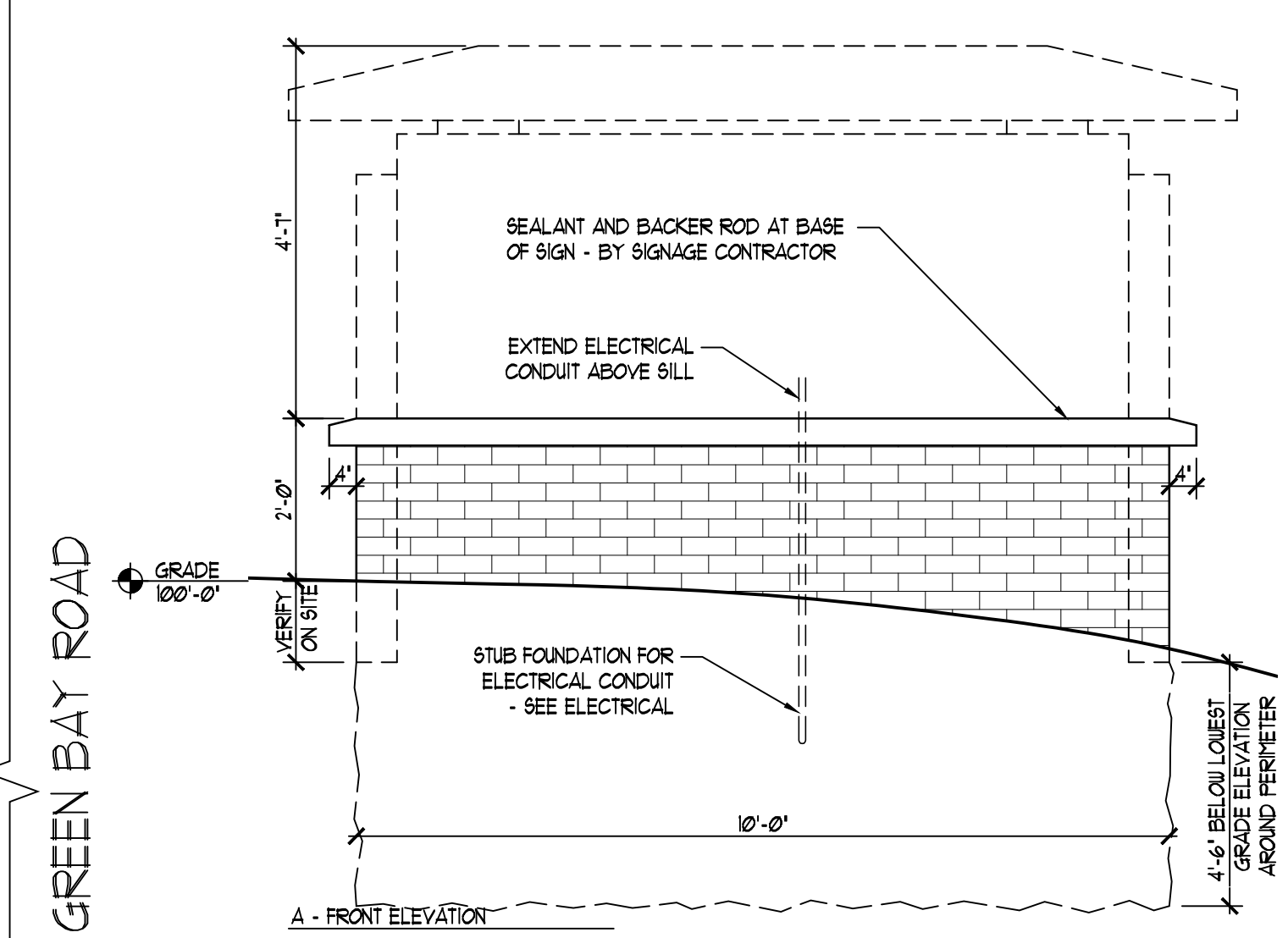
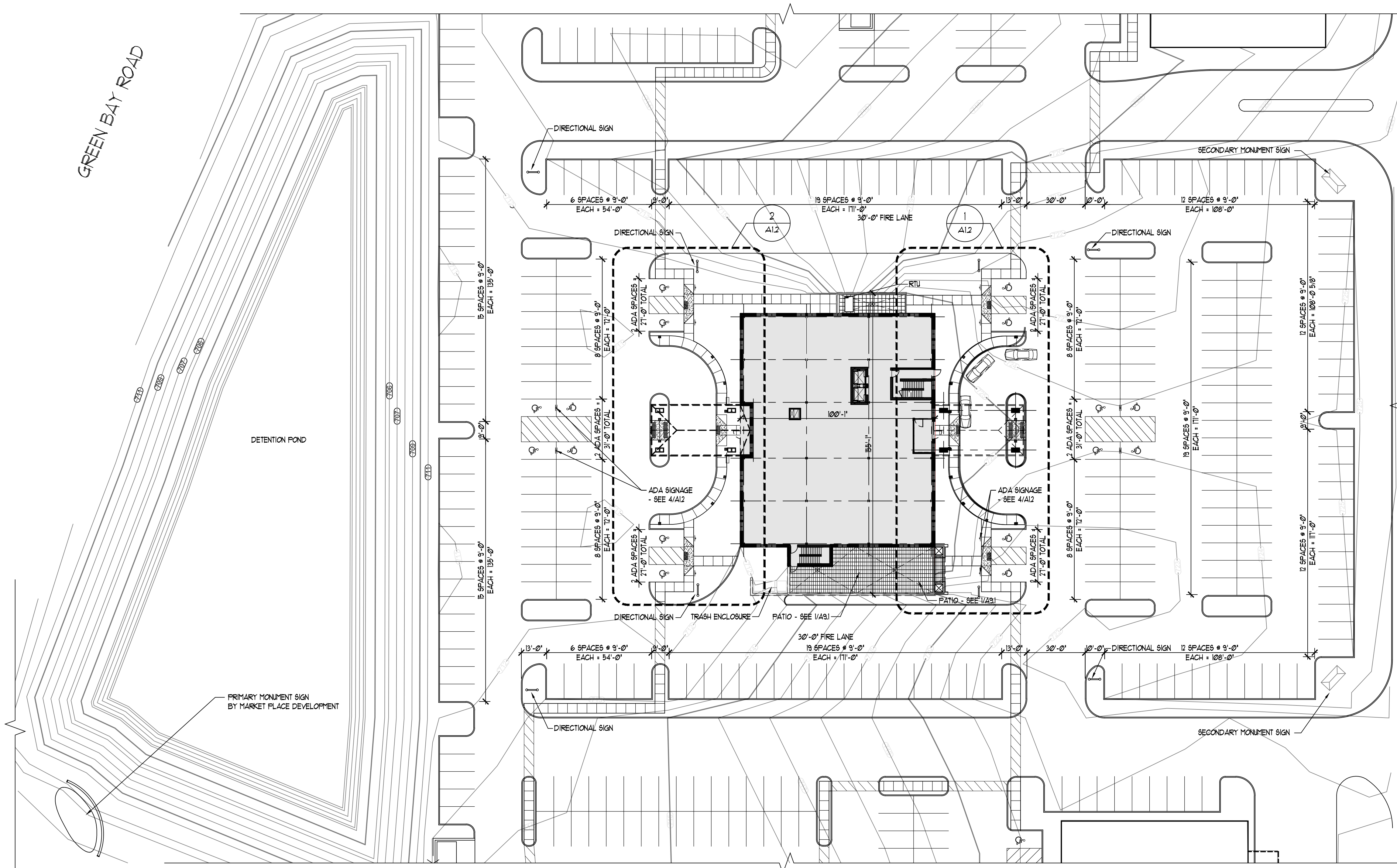
Maintenance of the exterior site and structure of the proposed medical office building will continue to be provided by the Building and Grounds Department of FS, with support from outside contractors, as deemed necessary. Maintenance of the proposed medical office building will be in accordance with the products used to construct the facility.

**Copies of all Kenosha Water Utility, Highway Access, Air Quality
and Other Special Use Permits Issued by the Federal, State, or County Agencies**

Based on information obtained from the Wisconsin Department of Natural Resources, there is no need for an Air-Operating Permit for the site as a direct result of the proposed development of the medical office building. The medical office building will be accessed from the existing road system on-site and will not require specific access points to any municipal or state roads. The standard Erosion Control Permits for construction sites will be required for the project. Apart from the permits noted above, we are not aware of any additional Special Use Permits required for the proposed development of the medical office building on the 22-acre parcel of property commonly known as Main Street Market.

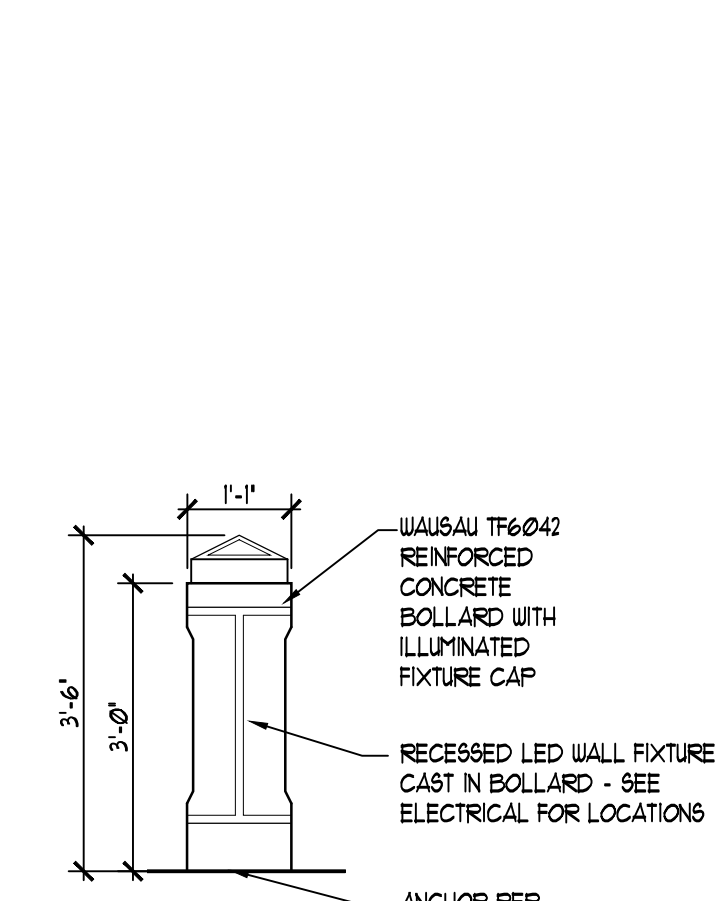
**Village of Pleasant Prairie, Wisconsin Chapter 420. Zoning Ordinance
§420-38 Performance Standards**

FS warrants and represents that the proposed medical office building that will be built on the 22-acre parcel of property known as Main Street Market will be operated in accordance with the performance standards generally set forth in the Village of Pleasant Prairie, Wisconsin Chapter 420. Zoning Ordinance, Article VI. General Provisions. More precisely, FS warrants and represents that the proposed medical office building property and use will be operated in accordance with the performance standards outlined in §420-38. Performance Standards.

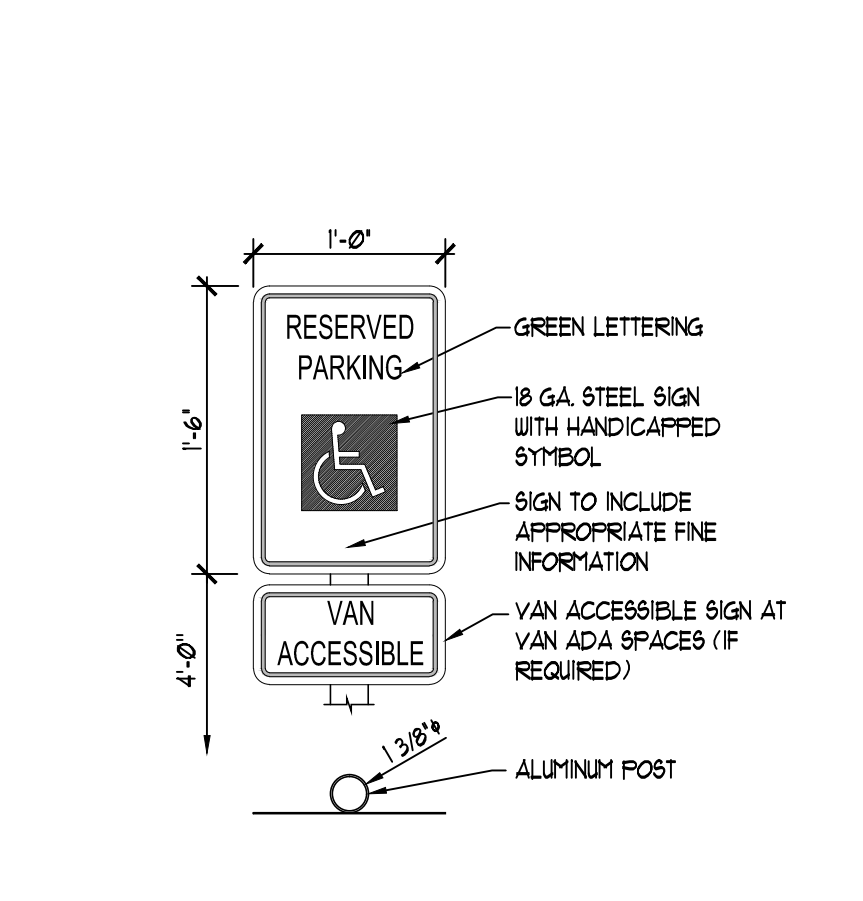


2 SECONDARY MONUMENT SIGN DETAILS
 1/2" = 1'-0"
 (2) REQUIRED

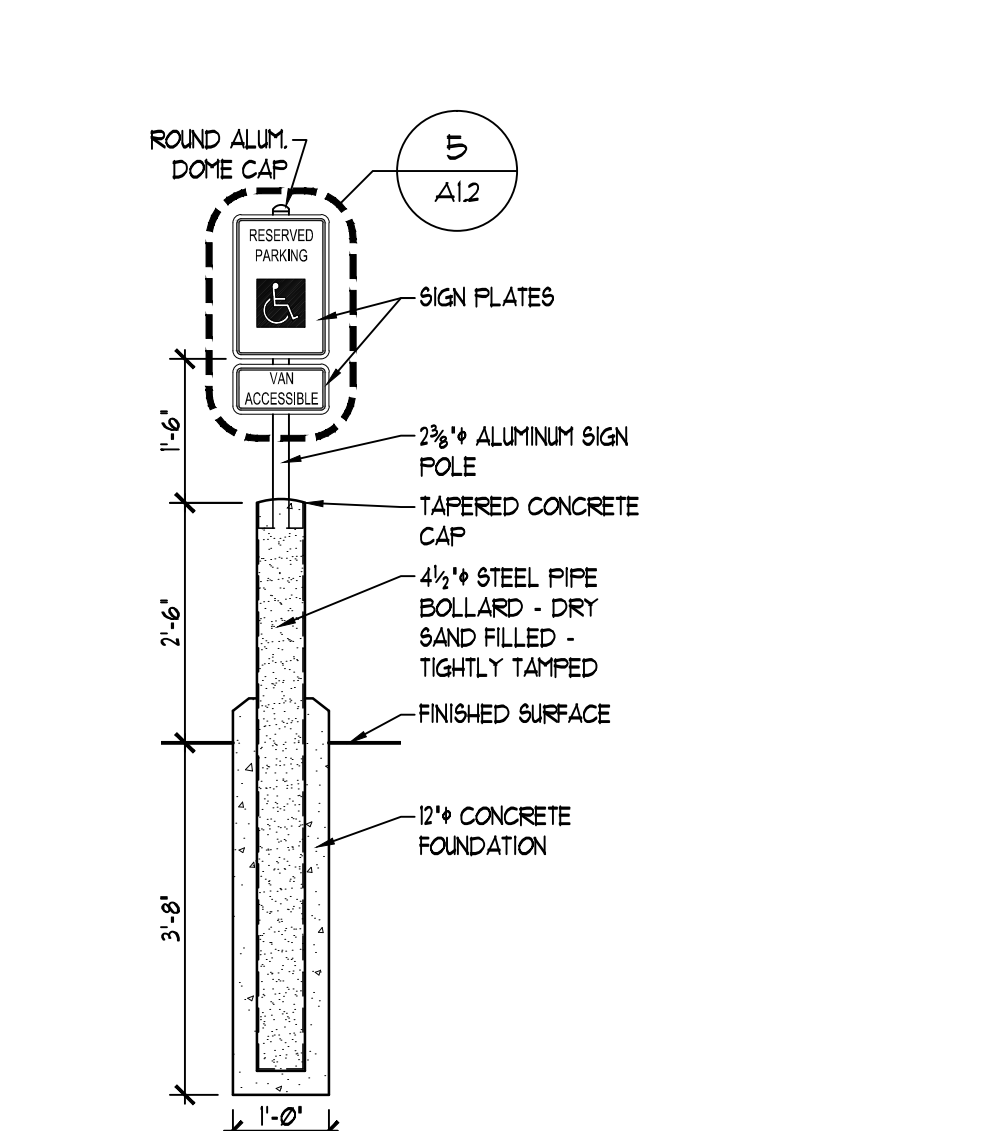
1 ARCHITECTURAL SITE PLAN
 A1.1 1" = 30'-0"
 MAIN STREET MARKET - NEC 5TH ST & 5TH AVE - BUILDING F



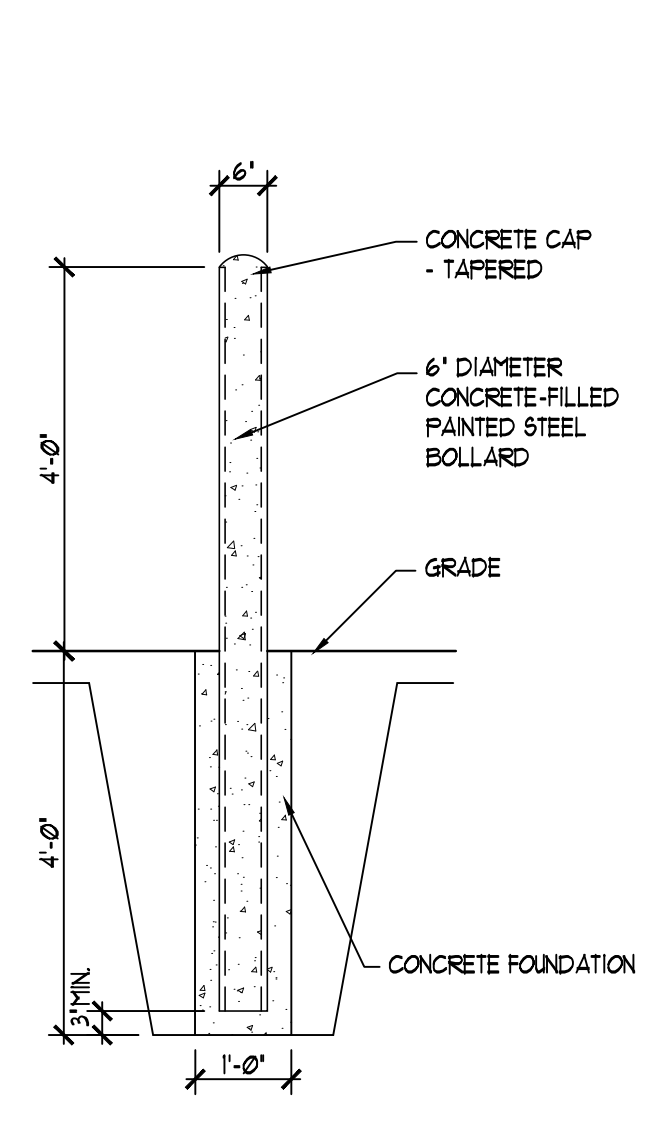
3 BOLLARD
 A1.1 1/2" = 1'-0"



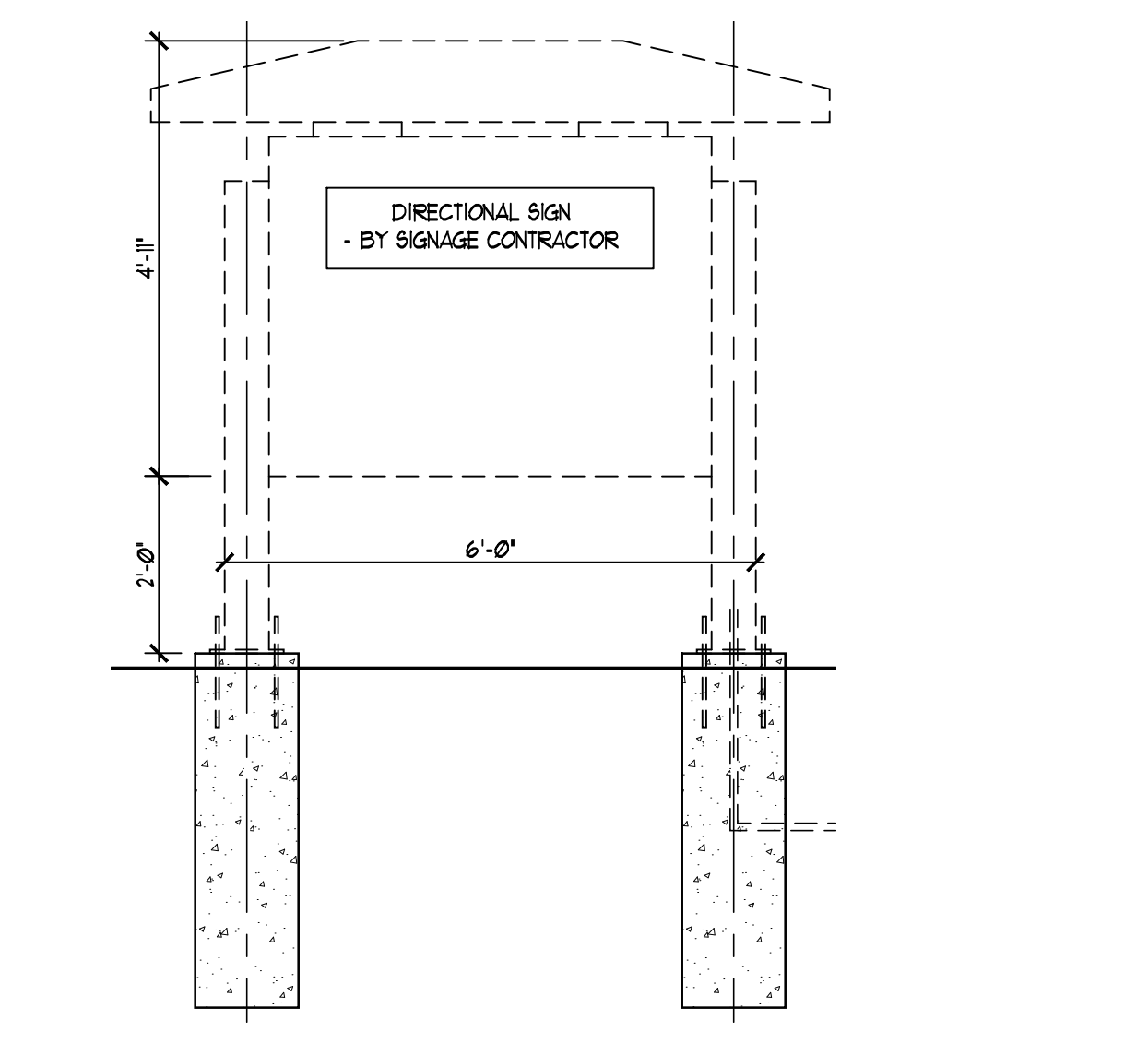
5 ADA PARKING SIGNAGE
 A1.2 1" = 1'-0"



6 ADA PARKING SIGNAGE
 A1.2 1/2" = 1'-0"



4 TYP. BOLLARD
 A1.1 1/2" = 1'-0"



7 DIRECTIONAL SIGN DETAILS
 A1.1 1/2" = 1'-0"
 (8) ANTICIPATED

REVISONS:

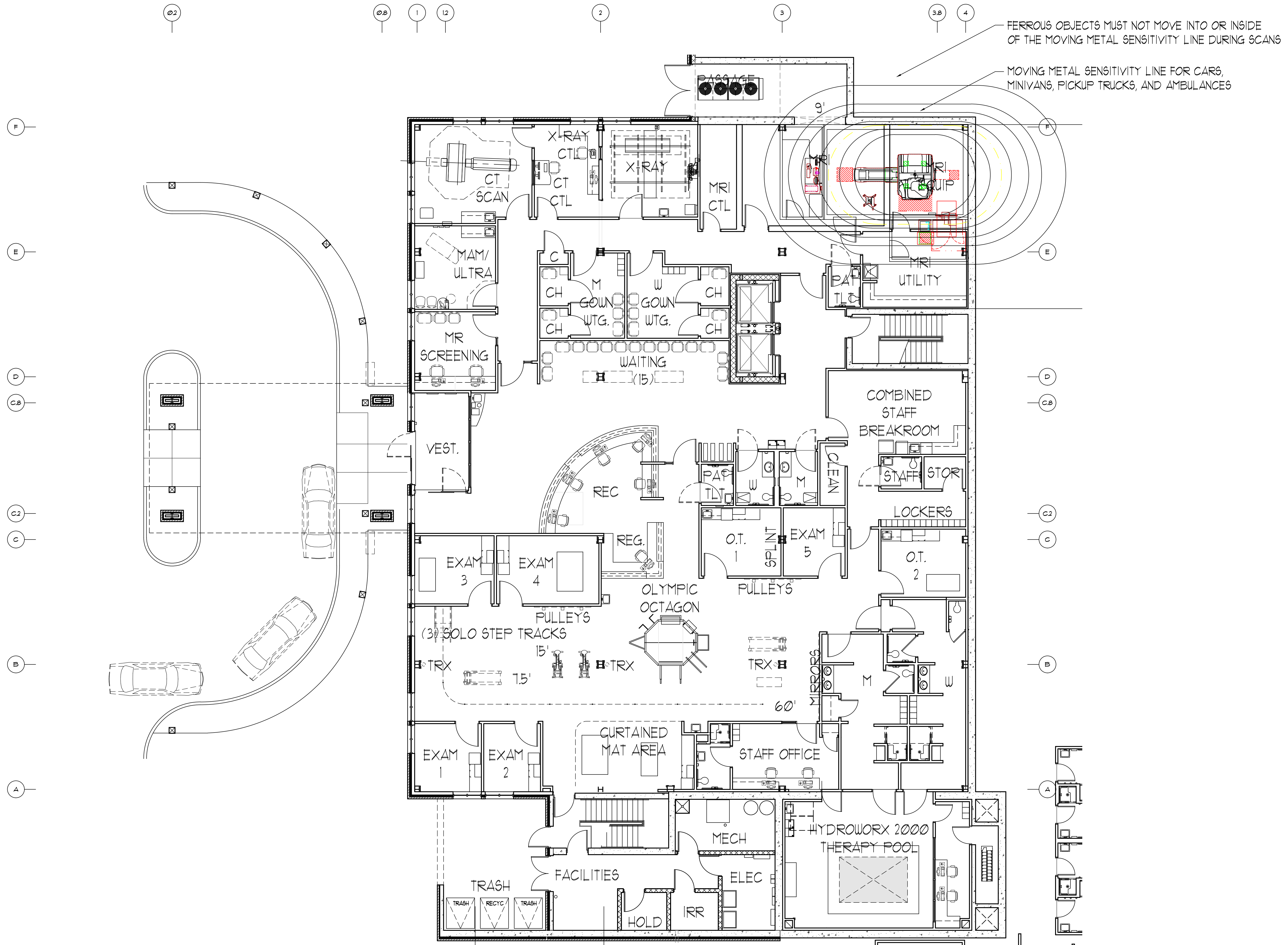
FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI

Partners in Design
 ARCHITECTS

600 Fifty-Second Street
 Suite 220
 Kenosha, WI 53142
 Ph.: (262) 652-2800
 Fax: (262) 652-2812

PROJECT NO: 634.17.051
 DRAWN BY: DAC
 CHECKED BY: MAM
 DATE: 11.02.17
 SHEET NO:

A1.1



REVISIONS

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI
FIRST FLOOR TENANT PLAN

600 Fifty-Second Street
 Suite 220
 Kenosha, WI 53142
 Ph: (262) 652-2800
 Fax: (262) 652-2812

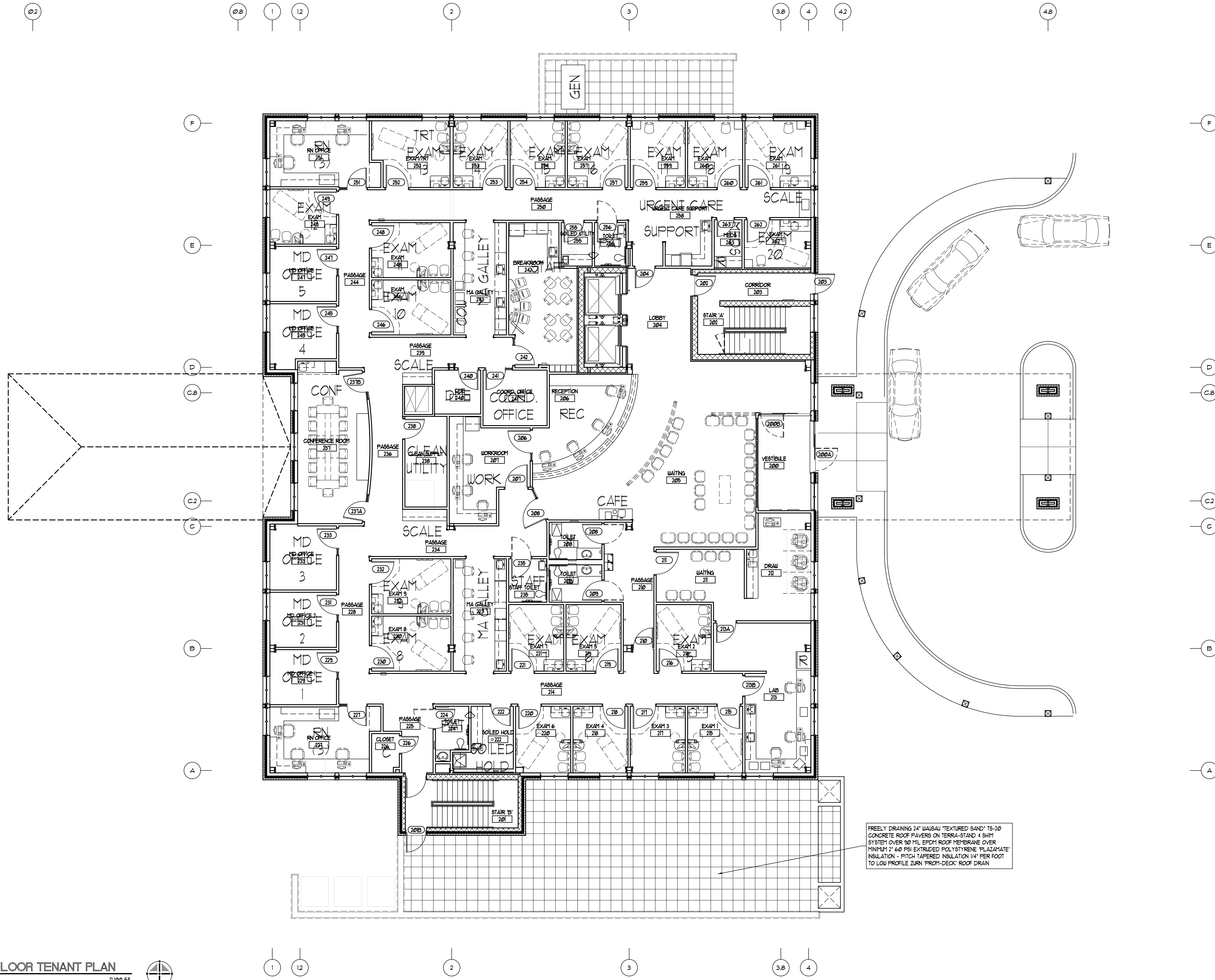
Partners in Design
 ARCHITECTS



PROJECT NO:
634.17.051
 DRAWN BY: CHECKED BY:
 DAC MAM
 DATE:
 11.02.17
 SHEET NO.:

A3.1

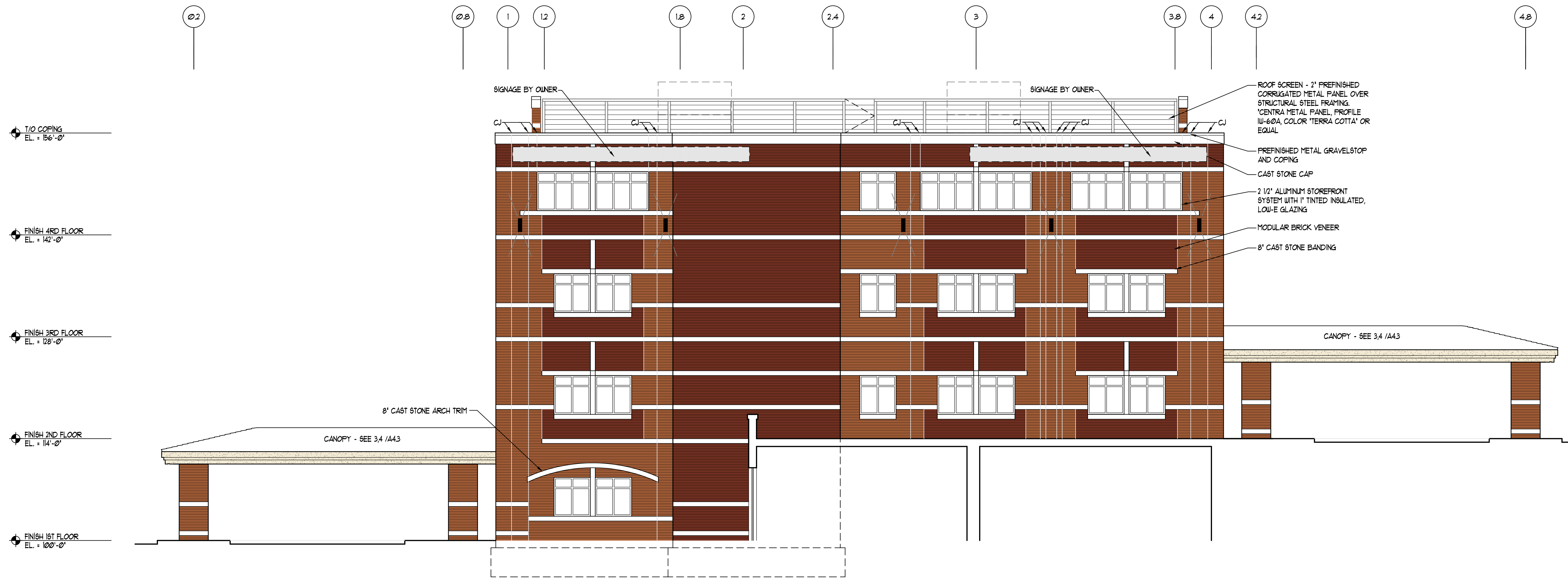
1 FIRST FLOOR TENANT PLAN
 A3.1 1/8"=1'-0" 14,020 SF.



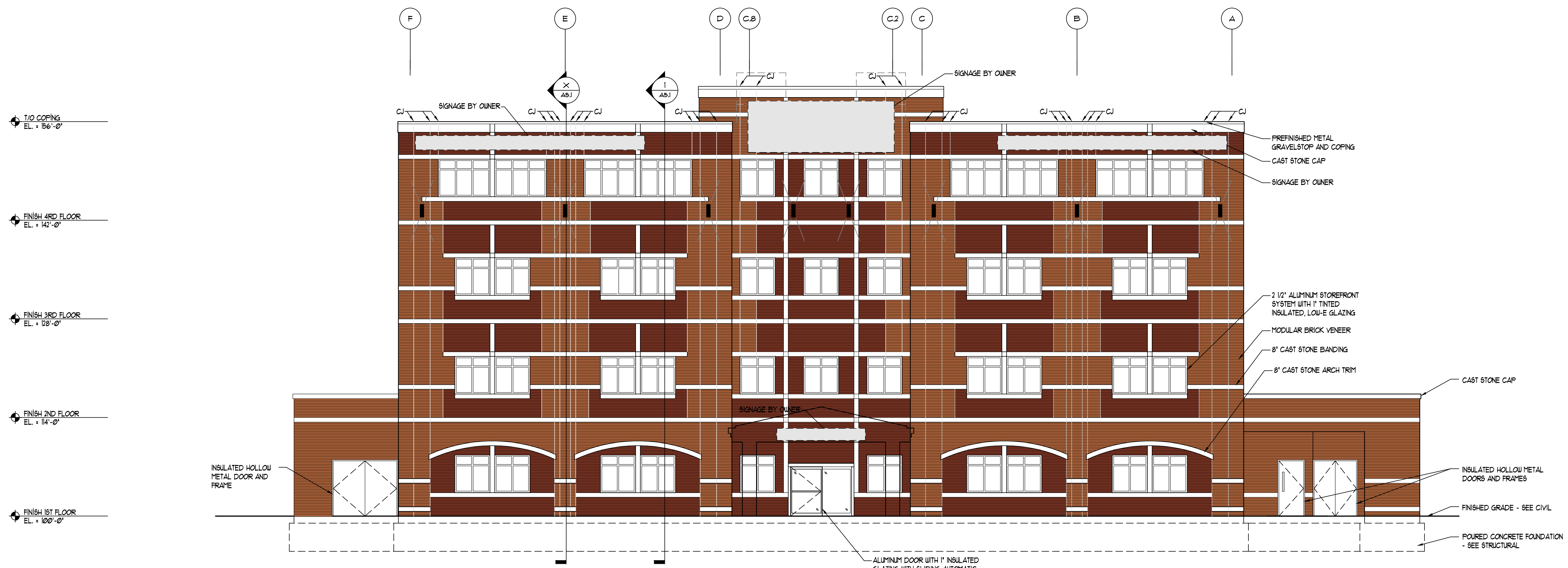
1 SECOND FLOOR TENANT PLAN
A3.2 1/8"=1'-0" 1/100 SF.

PARTNERS IN DESIGN ARCHITECTS
 600 Fifty-Second Street, Suite 220, Kenosha, WI 53142
 Ph: (262) 652-2800 Fax: (262) 652-2812
 PROJECT NO: 634.17.051
 DRAWN BY: DAC CHECKED BY: MAM
 DATE: 11.02.17
 SHEET NO.: A3.2

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI
 SECOND FLOOR TENANT PLAN



1 SOUTH ELEVATION
A4.1 1/8"=1'-0"



2 WEST ELEVATION
A4.1 1/8"=1'-0"

REVISIONS

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NEC Green Bay Road & 104th St., Pleasant Prairie, WI

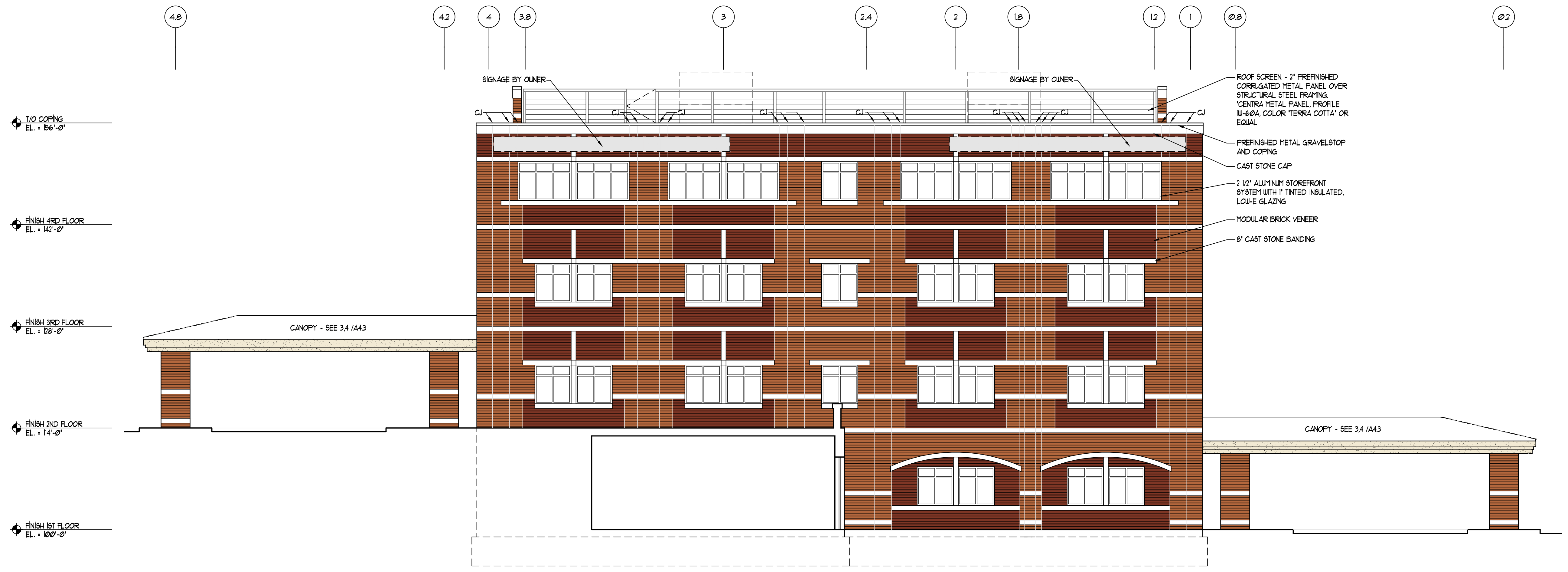
SOUTH AND WEST BUILDING ELEVATIONS

600 Fifty-Second Street
Suite 220
Kenosha, WI 53142
Ph: (262) 652-2800
Fax: (262) 652-2812

Partners in Design
ARCHITECTS

PROJECT NO: 634.17.051
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DATE: 11.02.17
SHEET NO:

A4.1

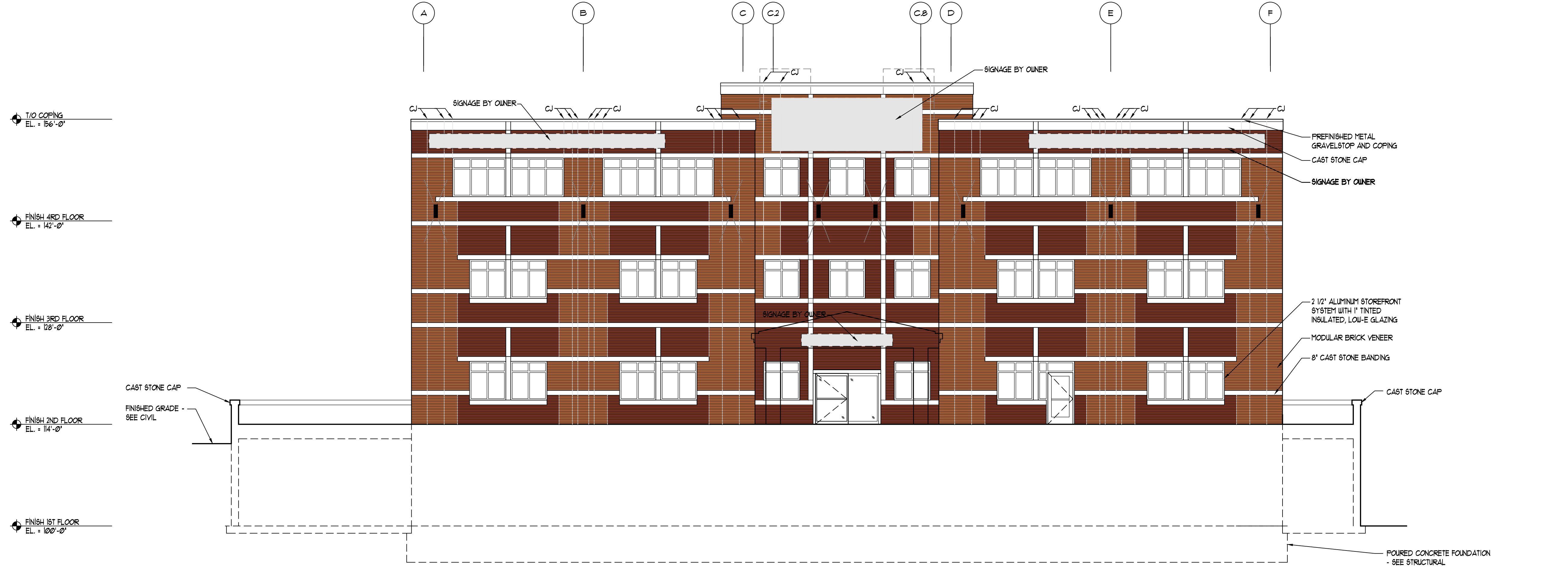


LEGEND

- LED WALL PAK
- ✕ LED WALL LUMINAIRE (UP/DOWN)

NOTE:
PROVIDE MATCHING COLOR SEALANT AT ALL VERTICAL CAST STONE JOINTS - TYPICAL

1 NORTH ELEVATION
A4.2 1/8" = 1'-0"



2 EAST ELEVATION
A4.2 1/8" = 1'-0"

REVISIONS

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
NORTH AND EAST BUILDING ELEVATIONS

600 Fifty-Second Street
Suite 220
Kenosha, WI 53142
Ph: (262) 652-2800
Fax: (262) 652-2812

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ARCHITECTS



PROJECT NO:
634.17.051

DRAWN BY: **DAC** CHECKED BY: **MAM**

DATE:
11.02.17

SHEET NO:

A4.2



FROEDTERT SOUTH MEDICAL OFFICE BUILDING PLEASANT PRAIRIE

Northwest View

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Conceptual Plan Submittal
Village of Pleasant Prairie, WI
11.03.17



262.652.2800 Kenosha, WI 847.940.0300 Riverwoods, IL



FROEDTERT SOUTH MEDICAL OFFICE BUILDING PLEASANT PRAIRIE

Northwest View

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Conceptual Plan Submittal
Village of Pleasant Prairie, WI
11.03.17



262.652.2800 Kenosha, WI 847.940.0300 Riverwoods, IL

REVISIONS

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI
BUILDING RENDERINGS

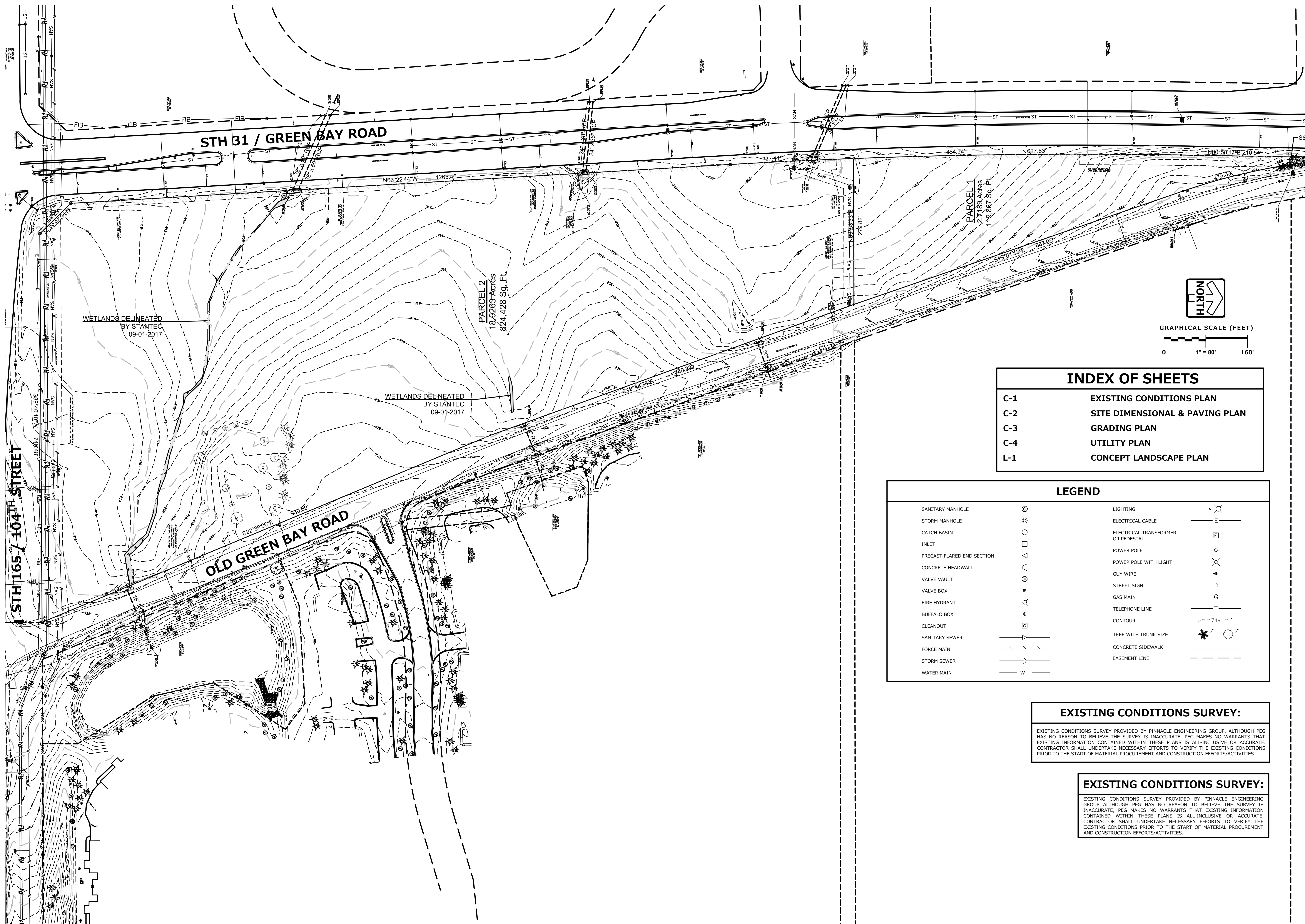
600 Fifty-Second Street
Suite 220
Kenosha, WI 53142
Ph: (262)652-2800
Fax: (262)652-2812

Partners in Design
ARCHITECTS



PROJECT NO:
634.17.051
DRAWN BY: **DAC** CHECKED BY: **MAM**
DATE: **11.02.17**
SHEET NO:

A4.3



INDEX OF SHEETS	
C-1	EXISTING CONDITIONS PLAN
C-2	SITE DIMENSIONAL & PAVING PLAN
C-3	GRADING PLAN
C-4	UTILITY PLAN
L-1	CONCEPT LANDSCAPE PLAN

LEGEND			
SANITARY MANHOLE	⊙	LIGHTING	⊕
STORM MANHOLE	⊙	ELECTRICAL CABLE	—E—
CATCH BASIN	○	ELECTRICAL TRANSFORMER OR PEDESTAL	⊠
INLET	□	POWER POLE	⊕
PRECAST FLARED END SECTION	◻	POWER POLE WITH LIGHT	⊕
CONCRETE HEADWALL	∩	GLY WIRE	⊕
VALVE VAULT	⊗	STREET SIGN	⊕
VALVE BOX	⊗	GAS MAIN	—G—
FIRE HYDRANT	⊕	TELEPHONE LINE	—T—
BUFFALO BOX	⊕	CONTOUR	749
CLEANOUT	⊕	TREE WITH TRUNK SIZE	* 6"
SANITARY SEWER	—S—	CONCRETE SIDEWALK	—S—
FORCE MAIN	—F—	EASEMENT LINE	---E---
STORM SEWER	—ST—		
WATER MAIN	—W—		

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

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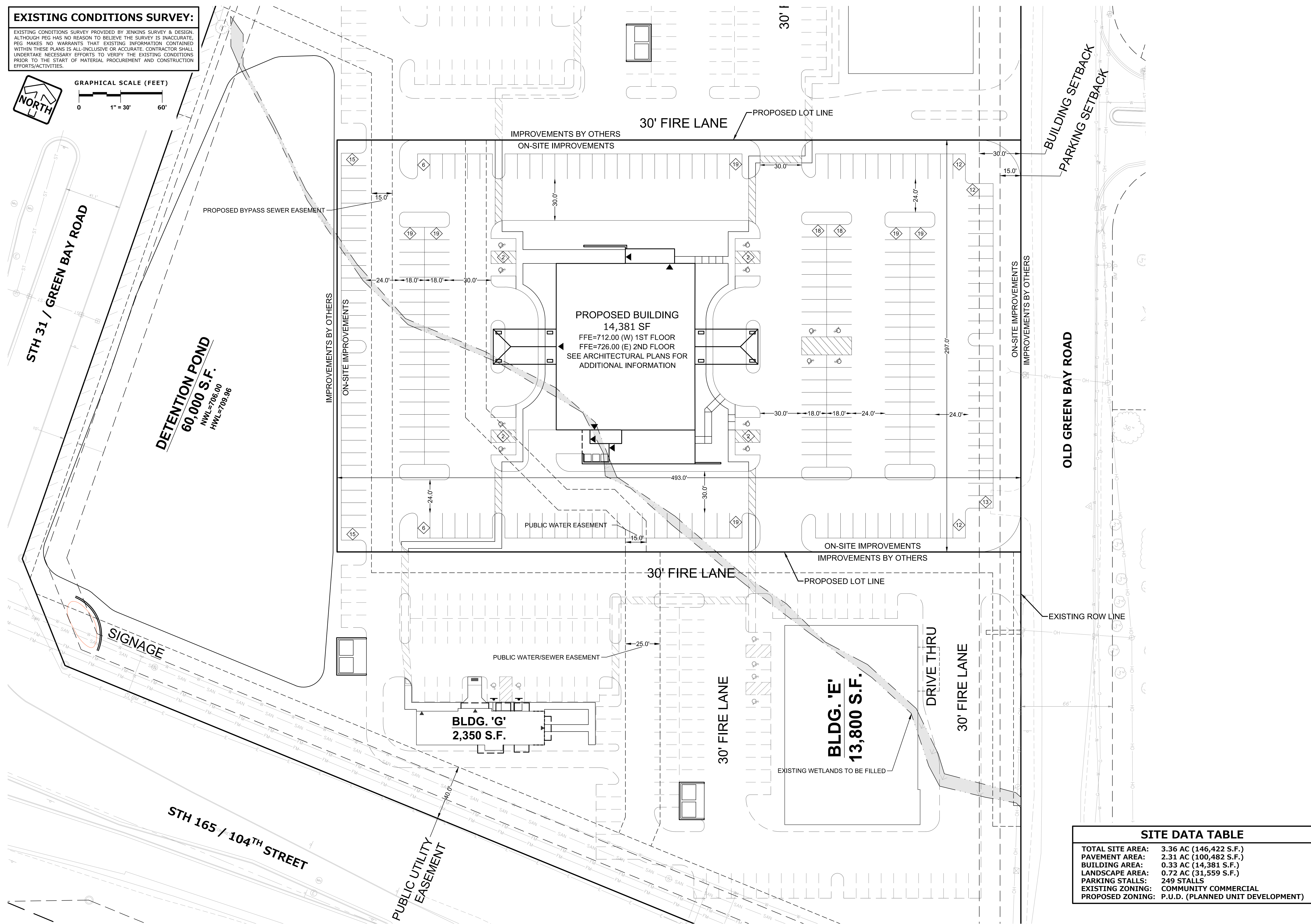
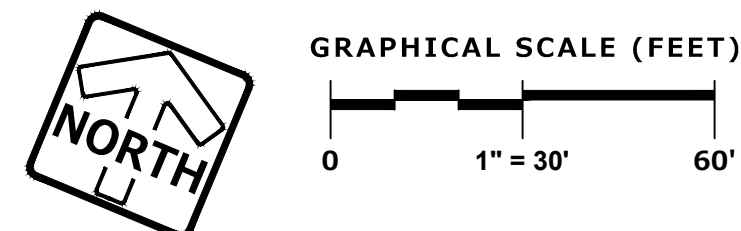
FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI
 EXISTING CONDITIONS PLAN

PINNACLE ENGINEERING GROUP
 INCORPORATED
 1000 WEST WISCONSIN AVENUE
 MILWAUKEE, WI 53233-3300
 TEL: 414.224.1100
 FAX: 414.224.1101
 WWW.PINNACLE-ENG.COM

PROJECT NO: 63417.051
 DRAWN BY: EP
 CHECKED BY: MAC
 DATE: 10-19-17
 SHEET NO: C-1

EXISTING CONDITIONS SURVEY:

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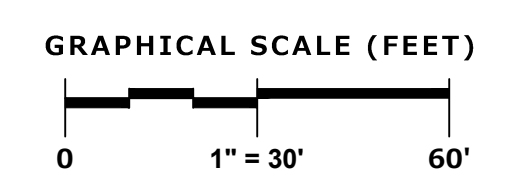
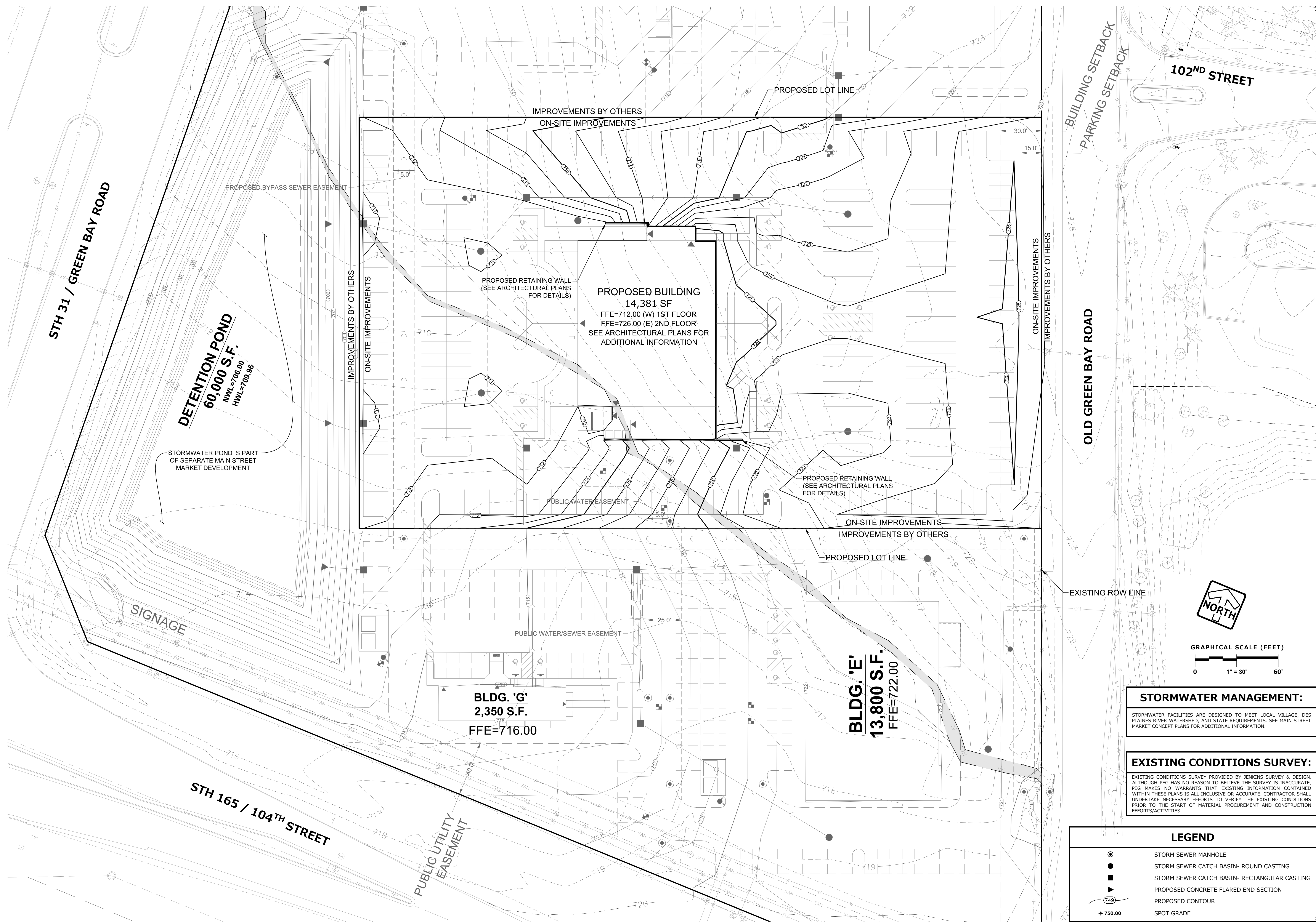


SITE DATA TABLE	
TOTAL SITE AREA:	3.36 AC (146,422 S.F.)
PAVEMENT AREA:	2.31 AC (100,482 S.F.)
BUILDING AREA:	0.33 AC (14,381 S.F.)
LANDSCAPE AREA:	0.72 AC (31,559 S.F.)
PARKING STALLS:	249 STALLS
EXISTING ZONING:	COMMUNITY COMMERCIAL
PROPOSED ZONING:	P.U.D. (PLANNED UNIT DEVELOPMENT)

Pinnacle Engineering Group
 11111 Pleasant Prairie, WI
 4300 W. Green Bay Road, Suite 100
 Pleasant Prairie, WI 53158
 Phone: 262.338.8888
 Fax: 262.338.8889
 Website: www.pinnacleeng.com

PROJECT NO: 63417.051
 DRAWN BY: EP
 CHECKED BY: MAC
 DATE: 10-19-17
 SHEET NO: C-2

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI
 SITE DIMENSIONAL & PAVING PLAN



STORMWATER MANAGEMENT:

STORMWATER FACILITIES ARE DESIGNED TO MEET LOCAL VILLAGE, DES PLAINES RIVER WATERSHED, AND STATE REQUIREMENTS. SEE MAIN STREET MARKET CONCEPT PLANS FOR ADDITIONAL INFORMATION.

EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY PROVIDED BY JENKINS SURVEY & DESIGN. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

LEGEND	
	STORM SEWER MANHOLE
	STORM SEWER CATCH BASIN- ROUND CASTING
	STORM SEWER CATCH BASIN- RECTANGULAR CASTING
	PROPOSED CONCRETE FLARED END SECTION
	PROPOSED CONTOUR
	SPOT GRADE

REVISIONS

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
NEC Green Bay Road & 104th St., Pleasant Prairie, WI

PINNACLE ENGINEERING GROUP
PLANNING / NATURAL RESOURCES / SURVEYING

PROJECT NO: 63417.051

DRAWN BY: EP CHECKED BY: MAC

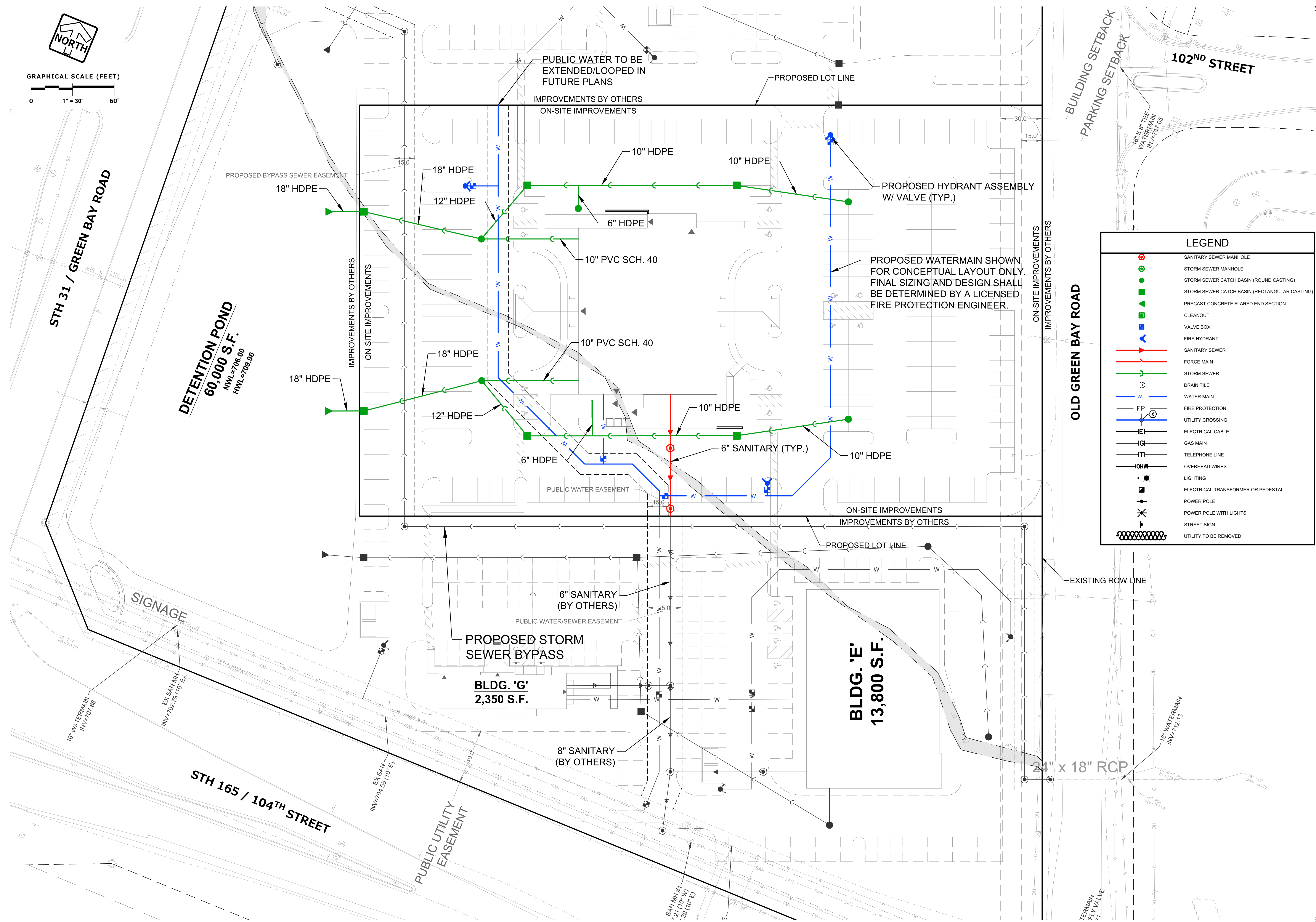
DATE: 10-19-17

SHEET NO: C-3

GRADING PLAN



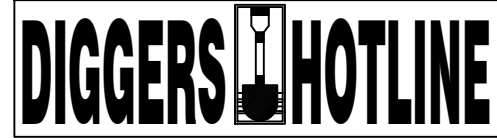
GRAPHICAL SCALE (FEET)
0 1" = 30' 60'



LEGEND

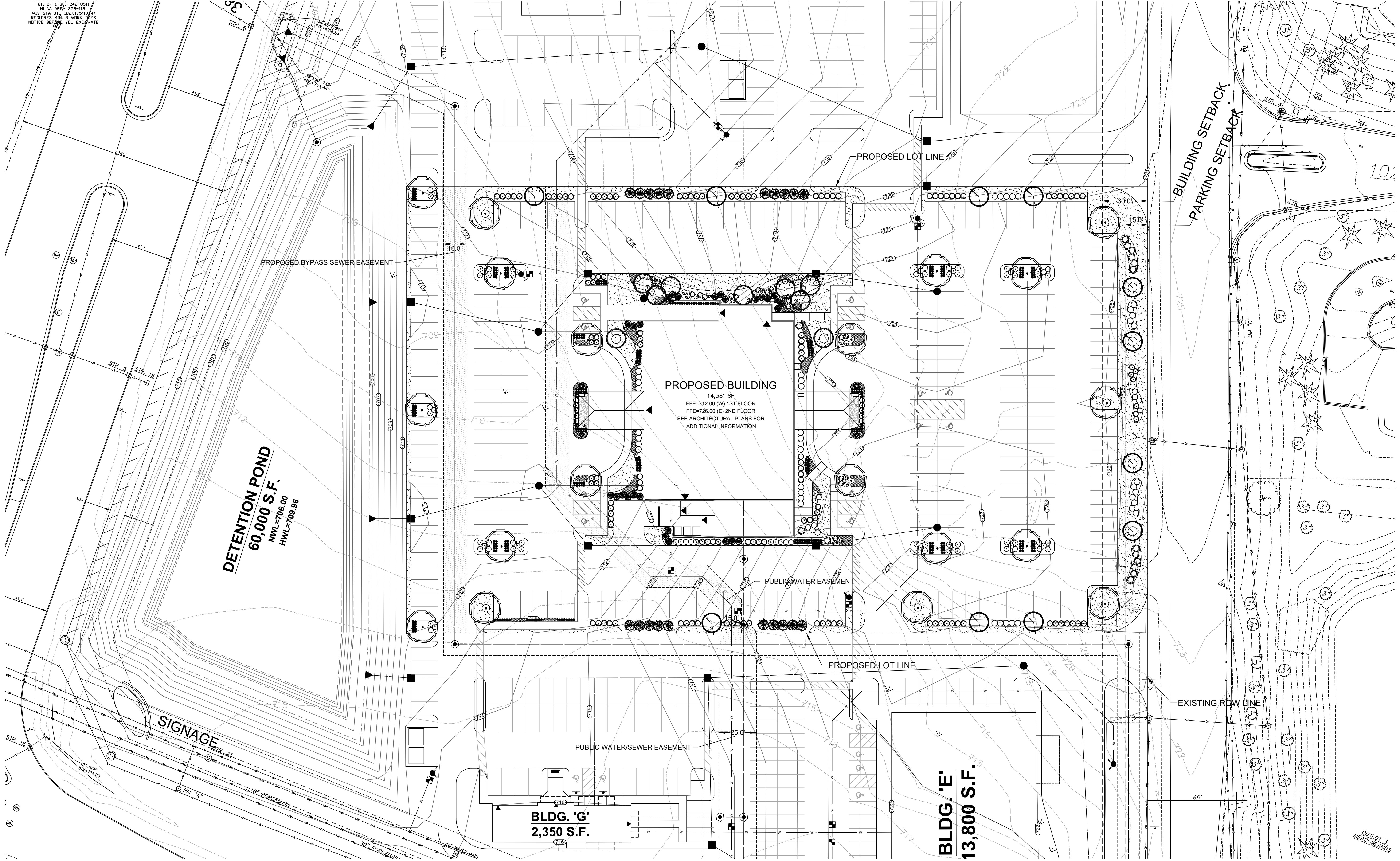
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED END SECTION
- CLEANOUT
- VALVE BOX
- FIRE HYDRANT
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRAIN TILE
- WATER MAIN
- FIRE PROTECTION
- UTILITY CROSSING
- ELECTRICAL CABLE
- GAS MAIN
- TELEPHONE LINE
- OVERHEAD WIRES
- LIGHTING
- ELECTRICAL TRANSFORMER OR PEDESTAL
- POWER POLE
- POWER POLE WITH LIGHTS
- STREET SIGN
- UTILITY TO BE REMOVED

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI
 UTILITY PLAN
 PROJECT NO: 634.17.051
 DRAWN BY: EP
 CHECKED BY: MAC
 DATE: 10-19-17
 SHEET NO: C-4



TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

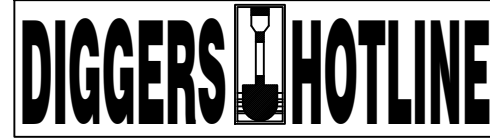
CALL DIGGERS HOTLINE
811 or 1-800-242-8511
MILWAUKEE AREA 259-1187
WIS. STATUTE: HS017401940
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE



PROJECT NO:		634.17.051
DRAWN BY:	CHECKED BY:	PCA WDH
DATE:	11.15.17	
SHEET NO:	L1.0	
PROJECT TITLE: FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE		
ADDRESS: NEC Green Bay Road & 104th St., Pleasant Prairie, WI		
SHEET DESCRIPTION		

HELLER & ASSOCIATES, LLC
LANDSCAPE ARCHITECTURE
P.O. Box 1359
Lake Geneva, Wisconsin 53147-1359
ph 262.639.9733
david@wdavidheller.com
www.wdavidheller.com

SITE LOCATION PLAN
Scale: 1" = 30'0"
NORTH



TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES, BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 811 or 1-800-242-6511
 MILWAUKEE AREA 259-1181
 WIS. STATUTE, 196.017(2)9740
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

SHADE TREES (DECIDUOUS)

- ARM Armstrong Red Maple
- ABM Autumn Blaze Maple
- SHL Skyline Honeylocust
- AGM Autumn Gold Maidenhair
- VFE Valley Forge American Elm

ORNAMENTAL TREES (DECIDUOUS)

- ABS Autumn Brilliance Serviceberry
- TCH Thornless Cocksaur Hawthorn
- JTL Ivory Silk Japanese Tree Lilac

EVERGREEN TREES

- HCJ Hetzi Columnar Juniper (upright)
- FVJ Fairview Upright Juniper (upright)

EVERGREEN SHRUBS

- SGJ Sea Green Juniper
- KCPJ Kallay Compact Pfitzer Juniper
- BWJ Buffalo Juniper

DECIDUOUS SHRUBS

- HC Peking (Hedge) Cotoneaster
- IH Incredible Hydrangea
- UH Unique Hydrangea
- GLS Gro Low Fragrant Sumac
- KOSR Knock Out Shrub Rose
- PPSR Pink Pavement Series Rose
- NFS Neon Flash Spirea
- MKL Miss Kim Dwarf Lilac
- MV Mohican Viburnum

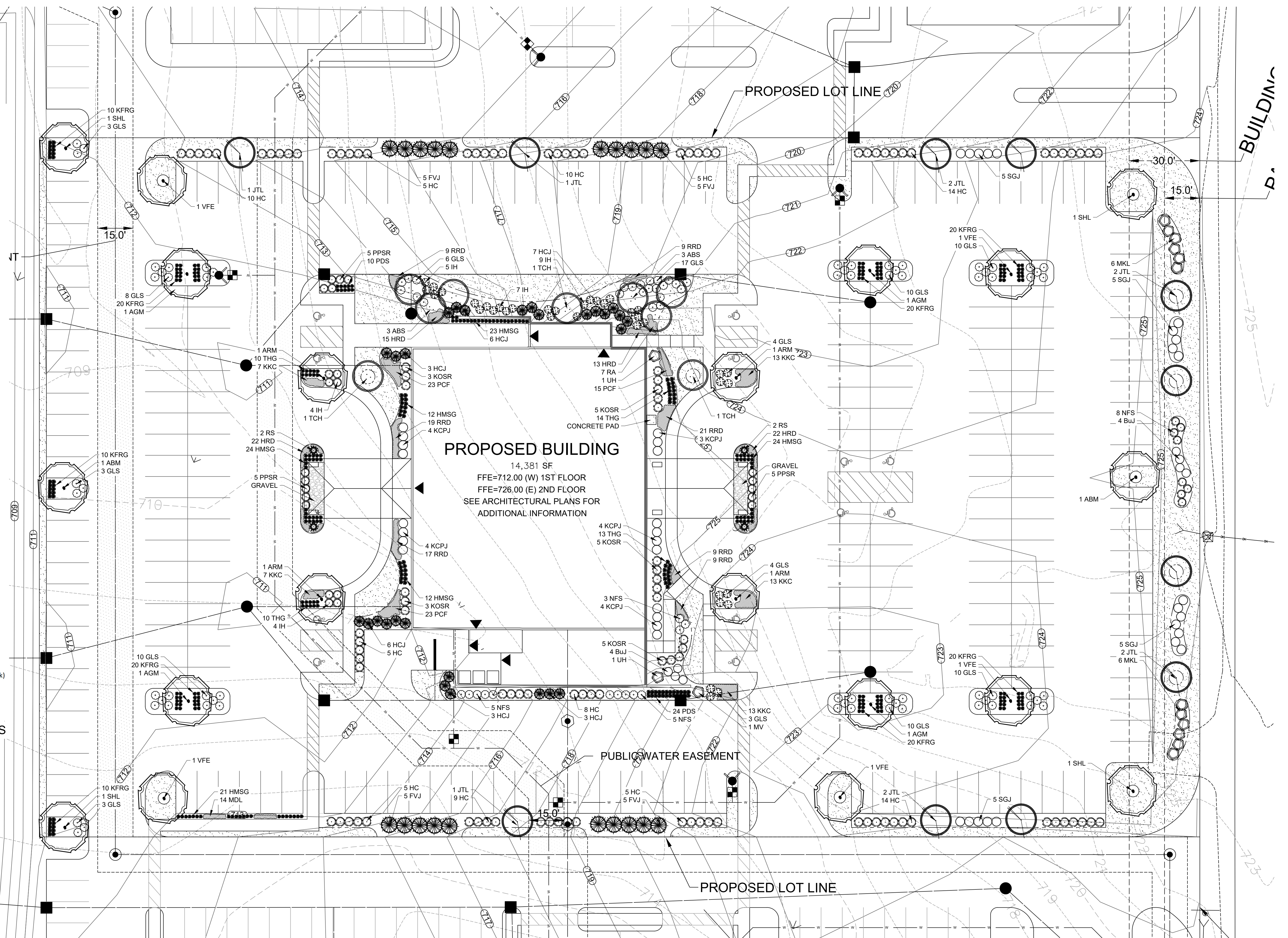
ORNAMENTAL GRASSES

- KFRG Karl Foerster Feather Reed Grass
- THG Tufted Hair Grass
- HMSG Heavy Metal Switch Grass
- PDS Prairie Dropseed

HERBACEOUS PERENNIALS

- RA Rhineland Astilbe (Pink)
- PCF Magnus Purple Coneflower
- HRD Happy Returns Daylily
- RRD Rosy Returns Daylily
- MDL Catherine Woodbury Daylily (Soft Pink)
- MDL Hyperion Daylily (Lemon Yellow)
- MDL Summer Wine Daylily (Maroon)
- KKC Dwarf Catmint
- RS Russian Sage

PLANT ABBREVIATIONS

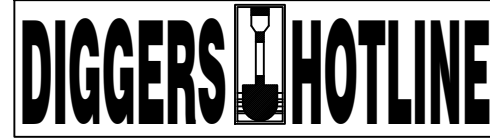


FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI
 SHEET DESCRIPTION

PROJECT NO.: 634.17.051
 DRAWN BY: PCA CHECKED BY: WDH
 DATE: 11.15.17
 SHEET NO.:

L1.1





TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES, BEFORE YOU DIG IN WISCONSIN
 CALL DIGGERS HOTLINE
 811 or 1-800-242-8511
 ILW AREA 259-1181
 VIS STAFF/TE 186-0176/9740
 REGIONS MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

SHADE TREES (DECIDUOUS)

- ARM Armstrong Red Maple
- ABM Autumn Blaze Maple
- SHL Skyline Honeylocust
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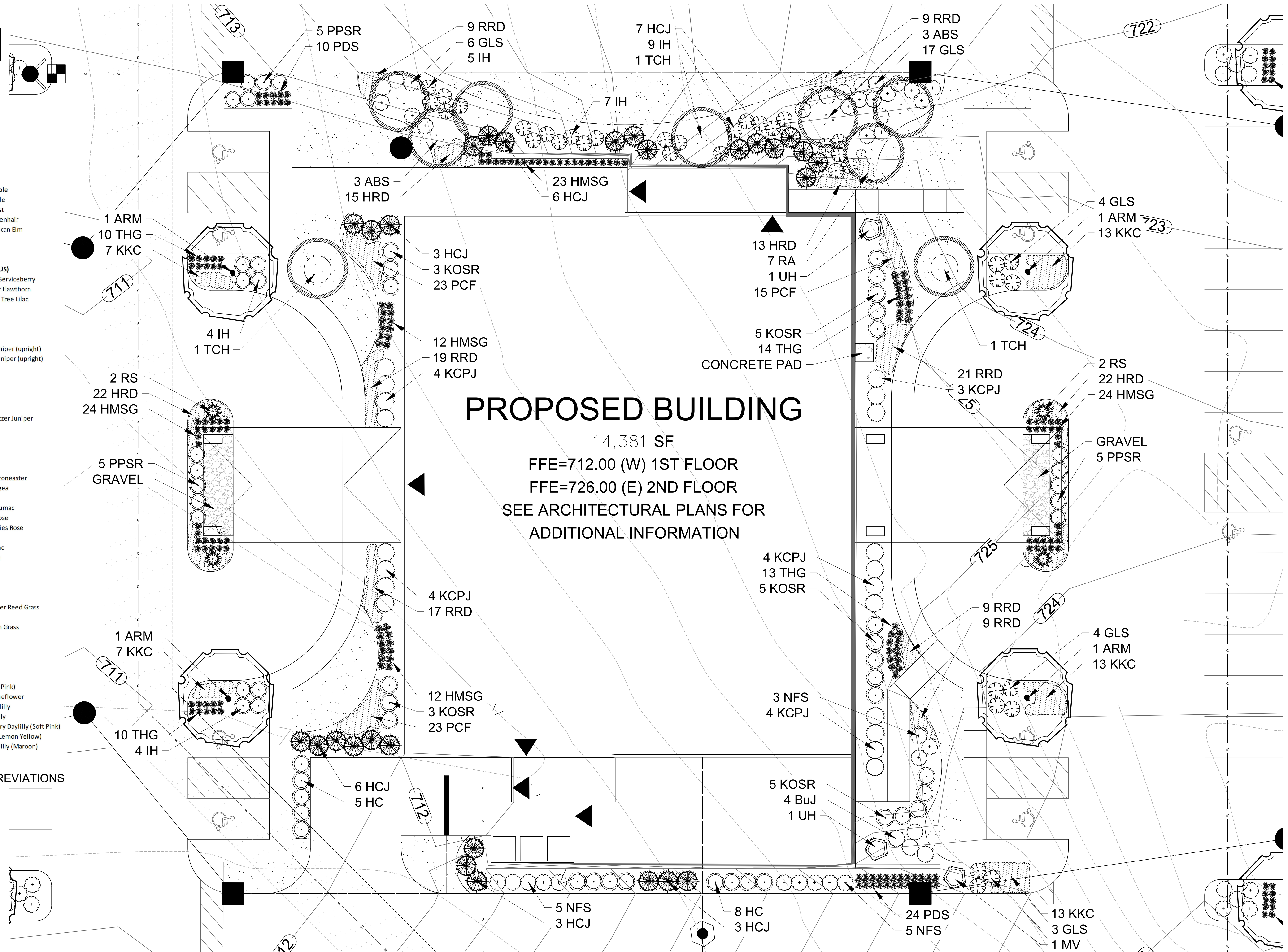
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- MDL Hyperion Daylily (Lemon Yellow)
- MDL Summer Wine Daylily (Maroon)
- KKC Dwarf Catmint
- RS Russian Sage

PLANT ABBREVIATIONS



PROPOSED BUILDING

14,381 SF
 FFE=712.00 (W) 1ST FLOOR
 FFE=726.00 (E) 2ND FLOOR
 SEE ARCHITECTURAL PLANS FOR
 ADDITIONAL INFORMATION



ENLARGED LANDSCAPE PLAN

Scale: 1" = 10'0"

FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant
 Prairie, WI
 SHEET DESCRIPTION

PROJECT NO.: 634.17.051
 DRAWN BY: PCA
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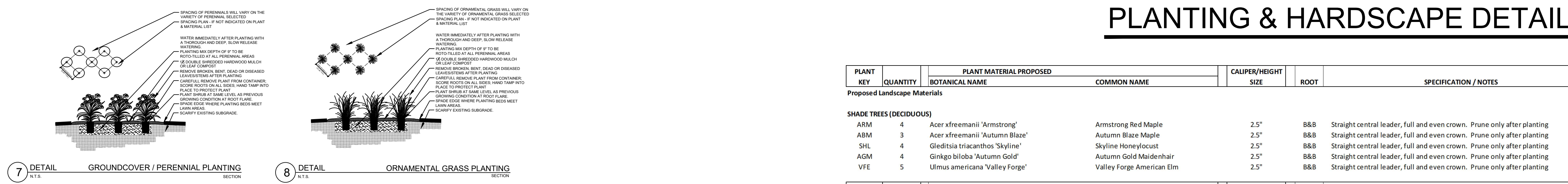
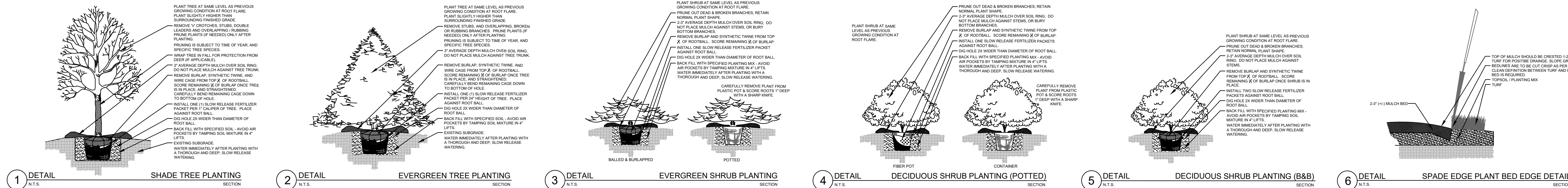
L1.2



P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@wdavidheller.com
 www.wdavidheller.com



TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
DIGGERS HOTLINE
 CALL DIGGERS HOTLINE
 811 or 1-800-242-8511
 MILWAUKEE AREA 259-1181
 WIS. STATUTE: 90C.01(7)(974)
 REQUIRES MIN. 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



PLANTING & HARDSCAPE DETAILS

- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Parking Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 3/4 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5' diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 50% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 3/4 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil.
 Per 100 SF of bed area (Soil Amendment composition):
 3/4 CY Peat Moss or Mushroom Compost
 1/4 CY blended/pulverized Topsoil
 1/4 CY composted manure
 In roto-tilled beds only, also include in above mixture:
 2 lbs Starter Fertilizer
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary are the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing reed canary grass is NOT acceptable as a mulch covering.
 An acceptable quality seed installation is defined as having:
 No bare spots larger than one (1) square foot
 No more than 10% of the total area with bare areas larger than one (1) square foot
 A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/HEIGHT	SIZE	ROOT	SPECIFICATION / NOTES
Proposed Landscape Materials							
SHADE TREES (DECIDUOUS)							
ARM	4	Acer xfreemanii 'Armstrong'	Armstrong Red Maple	2.5"	B&B		Straight central leader, full and even crown. Prune only after planting
ABM	3	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B		Straight central leader, full and even crown. Prune only after planting
SHL	4	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B		Straight central leader, full and even crown. Prune only after planting
AGM	4	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair	2.5"	B&B		Straight central leader, full and even crown. Prune only after planting
VFE	5	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5"	B&B		Straight central leader, full and even crown. Prune only after planting

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER/HEIGHT	SIZE	ROOT	SPECIFICATION / NOTES
ORNAMENTAL TREES (DECIDUOUS)							
ABS	6	Amelanchier xgrandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	7-8'	B&B		Well balanced multi-stemmed tree with minimum four canes, and full appearance
TCH	3	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	7-8'	B&B		Well balanced multi-stemmed tree with minimum four canes, and full appearance
JTL	11	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.0'	B&B		Straight central leader, full and even crown. Prune only after planting

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE	ROOT	SPECIFICATION / NOTES
EVERGREEN TREES							
HJC	28	Juniperus chinensis 'Hetzi Columnaris'	Hetzi Columnar Juniper (upright)	5'	B&B		Evenly shaped tree with branching to the ground
FVJ	20	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	5'	B&B		Evenly shaped tree with branching to the ground

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
EVERGREEN SHRUBS						
SGJ	20	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub
KCPJ	19	Juniperus chinensis 'Nallay'	Kallay Compact Pfitzer Juniper	#5	Cont.	Full rounded well branched shrub
BUJ	8	Juniperus sabinna 'Buffalo'	Buffalo Juniper	#3	Cont.	Full rounded well branched shrub

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES
DECIDUOUS SHRUBS						
HC	90	Cotoneaster acutifolia	Peking (Hedge) Cotoneaster	36"	B&B	Full, well rounded plant with moist rootball and healthy appearance
IH	29	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped
UH	2	Hydrangea paniculata 'Unique'	Unique Hydrangea	36"	Cont.	Full, well rooted plant, evenly shaped
GLS	101	Rhus aromatica 'Gro-Low'	Gro Low Fragrant Sumac	#5	Cont.	Full, well rooted plant, evenly shaped
KOSR	16	Rosa 'Knock Out'	Knock Out Shrub Rose	18"	Cont.	Full, well rooted plant, evenly shaped
PPSR	20	Rosa rugosa 'Pink Pavement'	Pink Pavement Series Rose	18"	Cont.	Full, well rooted plant, evenly shaped
NFS	21	Spiraea xbumalda 'Neon Flash'	Neon Flash Spirea	24"	Cont.	Full, well rooted plant, evenly shaped
MKL	12	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24"	Cont.	Full, well rooted plant, evenly shaped
MV	1	Viburnum lantana 'Mohican'	Mohican Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	ROOT/CONT.	SPECIFICATION / NOTES
ORNAMENTAL GRASSES						
KFRG	174	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant
THG	47	Deschampsia cespitosa	Tufted Hair Grass	#1	Cont.	Full, well rooted plant
HMSG	92	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rooted plant
PDS	34	Sporobolus heterolepis	Prairie Dropseed	#1	Cont.	Full, well rooted plant

PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	ROOT/CONT.	SPECIFICATION / NOTES
HERBACEOUS PERENNIALS						
RA	7	Astilbe arundisii 'Rhineland'	Rhineland Astilbe (Pink)	#1	Cont.	Full, well rooted plant, evenly shaped
PCF	61	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	#1	Cont.	Full, well rooted plant, evenly shaped
HRD	72	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
FRD	93	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped
MDL	5	Hemerocallis 'Catherine Woodbury'	Catherine Woodbury Daylily (Soft Pink)	#1	Cont.	Full, well rooted plant, evenly shaped
MDL	5	Hemerocallis 'Hyperion'	Hyperion Daylily (Lemon Yellow)	#1	Cont.	Full, well rooted plant, evenly shaped
MDL	4	Hemerocallis 'Summer Wine'	Summer Wine Daylily (Maroon)	#1	Cont.	Full, well rooted plant, evenly shaped
KKC	53	Nepeta fassenii 'Kit Cat'	Dwarf Catmint	#1	Cont.	Full, well rooted plant, evenly shaped
RS	4	Perovskia atriplicifolia	Russian Sage	#2	Cont.	Full, well rooted plant, evenly shaped

LAWN	1470	Lawn Establishment Area / Grading Area			SY	Cedar Creek Premium Blue Tag Seed Mix (Ph: 888-313-6807)
	13225	Erosion Matting for sloped seeded areas	see plan for area delineation		SF	EroTex D575 Erosion Control Blanket (or approved equal)

Hardscape Materials		QUANTITY	DESCRIPTION	LOCATION	DEPTH
	16	Concrete Pad	see plan for location		SF
	4	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 250 SF		TN 2" depth
	50	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF
	250	Landscape Fabric	SF		SF
	128	Shredded Hardwood Mulch (3" depth)	Area: 13,800 SF		CY Bark Mulch; apply Preemergent after installation of mulch
	85	Soil Amendments (2" depth)	Area: 13,800 SF		CY
	41	Pulverized Topsoil (Lawn Area)	Area: 13,225 SF		CY
	85	Pulverized Topsoil (2" over bed areas)	Area: 13,800 SF		CY

*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.

Seed Compositions:	Seed at rate of 3# per 1000 SF
Cedar Creek Premium Blue Tag (Ph: 888-313-6807):	
10% Mid Atlantic Kentucky Bluegrass	10% Mid Atlantic Kentucky Bluegrass
20% Merit Kentucky Bluegrass	10% Dragon Kentucky Bluegrass
20% Boreal Red Fescue	10% Palmer III Fine Perennial Ryegrass
20% Pennant Fine Perennial Ryegrass	



P.O. Box 1359
 Lake Geneva, Wisconsin 53147-1359
 ph 262.639.9733
 david@davidheller.com
 www.davidheller.com

LANDSCAPE GENERAL NOTES

PLANT & MATERIAL SCHEDULE

PROJECT NO: 634-17-051
 DRAWN BY: PCA
 CHECKED BY: WDH
 DATE: 11.15.17
 SHEET NO: L1.3
 FS MEDICAL OFFICE BUILDING PLEASANT PRAIRIE
 NEC Green Bay Road & 104th St., Pleasant Prairie, WI
 SHEET DESCRIPTION

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME,
HOWEVER SEPARATE ACTION IS REQUIRED.**

Consider approval of **Comprehensive Plan Amendments (Ord. 18-02)** for the request of Andrew Shoaf, P.E. with Pinnacle Engineering, on behalf of Muskie Enterprises, owner of the property, related to the completed wetland delineation on the property located at 10700 88th Avenue. The amendments include: 1) to amend and correct the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to show the current location of the wetlands within the Park, Recreation and Other Open Space Lands with a field verified wetland land use designation and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.

Recommendation: On January 8, 2018 the Plan Commission held a public hearing, approved Plan Commission Resolution #18-02 and recommended that the Village Board approve the amendments to the Comprehensive Plan as presented at the January 15, 2018 Village Staff Report.

Consider approval of a **Zoning Map Amendment (Ord. 18-03)** for the request of Andrew Shoaf, P.E. with Pinnacle Engineering, on behalf of Muskie Enterprises, owner of the property located at 10700 88th Avenue to rezone the delineated wetlands on the property into the C-1, Lowland Resource Conservancy District.

Recommendation: On January 8, 2018 the Plan Commission held a public hearing and recommended that the Village Board approve the amendments to the Zoning Map Amendment as presented at the January 15, 2018 Village Staff Report.

VILLAGE STAFF REPORT OF JANUARY 15, 2018

Consider approval of **Comprehensive Plan Amendments (Ord. 18-02)** for the request of Andrew Shoaf, P.E. with Pinnacle Engineering, on behalf of Muskie Enterprises, owner of the property, related to the completed wetland delineation on the property located at 10700 88th Avenue. The amendments include: 1) to amend and correct the Village of Pleasant Prairie, 2035 Comprehensive Land Use Plan Map 9.9 to show the current location of the wetlands within the Park, Recreation and Other Open Space Lands with a field verified wetland land use designation and 2) to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to include said amendments.

Consider approval of a **Zoning Map Amendment (Ord. 18-03)** for the request of Andrew Shoaf, P.E. with Pinnacle Engineering, on behalf of Muskie Enterprises, owner of the property located at 10700 88th Avenue to rezone the delineated wetlands on the property into the C-1, Lowland Resource Conservancy District.

THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME, HOWEVER SEPARATE ACTION IS REQUIRED.

The petitioner is constructing two additions to the Olds Products facility located at 10700 88th Avenue in the LakeView Corporate Park as conditionally approved by the Plan Commission on December 11, 2017. Pursuant to the Plan Commission conditional approval the field delineated wetlands to remain shall be shown correctly on the land use plan map and placed in the appropriate zoning classification.

The wetlands on the property were delineated by Chad Fradette, a Wisconsin Department of Natural Resources (WI DNR) Professional Assured Wetland Delineator on August 30, 2017. The wetlands along the south property line will remain and will be protected during construction. There is a small wetland adjacent to 88th Avenue in front of the building that has been determined to be an artificial wetland by the WI DNR (see **attached** letter dated October 17, 2017).

In accordance with the Village of Pleasant Prairie 2035 Comprehensive Plan the 2035 Land Use Plan Map 9.9 is proposed to be amended to place the wetlands along the south property line within the Park, Recreation and Other Open Space Lands with a field verified wetland land use designation. In addition, Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan will be updated to reflect said change.

Furthermore, in accordance with the Village Zoning Ordinance, upon completion of a wetland staking the Zoning Map shall be corrected to reflect the results of the staking. Therefore the field delineated wetlands (along the south side of the property) are proposed to be rezoned into the C-1, Lowland Resource Conservancy District. The remainder of the property will remain in the M-2, General Manufacturing District.

Recommendations:

Plan Commission recommends that the Village Board approve the Comprehensive Plan Amendments as presented.

Plan Commission recommends that the Village Board approve the Zoning Map Amendment as presented.

ORD. # 18-02
ORDINANCE TO AMEND
THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN
2035 COMPREHENSIVE PLAN
PURSUANT TO CHAPTER 390 OF THE
VILLAGE MUNICIPAL CODE

BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees, Kenosha County, Wisconsin, that the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan is hereby amended as follows:

1. To amend the Village 2035 Land Use Plan Map 9.9 to show the wetland area along the south property as shown and legally described on **Exhibit 1** within the Park, Recreation and Other Open Space Lands with a field verified wetland land use designations on the property located at 10700 88th Avenue in LakeView Corporate Park and further identified as Tax Parcel Number 92-4-122-291-0141.; and
2. To update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

The Village Community Development Director is hereby directed to record these Amendments to the Comprehensive Plan on the appropriate pages of said Plan and to update Appendix A in Chapter 390 of the Village Municipal Code to include said amendments.

Adopted this 15th day of January 2018.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink,
Village President

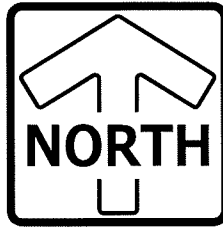
Jane M. Romanowski
Village Clerk

Ayes: ____ Nays: ____ Absent: ____

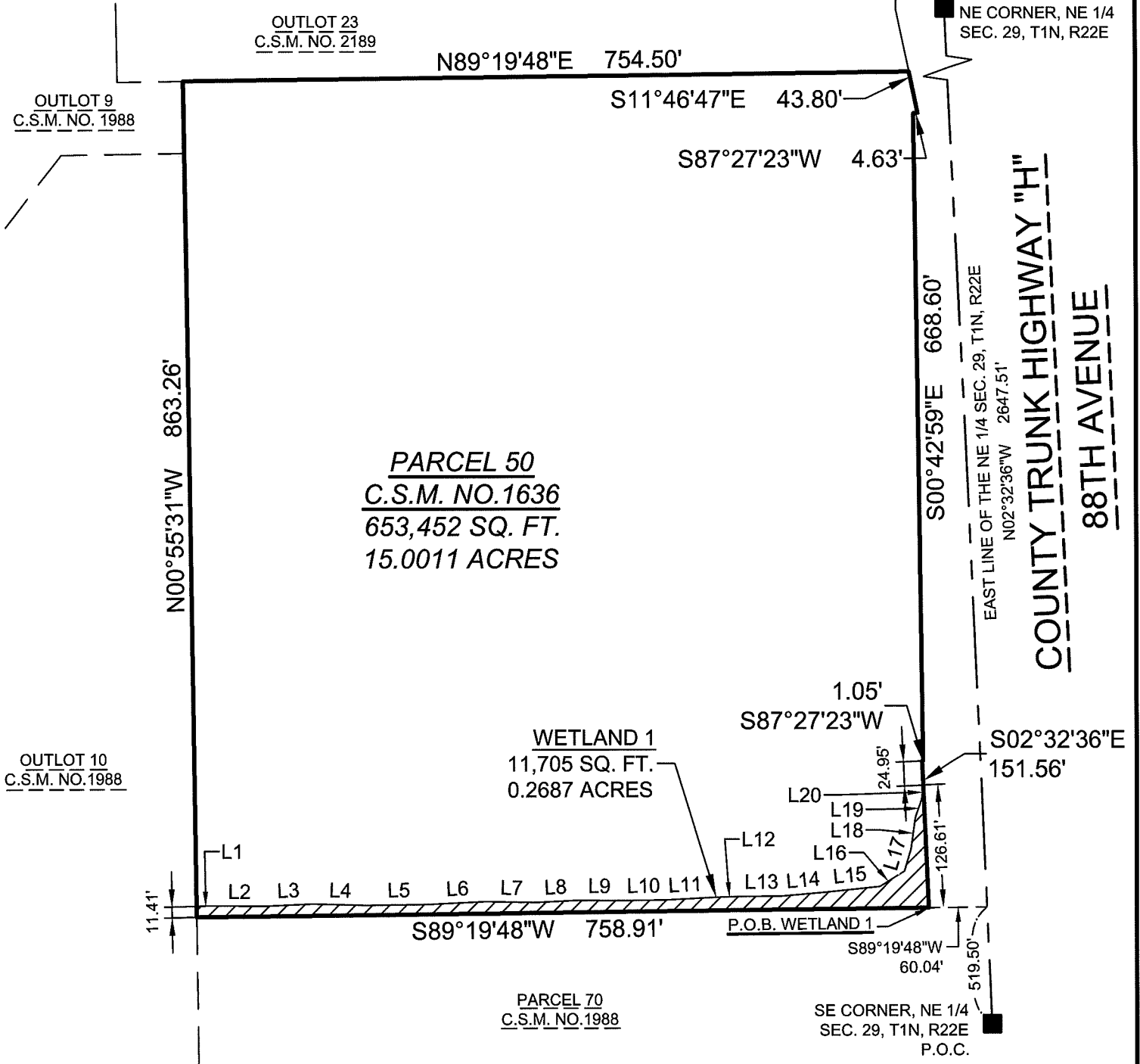
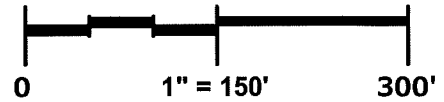
Posted: _____

Ord #18-02 old LU Amend
CODE1711-005

Wetland Delineation conducted
by Chad M. Fradette
Mach IV Engineering & Surveying, LLC
August 30, 2017



GRAPHICAL SCALE (FEET)



WETLAND EXHIBIT

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

11/21/17

PLAN | DESIGN | DELIVER

PEG JOB#143.00 SHEET 1 OF 2

LEGAL DESCRIPTION:

Being a part of Parcel 50 of Certified Survey Map No. 1636, as recorded in the Register of Deeds office for Kenosha County as Document No. 914914, being a division of part of the Northeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 29 and the Northeast 1/4 of the Southeast 1/4 of Section 29, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, described as follows:

Wetland 1: Beginning at the southeast corner of Parcel 50 of said Certified Survey Map No. 1636; thence South 89°19'48" West along the south line of said Parcel 50, 758.91 feet to the southwest corner of said Parcel 50; thence North 00°55'31" West along the west line of said Parcel 50, 11.41 feet; thence North 89°09'15" East, 18.40 feet; thence South 89°54'54" East, 52.64 feet; thence North 87°29'59" East, 49.47 feet; thence South 88°34'57" East, 56.35 feet; thence North 89°06'36" East, 66.05 feet; thence North 87°23'38" East, 57.05 feet; thence South 88°52'17" East, 53.25 feet; thence North 86°50'49" East, 39.94 feet; thence South 89°25'53" East, 49.17 feet; thence North 89°02'32" East, 43.79 feet; thence North 87°03'59" East, 53.07 feet; thence North 88°37'59" East, 27.17 feet; thence North 89°38'46" East, 40.00 feet; thence North 84°49'30" East, 42.16 feet; thence North 84°01'46" East, 60.99 feet; thence North 58°18'14" East, 29.38 feet; thence North 16°51'00" East, 24.04 feet; thence North 07°40'17" East, 32.81 feet; thence North 19°16'18" East, 19.77 feet; thence North 07°12'47" East, 14.71 feet to the east line of said Parcel 50; thence South 02°32'36" East along said east line, 126.61 feet to the point of beginning.

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N89°09'15"E	18.40'
L2	S89°54'54"E	52.64'
L3	N87°29'59"E	49.47'
L4	S88°34'57"E	56.35'
L5	N89°06'36"E	66.05'
L6	N87°23'38"E	57.05'
L7	S88°52'17"E	53.25'
L8	N86°50'49"E	39.94'
L9	S89°25'53"E	49.17'
L10	N89°02'32"E	43.79'
L11	N87°03'59"E	53.07'
L12	N88°37'59"E	27.17'
L13	N89°38'46"E	40.00'
L14	N84°49'30"E	42.16'
L15	N84°01'46"E	60.99'
L16	N58°18'14"E	29.38'
L17	N16°51'00"E	24.04'
L18	N07°40'17"E	32.81'
L19	N19°16'18"E	19.77'
L20	N07°12'47"E	14.71'

ORD. # 18-03

**ORDINANCE TO AMEND THE OFFICIAL ZONING MAP
OF THE VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
PURSUANT TO CHAPTER 420-13 OF THE VILLAGE ZONING ORDINANCE**

**BE IT ORDAINED by the Village of Pleasant Prairie Board of Trustees,
Kenosha County, Wisconsin, that the Official Village Zoning Map is hereby amended
as follows:**

A portion of the property located 10700 88th Avenue located in U.S. Public Land Survey Section 29, Township 1 North, Range 22 East of the 4th Principal Meridian, in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as Tax Parcel Number 92-4-122-291-0141 is hereby rezoned as follows: the wetland area as shown and legally described on **Exhibit 1** is hereby rezoned into the C-1, Lowland Resource Conservancy District as a result of a wetland staking being completed.

The Village Zoning Administrator is hereby directed to record this Zoning Map Amendment on the appropriate sheet of the Official Village Zoning Map and Appendix B in Chapter 420 of the Village Municipal Code shall be updated to include said amendment.

Adopted this 15th day of January, 2018.

VILLAGE BOARD OF TRUSTEES

John P. Steinbrink
Village President

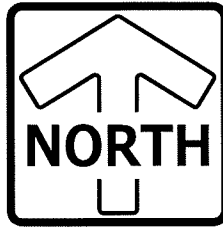
ATTEST:

Jane M. Romanowski
Village Clerk

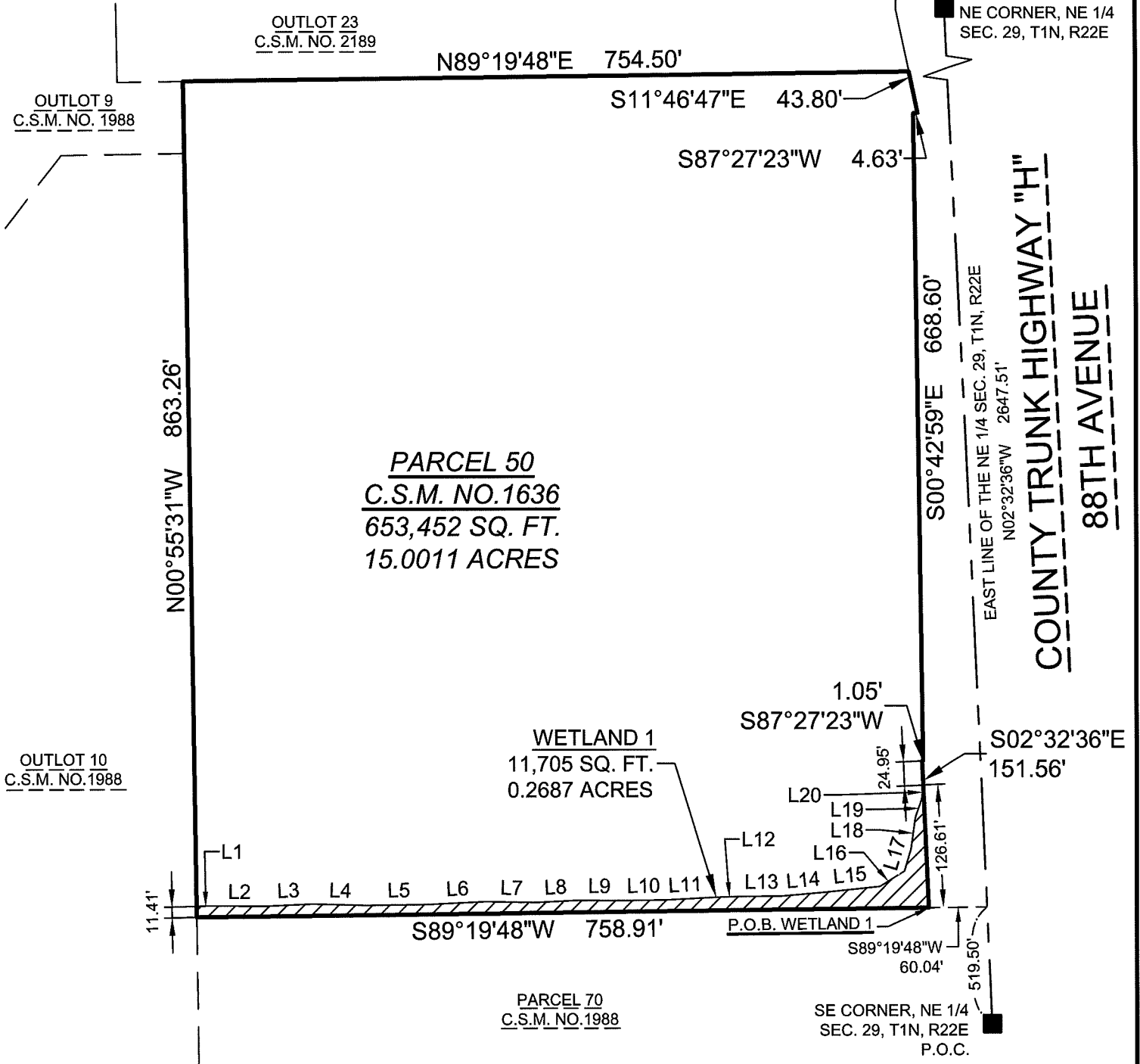
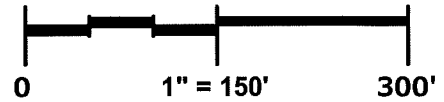
Posted: _____

03-Olds Wetland
CODE1711-006

Wetland Delineation conducted
by Chad M. Fradette
Mach IV Engineering & Surveying, LLC
August 30, 2017



GRAPHICAL SCALE (FEET)



WETLAND EXHIBIT

PINNACLE ENGINEERING GROUP

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11/21/17

PLAN | DESIGN | DELIVER

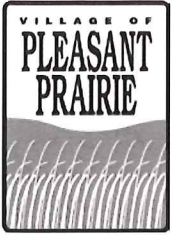
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LEGAL DESCRIPTION:

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L10	N89°02'32"E	43.79'
L11	N87°03'59"E	53.07'
L12	N88°37'59"E	27.17'
L13	N89°38'46"E	40.00'
L14	N84°49'30"E	42.16'
L15	N84°01'46"E	60.99'
L16	N58°18'14"E	29.38'
L17	N16°51'00"E	24.04'
L18	N07°40'17"E	32.81'
L19	N19°16'18"E	19.77'
L20	N07°12'47"E	14.71'



COMPREHENSIVE PLAN AMENDMENT

I (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie 2035 Comprehensive Plan as hereinafter requested related to the following property:

Property Location: 10700 88th Avenue

Legal Description: CSM 2186

Tax Parcel Number(s): 92-4-122-291-0141

Check all that apply

Land Use Plan Amendment:

To change the land use designation from General Industrial Lands
to Park, Recreational and Other open Space Lands with a field verified wetlands

Neighborhood Plan Amendment to _____ Neighborhood

Other Amendment to the Comprehensive Plan (specify)

Petitioner's interest in the requested amendment:

To correct the land use plans for the wetland area on the property as shown and legally described on the attached plat of survey

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Augie Remien

Signature:

Address: 10700 88th Ave

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: 262-947-3500

Fax: _____

Email: vluburich@oldsfitz.com

Date: 11-21-2017

APPLICANT/AGENT:

Print Name: Andrew Shoaf

Signature:

Address: 15850 West Bluemound Road, 210

Brookfield WI 53005
(City) (State) (Zip)

Phone: 262-754-8888

Fax: 262-754-8850

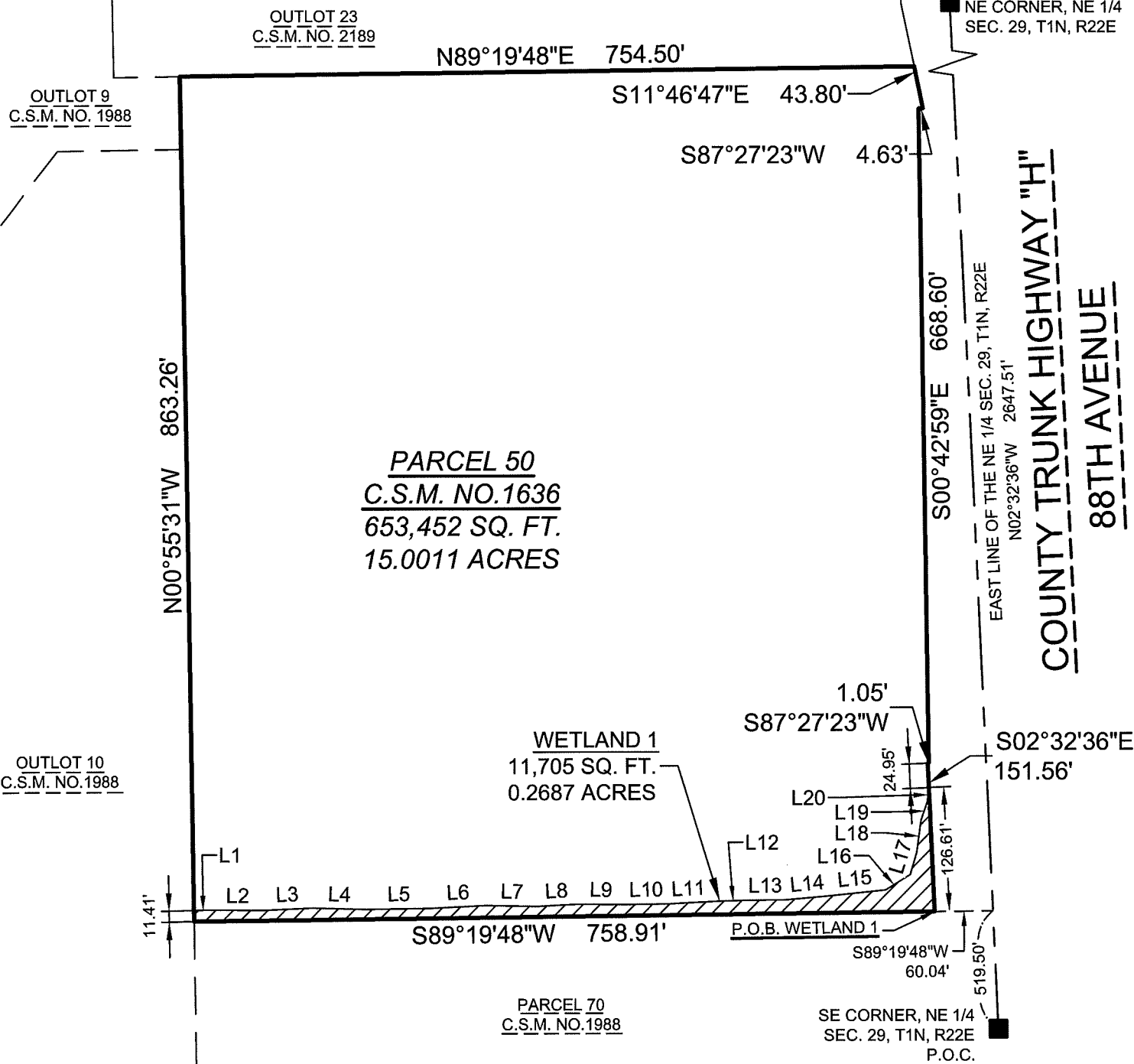
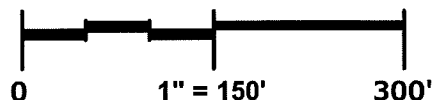
Email: andrew.shoaf@pinnacle-engr.com

Date: 11-21-2017

Wetland Delineation conducted
 by Chad M. Fradette
 Mach IV Engineering & Surveying, LLC
 August 30, 2017



GRAPHICAL SCALE (FEET)



WETLAND EXHIBIT

PINNACLE ENGINEERING GROUP

15850 W. BLUEMOUND ROAD | SUITE 210 | BROOKFIELD, WI 53005

WWW.PINNACLE-ENGR.COM

11/21/17

PLAN | DESIGN | DELIVER

PEG JOB#143.00 SHEET 1 OF 2

LEGAL DESCRIPTION:

Being a part of Parcel 50 of Certified Survey Map No. 1636, as recorded in the Register of Deeds office for Kenosha County as Document No. 914914, being a division of part of the Northeast 1/4 and the Southeast 1/4 of the Northeast 1/4 of Section 29 and the Northeast 1/4 of the Southeast 1/4 of Section 29, Township 1 North, Range 22 East, Village of Pleasant Prairie, Kenosha County, Wisconsin, described as follows:

Wetland 1: Beginning at the southeast corner of Parcel 50 of said Certified Survey Map No. 1636; thence South 89°19'48" West along the south line of said Parcel 50, 758.91 feet to the southwest corner of said Parcel 50; thence North 00°55'31" West along the west line of said Parcel 50, 11.41 feet; thence North 89°09'15" East, 18.40 feet; thence South 89°54'54" East, 52.64 feet; thence North 87°29'59" East, 49.47 feet; thence South 88°34'57" East, 56.35 feet; thence North 89°06'36" East, 66.05 feet; thence North 87°23'38" East, 57.05 feet; thence South 88°52'17" East, 53.25 feet; thence North 86°50'49" East, 39.94 feet; thence South 89°25'53" East, 49.17 feet; thence North 89°02'32" East, 43.79 feet; thence North 87°03'59" East, 53.07 feet; thence North 88°37'59" East, 27.17 feet; thence North 89°38'46" East, 40.00 feet; thence North 84°49'30" East, 42.16 feet; thence North 84°01'46" East, 60.99 feet; thence North 58°18'14" East, 29.38 feet; thence North 16°51'00" East, 24.04 feet; thence North 07°40'17" East, 32.81 feet; thence North 19°16'18" East, 19.77 feet; thence North 07°12'47" East, 14.71 feet to the east line of said Parcel 50; thence South 02°32'36" East along said east line, 126.61 feet to the point of beginning.

LINE TABLE		
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L1	N89°09'15"E	18.40'
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ZONING MAP AMENDMENT APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board of Trustees to amend the Village of Pleasant Prairie as hereinafter requested.

Property Location: 10700 88th Avenue

Legal Description: CSM 2189

Tax Parcel Number(s): 92-4-122-291-0141

Existing Zoning District(s): M-2

Proposed Zoning District(s): M-2 and C-1

Proposed Use: to rezone the field delineated wetlands into the C-1 District

Compatibility with Adjacent Land Uses:

wetlands to be protected and preserved on the property

If the property is being zoned into multiple zoning classifications or only a portion of the property is being rezoned (i.e. wetlands area) then submit an exhibit with complete legal description of each zoning classification.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine whether additional information may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

PROPERTY OWNER:

Print Name: Augie Remien

Signature: [Signature]

Address: 10700 88th Ave

Pleasant Prairie WI 53158
(City) (State) (Zip)

Phone: 262-947-3500

Fax: _____

Email: vluburich@oldsfitz.com

Date: 11/21/2017

APPLICANT/AGENT:

Print Name: Andrew Shoaf

Signature: [Signature]

Address: 15850 West Bluemound Road, 210

Brookfield WI 53005
(City) (State) (Zip)

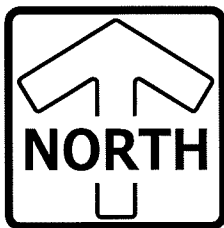
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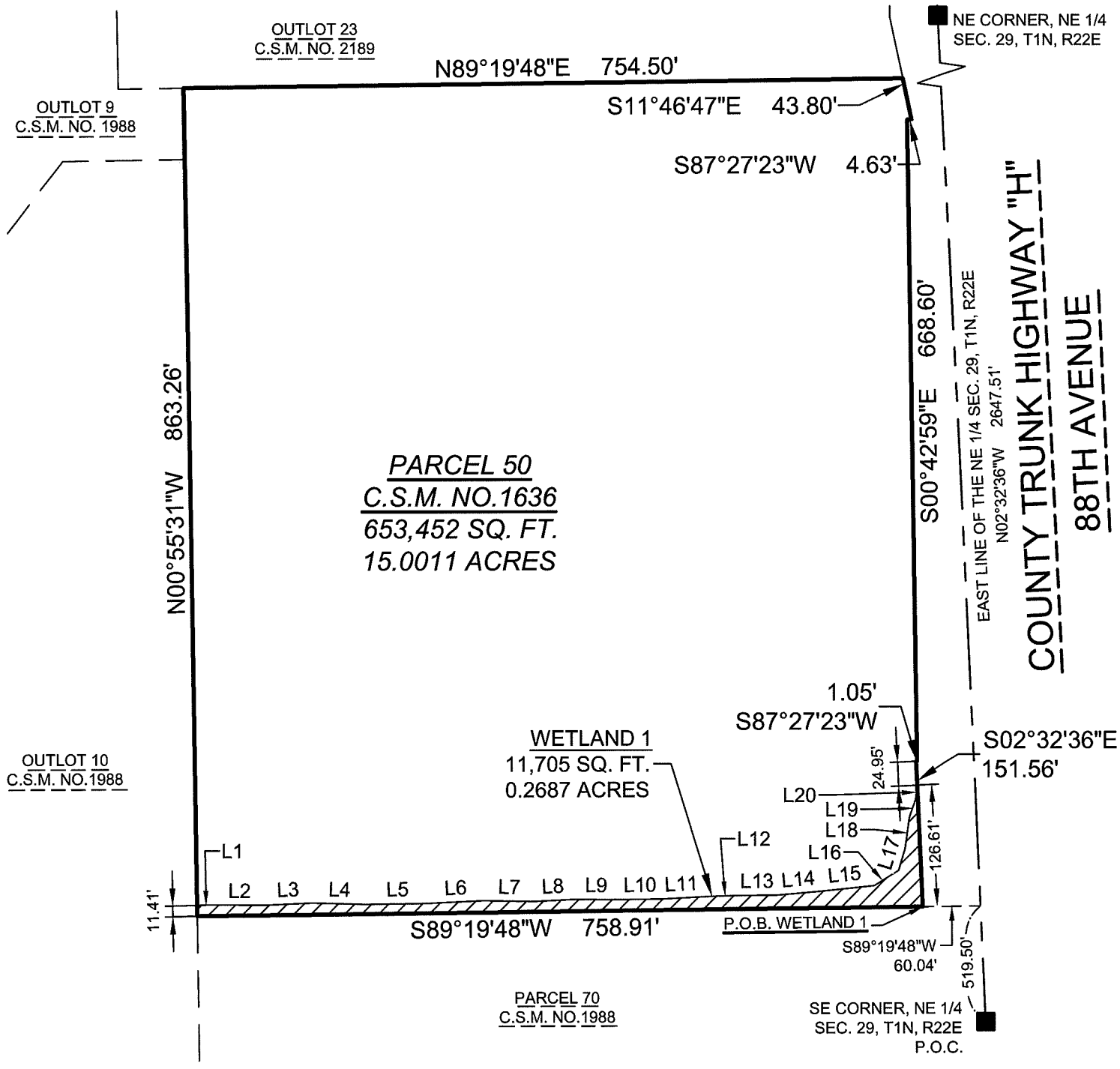
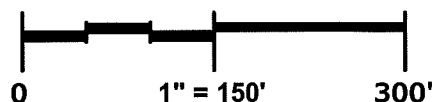
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Date: 11/21/2017

Wetland Delineation conducted
 by Chad M. Fradette
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 August 30, 2017



GRAPHICAL SCALE (FEET)



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11/21/17

PLAN | DESIGN | DELIVER

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Consider approval of a **Zoning Text Amendment (Ord. 18-04)** to amend Section 420-29 A related to Business License Fees.

Recommendation: On January 8, 2018 the Plan Commission held a public hearing and recommended that the Village Board approve the Zoning Text Amendment as presented in the January 15, 2018 Staff Report.

VILLAGE STAFF REPORT OF JANUARY 15, 2018

Consider approval of a **Zoning Text Amendment (Ord. 18-04)** to amend Section 420-29 A related to Business License Fees.

On December 4, 2017 the Village Board adopted Resolution #17-44 to initiate and petition the Village to re-evaluate the business license application and renewal fees for non-profit businesses in the Village.

Since January 1, 2017, all commercial, industrial, institutional and governmental businesses including churches, schools, community residential facilities, home based businesses and agricultural related businesses are required to obtain and maintain an annual business license in the Village pursuant to the requirements of this Article VII of the Village Zoning Ordinance.

Information gathered from the Business Licenses is essential to performing the community's public safety and public works services. Business contact information is being used to notify and provide efficient public safety services. Information obtained is also important to overall economic development/business attraction and to maintain an accurate listing of all active businesses, relevant contact information, employment counts and anticipated employment growth projections annually.

Section 420-29 A related to business license fees is proposed to be amended to change the business license fees for non-profit businesses from \$25 to \$10. This fee change applies to the initial application, annual renewal and notice of change for any non-profit business. The ordinance also states that the Village may require additional information to verify non-profit status. Currently there are 28 non-profit businesses in the Village, including churches, schools, village municipal buildings and various other office/medical uses.

The 2018 renewals for non-profit businesses have not been sent out and are intended to be sent out with the new renewal fee, pending Village Board approval of the fee change. The renewal and the fee will be due for these non-profit businesses by March 1, 2018.

Recommendation: Plan Commission recommends that the Village Board approve the Zoning Text Amendments as presented.

ORD. #18-04

**ORDINANCE TO AMEND
THE VILLAGE ZONING ORDINANCE (CHAPTER 420)
RELATED TO BUSINESS LICENSE FEES
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN, DO HEREBY ORDAIN THAT THE FOLLOWING SECTIONS OF THE VILLAGE ZONING ORDINANCE BE AMENDED AS FOLLOWS:

1. **To amend Section 420-29 A related to business license fees is hereby amended to read as follows:**
 - A. Business license:
 - (1) Initial application:
 - (a) \$25 per business per site
 - (b) \$10 per non-profit business per site
 - (2) Annual renewal application
 - (a) \$25 per business per site
 - (b) \$10 per non-profit business per site
 - (3) Annual renewal late fee: If the business fails to renew the license by January 15 of each year, then a late fee of \$10 will be assessed to the applicant.
 - (4) Notice of change:
 - (a) \$25 per business per site
 - (b) \$10 per non-profit business per site
 - (5) The Village may require additional information for verification of any non-profit status.

Adopted this 15th day of January 2018.

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

John P. Steinbrink
Village President

Jane M. Romanowski
Village Clerk

Posted: _____

04-zoning fee changes-business licenses

**ORDINANCE NO. 18-01
ORDINANCE TO AMEND CHAPTER 18
OF THE MUNICIPAL CODE OF THE
VILLAGE OF PLEASANT PRAIRIE,
KENOSHA COUNTY, WISCONSIN
RELATING TO CREATION OF SEX OFFENDER
RESIDENCE BOARD**

BE IT ORDAINED AND ESTABLISHED by the Board of Trustees of the Village of Pleasant Prairie, Kenosha County, Wisconsin that Chapter 18 of the Municipal Code be amended as follows:

Article VIII. Sex Offender Residence Board

§18.80. Established.

The Village Board of the Village of Pleasant Prairie does hereby ordain and establish a citizen Sex Offender Residence Board.

§18.81. Membership; terms.

The members of the Sex Offender Residence Board shall be citizens residing in the Village of Pleasant Prairie and shall be selected by the Village President and approved by the Village of Pleasant Prairie Board of Trustees pursuant to this chapter. Members shall serve for a term of five (5) years and shall serve no more than two (2) consecutive terms. The terms for the initial members of the Residence Board shall be staggered with one member serving one (1) year, a second member serving three (3) years and the third member serving five (5) years.

§18.82. Vacancies.

The Village President shall promptly appoint a new member or alternate member to fill any mid-term vacancy of the Board and the newly appointed member or alternate member shall serve the balance of his or her predecessor's term.

§18.83. Conflict of interest.

Any member of the Sex Offender Residence Board having a conflict of interest in any matter coming before the Board shall refrain from any voting or discussion either prior to, at or after the matter has been heard by the Board. Said Board member that has a conflict shall recuse him/herself from all proceedings and the alternate member shall preside.

§18.84. Compensation.

The actual and necessary expenses incurred by the Sex Offender Residence Board in the performance of its duties shall be paid and allowed as in cases of other claims against the Village. The Village Board may likewise compensate members of said Board and such assistants as may be authorized by the Village Board.

§18.85 Powers, duties and decision.

The Sex Offender Residence Board shall hold a hearing on each appeal filed with the Village Clerk’s office. The Board’s decision shall be based upon factual information supplied by the appellant, oral or written statements from any person, and shall render its decision with the Village’s interest in promoting, protecting and improving the health, safety and welfare of the community, pursuant to applicable factors described in Section 287-6m(3) of the Village of Pleasant Prairie Municipal Code.

§18.86. Confidentiality of Health Information.

To the extent if can reasonably do so, the Sex Offender Residence Board shall have the opportunity to go into closed session to consider any medical history of alcohol, drug and sex offender treatment, juvenile conviction records and other health information, to the extent allowed by applicable State laws. By petitioning to the Residence Board, however, a designated offender thereby acknowledges that success or failure in treatment programs may form a central part of the case such that members of the public should have an opportunity to hear and respond. The designated offender waives therefore, by their application, such confidentiality rights as may apply pursuant to applicable State and Federal laws for records arising after the date of conviction, and provided further that this waiver shall not apply to the release of juvenile conviction records.

§18.87. Meetings.

Appeal Board hearings shall be held on an as needed basis. When the Village Clerk’s office receives an Appeal form, said office shall schedule a hearing within 45 days of receipt. A hearing notice shall be sent at least ten (10) days via United States Postal Service to the Appellant of the date, time and location of the appeal hearing.

§18.88. Records.

A written record shall be kept showing all actions taken, findings, determinations and a copy of such record shall be filed with the Village Clerk as a public record, unless a closed session of the Sex Offender Residence Board is permitted under §19.85, Wis. Stats., Records shall not be destroyed except as pursuant to law.

Passed and adopted this _____ day of January, 2018.

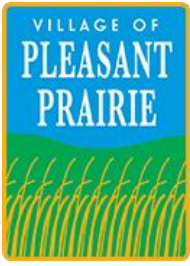
VILLAGE OF PLEASANT PRAIRIE

John P. Steinbrink, President

ATTEST:

Jane M. Romanowski, Clerk

Posted:_____



Office of the
Interim Village Administrator
Thomas G. Shircel

MEMORANDUM

TO: John P. Steinbrink, Village President and Village Board of Trustees
FROM: Thomas Shircel, Interim Village Administrator
DATE: January 8, 2018
SUBJECT: Appointment of Sex Offender Residence Board Members

In accordance with Chapter §18.81 of the Municipal Code, members of the Sex Offender Residence Board members shall consist of three residents of the Village of Pleasant Prairie. Members shall serve for a term of five (5) years and shall serve no more than two (2) consecutive terms. Initial members' terms shall be staggered with one member serving one (1) year, a second member serving three (3) years and the third member serving five (5) years. All members are subject to the Village Board's approval.

It is recommended that the following members and terms are approved by the Village Board as stated:

Pauline Hammerbeck – Term 1 year

Paul Ratzburg – Term 3 years

George Easton – Term 5 years



MEMORADUM

TO: Tom Shircel, Interim Village Administrator

FROM: Matthew Fineour, Village Engineer

CC: Jane Romanowski, Village Clerk
John Steinbrink Jr., Public Works Director

SUBJ: STH 165 Lift Station
Design Services Agreement

DATE: January 8, 2018

Background:

Development west of the Des Plaines River (including Lakeview West and areas south, Prairie Wood Corporate Park, and Prairie Highland Corporate Park) requires a lift station for sanitary sewer service. This area is currently serviced by an existing lift station that was built around 1990 as a temporary facility to initiate development. The existing lift station pumps sewage east to the gravity sewer by CTH "H" and is ultimately conveyed to the Kenosha wastewater treatment plant. The temporary lift station has reached its capacity limits and must be replaced to service additional planned development for the area.

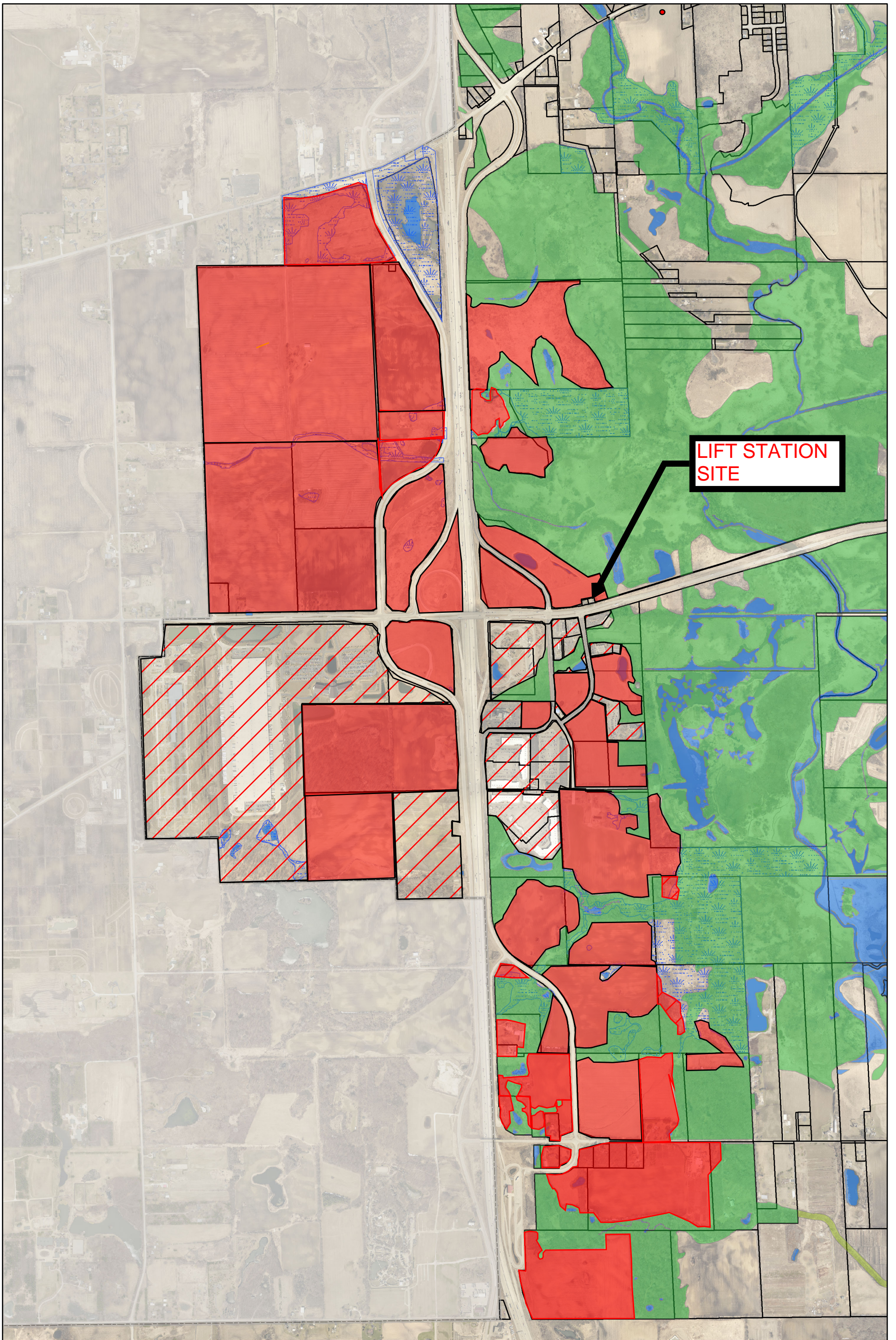
The Village solicited design service proposals from three firms with significant lift station design experience. Two proposals were received. Each firm was evaluated based on firm qualifications, design team experience, expressed knowledge of lift station design, scope of services, level of effort, and competitive costs. The top ranking firm for the project was Strand Associates.

The design service agreement for the STH 165 lift station project is a time and material contract with an estimated total cost of \$184,100.

Recommendation:

It is recommended that the Village Board approve the Professional Service Agreement with Strand Associates for \$184,100.

Attachments: Project Overview Map
Professional Service Agreement



LIFT STATION
SITE



STH165 LIFT STATION



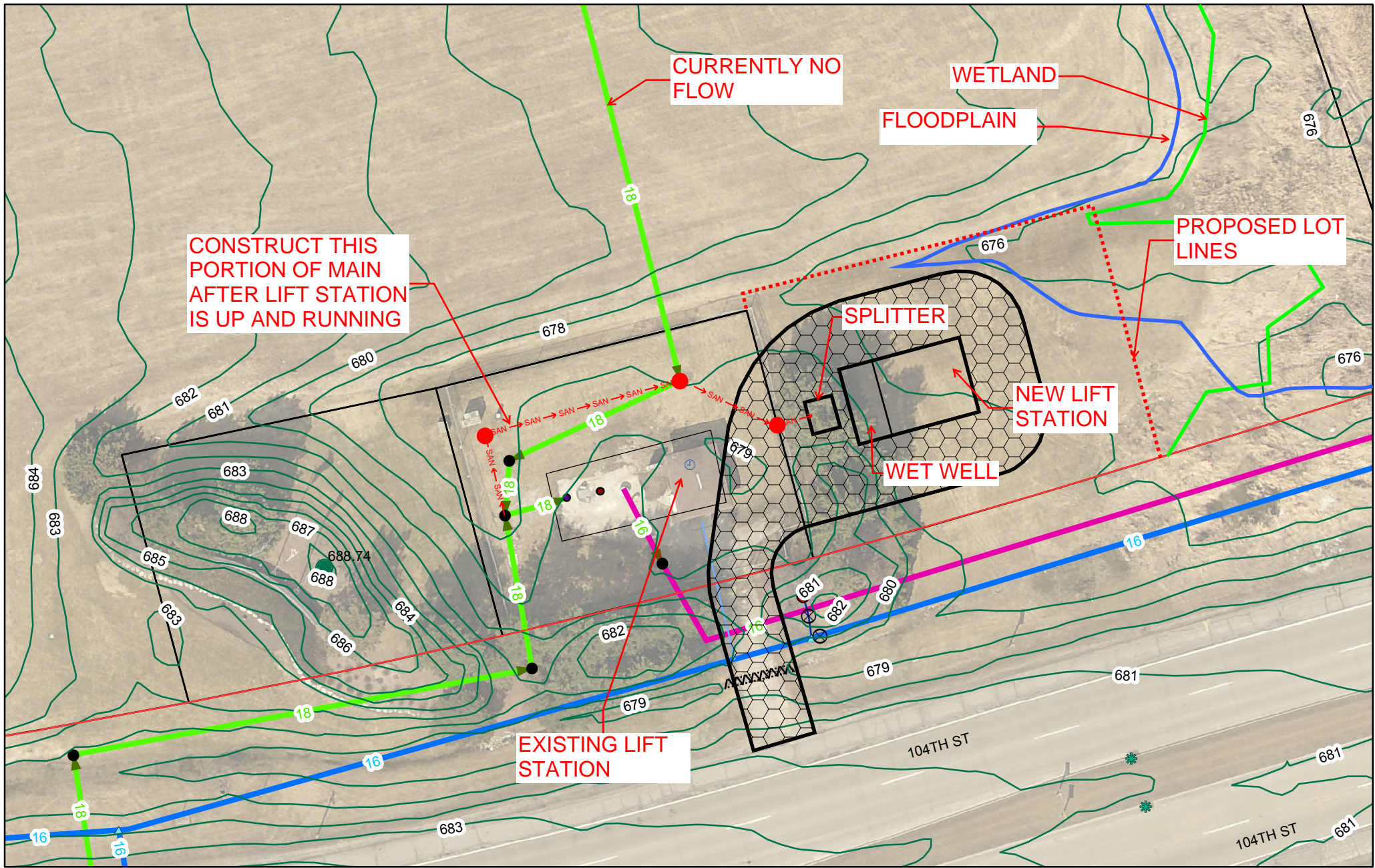
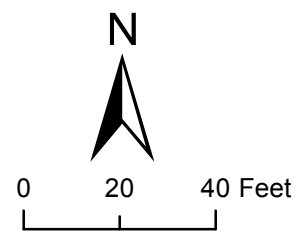


EXHIBIT B - CONCEPTUAL LAYOUT





Strand Associates, Inc.®
126 N. Jefferson Street, Suite 350
Milwaukee, WI 53202
(P) 414-271-0771
(F) 414-271-8312

January 3, 2018

Village of Pleasant Prairie
9915 39th Avenue
Pleasant Prairie, WI 53158

Attention: Mr. John Steinbrink, Village President

Re: Agreement for Design Services and Bidding-Related Services
STH 165 Lift Station Design

This is an Agreement between the Village of Pleasant Prairie, Wisconsin, hereinafter referred to as OWNER, and Strand Associates, Inc.®, hereinafter referred to as ENGINEER, to provide Design Services and Bidding-Related Services (Services) for the STH 165 Lift Station Design project. This Agreement shall be in accordance with the following elements.

Scope of Services

ENGINEER will provide the following Services to OWNER.

Design Services

1. Attend up to four meetings with OWNER to discuss the project. This includes the project kickoff meeting, preliminary (30 percent plan) review meeting, 50 percent plan review meeting, and final draft Bidding Document (90 percent plan) review meeting.
2. Prepare a Force Main Assessment Alternatives Review in the form of a brief report summarizing up to five methods available to OWNER for assessment of the 16-inch-diameter force main associated with the existing STH 165 Lift Station. Assist OWNER in developing a request for proposal (RFP) to be delivered to force main construction contractors for use in evaluating force main evaluation costs. Compile the contractor's preliminary costs from the RFP associated with each method summarized in the brief report. Assist OWNER with the selection of the preferred method.
3. Assist OWNER in selecting a geotechnical firm to perform geotechnical investigation of the proposed site.
4. Conduct a topographic survey of the existing lift station and proposed site for the new lift station to gather information for the preparation of Bidding Documents. Incorporate OWNER-provided information, including wetland investigation survey data, geotechnical boring locations, and certified survey map data for the proposed lift station site, into the Bidding Documents.
5. Prepare Bidding Documents using Engineers Joint Contract Documents Committee C-700 Standard General Conditions of the Construction Contract, 2013 edition, technical specifications, and engineering drawings for a single prime construction contract. This generally consists of demolition and abandonment of the existing lift station and designing the new pump station and associated building, and support systems including hydraulic, structural, electrical, and mechanical.

Village of Pleasant Prairie
 Page 2
 January 3, 2018

6. Submit permit applications to the Wisconsin Department of Natural Resources (WDNR), including stormwater notice of intent permit and erosion control permit.
7. Prepare a prebid opinion of probable construction cost for project and submit to OWNER.
8. Prepare design criteria for the lift station based on OWNER-provided information, including historical sanitary sewer flow data and projected flow to the lift station.
9. Review OWNER-provided geotechnical investigation report and incorporate into the Bidding Documents.
10. Provide two sets of draft drawings and an electronic copy in portable document format (PDF) file for the preliminary plan review; two sets of draft drawings and equipment specifications and an electronic copy in PDF format for the 50 percent review; and two sets of draft drawings and technical specifications for the 90 percent review meeting.
11. Incorporate OWNER review comments, as appropriate into the Bidding Documents, and submit two sets and one electronic copy in PDF file of the final Bidding Documents to OWNER.
12. Submit drawings and specifications to the WDNR for approval and assist OWNER in responding to comments and questions.

Bidding-Related Services

1. Distribute Bidding Documents electronically through QuestCDN, available at www.strand.com and www.questcdn.com. Submit Advertisement to Bid to OWNER for publishing.
2. Prepare addenda and answer questions during bidding.
3. Prepare agenda and attend one prebid meeting.
4. Attend bid opening, tabulate and analyze bid results, and assist OWNER in the award of the Construction Contract.
5. Prepare three sets of Contract Documents for signature.

Service Elements Not Included

The following services are not included in this Agreement. If such services are required, they will be provided as noted.

1. Additional and Extended Services during construction made necessary by:
 - a. Work damaged by fire or other cause during construction.
 - b. A significant amount of defective or neglected work of any contractor.
 - c. Prolongation of the time of the construction contract.
 - d. Default by contractor under the construction contract.

Any services of this type will be provided through an amendment to this Agreement.
2. Additional Site Visits and/or Meetings: Additional OWNER-required site visits or meetings will be provided through an amendment to this Agreement or through a separate agreement with OWNER.

Village of Pleasant Prairie
Page 3
January 3, 2018

3. Archaeological or Botanical Investigations: ENGINEER will assist OWNER in engaging the services of an archaeologist or botanist, if required, to perform the field investigations necessary for agency review through a separate agreement with OWNER.
4. Construction-Related Services: Construction-related services, including shop drawing review, requests for information, pay application for payment review, site visits, participation in construction progress meetings, and resident project representative services for the project will require a separate agreement with OWNER.
5. Flood Studies: Any services involved in performing flood and floodway studies, if required, will be provided through an amendment to this Agreement or through a separate agreement with OWNER.
6. Geotechnical Engineering: Geotechnical engineering information will be required and provided through OWNER and OWNER's geotechnical consultant. ENGINEER will assist OWNER with defining initial scope of geotechnical information that is required to allow OWNER to procure geotechnical engineering services.
7. Land and Easement Surveys/Procurement: Any services of this type including, but not limited to, a record search, field work, preparation of legal descriptions, or assistance to OWNER for securing land rights necessary for siting sanitary sewer, tanks, and appurtenances will be provided through a separate agreement with OWNER.
8. Permit and Plan Review Fees: All permit and plan review fees payable to regulatory agencies shall be paid for by OWNER.
9. Preparation for and/or Appearance in Litigation on Behalf of OWNER: This type of service by ENGINEER will be provided through a separate agreement with OWNER.
10. Review of Product Substitutions or Means, Method, Technique, Sequence, or Procedure Substitutions Proposed by Contractor: The terms of the construction Contract call for the construction contractor to reimburse OWNER for ENGINEER's cost for evaluating substitute products, means, method, technique, sequence, or procedure of construction. ENGINEER's cost for such evaluations is not included in the scope of this Agreement. Services of this type by ENGINEER will be provided through an amendment to this Agreement.
11. Revising Designs, Drawings, Specifications, and Documents: Any services required after these items have been previously approved by state or federal regulatory agencies, because of a change in project scope or where such revisions are necessary to comply with changed state and federal regulations that are put in force after Services have been partially completed, will be provided through an amendment to this Agreement.
12. Services Furnished During Readvertisement for Bids, if Ordered by OWNER: If a Contract is not awarded pursuant to the original bids, any services of this type will be provided through an amendment to this Agreement.
13. Services Related to Buried Wastes and Contamination: Should buried solid, liquid, or potentially hazardous wastes or subsurface or soil contamination be uncovered at the site, follow-up investigations may be required to identify the nature and extent of such wastes or subsurface soil or groundwater contamination and to determine appropriate methods for managing of such wastes or contamination and for follow-up monitoring. Investigation, design, or construction-related services related to buried solid, liquid, or potentially hazardous wastes or soil or groundwater contamination will be provided through a separate agreement with OWNER.

Village of Pleasant Prairie
Page 4
January 3, 2018

Compensation

OWNER shall compensate ENGINEER for Services on an hourly rate basis plus expenses a not-to-exceed fee of \$184,100.

Expenses incurred such as those for nonlocal travel, meals, printing, postage, and copies will be billed at actual cost plus ten percent.

Only sales taxes or other taxes on Services that are in effect at the time this Agreement is executed are included in the Compensation. If the tax laws are subsequently changed by legislation during the life of this Agreement, this Agreement will be adjusted to reflect the net change.

The not-to-exceed fee for the Services is based on wage scale/hourly billing rates, adjusted annually on July 1, that anticipates the Services will be completed as indicated. Should the completion time be extended, it may be cause for an adjustment in the not-to-exceed fee that reflects any wage scale adjustments made.

The not-to-exceed fee will not be exceeded without prior notice to and agreement by OWNER but may be adjusted for time delays, time extensions, amendments, or changes in the **Scope of Services**. Any adjustments will be negotiated based on ENGINEER's increase or decrease in costs caused by delays, extensions, amendments, or changes.

Schedule

Services will begin upon execution of this Agreement, which is anticipated the week of January 4, 2018. Services are scheduled for completion on February 28, 2019.

Standard of Care

The Standard of Care for all Services performed or furnished by ENGINEER under this Agreement will be the care and skill ordinarily used by members of ENGINEER's profession practicing under similar circumstances at the same time and in the same locality. ENGINEER makes no warranties, express or implied, under this Agreement or otherwise, in connection with ENGINEER's Services.

OWNER's Responsibilities

1. Assist ENGINEER by placing at ENGINEER's disposal all available information pertinent to this project including previous reports, previous drawings and specifications, and any other data relative to the scope of this project.
2. Furnish to ENGINEER, as required by ENGINEER for performance of Services as part of this Agreement, data prepared by or services of others obtained or prepared by OWNER relative to the scope of this project, such as soil borings, probings and subsurface explorations, and laboratory tests and inspections of samples, all of which ENGINEER may rely upon in performing Services under this Agreement.
3. Provide access to the site as required for ENGINEER to perform Services under this Agreement.
4. Guarantee access to and make all provisions for ENGINEER to enter upon public and private lands as required for ENGINEER to perform Services under this Agreement.

Village of Pleasant Prairie
Page 5
January 3, 2018

5. Examine all reports, sketches, estimates, special provisions, drawings, and other documents presented by ENGINEER and render, in writing, decisions pertaining thereto within a reasonable time so as not to delay the performance of ENGINEER.
6. Provide all legal services as may be required for the development of this project.
7. Retain the services of a soils consultant to provide any necessary geotechnical evaluation and recommendations.

Opinion of Probable Cost

Any opinions of probable cost prepared by ENGINEER are supplied for general guidance of OWNER only. ENGINEER has no control over competitive bidding or market conditions and cannot guarantee the accuracy of such opinions as compared to contract bids or actual costs to OWNER.

Changes

1. OWNER may make changes within the general scope of this Agreement in the Services to be performed. If such changes cause an increase or decrease in ENGINEER's cost or time required for performance of any Services under this Agreement, an equitable adjustment will be made and this Agreement will be modified in writing accordingly.
2. No services for which additional compensation will be charged by ENGINEER will be furnished without the written authorization of OWNER. The fee established herein will not be exceeded without agreement by OWNER but may be adjusted for time delays, time extensions, amendments, or changes in the **Scope of Services**.
3. If there is a modification of WDNR requirements relating to the Services to be performed under this Agreement subsequent to the date of execution of this Agreement, the increased or decreased cost of performance of the Services provided for in this Agreement will be reflected in an appropriate modification of this Agreement.

Extension of Services

This Agreement may be extended for additional Services upon OWNER's authorization. Extension of Services will be provided for a lump sum or an hourly rate plus expenses.

Payment

OWNER shall make monthly payments to ENGINEER for Services performed in the preceding month based upon monthly invoices. Nonpayment 30 days after the date of receipt of invoice may, at ENGINEER's option, result in assessment of a 1 percent per month carrying charge on the unpaid balance.

Nonpayment 45 days after the date of receipt of invoice may, at ENGINEER's option, result in suspension of Services upon five calendar days' notice to OWNER. ENGINEER will have no liability to OWNER, and OWNER agrees to make no claim for any delay or damage as a result of such suspension caused by any breach of this Agreement by OWNER. Upon receipt of payment in full of all outstanding sums due from OWNER, or curing of such other breach which caused ENGINEER to suspend Services, ENGINEER will resume Services and there will be an equitable adjustment to the remaining project schedule and compensation as a result of the suspension.

Village of Pleasant Prairie
Page 6
January 3, 2018

Data Provided by Others

ENGINEER is not responsible for the quality or accuracy of data nor for the methods used in the acquisition or development of any such data where such data is provided by or through OWNER, contractor, or others to ENGINEER and where ENGINEER's Services are to be based upon such data. Such data includes, but is not limited to, soil borings, groundwater data, chemical analyses, geotechnical testing, reports, calculations, designs, drawings, specifications, record drawings, contractor's marked-up drawings, and topographical surveys.

Termination

This Agreement may be terminated with cause in whole or in part in writing by either party subject to a two-week notice and the right of the party being terminated to meet and discuss the termination before the termination takes place. ENGINEER will be paid for all completed or obligated Services up to the date of termination.

Third-Party Beneficiaries

Nothing contained in this Agreement creates a contractual relationship with or a cause of action in favor of a third party against either OWNER or ENGINEER. ENGINEER's Services under this Agreement are being performed solely for OWNER's benefit, and no other party or entity shall have any claim against ENGINEER because of this Agreement or the performance or nonperformance of Services hereunder. OWNER and ENGINEER agree to require a similar provision in all contracts with contractors, subcontractors, subconsultants, vendors, and other entities involved in this project to carry out the intent of this provision.

Dispute Resolution

Except as may be otherwise provided in this Agreement, all claims, counterclaims, disputes, and other matters in question between OWNER and ENGINEER arising out of or relating to this Agreement or the breach thereof will be decided first by mediation, if the parties mutually agree, or with a bench trial in a court of competent jurisdiction within the State of Wisconsin.

Terms and Conditions

The terms and conditions of this Agreement will apply to the Services defined in the **Scope of Services**. OWNER-supplied purchase order is for processing payment only; terms and conditions on the purchase order shall not apply to these Services.

IN WITNESS WHEREOF the parties hereto have made and executed this Agreement.

ENGINEER:

OWNER:

STRAND ASSOCIATES, INC.®

VILLAGE OF PLEASANT PRAIRIE

Matthew S. Richards 1/3/18

Matthew S. Richards
Corporate Secretary

Date

John Steinbrink
Village President

Date



Purchase Order

Fiscal Year 2018

Page 1 of 1

THIS NUMBER MUST APPEAR ON ALL INVOICES, PACKAGES AND SHIPPING PAPERS.

Purchase Order #

180045-00

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VILLAGE OF PLEASANT PRAIRIE
9915 39TH AVENUE
PLEASANT PRAIRIE, WI 53158
262-694-1400

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STRAND ASSOCIATES, INC.
910 W WINGRA DRIVE
MADISON WI 53715

**S
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Village of Pleasant Prairie
9915 39th Ave
Pleasant Prairie WI 53158

Vendor Phone Number	Vendor Fax Number	Requisition Number	Contact Name
		44	Kristina Bastainelli

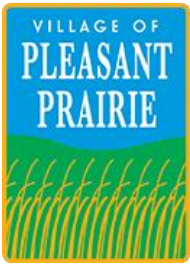
Date Ordered	Vendor Number	Date Required	Freight Method/Terms	Department/Location
01/05/2018	4585			Engineering

Item#	Description/Part No.	Qty	UOM	Unit Price	Extended Price
1	Prairie Highlands STH 165 Lift The Above Purchase Order Number Must Appear On All Correspondence - Packing Sheets And Bills Of Lading Remember to give PO# when ordering. Prairie Highlands STH 165 Lift Station Design	1.0	EACH	\$184,100.000	\$184,100.00

By *Michelle Deery*
Village Administrator

PO Total

\$184,100.00



Office of the Director of Public Works
John Steinbrink Jr., P.E.

To: Tom Shircel, Interim Village Administrator
From: John Steinbrink, Jr., P.E., Director of Public Works
Subject: Cooperative Service Agreement Award of Contract with USDA
Date: January 15, 2018

Pleasant Prairie is responsible to maintain the creeks and drainage ways within Village properties. The Jerome Creek and tributaries collect and flow water from much of central Pleasant Prairie west of the subcontinental divide.

In 2017 Pleasant Prairie entered into a cooperative service agreement with Pleasant Prairie Power Plant and USDA to trap, relocate, and remove beaver dams within the defined limits as shown on the attached map. In 2017 USDA relocated 4 beavers, 2 muskrats and removed 8 beaver dams on Village property.

I recommend the Village enter into a cooperative service agreement for 2018 with USDA.

COOPERATIVE SERVICE AGREEMENT
between
VILLAGE OF PLEASANT PRAIRIE (VPP)
and the
UNITED STATES DEPARTMENT OF AGRICULTURE
ANIMAL AND PLANT HEALTH INSPECTION SERVICE (APHIS)
WILDLIFE SERVICES (WS)

ARTICLE 1

The purpose of this agreement is to cooperate in a wildlife damage management project, as described in the Work Plan on the next page.

ARTICLE 2

APHIS WS has statutory authority under the Act of March 2, 1931 (46 Stat. 1468; 7 USCA 8351-7 USCA 8352) as amended, and the Act of December 22, 1987 (101 Stat. 1329-331, 7 USCA 8353), to cooperate with States, local jurisdictions, individuals, public and private agencies, organizations, and institutions while conducting a program of wildlife services involving mammal and bird species that are reservoirs for zoonotic diseases, or animal species that are injurious and/or a nuisance to, among other things, agriculture, horticulture, forestry, animal husbandry, wildlife, and human health and safety.

ARTICLE 3

APHIS WS and VPP agree:

1. APHIS WS will provide the requested wildlife damage management services.
2. VPP will provide the U.S. Department of Agriculture the sum of **\$1,440.00** to cover the costs as outlined in the Financial Plan. Payment will be made by check payable to **“U.S. Department of Agriculture”** by a mutually agreed upon date.
3. VPP ensures and certifies that it is not currently debarred or suspended and is free of delinquent Federal debt.
4. The monies received by APHIS WS will be used for wildlife damage management activities.
5. Nothing in this agreement shall prevent APHIS WS from entering into separate agreements with any other organization or individual for the purpose of providing wildlife damage management services exclusive of those provided for under this agreement.
6. VPP certifies that APHIS WS has advised VPP that there may be private sector service providers available to provide wildlife management services that VPP is seeking from APHIS WS.
7. The performance of wildlife damage management actions by APHIS WS under this agreement is contingent upon a determination by APHIS WS that such actions are in compliance with the National Environmental Policy Act, Endangered Species Act, and any other applicable federal statutes. APHIS WS will not make a final decision to conduct requested wildlife damage management actions until it has made the determination of such compliance.

ARTICLE 4

Pursuant to Section 22, Title 41, United States Code, no member of or delegate to Congress shall be admitted to any share or part of this Agreement or to any benefit to arise therefrom.

ARTICLE 5

APHIS assumes no liability for any actions or activities conducted under this Cooperative Service Agreement except to the extent that recourse or remedies are provided by Congress under the Federal Tort Claims Act (FTCA), (28 U.S.C. 1346(b), 2401(b), and 2671-2680).

ARTICLE 6

The Agreement shall become effective January 1, 2018 and shall continue in effect until the completion or termination of the project and expire on December 31, 2018. This Agreement may be amended or terminated at any time by mutual agreement of the parties in writing. Further, in the event the cooperator does not provide necessary funds, APHIS WS is relieved of the obligation to provide services under this agreement.

Tax Identification Number: **39-6006058**

Village of Pleasant Prairie
9915 39th Ave
Pleasant Prairie, WI 53158

USDA-APHIS-Wildlife Services
732 Lois Drive
Sun Prairie, WI 54501

DANIEL HIRCHERT Digitally signed by DANIEL HIRCHERT
Date: 2018.01.02 13:52:41 -06'00'

Cooperator’s Signature

Date

State Director

Date

WORK PLAN

Wildlife Species: Beaver (*Castor canadensis*)

Description of Damage: Beavers have constructed dams in natural waterway/drainage ditches and have the potential to, or are already, flooding roads, fields, and property. Beavers have also damaged or removed woody vegetation and standing trees threatening natural resources.

Location: Village of Pleasant Prairie, Kenosha County, Wisconsin.

Services Provided: APHIS-WS was requested by the cooperator to conduct a beaver and beaver dam removal project to reduce the threat of flood damage and to discourage future use by beavers. APHIS-WS will trap and remove any beavers in the ditches and breach the beaver dams through hand removal. The cooperator will understand that APHIS-WS will attempt to remove all beavers currently using the ditch and the beaver dams by hand; however, it may not be possible to remove the entire dam by hand and future mechanical removal may be necessary. It also may not be possible to remove the dams completely from bank to bank, but the dams will be breached to allow water to flow freely to drain flooded areas.

The Cooperator and APHIS-WS Agree:

- All activities will be conducted according to Federal, applicable State and local laws, regulations, permits and other authorities.
- Cooperator will respond to all media, public, and resident requests for information.
- APHIS-WS will only conduct beaver damage management services on properties as designated by the cooperator.
- Beavers will be lethally removed and will not be relocated elsewhere.
- The cooperator understands that after APHIS-WS removes the beavers and dams it is possible for other beavers to move into the area creating a similar problem in the future. At that point the cooperator will be responsible for establishing an integrated wildlife damage management plan at their discretion to prevent future negative impacts by beavers after WS has conducted their beaver and beaver dam removal, unless the cooperator requests an additional Cooperative Service Agreement from WS to implement such a plan or conduct further actions.

FINANCIAL PLAN

Personnel Costs	\$ 891.00
Vehicle Use	\$ 339.00
Supplies & Equipment.....	<u>\$ 10.00</u>
Subtotal (Direct Costs)	\$1,240.00
Indirect Costs	<u>\$ 200.00</u>
TOTAL	\$1,440.00

The distribution of the budget from this Financial Plan may vary as necessary to accomplish the purpose of this agreement, but may not exceed **\$1,440.00**.

Financial Point of Contact

Cooperator: John Steinbrink Jr., Director of Public Works
APHIS, WS: Donna Evans, Budget Analyst

Phone: 262-925-6765

Phone: 608-837-2727

WILMOT RD

BAIN STATION RD

88TH AVE



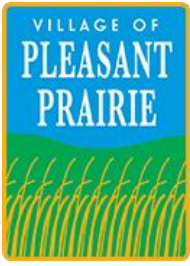
GREEN BAY RD

95TH ST

165

104TH ST





Office of the
Interim Village Administrator
Thomas G. Shircel

MEMORANDUM

TO: John P. Steinbrink, Village President and Village Board of Trustees
FROM: Thomas Shircel, Interim Village Administrator
DATE: January 11, 2018
SUBJECT: Appointment of Village Clerk

I recommend Jane C. Snell be appointed as the Village Clerk effective February 1, 2018.